LEGAL DESCRIPTION

THE NORTH 9.83 FEET OF LOT 29, LOTS 30 THROUGH 33, AND SOUTH 23.00 FEET OF LOT 34, ALL IN BLOCK 18. ELMWOOD ADDITION, CITY AND COUNTY OF DENVER, STATE OF

CONTAINING 13,959 SQUARE FEET (0.320 ACERS), MORE OR LESS

BENCHMARK:

ELEVATIONS ARE BASED ON FOUND USGS BENCH MARK "BM-22" BEING A 3.5" BRASS DISK IN CONCRETE POST NEAR THE NORTHEAST AREA OF KALAMATH STREET AND 11TH AVENUE WITH A CITY AND COUNTY OF DENVER PUBLISHED ELEVATION OF 5236.62' (NAVD 88).

PROJECT TEAM:

DCDP MASTER, LLC

370 AMMONS STREET LAKEWOOD, CO 80226 PHONE: 303.901.4154

PRESTON LOOS

BEN GEARHART

ADOLUTEOTUDAL OVADOLO

ARCHITE	CTURAL SYMBOLS					PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM ARCHITECT
	NORTH ARROW	HALLWAY	ROOM DESIGNATION REFERENCE	$\langle \hat{\mathbf{x}} \rangle$	WALL TYPE	ROOT ARCHITECTURE AND DEVELOPMENT, LLC ZEKE FREEMAN, R.A., G.C. 2658 WALNUT ST. DENVER, CO 80205 PHONE: 720.498.1925 EMAIL: <u>zfreeman@root-ad.com</u>
X	GRIDLINE REFERENCE		SUPPLY DIFFUSER OR GRILLE	100A	DOOR DESIGNATION	CIVIL/STRUCTURAL: ALTITUD LAND CONSULTANTS INC. 3461 RINGSBY COURT, SUITE 125
AX.X	EXTERIOR BUILDING ELEVATION REFERENCE		RETURN AIR GRILLE	x	REFERENCE EQUIPMENT TYPE	DENVER, CO 80216 201 EAST LAS ANIMAS, SUITE 113 COLORADO SPRINGS, CO 80903 PHONE: 720.594.9494
, and the second	ELEVATION REI ERENGE		SURFACE OR PENDANT MOUNTED FLUORESCENT LIGHT FIXTURE		FINISH TYPE	EMAIL: linfo@AltitudeLandCo.com APEX ENGINEERS, INC.
1 4 AX.X 2	INTERIOR ELEVATION		FLUORESCENT LIGHT FIXTURE	X	FURNITURE TYPE	2701 LAWRENCE ST. INC. DENVER, CO 80205 PHONE: 720.588.3222
3	REFERENCE		SURFACE OR PENDANT MOUNTED LIGHT FIXTURE	&	CENTERLINE	www.apex-engineers.com SURVEYOR: CBM SURVEYS, INC.
x	WALL OFOTION	$\vdash \bigcirc$	WALL MOUNTED LIGHT FIXTURE		INSULATION (RIGID)	RANDY FORTUIN 1418 S. ADDISON CT. AURORA, CO 80018
AX.X	WALL SECTION REFERENCE	\otimes	EXIT LIGHT		METAL STUD PARTITION	PHONE: 720.373.8376 EMAIL: <u>CBMSURVEYS@COMCAST.NET</u>
X	BUILDING SECTION		SITE LIGHTING POLE		ACOUSTICAL TILE	
AX.X	REFERENCE		EARTH		GLASS (SMALL SCALE)	
X AX.X	DETAIL REFERENCE	ි ර ර ර ර ර ර ර ර ර ර ර ර ර ර ර දර ර ර ර	POROUS FILL		GYPSUM BOARD	
X	DETAIL REFERENCE		(STONE, GRAVEL, ETC.)		ACOUSTICAL TILE CEILING GRID	
AX.X			CONCRETE MASONRY UNIT			
x	OASEWORK TYPE		FERROUS METAL			
×	CASEWORK TYPE		CONCRETE			
1.01 A	WORK NOTE LAYOUT KEY NOTE		WOOD, ROUGH (OR SHIMMING OR BLOCKING)			
	WINDOW TYPE		FIRE-RETARDANT PLYWOOD			
10'-0" AFF	CEILING HEIGHT REFERENCE		INSULATION (LOOSE OR BATT)			
100'-0"AFF	VERTICAL ELEVATION REFERENCE	4 4	BRICK			

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KITCHEN PLANS AND ELEVATIONS

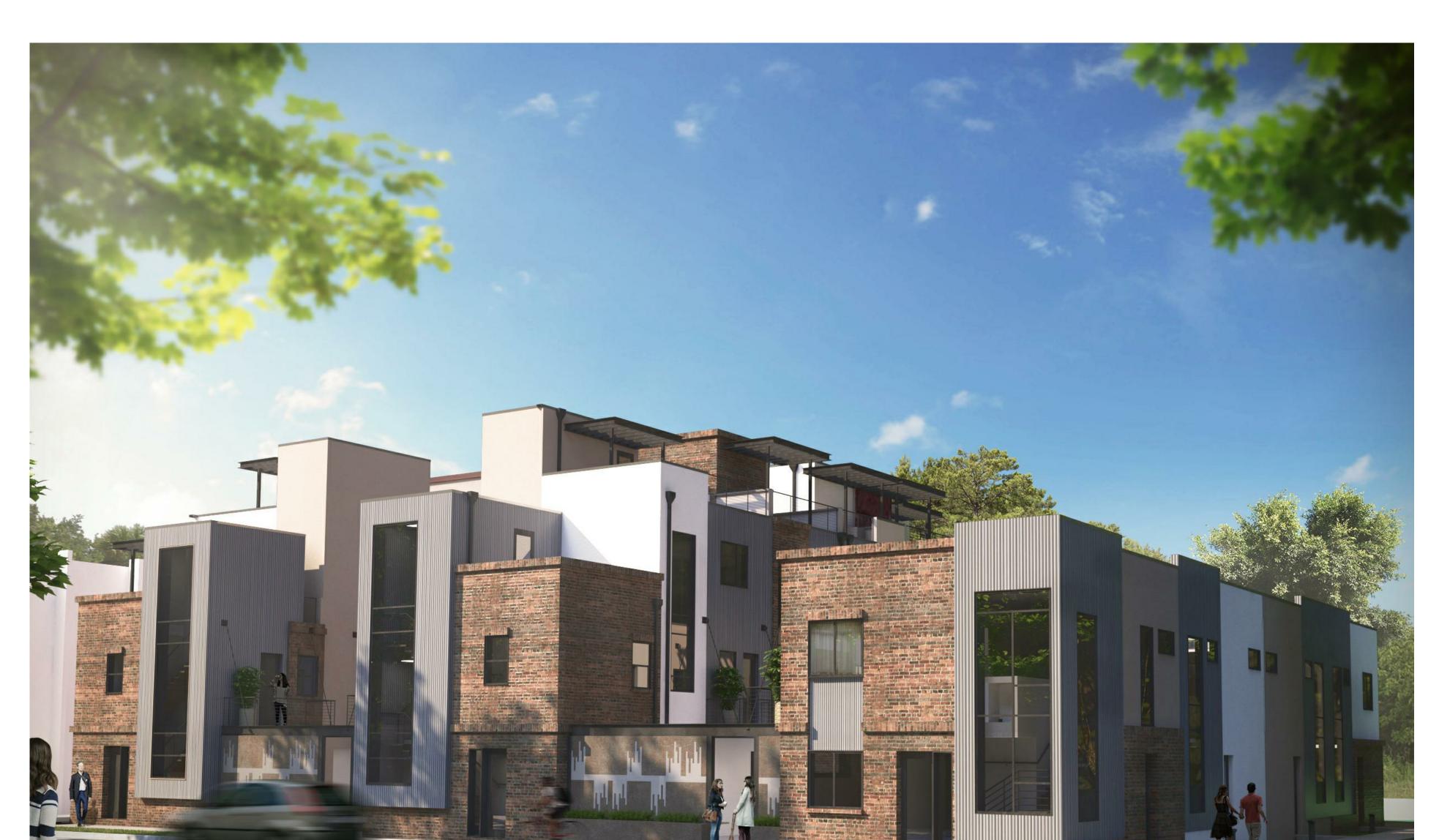
A 9.2

Sheet Number	Sheet Name
A1.0	ADA BATHS / WINDOW SCHEDULE
A1.1	TYPICAL WINDOW DETAILS
A1.2	TYPICAL WINDOW DETAILS
A1.3	DOORS TYPE DETAILS & SCHEDULE
A2.0	SITE/OVERALL FIRST FLOOR PLAN
A2.1	OVERALL SECOND FLOOR PLAN
A2.2	OVERALL THIRD FLOOR PLAN
A2.3	OVERALL ROOF PLAN
A2.4	OVERALL UPPER ROOF PLAN
A2.5	BUILDING 645 Inca St UNIT PLANS
A2.6	BUILDING 635 Inca St UNIT PLANS 1ST & 2ND FLOOR
A2.7	BUILDING 635 Inca St UNIT PLANS 3RD & 4TH FLOOR
A2.8	BUILDING 625 Inca St UNIT PLANS 1ST & 2ND FLOOR
A2.9	BUILDING 625 Inca St UNIT PLANS 3RD & 4TH FLOOR PLAN
A3.0	PRIMARY ELEVATIONS EAST-WEST
A3.1	BUILDING 645 Inca St. ELEVATIONS NORTH-SOUTH
A3.2	BUILDING 635 Inca St. ELEVATIONS NORTH-SOUTH
A3.3	BUILDING 625 Inca St. ELEVATIONS NORTH-SOUTH
A3.4	PRIMARY SECTIONS BUILDING 645 & 635 Inca St.
A3.5	PRIMARY SECTION BUILDING 625 Inca St./ N/S SECTION
A3.6	PRIMARY SECTION N/S SECTIONS
A4.0	WALL SECTIONS
A4.1	WALL SECTIONS
A4.2	WALL SECTIONS
A4.3	DETAILS
A4.4	DETAILS
A5.0	ENLARGED PLANS UNIT TYPE A,B
A5.1	ENLARGEN PLANS UNIT TYPE C,D
A5.2	ENLARGED PLANS UNIT TYPE E,F
A5.3	ENLARGED PLANS UNIT TYPE G
A6.0	RCP UNIT TYPE A,B,C,D
A6.1	RCP UNIT TYPE E,F,G
A7.0	ENLARGED PLANS STAIRS UNIT TYPE A, B & C
A7.1	ENLARGED PLAN STAIRS D
A7.2	ENLARGED PLAN STAIRS UNIT TYPE E
A7.3	ENLARGED PLAN STAIRS UNIT TYPE F
A7.4	ENLARGED PLAN STAIRS UNIT TYPE G
A 9.0	KITCHEN PLANS AND ELEVATIONS
A 9.1	KITCHEN PLANS AND ELEVATIONS
A 9.2	KITCHEN PLANS AND ELEVATIONS

	07_ELECTRICAL
Sheet Number	Sheet Name
E1.0	ONE LINE DIAGRAM
TEP 1	BENCHING PLAN

*SEE THE SITE DEVELOPMENT PLAN SUBMITTAL FOR CIVIL, SURVEY, LANDSCAPE, AND PHOTOMETRIC DRAWINGS *SEE THE MANUAL J,S, AND D SUBMITTAL FOR MECHANICAL LAYOUT

*SEE THE SOIL REPORT SUBMITTAL FOR SUBSURFACE PREPERATION



601_631 INCA ST. BUILDING PERMIT SUBMITTAL_01 11.14.2018

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL LAWS, THE A.D.A., ALL CODES, ORDINANCES, RULES AND REGULATIONS OF ALL GOVERNING AUTHORITIES HAVING JURISDICTION.

2. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS

3. BEFORE COMMENCEMENT OF THE WORK, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS WITH THE CONTRACT DOCUMENTS. ANY DEVIATIONS, DISCREPANCIES, AND/OR CONFLICTS SHALL BE REPORTED TO ROOT-AD PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY QUESTION OR CLARIFICATION REGARDING "BUILDING STANDARD" CONSTRUCTION OR MATERIALS SHALL BE DIRECTED TO ROOT-AD PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD THE CONTRACTOR PROCEED WITHOUT CONTACTING ROOT-AD, THE CONTRACTOR MAY, AT NO COST TO THE OWNER, TENANT, ROOT-AD, OR THE LIKE, BE REQUIRED TO REPAIR, REPLACE AND CORRECT ANY AND ALL DEFECTS AND PROBLEMS ARISING DUE TO HIS PROCEEDING WITHOUT CONTACT, CLARIFICATION AND/OR RECOMMENDATION.

4. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN, LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. A. NEW DRYWALL PARTITIONS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED ON PLANS (I.E., "FINISH" OR "CLEAR").

B. MASONRY UNITS ARE DIMENSIONED TO ROUGH WALL SURFACE. C. GLASS SIZES SHOWN ON DRAWINGS ARE NOMINAL. ACTUAL SIZES MAY BE SMALLER. VERIFY WINDOWS AND ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.

5. THE PRESENCE OF ROOT-AD REPRESENTATIVE ON THE JOB SITE DOES NOT IMPLY CONCURRENCE WITH OR

APPROVAL OF THE WORK. 6. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, CONSTRUCTION TECHNIQUES SHALL CONFORM TO ACCEPTED CONSTRUCTION INDUSTRY PRACTICE AND GOVERNING REGULATORY STANDARDS. CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR CONFLICT BEFORE COMMENCING WITH THE WORK.

7. THE CONTRACTOR WARRANTS TO THE ARCHITECT THAT HE/SHE POSSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT.

8. DIMENSIONS ARE TOP OF FINISH FLOOR, FACE OF CONCRETE OR MASONRY EXCEPT AS OTHERWISE NOTED. DO NOT SCALE DRAWINGS. INTERIOR FRAME WALLS ARE 3-1/2" THICK UNLESS OTHERWISE INDICATED. GYPSUM BOARD SHEATHING IS 1/2" THICK UNLESS OTHERWISE NOTED. ROUGH DOOR JAMB OFFSETS ARE 4" UNLESS OTHERWISE NOTED. ANGLES WHICH APPEAR TO BE 45 DEGREES ARE SO, UNLESS OTHERWISE INDICATED. ITEMS WHICH APPEAR TO BE CENTERED ARE SO, UNLESS OTHERWISE INDICATED.

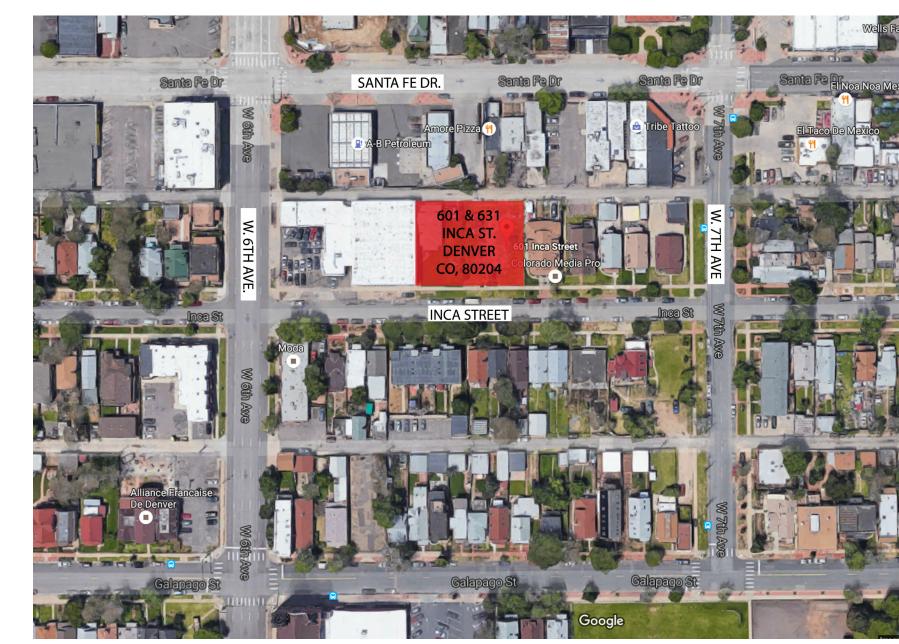
9. ALL LOADS ARE TO BE TRANSFERRED DIRECTLY TO THE FOUNDATION BY WAY OF AN ADEQUATELY SIZED, ENGINEERED SYSTEM OF JOISTS, BEAMS, HEADERS AND COLUMNS.

10. VERIFY ALL STRUCTURAL LOADING CONDITIONS WITH A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO TO ENSURE COMPLIANCE WITH CODES AND SAFETY STANDARDS. 11. VERIFY ALL SITE DRAINAGE CONDITIONS WITH A CIVIL ENGINEER LICENSED IN THE STATE OF COLORADO TO

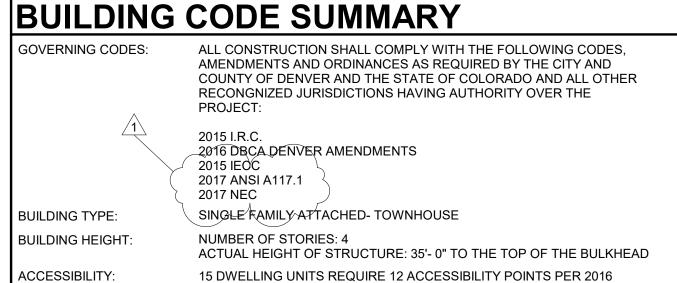
12. FIXTURES, EQUIPMENT, MILLWORK, HARDWARE, FINISHES WHICH ARE NOT FULLY SPECIFIED IN THE DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THEIR ACQUISITION AND

ENSURE COMPLIANCE WITH CODES AND SAFETY STANDARDS.

NOTE: THESE DRAWINGS ARE FOR THE SOLE USE OF THIS PROJECT EXCLUSIVELY. ANY MEANS TO REPRODUCE, DUPLICATE ANY PORTION. ENABLE DISCLOSURE, OR OTHER USE FOR WHICH IT IS INTENDED TO REPRESENT IS PROHIBITED WITHOUT EXPRESS WRITTEN CONSENT BY ROOT ARCHITECTURE AND DEVELOPMENT,LLC



VICINITY MAP



15 DWELLING UNITS REQUIRE 12 ACCESSIBILITY POINTS PER 2016 DBCA APPENDIX R. UNITS 1 AND 4 SHALL BE TYPE B VISITABLE (FOR 1 POINT EACH), AND

UNITS 2 AND 3 SHALL BE TYPE B MULTISTORY (FOR 5 POINTS EACH) FOR A TOTAL OF 12 REQUIRED POINTS. METHOD 1 - PRESCRIPTIVE METHOD ENERGY EFFICIENCY COMPLIANCE METHOD:

UNSPRINKLED UNITS

FIRE CODE:

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE D TYPE E TYPE TYPE E TYPE F TYPE G

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 4

TYPE D TYPE E TYPE E TYPE F TYPE

UNIT 4 UNIT 3 UNIT 2 UNIT 1
TYPE C TYPE B TYPE B TYPE A



DCDP MASTER, LLC PRESTON LOOS BEN GEARHART 370 AMMONS STREET LAKEWOOD, CO 80226 PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM

ARCHITECTURAL ROOT ARCHITECTURE AND DEVELOPMENT, LLC ZEKE FREEMAN, R.A., G.C. 2658 WALNUT ST. DENVER, CO 80205 PHONE: 720.498.1925 EMAIL: zfreeman@root-ad.com

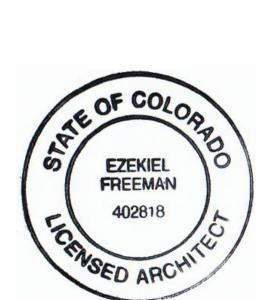
CIVIL/STRUCTURAL: ALTITUDE LAND CONSULTANTS INC. 3461 RINGSBY COURT, SUITE 125 DENVER, CO 80216 201 EAST LAS ANIMAS, SUITE 113 COLORADO SPRINGS, CO 80903 PHONE: 720.594.9494 EMAIL: Info@AltitudeLandCo.com

APEX ENGINEERS, INC. 2701 LAWRENCE ST. INC. DENVER, CO 80205 PHONE: 720.588.3222 www.apex-engineers.com

SURVEYOR: CBM SURVEYS, INC. RANDY FORTUIN 1418 S. ADDISON CT. AURORA, CO 80018 PHONE: 720.373.8376 EMAIL: CBMSURVEYS@COMCAST.NET



DIGITAL SIGNATURE



BUILDING PERMIT DRAWN: DG & CA CHECKED: ZF DATE: 11.14.2018

Revision Schedule Revision Revision Revision Number Description Date

Revision 1 | 11.14.18

COVER

2. ALL PRODUCTS SHALL BE INSTALLED BY CERTIFIED INSTALLER OR TRADE PROFESSIONAL WITH DEMONSTRATED EXPERIENCE IN THE INSTALLATION OF MATERIAL OR PRODUCT. PRODUCTS SHALL BE INSTALLED BASED UPON CODE REQUIREMENTS, INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. INSTALLATIONS MUST BE COMPLETE, READY TO USE AND

3. CONSTRUCTION PROCESS AND QUALITY MUST CONFORM TO ALL INDUSTRY STANDARDS. EACH ENTITY ENGAGED IN CONSTRUCTION ON THE PROJECT IS REQUIRED TO BE FAMILIAR WITH INDUSTRY STANDARDS APPLICABLE TO THAT ENTITY'S CONSTRUCTION ACTIVITIES. APPLICABLE STANDARDS ARE NOT BOUND WITH THE CONSTRUCTION DOCUMENTS.

4. FIELD CHANGES SHALL BE DOCUMENTED IN WRITING AND SIGNED BY THE CONTRACTOR AND OWNER. CHANGES TO CONTRACT PRICE MUST BE AGREED TO IN WRITING, PRIOR TO ANY CHANGES MADE. CONTRACTOR WILL KEEP CURRENT ON GOING PROJECT COST SPREADSHEET INDICATING MATERIALS PURCHASED AND STORED, LABOR COMPLETED AND RECORD OF ALL OTHER COSTS OF THE JOB. IF REQUESTED, COPIES OF ALL RECEIPTS AND LABOR COSTS WILL BE SUBMITTED TO THE OWNER WITH EACH INVOICE. CONTRACTOR WILL GENERATE ALL CHANGE ORDER DOCUMENTS.

5. MINOR DETAILS, NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS IMPLIED BY THE DRAWINGS, SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED IN THE DRAWINGS. CONTRACTOR IS TO UNDERSTAND THE OWNER'S INTENT OF ALL ISSUES THAT MAY APPEAR UNCLEAR IN THE DRAWINGS PRIOR TO FINAL CONTRACT PRICE AND INSTALLATION OF THE WORK. THE CONTRACTOR SHALL ISSUE WRITTEN RFI'S FOR ANY PORTION OF WORK THAT IS

6. THE DRAWINGS REFLECT CONDITIONS AS CAN BE REASONABLY INFERRED FROM VISIBLE CONDITIONS, OR FROM DRAWINGS & INFORMATION FURNISHED BY OWNER, BUT CANNOT BE GUARANTEED.

7. THE CONTRACTROR SHALL COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. OBTAIN AND PAY FOR ALL PERMITS AND LICENSES REQUIRED. WHEN REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

8. CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE COMMENCEMENT OF WORK AND REPORT ALL DISCREPANCIES TO THE OWNER AND ARCHITECT. THE DRAWINGS REFLECT CONDITIONS AS CAN REASONABLY INFERRED FROM VISIBLE CONDITIONS, OR FROM DRAWINGS & INFORMATION FURNISHED BY OWNER, BUT CANNOT BE

9. ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITER LABORATORIES LISTING FOR RATED ASSEMBLIES.

10. CONSTRUCTION ACTIVITIES ARE NOT TO ADVERSELY IMPACT THE ADJACENT

11. CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND IS RESPONSIBLE FOR INCORPORATING ALL REASONABLY INFERABLE CONDITIONS INTO THE WORK. NO CLAIM FOR ADDITIONAL COMPENSATION OR TIME BASED ON UNFAMILIARITY OF VISIBLE OR REASONABLY INFERABLE CONDITIONS, WILL BE CONSIDERED. CONTRACTOR WARRANTS TO THE OWNER THAT THE SITE AND EXISTING CONDITIONS HAVE BEEN SURVEYED PRIOR TO SUBMITTING A FINAL CONTRACT PRICE. DISCREPANCIES ARE TO BE REPORTED TO THE OWNER.

12. THE CONTRACTOR IS RESPONSIBLE TO PERFORM A SOILS REPORT OPEN HOLE INSPECTION BY A LICENSED GEOTECHNICAL ENGINEER AND CONFIRM ALL SOIL BEARING ASSUMPTIONS AS NOTED ON SHEET SO AND ALL DRAINAGE REQUIREMENTS

13. ALL TREES NOTED ON THE SITE PLAN TO REMAIN SHALL BE STAKED AND PROTECTED PAST THE DRIP LINE OF TREES. UTILITY LINES SHALL BE ROUTED OUTSIDE OF DRIP LINES IF POSSIBLE. AREA'S WHERE UNDERGROUND DISTURBANCE CANNOT BE AVOIDED ADJACENT TO TREES SHALL BE HAND DUG AROUND ROOTS.

(100'-0") SHALL BE SET BY A LICENSED SURVEYOR 15. ALL WINDOW R.O. MUST BE FIELD VERIFIED PRIOR TO ORDERING WINDOWS AND

14. THE LOCATION OF THE FOUNDATIONS AND THE TOP OF THE FFE ELEVATION

13. NOTHING OMITTED OR INCLUDED IN THE DOCUMENTATION SHALL PREVENT THE COMPLETION OF THE DESCRIBED WORK IN A CAREFUL, WORKMAN-LIKE MANNER. WHICH IS IN ACCORDANCE WITH DRAWINGS, PRODUCTS MANUFACTURES

INSTRUCTIONS, APPLICABLE BUILDING CODES AND INDUSTRY STANDARD OF CARE. 14. MATERIALS, UNLESS SPECIFIED OTHERWISE, SHALL BE NEW AND KNOWN TO BE NON-DEFECTIVE. DEFECTIVE MATERIAL WILL BE REJECTED BY THE OWNER, AND IF INSTALLED, REPLACED AT NO COST TO THE OWNER.

15. CONTRACTOR SHALL PROVIDE READY TO USE FINAL CLEANING.

16. CONTRACTOR SHALL PROVIDE OWNER WITH RELEASE OF LIEN FROM ALL SUBCONTRACTORS PRIOR TO FINAL PAYMENT BY OWNER.

17. CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES FOR THE HVAC, GEOTECH, ELECTRICAL, AV AND PLUMBING. ALL SYSTEMS SHALL BE OF GOOD QUALITY, FULLY DESIGNED, INSTALLED AND COORDINATED WITH OTHER TRADES. AS PART OF THE GMP BID THE CONTRACTOR SHALL PROVIDE SPECIFIC MANUFACTURE BRANDS AND DESCRIPTIONS OF EACH SYSTEM BID AND INTENDED TO USE. THE CONTRACTOR SHALL INCLUDE ALL COST, FEES, INSTALLATION AND EQUIPMENT TO PROVIDE FULLY FINISHED SYSTEMS AS DESCRIBED IN THE DOCUMENTS AND SPECIFICATIONS. THE INSTALLATIONS AND COST OF THE BUILDING SYSTEMS SHALL

COORDINATED AND SEPARATE LINE ITEMS FROM ALL LISTED FIXTURE ALLOWANCES. 18. SPECIFICATIONS SUPPLEMENT THE DRAWINGS. REFERENCE THE DRAWINGS FOR ADDITIONAL MATERIALS AND REQUIREMENTS. PROVIDE ALL WORK NEEDED TO PROVIDE COMPLETE INSTALLATION OF NEW WORK COMPLYING WITH CODES AND INDUSTRY STANDARDS.

A. GENERAL: IMMEDIATELY ON DISCOVERY OF THE NEED FOR ADDITIONAL INFORMATION OR INTERPRETATION OF THE CONTRACT DOCUMENTS, CONTRACTORS SHALL PREPARE AND SUBMIT AN RFI IN THE FORM SPECIFIED. ALL SUBCONTRACTORS ARE RESPONSIBLE TO BRING DISCREPANCIES OR CONFLICTS, INCLUDING DRAWINGS AND SPECIFICATION TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTACTOR AND THEN TO THE OF THE ARCHITECT FOR RESOLUTION. DO NOT ASSUME CORRECTNESS OF ONE DOCUMENT OVER THE OTHER.

1. DESIGNER WILL RETURN RFIS SUBMITTED TO DESIGNER BY OTHER ENTITIES CONTROLLED BY CONTRACTOR WITH NO RESPONSE.

2. COORDINATE AND SUBMIT RFI'S IN A PROMPT MANNER SO AS TO AVOID DELAYS IN CONTRACTOR'S WORK OR WORK OF SUBCONTRACTORS. B, CONTENT OF THE RFI: INCLUDE A DETAILED, LEGIBLE DESCRIPTION OF ITEM NEEDING INFORMATION OR INTERPRETATION AND THE FOLLOWING:

 PROJECT NAME 2. PROJECT NUMBER.

DATE. NAME OF CONTRACTOR.

7 RELSUBJECT

NAME OF ARCHITECT. 6. RFI NUMBER, NUMBERED SEQUENTIALLY.

8. SPECIFICATION SECTION NUMBER AND TITLE AND RELATED PARAGRAPHS, AS

9. PHOTOGRAPHS, DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE. 10. FIELD DIMENSIONS AND CONDITIONS, AS APPROPRIATE 11. CONTRACTOR'S SUGGESTED RESOLUTION. IF CONTRACTOR'S SUGGESTED RESOLUTION IMPACTS THE CONTRACT TIME OR THE CONTRACT SUM, CONTRACTOR SHALL STATE IMPACT IN THE REI

12. CONTRACTOR'S SIGNATURE. 13. ATTACHMENTS: INCLUDE SKETCHES, DESCRIPTIONS, MEASUREMENTS, PHOTOS, PRODUCT DATA, SHOP DRAWINGS, COORDINATION DRAWINGS, AND OTHER INFORMATION NECESSARY TO FULLY DESCRIBE ITEMS NEEDING INTERPRETATION.

A. INCLUDE DIMENSIONS, THICKNESSES, STRUCTURAL GRID REFERENCES, AND DETAILS OF AFFECTED MATERIALS, ASSEMBLIES, AND ATTACHMENTS ON ATTACHED

B. RFI FORMS: AIA DOCUMENT G716 OR ACCEPTABLE TO ARCHITECT GROUP. 1. ATTACHMENTS SHALL BE ELECTRONIC FILES IN ADOBE ACROBAT PDF FORMAT. C. DESIGNER WILL REVIEW EACH RFI, DETERMINE ACTION REQUIRED, AND RESPOND. ALLOW 7 WORKING DAYS FOR ARCHITECT RESPONSE FOR EACH RFI. RFIS RECEIVED BY DESIGNER AFTER 1:00 P.M. WILL BE CONSIDERED AS RECEIVED THE FOLLOWING WORKING DAY. HIGH PRIORITY OR TIME SENSITIVE RFI'S MAY BE MARKED SUCH AND ARCHITECT WILL MAKE EVER EFFORT TO RESPOND IN A SHORTER REASONABLE TIME PERIOD TO HELP AVOID CONSTRUCTION DELAYS.

1. THE FOLLOWING CONTRACTOR-GENERATED RFIS WILL BE RETURNED WITHOUT

A. REQUESTS FOR APPROVAL OF SUBMITTALS.

B. REQUESTS FOR APPROVAL OF SUBSTITUTIONS. C. REQUESTS FOR APPROVAL OF CONTRACTOR'S MEANS AND METHODS. D. REQUESTS FOR COORDINATION INFORMATION ALREADY INDICATED IN THE CONTRACT DOCUMENTS. E. REQUESTS FOR ADJUSTMENTS IN THE CONTRACT TIME OR THE CONTRACT SUM. F. REQUESTS FOR INTERPRETATION OF DESIGNER'S ACTIONS ON SUBMITTALS. G. INCOMPLETE RFIS OR INACCURATELY PREPARED RFIS.

2. DESIGNER'S ACTION MAY INCLUDE A REQUEST FOR ADDITIONAL INFORMATION, IN WHICH CASE DESIGNER'S TIME FOR RESPONSE WILL DATE FROM TIME OF RECEIPT OF ADDITIONAL INFORMATION. 3. DESIGNER'S ACTION ON RFIS THAT MAY RESULT IN A CHANGE TO THE CONTRACT TIME OR THE CONTRACT SUM MAY BE ELIGIBLE FOR CONTRACTOR TO SUBMIT CHANGE PROPOSAL ACCORDING TO SECTION 012600 "CONTRACT MODIFICATION

A. IF CONTRACTOR BELIEVES THE RFI RESPONSE WARRANTS CHANGE IN THE CONTRACT TIME OR THE CONTRACT SUM, NOTIFY ARCHITECT IN WRITING WITHIN 10 DAYS OF RECEIPT OF THE RFI RESPONSE D. RFI LOG: PREPARE, MAINTAIN, AND SUBMIT A TABULAR LOG OF RFIS ORGANIZED BY THE RFI NUMBER. SUBMIT LOG WEEKLY. USE CSI LOG FORM 13.2B OR OTHER APPROVED CONTRACTOR FORM

2. NAME AND ADDRESS OF CONTRACTOR.

3. NAME AND ADDRESS OF DESIGNER 4. RFI NUMBER INCLUDING RFIS THAT WERE RETURNED WITHOUT ACTION OR

PROCEDURES."

WITHDRAWN. RFI DESCRIPTION.

6. DATE THE RFI WAS SUBMITTED.

7. DATE ARCHITECTS RESPONSE WAS RECEIVED.

F. ON RECEIPT OF ARCHITECTS ACTION, UPDATE THE RFI LOG AND IMMEDIATELY DISTRIBUTE THE RFI RESPONSE TO AFFECTED PARTIES. REVIEW RESPONSE AND NOTIFY DESIGNER WITHIN 7 DAYS IF CONTRACTOR DISAGREES WITH RESPONSE.

1. IDENTIFICATION OF RELATED MINOR CHANGE IN THE WORK, CONSTRUCTION CHANGE DIRECTIVE, AND PROPOSAL REQUEST, AS APPROPRIATE.

2. IDENTIFICATION OF RELATED FIELD ORDER, WORK CHANGE DIRECTIVE, AND PROPOSAL REQUEST, AS APPROPRIATE.

BUILDING CODE REQUIREMENTS

1. SEPARATE PERMITS ARE REQUIRED PER DBCA SECTION 140.7 FOR THE WORK LISTED BELOW:

AIR CONDITIONING UNITS EXHAUST FANS (KITCHEN OR BATH) RANGE HOOD VENTS

FURNACES AND DUCTWORK FIREPLACES, GAS LOGS & DECORATIVE FUEL FIRED APPLIANCES

WATER HEATER (TANK & TANKLESS)

GAS PIPING ELECTRICAL WORK FENCES –ZONING ONLY, 1R REQUIRED IF OVER 8 FEET IN HEIGHT

PI UMBING RETAINING WALLS OVER 3 FEET REQUIRES 1R ROOFING

2. PUBLIC WORKS: PER REVISED MUNICIPAL CODE 49-81 TO 49-84, THIS PROJECT MAY REQUIRE PUBLIC RIGHT OF WAY IMPROVEMENTS. CONTACT PUBLIC WORKS RIGHT OF WAY SERVICES CONSTRUCTION ENGINEERING AT 303-446-3469.

SITE WORK AND FOUNDATION

3. AS-BUILT SETBACK VERIFICATION FORM REQUIRED ON SITE IF PROPOSED STRUCTURE IS WITHIN 1'-0" (305 MM) (ONE FOOT) OF ZONE DISTRICT SETBACK. SURVEYOR MUST VERIFY WHEN FORMS ARE IN PLACE, BEFORE CONCRETE IS POURED, IN ACCORDANCE WITH DBCA, ADMIN. SEC. 133.3.

4. PROVIDE A 6 FEET HIGH CONSTRUCTION FENCE AROUND THE CONSTRUCTION SITE (PLASTIC IS NOT ALLOWED). CONTACT THE CONSTRUCTION INSPECTOR BETWEEN 7:30-8:30 AM OR 2:00-3:30 PM AT 720-865-2520/2525.

5. FOR EXCAVATION CUTS & OPEN PITS SHALL COMPLY WITH ADMIN. 130.2A PROTECT EXCAVATION PER DIRECTION OF LICENSED SOILS ENGINEER. A P.E. SOILS REPORT SHALL BE ON SITE AT TIME OF EXCAVATION PER DBCA R401.

6. SEPARATE PERMIT REQUIRED FOR PARTIAL OR TOTAL DEMOLITION OF ANY BUILDING TO CLEAR THE SITE PER IBC 3303, SECTION 3303 & 3307.1 AND DBCA 126.4. EXCAVATION AND/OR SHORING: NO EXCAVATION FOR SEVEN (7) DAYS AFTER THE SHORING HAS BEEN INSTALLED AT WHICH TIME A LETTER OF OBSERVATION WILL BE PRESENTED TO THE CONSTRUCTION INSPECTOR.

8. EXCAVATION AND/OR SHORING: WHEN NOT LOCATED WITHIN ONE FOOT OF PROPERTY LINE. AS-BUILT SETBACK INSPECTION IS REQUIRED BEFORE THE FOUNDATION IS POURED. USE THE AUTOMATED INSPECTION REQUEST LINE WITH CODE #115 "SETBACK" FOR CONSTRUCTION PERMITS.

9. EXCAVATION AND/OR SHORING: WHEN LOCATED WITHIN ONE FOOT OF PROPERTY LINE. AS-BUILT SETBACK VERIFICATION INSPECTION BY SURVEYOR IS REQUIRED BEFORE THE FOUNDATION IS POURED. USE THE AUTOMATED INSPECTION REQUEST LINE WITH CODE #115 "SETBACK" FOR CONSTRUCTION PERMITS.

10. FOUNDATION EXCAVATION PER DIRECTION OF LICENSED SOILS ENGINEER. STAMPED ENGINEER'S REPORT SHALL BE ON SITE AT TIME OF FOUNDATION INSPECTION. EXCAVATION CUTS AND OPEN PITS SHALL COMPLY WITH ADMIN. 130.2A PROTECT EXCAVATION PER DIRECTION OF LICENSED SOILS ENGINEER. P.E.'S REPORT SHALL BE ON SITE AT TIME OF EXCAVATION PER DBCA R401.

11. CAISSON AND DRILLED PIER INSTALLATION - SUBMIT ONE COPY OF THE P.E. REPORT TO THE BUILDING INSPECTOR, PER DBCA SECTION 141.2.

12. RETAINING WALLS WITH MORE THAN 48" OF UNBALANCED BACKFILL, AND WALLS RESISTING ADDITIONAL LATERAL LOADS WITH MORE THAN 24" OF UNBALANCED BACKFILL, SHALL BE DESIGNED BY AN ENGINEER. R404.4 13. PERIMETER DRAINAGE SHALL COMPLY WITH THE DETAILED REQUIREMENTS OF

SECTIONS R401.4 & R405.1, AND THE SOILS REPORT FOR THE PROJECT. SUBMIT ORIGINAL STAMPED P.E. INSPECTION REPORT FOR INSTALLATION OF PERIMETER DRAIN IN ACCORDANCE WITH SOILS REPORT REQUIRED BY DBCA, SECTION 401 & SECTION R405.1 & R405.2.3. IF DRAINING TO DAYLIGHT. WORK CAN BE INCLUDED ON 1R CONSTRUCTION PERMIT: CONTACT BUILDING INSPECTION REQUEST LINE FOR INSPECTION, 720-865-2501, USE CODE #102, IF CONNECTED TO SUMP PUMP, INCLUDE WORK ON #4 PLUMBING PERMIT: CONTACT BUILDING INSPECTION REQUEST LINE & USE CODE #400.

14. FINISHED GRADE SHALL SLOPE AWAY FROM THE STRUCTURE 6" FOR THE FIRST 10' (5%) OR SWALES OR DRAINS SHALL BE PROVIDED TO PREVENT DRAINAGE ONTO ADJACENT PROPERTIES. R401.3

15. PATIO AND PORCH CONCRETE SLABS SHALL SLOPE AWAY FROM THE STRUCTURE A MIN. OF 1-2%. R401.2, EXC.

16. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3 PERCENT SLOPE) PER R311.8.1. EXCEPTION: DUE TO SITE CONSTRAINTS, RAMPS MAY HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 8 HORIZONTAL (12.5 PERCENT SLOPE). RAMPS SHALL COMPLY WITH HANDRAIL AND LANDING REQUIREMENTS PER R311.8.3 AND R11.8.2

17. A 6-MIL APPROVED VAPOR RETARDER WITH JOINTS LAPPED MIN 6" SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE, OR OVER THE PREPARED SUBGRADE. NOT REQUIRED AT GARAGES, CARPORTS, UTILITY AND UNHEATED STRUCTURES, AND FLATWORK. R506.2.3 18. CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE

FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4 INCHES WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES ELSEWHERE: PROVIDE AN 8" CLEARANCE TO UNTREATED WOOD SHEATHING OR SIDING (REDWOOD, CEDAR OKAY) PER R404.1.6 AND R317.1.2.

19. PROVIDE A BLOCK-OUT IN THE FOUNDATION FOR INSPECTION OF THE GROUNDED ELECTRODE WIRE CONNECTION TO THE REBAR. IF THE CONNECTION TO REBAR IS INCLUDED IN THE P.E.'S FOUNDATION REPORT. THE GROUNDING WIRE CAN BE ATTACHED TO REBAR STUBBED OUT OF THE FOUNDATION PER NEC SECTION 250.52. 20. ANCHOR BOLTS SHALL COMPLY WITH SECTION R403.1.6. ONE 1/2" (13 MM) BOLT

EMBEDDED AT LEAST 7" (178 MM) INTO CONCRETE OR MASONRY TO BE INSTALLED EVERY 6'-0" (1829 MM) & A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12" (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. ANCHOR BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE.

21. CONTACT NEIGHBORHOOD INSPECTION SERVICES FOR BULK PLANE INSPECTION BEFORE EXTERIOR SHEATHING INSPECTION, 720-865-2501, CODE 114.

22. PROVIDE A MINIMUM OF 3'-0" (914 MM) CLEAR FINISHED WIDTH FOR HALLS & CORRIDORS IN ACCORDANCE WITH SECTION R311.6.

23. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EACH SLEEPING ROOM IN A BASEMENT REQUIRES AN OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. R310.1

24. EMERGENCY ESCAPE & RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., WITH 20" MIN. CLEAR OPENING WIDTH AND 24" MIN. CLEAR OPENING HEIGHT. GRADE LEVEL OR BELOW GRADE OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF MINIMUM 5.0 SQ. FT. WHERE EMERGENCY ESCAPE/RESCUE WINDOWS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR: R310. EMERGENCY ESCAPE WINDOWS UNDER DECKS AND PORCHES SHALL COMPLY WITH R310.2.4.

25. PROVIDE ATTIC AND ENCLOSED RAFTER CROSS-VENTILATION COMPLYING WITH **REQUIREMENTS OF R806.1**

26. UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES ARE REQUIRED TO COMPLY WITH ALL OF THE CONDITIONS LISTED UNDER R806.5. INSULATION FOR CONDENSATION CONTROL IN CLIMATE ZONE 5 REQUIRES MINIMUM R-20 IMPERMEABLE INSULATION IN ADDITION TO OTHER INSULATION REQUIREMENTS.

27. PROVIDE SOLID BLOCKING BELOW ALL POSTS AT FLOOR LEVEL. ALL POSTS SHALL BE SUPPORTED CONTINUOUSLY DOWN TO SOLID BEARING ON A BEAM OR FOUNDATION WALL PER SECTION R301.1.

28. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM THE SUPPORTING GIRDER, WALLS OR PARTITIONS MORE THAN THE DEPTH OF THE JOIST. PROVIDE STAMPED CALCULATIONS OTHERWISE AND DEMONSTRATE THE RESULTING DEFLECTION IS NOT MORE THAN L/360. R502.4

29. BASEMENT FRAMED WALLS SHALL BE "FLOATED" AT THE BOTTOM PLATE A MIN. OF 3" TO ACCOMMODATE SLAB MOVEMENT.

30. PROVIDE FIRE BLOCKING, PER SECTION R302.11.

31. PROVIDE RAFTER CONNECTIONS SHALL COMPLY WITH SECTION R802.3.1. 32. SIDE-LOADED MULTIPLE LVL BEAMS SHALL BE FASTENED PER MANUFACTURER

33. PROVIDE DRAFT STOPPING PER SECTION R302.12.

34. TRUSS CALCULATIONS APPROVED BY THE PROJECT ENGINEER SHALL BE ON SITE FOR THE FRAMING INSPECTIONS.

35. WELDING TO BE PERFORMED BY A CERTIFIED WELDER.

EXTERIOR FINISHES

36. EXTERIOR WALL COVERINGS SHALL COMPLY WITH ALL REQUIREMENTS OF R703 FOR WATER AND WIND RESISTANCE, AND FASTENINGS. APPLY ONE LAYER OF WATERPROOF FELT OR BUILDING PAPER ON THE EXTERIOR SURFACE OF THE EXTERIOR WALL PRIOR TO INSTALLATION EXTERIOR FINISHES PER R703.2. PROVIDE FLASHING AT ALL OPENINGS TO COMPLY WITH REQUIREMENTS OF R703.4.

37. WOOD AND HARDBOARD SIDING SHALL COMPLY WITH REQUIREMENTS OF R703.5. 38. FIBER-CEMENT OR COMPOSITE SIDING SHALL COMPLY WITH R703.10

39. STUCCO/EXTERIOR CEMENT PLASTER INSTALLATION SHALL COMPLY WITH R703.7, WITH WEEP SCREEDS AS REQUIRED BY R703.7.2.1. FOR ALL TYPES OF STUCCO OVER WOOD FRAMING, PROVIDE TWO LAYERS OF "GRADE D" PAPER ON THE EXTERIOR SURFACE OF THE EXTERIOR WALL IN ACCORDANCE WITH SECTION R703.7.3. EIFS SYSTEMS SHALL COMPLY WITH REQUIREMENTS OF R703.9. AND SHALL TERMINATE NOT LESS THAN 6" (152 MM) ABOVE GRADE, IN ACCORDANCE WITH SECTION R703.9.1.5. ICC-ES EVALUATION REPORT TO BE ON-SITE FOR INSPECTION.

40. MASONRY VENEER SHALL BE INSTALLED IN COMPLIANCE WITH THE REQUIREMENTS OF R703.8. APPLY ONE LAYER OF 15# WATERPROOF FELT OR BUILDING PAPER ON THE EXTERIOR SURFACE OF THE EXTERIOR WALL PRIOR TO INSTALLATION OF BRICK VENEER OR ANY OTHER EXTERIOR FINISHES PER SECTION R703.2, TABLE R703.4.

41. PROVIDE P.E. STAMPED DESIGN WITH CALCULATIONS FOR STEEL LINTELS OR BEAMS THAT SUPPORT MASONRY. DEFLECTION SHALL NOT BE LESS THAN 1/600TH OF THE SPAN OF THE SUPPORTING MEMBERS, IN ACCORDANCE WITH SECTION

ROOFING

WINDOWS AND SKYLIGHTS

42. ROOFS WITH A SLOPE/PITCH OF 2:12 TO 4:12 SHALL HAVE A DOUBLE LAYER OF ROOFING UNDERLAYMENT PER R905.1.1/R905.2.2 ON ROOF SLOPES FROM 2:12 TO 4:12, AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET CAN SUBSTITUTE FOR A DOUBLE UNDERLAYMENT INSTALLATION. DBCA R905.2.7

43. BUILT-UP ROOF FLASHING: DBCA SECTION R905.9.4 REQUIRES THAT FLASHING AT ALL VERTICAL WALLS AND CURBS SHALL COMPLY WITH THE MFR'S SPECS AND WITH THE 6 REQUIREMENTS LISTED IN SECTION R905.9.

44. EQUIPMENT PLACED OVER ROOFING SHALL BE SUPPORTED BY 8" LEGS OR PADS WHICH SHALL NOT INHIBIT THE FLOW OF WATER FROM THE ROOF. DBCA R903.2.5 45. THE INSTALLATION OF GUTTERS & DOWNSPOUTS SHALL COMPLY WITH SECTION R903.4 AND THE SOILS REPORT PROVIDED FOR THE PROJECT.

47. FLASHING FOR INTERIOR ROOF DRAINS SHALL COMPLY WITH THE REQUIREMENTS

46. PROVIDE DRAINAGE AT ROOFTOP DECKS TO COMPLY WITH REQUIREMENTS OF

48. CONTACT ROOFING INSPECTORS (720-865- 2520) BETWEEN 7:30 - 8:30 AM OR 2:00 -3:30 PM FOR REQUIREMENTS REGARDING WALKING SURFACE ON ROOF.

49. ALL HABITABLE ROOMS AND SPACES SHALL HAVE NATURAL LIGHT AND VENTILATION COMPLYING WITH THE REQUIREMENTS OF R303.1. NATURAL LIGHTING SHALL BE MIN. 8% OF THE FLOOR AREA AND NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA. IN LIEU OF THIS, ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION REQUIREMENTS SHALL BE NOTED ON THE PLANS IN COMPLIANCE WITH R303.1, EXCEPTIONS 1 & 2.

50. BATHROOMS AND WATER CLOSET COMPARTMENTS SHALL HAVE AT LEAST 3 SF OF NATURAL LIGHT AND 1.5 SF OF NATURAL VENTILATION, OR ARTIFICIAL LIGHT AND MECHANICAL VENTILATION AT MIN. 50 CFM FOR INTERMITTENT OR 20 CFM CONTINUOUS, R303.3 PROVIDE NATURAL OR MECHANICAL VENTILATION TO BATHROOM AND A WATER CLOSET COMPARTMENT PER R303.3/R303.4, AND SECTION M1507.1. EXHAUST TO THE EXTERIOR.

51. GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY R308.4 SHALL COMPLY WITH REQUIREMENTS FOR SAFETY GLASS. R308.4.7

STAIRS, HANDRAILS AND GUARDS

52. STAIR CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R311.7. PROVIDE A MINIMUM CLEAR WIDTH OF 36", A MAXIMUM RISE OF 7 3/4" AND MINIMUM RUN OF 10". PROVIDE A MINIMUM OF 6'-8" HEADROOM FROM THE NOSE OF THE TREAD TO THE CEILING, SOFFIT, OR ANY PROJECTION ABOVE PER SECTION R311.7.2. <u>WINDER STAIR:</u> MIN. 10" TREADS AT WALKLINE OF 12" FROM THE NARROW SIDE. MINIMUM 6" TREAD AT ANY POINT. MAX. 3/8" VARIATION IN TREAD WIDTH: R311.7.4 AND R311.7.5.2.1. SPIRAL STAIRS: ARE PERMITTED AS A MEANS OF EGRESS IF COMPLYING WITH R311.7.5.1 EXC., AND R311.7.10.1.

53. TREAD NOSINGS AT SOLID RISERS SHALL BE MINIMUM 0.75" AND MAX. 1.75" BEYOND THE RISER. NOSING PROJECTIONS ARE NOT REQUIRED AT 11" OR DEEPER.

54. LANDINGS SHALL COMPLY WITH SECTION R311.3 (DOORS) & R311.7.6 (STAIRS).

55. STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDS AT MIN. 34" ABOVE THE NOSINGS, AND HANDRAILS/GRIPS LOCATED 34"- 38" ABOVE THE NOSING OF THE TREAD. HANDRAILS SHALL NOT BE LESS THAN 11/2" FROM WALL, AND SIZED PER R311.7.8.3. THE ENDS OF THE HANDRAILS SHALL BE RETURNED INTO WALL OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS PER SECTION R311.7.8.2. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. R311.7.7

56. GUARDS SHALL BE A MINIMUM OF 36" IN HEIGHT AT STAIRS, PORCHES, BALCONIES, DECKS, AROUND FLOORS OPEN TO BELOW, OR LANDINGS THAT ARE MORE THAN 30" ABOVE GRADE AT ANY POINT WITHIN 36" HORIZONTALLY OF ITS EDGE GUARDS ON THE OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER, R312.1.3. GUARD DESIGN AND CONNECTION TO THE STRUCTURE SHALL COMPLY WITH REQUIREMENTS OF TABLE R301.5 FOR LIVE

57. EXTERIOR PLASTIC COMPOSITE STAIR TREADS, HANDRAILS, GUARDS AND DECK BOARDS SHALL COMPLY WITH R507.3 AND R311.7.5.4.

58. PROVIDE ½" TYPE C OR 5/8" DRYWALL ON ALL CEILINGS WITH JOISTS MORE THAN 59. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL BE SEPARATED WITH

MIN.1/2" GYPSUM BOARD ON WALLS AND UNDERSIDE OF STAIRS PER SECTION R302.7. 60. BATHTUB AND SHOWER FLOORS, AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWERHEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE, NOT LESS THAN 6'-0" ABOVE FLOOR PER SECTION R307.2. MINIMUM FIXTURE CLEARANCES SHALL COMPLY WITH FIGURE R307.1. HINGED SHOWER DOORS (SAFETY GLASS) SHALL OPEN OUTWARD AND THE OPENING SHALL HAVE A MINIMUM CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF 22 INCHES PER

FIRE SAFETY AND FIRE-RESISTANT CONSTRUCTION

61. PROVIDE SMOKE ALARMS PER SECTION R314; IN EACH SLEEPING ROOM, IN THE IMMEDIATE VICINITY OUTSIDE OF EACH BEDROOM; ON EACH STORY; AND NOT LESS THAN THREE FEET (3') FROM THE DOOR OPENING OF A BATHROOM WITH A TUB OR SHOWER. A ROOM CALLED A STUDY, OFFICE, LOFT, STUDIO, ETC. WITH A CLOSET SHALL HAVE A SMOKE ALARM (POTENTIAL BEDROOM/SLEEPING AREA). ROOFTOF STAIRWELLS SHALL HAVE A SMOKE ALARM AT ITS HIGHEST POINT. FOR INSTALLATIONS NEAR COOKING EQUIPMENT, SEE R314.3.1 (IONIZATION ALARMS MIN. 20 FEET FROM COOKING APPLIANCE).

62. PROVIDE <u>CARBON MONOXIDE ALARMS</u> COMPLYING WITH 2016 DBCA SECTION R315. CO ALARMS SHALL BE OUTSIDE AND WITHIN 15 FT OF BEDROOM DOORS; IN A CENTRAL LOCATION ON ALL FLOORS; AND IN A CENTRAL LOCATION IN EVERY SLEEPING ROOM THAT CONTAINS A FUEL-BURNING APPLIANCE. R315: CO ALARMS CAN NOW BE PLUGGED INTO RECEPTACLES. WITH A BATTERY BACK-UP. R315.5 VISUAL NOTIFICATION IS REQUIRED IS DWELLING UNITS REQUIRED TO BE ACCESSIBLE, COMPLYING WITH UL1971.

63. FOAM PLASTIC INSULATION SHALL COMPLY WITH REQUIREMENTS OF SECTION

ENERGY EFFICIENCY

64. DUCT INSULATION, SEALING AND TESTING SHALL COMPLY WITH ALL REQUIREMENTS OF N1103.3.

65. CONTINUOUSLY-OPERATING CIRCULATION PUMPS FOR HEATED-WATER TEMPERATURE-MAINTENANCE SYSTEMS ARE NOT PERMITTED. N1103.5 66. PROGRAMMABLE THERMOSTATS ARE REQUIRED FOR THE HEATING AND COOLING

67. HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS

SHALL COMPLY WITH THE REQUIREMENTS OF N1103.5.1.

68. A PERMANENT CERTIFICATE OF ENERGY EFFICIENCY SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL WHERE THE FURNACE IS LOCATED, OR UTILITY OR OTHER APPROVED ROOM. CERTIFICATE CONTENTS SHALL COMPLY WITH REQUIREMENTS OF N1101.14 (R401.3).

1.ALL MECHANICAL WORK SHALL COMPLY WITH REQUIREMENTS OF THE 2015 IMC. 2. PROVIDE NATURAL OR MECHANICAL VENTILATION TO BATHROOMS AND WATER

CLOSET COMPARTMENTS IN ACCORDANCE WITH R303.3 AND M1507.1.

3. WATER HEATER LOCATION SHALL COMPLY WITH SECTION M2005. 4. KITCHEN HOODS RATED OVER 400 CFM SHALL BE PROVIDED WITH A SOURCE OF MAKEUP AIR PER SECTION M1503.4 EXHAUST SHALL COMPLY WITH SECTION M1507.3. MICROWAVE OVENS INSTALLED OVER KITCHEN RANGES SHALL COMPLY WITH

5. CLOTHES DRYER EXHAUST DUCT POWER-VENTILATORS SHALL CONFORM TO UL705, SHALL BE LISTED AND LABELED, AND SHALL BE INSTALLED PER MFR'S INSTRUCTIONS, WHICH INSTRUCTIONS SHALL BE PROVIDED TO THE INSPECTOR AT CLOSE-IN. M1502.4.4

6. A DRYER EXHAUST DUCT EXCEEDING 35 FEET SHALL HAVE THE LENGTH IDENTIFIED ON A PERMANENT LABEL OR TAG WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION TO THE DRYER (CONCEALED OR NOT). M1502.4.6

7. INSTALLATION & LOCATION OF WARM AIR FURNACE SHALL COMPLY WITH IRC,

SECTIONS M1305.1.2, & SECTION G2406. FURNACES MAY BE INSTALLED IN ATTIC SPACE PER SECTION M1305.1.3 AND IN CRAWLSPACE PER M1305.1.4. CONTACT CHIEF MECHANICAL INSPECTOR AT 720-865-2560/2565. 8. MAXIMUM EXHAUST DUCT LENGTHS SHALL COMPLY WITH THE REQUIREMENTS OF

9. SNAP-LOCK AND BUTTON-LOCK DUCT SEAMS ARE REQUIRED TO BE SEALED. AND TAPES AND MASTICS FOR METAL DUCTS MUST BE LISTED TO CONFORM TO UL181 B.

TABLE M1506.2.

M1601.4

1. THE ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2014 NEC AND IRC CHAPTERS 36-41.

2. NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS, OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS; EXCEPTION: LOW-VOLTAGE LIGHTING. N1104.1

3. RECESSED LIGHT FIXTURES IN THE THERMAL BUILDING ENVELOPE SHALL COMPLY WITH N1102.4.5. RECESSED LIGHT FIXTURE OPENINGS IN A FIRE-SEPARATION ASSEMBLY SHALL BE INSTALLED SUCH THAT THE FIRE-RATING WILL NOT BE

4. PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) PROTECTION IN ACCORDANCE WITH ALL REQUIREMENTS OF IRC E3902, AND NEC. SECTION 210.12.

5. GFCIS ARE REQUIRED AT LAUNDRY AREAS. WITHIN 6 FEET OF BATHTUBS AND SHOWERS, AND AT DISHWASHER RECEPTACLES. E3901.8

6. PROVIDE AT LEAST ONE RECEPTACLE OUTLET FOR EACH VEHICLE SPACE IN A GARAGE. THE OUTLETS SHALL BE SERVED BY A SEPARATE BRANCH CIRCUIT THAT DOES NOT SUPPLY OUTLETS NOT IN THE GARAGE. E3901.9

7. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN

ACCORDANCE WITH UL 235 PER R309.4. **PLUMBING**

1. ALL PLUMBING WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 IPC. 2. PLUMBING FIXTURES AND SYSTEM DESIGNS SHALL COMPLY WITH THE REQUIREMENTS FOR WATER CONSERVATION IN THE INTERNATIONAL PLUMBING

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DIGITAL SIGNATURE



BUILDING PERMIT

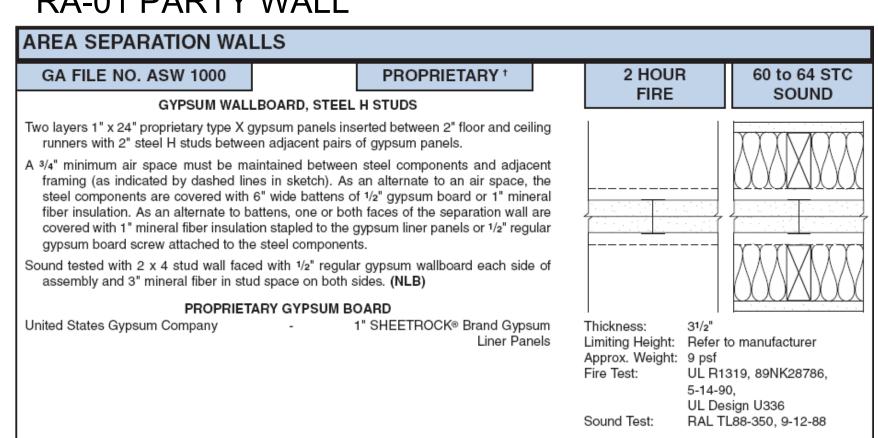
PROJ. NO. 16021 DRAWN: DG & CA CHECKED: 11.14.2018

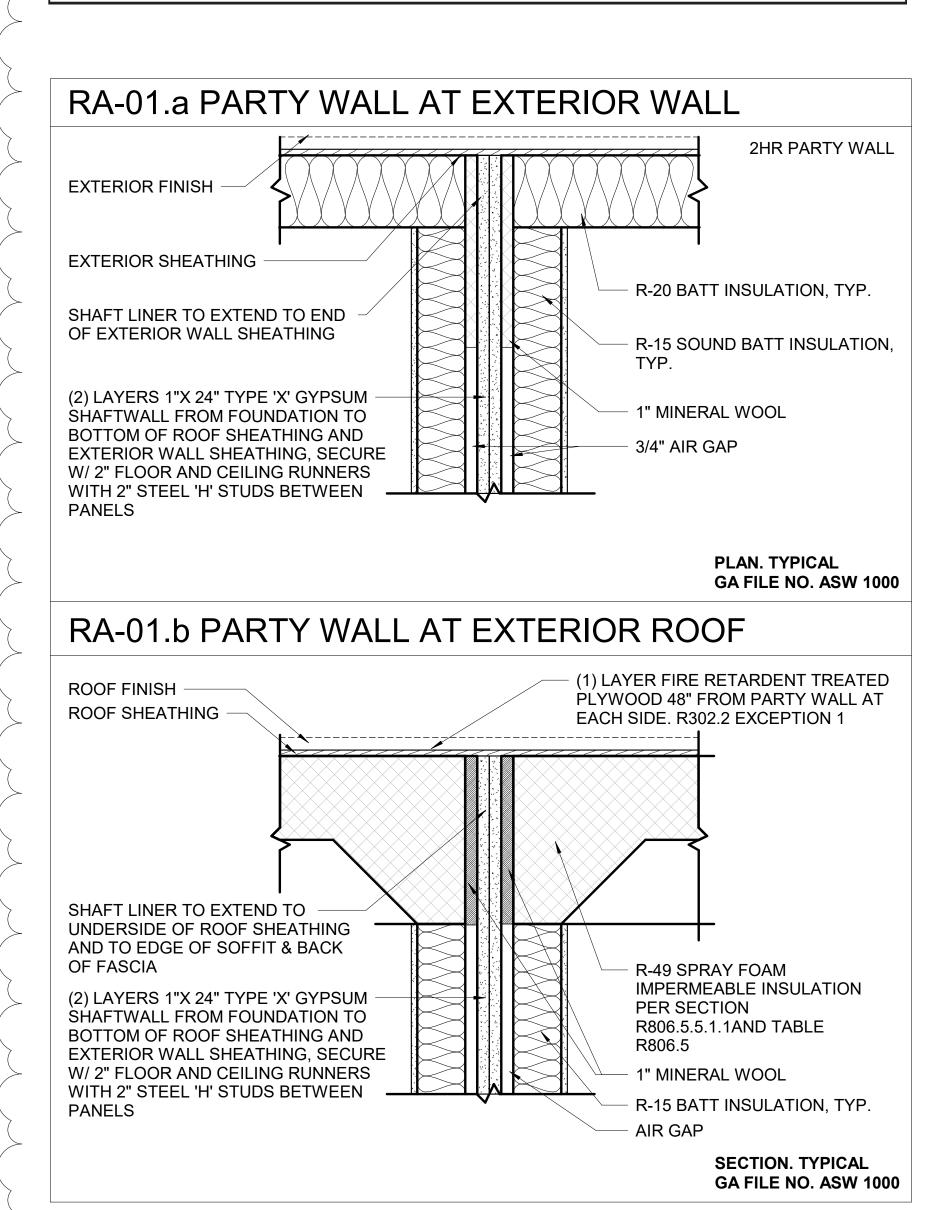
> Revision Schedule Revision | Revision | Revision Number | Description | Date

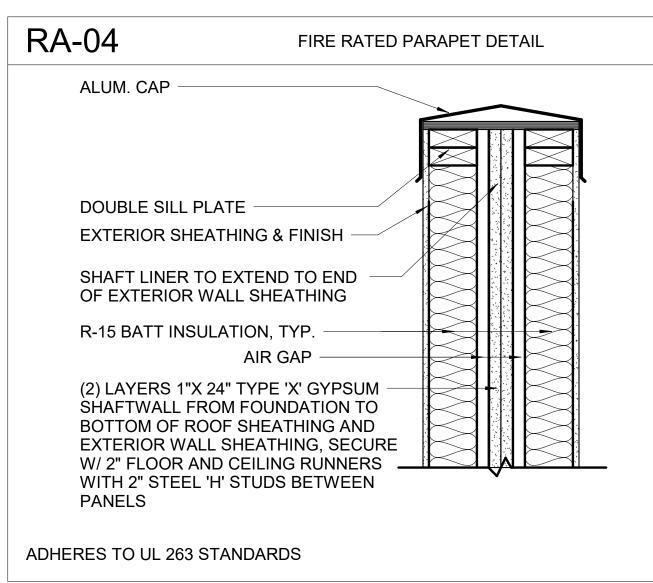
SHEET TITLE: **GENERAL NOTES**

SCALE: 1 1/2" = 1'-0" SHEET NUMBER

RA-01 PARTY WALL







BUILDING AREAS

Number

UNIT 1

UNIT 1

UNIT 1

UNIT 1

UNIT 1

Number

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 3

UNIT 3

UNIT 3

UNIT 3

UNIT 3

Number

UNIT 4

UNIT 4

UNIT 4

UNIT 4

UNIT 4

Number

UNIT 6

UNIT 6

UNIT 6

UNIT 6 UNIT 6 UNIT 6

UNIT 6

UNIT 6

UNIT 6

UNIT 6

UNIT 6

UNIT 6

Balcony

UNIT 6 Roof Deck

SECOND FLOOR 64 SF

782 SF

1882 SF

3747 SF

ROOF

BUILDING 3

BUILDING 3

AREA SCHEDULE, TYPE A UNIT

	ANEA	SCHEDULE, TIPE A	UNIT			ANEA	SCHEDULE. TIPE E U	NI 13(0)	
•	Area Name	LEVEL	AREA	Building	Number	Area Name	LEVEL	AREA	Buildir
	First Love	FIRST FLOOR	262.05	DI III DINO 4	LINIT	Circt Lovel	FIDET FLOOD	00.05	DI III DINI
	First Level	FIRST FLOOR	363 SF	BUILDING 1	UNIT 3	First Level	FIRST FLOOR	99 SF	BUILDIN
;	Second Level	SECOND FLOOR	587 SF	BUILDING 1	UNIT 3	Second Level	SECOND FLOOR	347 SF	BUILDIN
		FIDOT FLOOD	951 SF		UNIT 3	Third Level	THIRD FLOOR	347 SF	BUILDIN
	Garage -	FIRST FLOOR	224 SF	BUILDING 1	UNIT 3	Roof Access	ROOF	96 SF	BUILDIN
	Balcony	SECOND FLOOR	61 SF	BUILDING 1				888 SF	
	Roof Deck	THIRD FLOOR	487 SF	BUILDING 1	UNIT 3	Garage	FIRST FLOOR	248 SF	BUILDIN
			772 SF		UNIT 3	Balcony	SECOND FLOOR	48 SF	BUILDIN
			1723 SF		UNIT 3	Roof Deck	ROOF	251 SF	BUILDIN
								546 SF	•
	AREA SO	CHEDULE, TYPE B U	NITS(2)					1434 SF	
			. ,		UNIT 3	First Level	FIRST FLOOR	99 SF	BUILDIN
	Area Name	LEVEL	AREA	Building	UNIT 3	Second Level	SECOND FLOOR	347 SF	BUILDIN
					UNIT 3	Third Level	THIRD FLOOR	347 SF	BUILDIN
	First Level	FIRST FLOOR	354 SF	BUILDING 1	UNIT 3	Roof Access	ROOF	96 SF	BUILDIN
	Second Level	SECOND FLOOR	578 SF	BUILDING 1	01111	11001710000	1.001	888 SF	BOILDIN
			931 SF		UNIT 3	Garage	FIRST FLOOR	248 SF	BUILDIN
	Garage	FIRST FLOOR	224 SF	BUILDING 1	UNIT 3	Balcony	SECOND FLOOR	48 SF	BUILDIN
I	Balcony	SECOND FLOOR	48 SF	BUILDING 1	UNIT 3	Roof Deck	ROOF	251 SF	BUILDIN
I	Roof Deck	THIRD FLOOR	578 SF	BUILDING 1	UNITS	Rooi Deck	ROOF		DUILDIN
			849 SF					546 SF	
			1781 SF					1434 SF	
	First Level	FIRST FLOOR	354 SF	BUILDING 1				2869 SF	
	Second Level	SECOND FLOOR	578 SF	BUILDING 1	UNIT 4	First Level	FIRST FLOOR	99 SF	BUILDIN
	Occoria Ecver	OLOGIAD I LOGIK	931 SF	DOILDING 1	UNIT 4	Second Level	SECOND FLOOR	347 SF	BUILDIN
	Carago	FIRST FLOOR	224 SF	BUILDING 1	UNIT 4	Third Level	THIRD FLOOR	347 SF	BUILDIN
	Garage				UNIT 4	Roof Access	ROOF	96 SF	BUILDIN
	Balcony	SECOND FLOOR	48 SF	BUILDING 1				888 SF	•
	Roof Deck	THIRD FLOOR	578 SF	BUILDING 1	UNIT 4	Garage	FIRST FLOOR	248 SF	BUILDIN
			849 SF		UNIT 4	Balcony	SECOND FLOOR	48 SF	BUILDIN
			1781 SF		UNIT 4	Roof Deck	ROOF	251 SF	BUILDIN
	۸۵۵۸		LINUT					546 SF	
	AKEA	SCHEDULE, TYPE C	UNII					1434 SF	
•	Area Name	LEVEL	AREA	Building	UNIT 4	First Level	FIRST FLOOR	99 SF	BUILDIN
•					UNIT 4	Second Level	SECOND FLOOR	347 SF	BUILDIN
	First Level	FIRST FLOOR	343 SF	BUILDING 1	UNIT 4	Third Level	THIRD FLOOR	347 SF	BUILDIN
	Second Level	SECOND FLOOR	570 SF	BUILDING 1	UNIT 4	Roof Access	ROOF	96 SF	BUILDIN
			913 SF		ONT 4	11001 Access	INOOI	888 SF	DOILDIN
	Balcony	SECOND FLOOR	64 SF	BUILDING 1	UNIT 4	Caraga	FIRST FLOOR	248 SF	DI III DIN
	Garage	FIRST FLOOR	227 SF	BUILDING 1		Garage			BUILDIN
	Roof Deck	THIRD FLOOR	570 SF	BUILDING 1	UNIT 4	Balcony	SECOND FLOOR	48 SF	BUILDIN
'	T CO D CO C	1111112120011	861 SF	BOILDING	UNIT 4	Roof Deck	ROOF	251 SF	BUILDIN
			1774 SF					546 SF	
			1774 31					1434 SF	
	AREA SO	CHEDULE, TYPE D U	NITS(2)		<u>-</u>	1		2869 SF	1
				D:1.J.	UNIT 5	First Level	FIRST FLOOR	99 SF	BUILDIN
	Area Name	LEVEL	AREA	Building	UNIT 5	Second Level	SECOND FLOOR	347 SF	BUILDIN
1.	- · , · ·	FIDOT EL COE	04.0=	DI III DI II D	UNIT 5	Third Level	THIRD FLOOR	347 SF	BUILDIN
	First Level	FIRST FLOOR	81 SF	BUILDING 2	UNIT 5	Roof Access	ROOF	96 SF	BUILDIN
	Second Level	SECOND FLOOR	454 SF	BUILDING 2				888 SF	
	Third Level	THIRD FLOOR	454 SF	BUILDING 2	UNIT 5	Garage	FIRST FLOOR	248 SF	BUILDIN
	Roof Access	ROOF	109 SF	BUILDING 2	UNIT 5	Balcony	SECOND FLOOR	48 SF	BUILDIN
			1099 SF		UNIT 5	Roof Deck	ROOF	251 SF	BUILDIN
	Garage	FIRST FLOOR	373 SF	BUILDING 2		1	l	546 SF	
	Balcony	SECOND FLOOR	48 SF	BUILDING 2				1434 SF	
	Roof Deck	ROOF	345 SF	BUILDING 2	UNIT 5	First Level	FIRST FLOOR	99 SF	BUILDIN
		ı	767 SF		UNIT 5	Second Level	SECOND FLOOR	347 SF	BUILDIN
			1866 SF						
	First Level	FIRST FLOOR	82 SF	BUILDING 3	UNIT 5	Third Level	THIRD FLOOR	347 SF	BUILDIN
	Second Level	SECOND FLOOR	454 SF	BUILDING 3	UNIT 5	Roof Access	ROOF	96 SF	BUILDIN
	Third Level	THIRD FLOOR	454 SF	BUILDING 3	I— =		FIDOT TI COT	888 SF	B =
		ROOF	109 SF	BUILDING 3	UNIT 5	Garage	FIRST FLOOR	248 SF	BUILDIN
	Roof Access	NOOF		טטונטוואט ז	UNIT 5	Balcony	SECOND FLOOR	48 SF	BUILDIN
1.	Corosa	EIDOT EL COD	1099 SF		UNIT 5	Roof Deck	ROOF	251 SF	BUILDIN
	Garage	FIRST FLOOR	373 SF	BUILDING 3 BUILDING 3				546 SF	
	Balconv	SECOND FLOOR	64 SF					1121 CE	

	AREA S	CHEDULE. TYPE E UNITS(6) AREA SCHEDULE, TYPE F UNITS(2)								
nber	Area Name	LEVEL	AREA	Building	Number	Area Name	LE	VEL	AREA	Building
3	First Level	FIRST FLOOR	99 SF	BUILDING 2	UNIT 2	First Level	FIRST FL	OOR	83 SF	BUILDING
3	Second Level	SECOND FLOOR	347 SF	BUILDING 2	UNIT 2	Second Level	SECOND		462 SF	BUILDING BUILDING
3	Third Level	THIRD FLOOR	347 SF	BUILDING 2	UNIT 2	Third Level	THIRD FL	.UUR	462 SF	
3	Roof Access	ROOF	96 SF	BUILDING 2	UNIT 2	Roof Access	ROOF		114 SF	BUILDING
	0	FIDOT FLOOD	888 SF	DI III DINO 0	LINUT	0	FIDOT FI	000	1121 SF	DI III DINO
3	Garage	FIRST FLOOR	248 SF	BUILDING 2	UNIT 2	Garage	FIRST FL		379 SF	BUILDING
3	Balcony	SECOND FLOOR	48 SF	BUILDING 2	UNIT 2	Balcony	SECOND	FLOOR	64 SF	BUILDING
3	Roof Deck	ROOF	251 SF	BUILDING 2	UNIT 2	Roof Deck	ROOF		361 SF	BUILDING
			546 SF						805 SF	
2	First Lavel	FIDOT FLOOD	1434 SF	DI III DING 2	LINUT	Cinct I arrel	CIDOT CI	000	1926 SF	DI III DING
3	First Level	FIRST FLOOR	99 SF	BUILDING 3	UNIT 2	First Level	FIRST FL		83 SF	BUILDING
3	Second Level	SECOND FLOOR	347 SF	BUILDING 3	UNIT 2	Second Level	SECOND		462 SF	BUILDING
3	Third Level	THIRD FLOOR	347 SF	BUILDING 3	UNIT 2	Third Level	THIRD FL	.OOR	462 SF	BUILDING
3	Roof Access	ROOF	96 SF	BUILDING 3	UNIT 2	Roof Access	ROOF		114 SF	BUILDING
			888 SF						1121 SF	
3	Garage	FIRST FLOOR	248 SF	BUILDING 3	UNIT 2	Garage	FIRST FL		379 SF	BUILDING
3	Balcony	SECOND FLOOR	48 SF	BUILDING 3	UNIT 2	Garage	SECOND	FLOOR	64 SF	BUILDING
3	Roof Deck	ROOF	251 SF	BUILDING 3	UNIT 2	Roof Deck	ROOF		361 SF	BUILDING
			546 SF						805 SF	
			1434 SF						1926 SF	
_			2869 SF						3852 SF	
4	First Level	FIRST FLOOR	99 SF	BUILDING 2		ARE	A SCHEDU	LE, TYPE (G(2)	
4	Second Level	SECOND FLOOR	347 SF	BUILDING 2	Number	Area Name	I F	VEL	AREA	Building
4	Third Level	THIRD FLOOR	347 SF	BUILDING 2	Number	Alea Name		VLL	AILA	Dallaling
4	Roof Access	ROOF	96 SF	BUILDING 2	UNIT 1	First Level	FIRST FL	00P	352 SF	BUILDING
	_		888 SF		UNIT 1	Second Level	SECOND		354 SF	BUILDING
4	Garage	FIRST FLOOR	248 SF	BUILDING 2		Roof Access			144 SF	BUILDING
4	Balcony	SECOND FLOOR	48 SF	BUILDING 2	UNIT 1	Rooi Access	THIRD FL	.UUR		BUILDING
4	Roof Deck	ROOF	251 SF	BUILDING 2	LINUT 4	Deleany	SECOND		850 SF	
			546 SF		UNIT 1	Balcony	SECOND		54 SF	BUILDING
			1434 SF		UNIT 1	Roof Deck	THIRD FL	.UUR	209 SF	BUILDING
4	First Level	FIRST FLOOR	99 SF	BUILDING 3					262 SF	
4	Second Level	SECOND FLOOR	347 SF	BUILDING 3	LINUT	Final 1	FIDOT FI	000	1112 SF	DI III DINIO
4	Third Level	THIRD FLOOR	347 SF	BUILDING 3	UNIT 1	First Level	FIRST FL		353 SF	BUILDING
4	Roof Access	ROOF	96 SF	BUILDING 3	UNIT 1	Second Level	SECOND		353 SF	BUILDING
			888 SF		UNIT 1	Roof Access	THIRD FL	.OOR	144 SF	BUILDING
4	Garage	FIRST FLOOR	248 SF	BUILDING 3	· · · · · ·	T			850 SF	
4	Balcony	SECOND FLOOR	48 SF	BUILDING 3	UNIT 1	Balcony	SECOND		54 SF	BUILDING
4	Roof Deck	ROOF	251 SF	BUILDING 3	UNIT 1	Roof Deck	THIRD FL	.OOR	209 SF	BUILDING
			546 SF						262 SF	
			1434 SF						1112 SF	
			2869 SF						2224 SF	
5	First Level	FIRST FLOOR	99 SF	BUILDING 2						
5	Second Level	SECOND FLOOR	347 SF	BUILDING 2		NET	SF CALCS (HEATED C	ONLY)	
<u></u> 5	Third Level	THIRD FLOOR	347 SF	BUILDING 2			`		<u> </u>	
5 5	Roof Access	ROOF	96 SF	BUILDING 2		Unit Type	Subtotal		Building	
	. 10017100000		888 SF	2012511102			T -	T_		
5	Garage	FIRST FLOOR	248 SF	BUILDING 2		TYPE A	951 SF	BUILDING		
5 5	Balcony	SECOND FLOOR	48 SF	BUILDING 2		TYPE B	931 SF	BUILDING		
5 5	Roof Deck	ROOF	251 SF	BUILDING 2		TYPE B	931 SF	BUILDING	G 1	
<u> </u>	I YOUI DECK	INOUI	546 SF	טטונטוואט ע	UNIT	TYPE C	913 SF	BUILDING	G 1	
			1434 SF				3726 SF			
5	First Level	FIRST FLOOR	99 SF	BUILDING 3	UNIT	TYPE D	1099 SF	BUILDING	G 2	
	Second Level	SECOND FLOOR			UNIT	TYPE E	888 SF	BUILDING	G 2	
5			347 SF	BUILDING 3	UNIT	TYPE E	888 SF	BUILDING	G 2	
5	Third Level	THIRD FLOOR	347 SF	BUILDING 3	UNIT	TYPE E	888 SF	BUILDING	G 2	
5	Roof Access	ROOF	96 SF	BUILDING 3	UNIT	TYPE F	1121 SF	BUILDING	G 2	
-	Corore	FIDOT FLOOD	888 SF		UNIT	TYPE G	850 SF	BUILDING	G 2	
5	Garage	FIRST FLOOR	248 SF	BUILDING 3			5733 SF	1		
5	Balcony	SECOND FLOOR	48 SF	BUILDING 3	UNIT	TYPE D	1099 SF	BUILDING	G 3	
5	Roof Deck	ROOF	251 SF	BUILDING 3		TYPE E	888 SF	BUILDING		
			546 SF			TVDC C	000 CF	DIII DIN		

UNIT TYPE E

UNIT TYPE E

UNIT TYPE F

UNIT TYPE G

1434 SF

2869 SF

888 SF

1121 SF

850 SF

5734 SF

15194 SF

BUILDING 3

BUILDING 3

BUILDING 3

BUILDING 3



DCDP MASTER, LLC PRESTON LOOS **BEN GEARHART** 370 AMMONS STREET LAKEWOOD, CO 80226 PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM **ARCHITECTURAL**

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DIGITAL SIGNATURE

INCA CO 80 635, 645 N DENVER, C INCA STOWN



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED:

Revision Schedule

11.14.2018

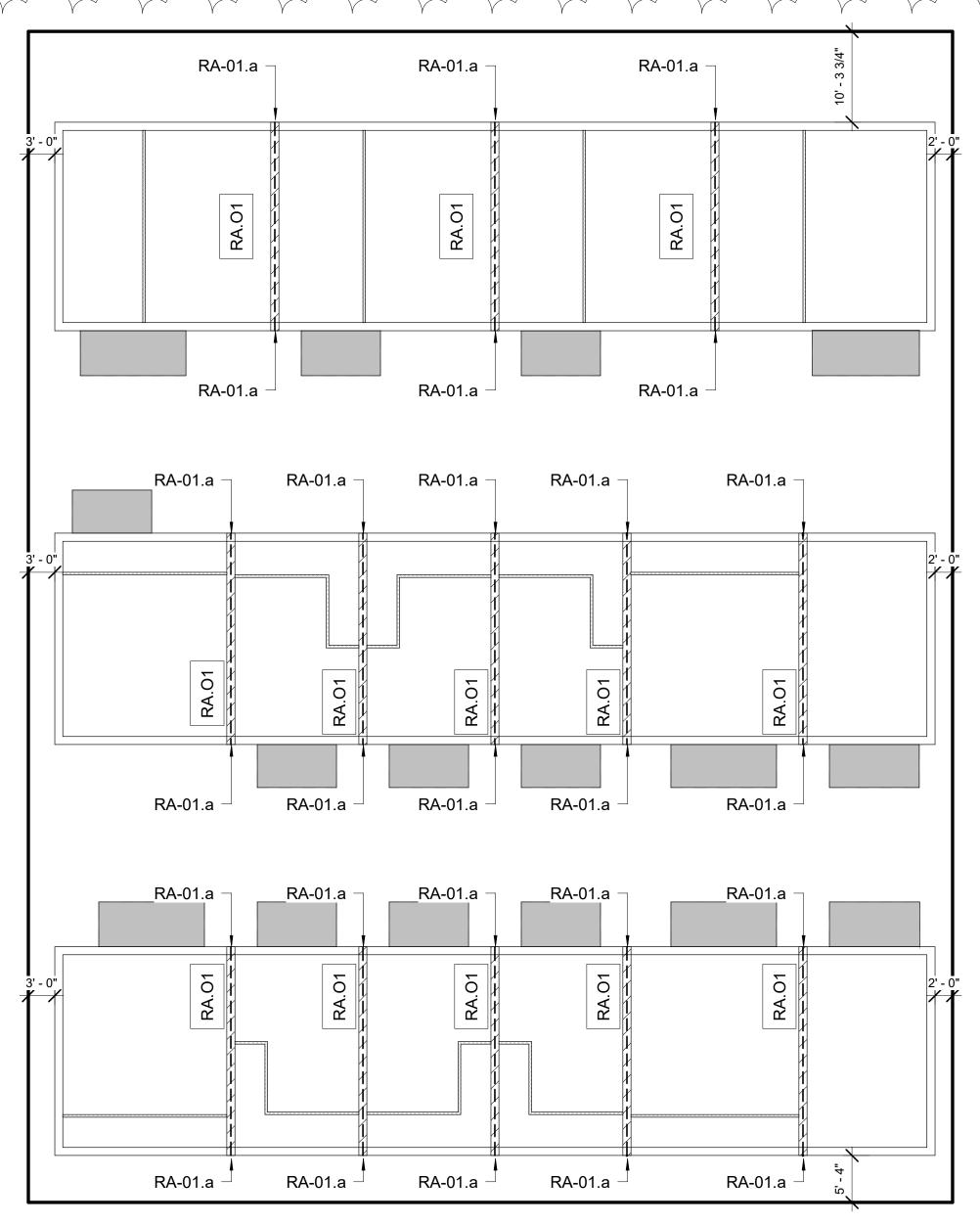
Revision Revision Revision

Number Description Date

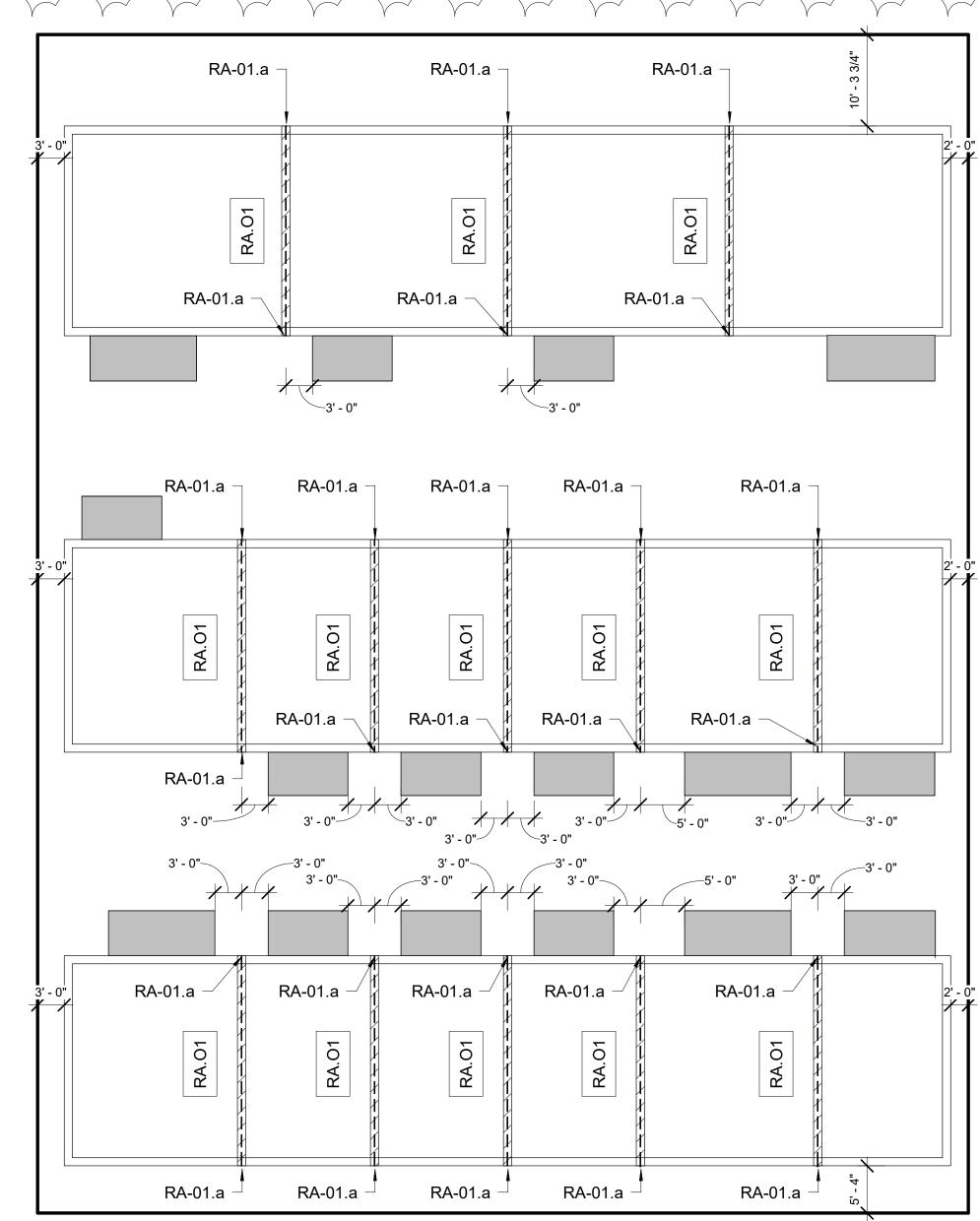
Revision 1 11.14.18

BUILDING CODE ANALYSIS

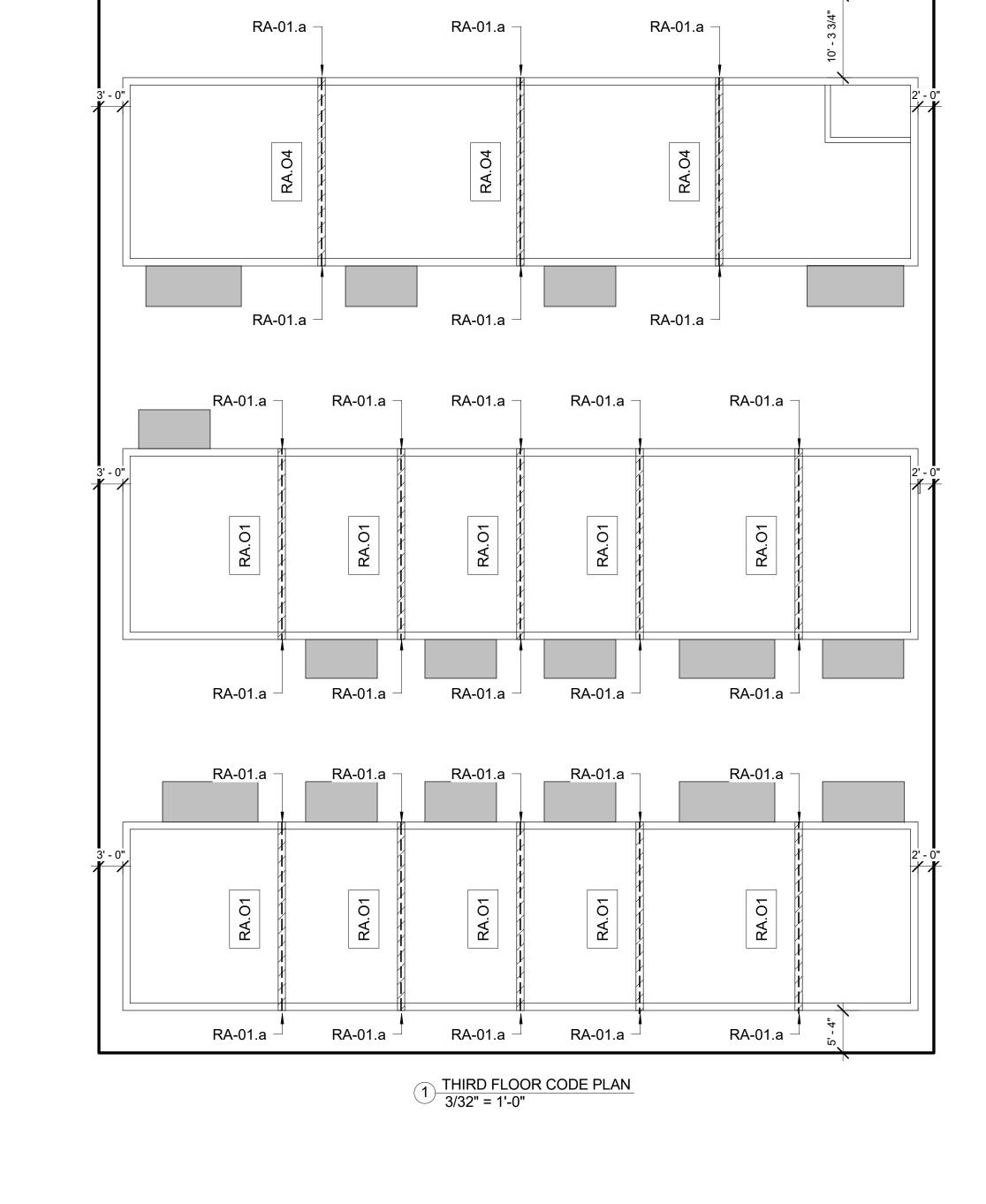
SCALE: 3" = 1'-0" SHEET NUMBER

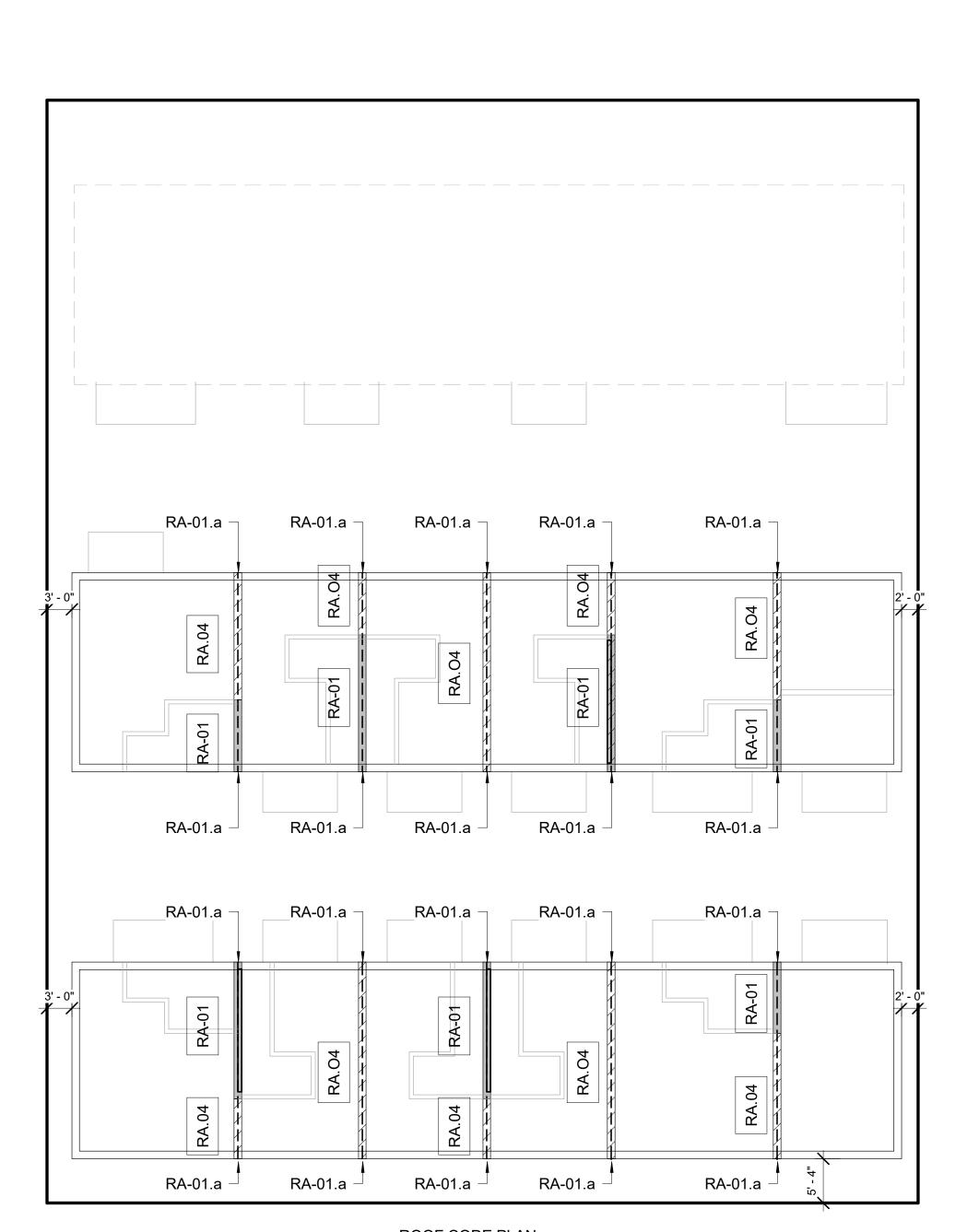


3 FIRST FLOOR CODE PLAN 3/32" = 1'-0"

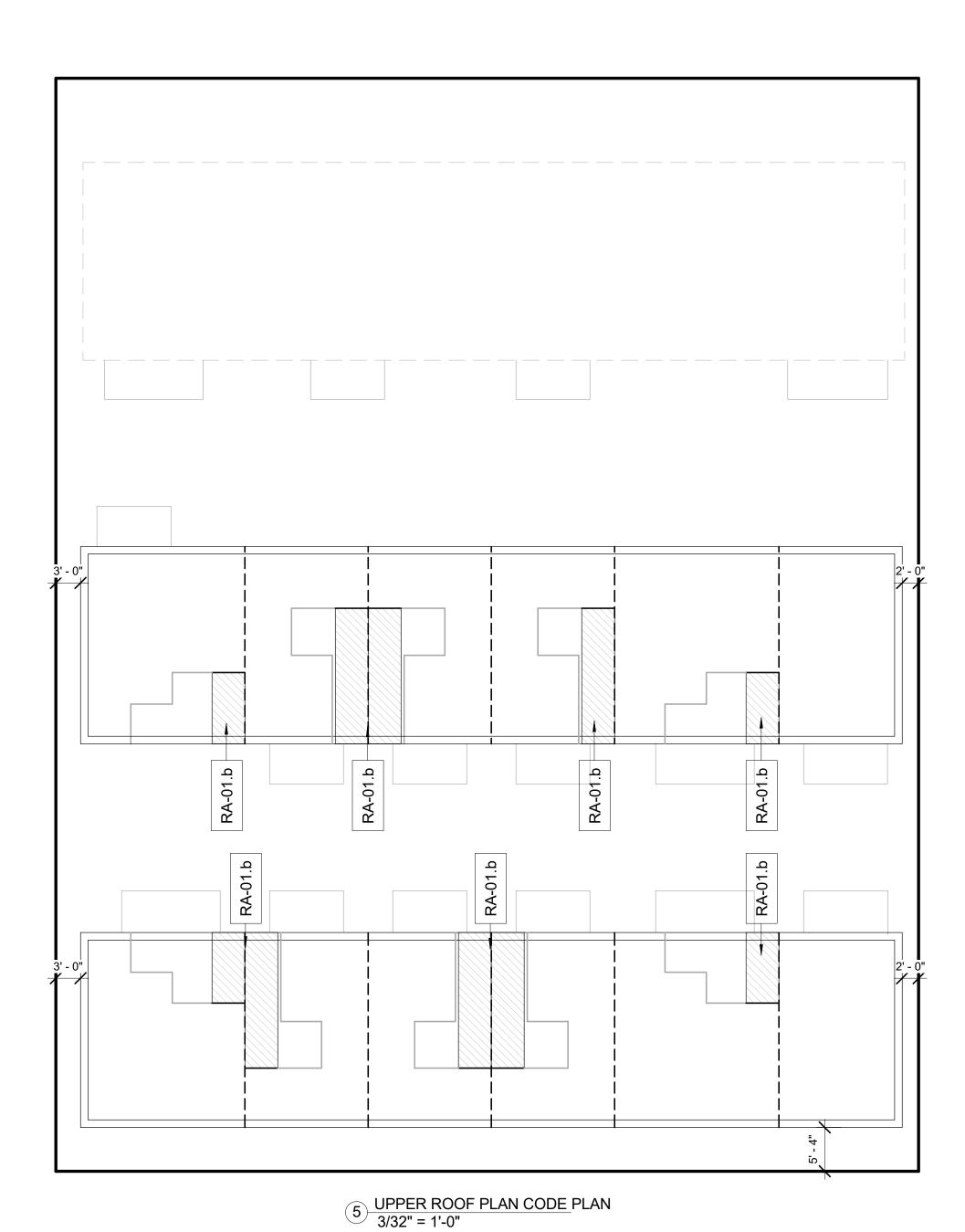


SECOND FLOOR CODE PLAN
3/32" = 1'-0"



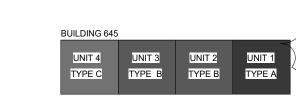


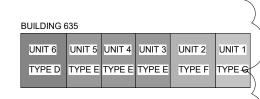
2 ROOF CODE PLAN 3/32" = 1'-0"

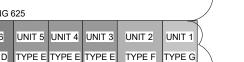


SYMBOL	DESCRIPTION
	DIAGONAL HATCH INDICATES FIRE RETARDENT TREATED PLYWOOD 48" FROM PARTY WALL AT EACH SIDE
	HATCH INDICATES STEEL DECK TO BE COATED WITH 1 HOUR INTUMESCENT PAINT
	2-HOUR FIRE RATED WALL

CODE PLAN LEGEND







UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1
TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

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DIGITAL SIGNATURE

INCA STREET
TOWNHOMES
5, 635, 645 N INCA STREE
DENVER, CO 80204

FREEMAN

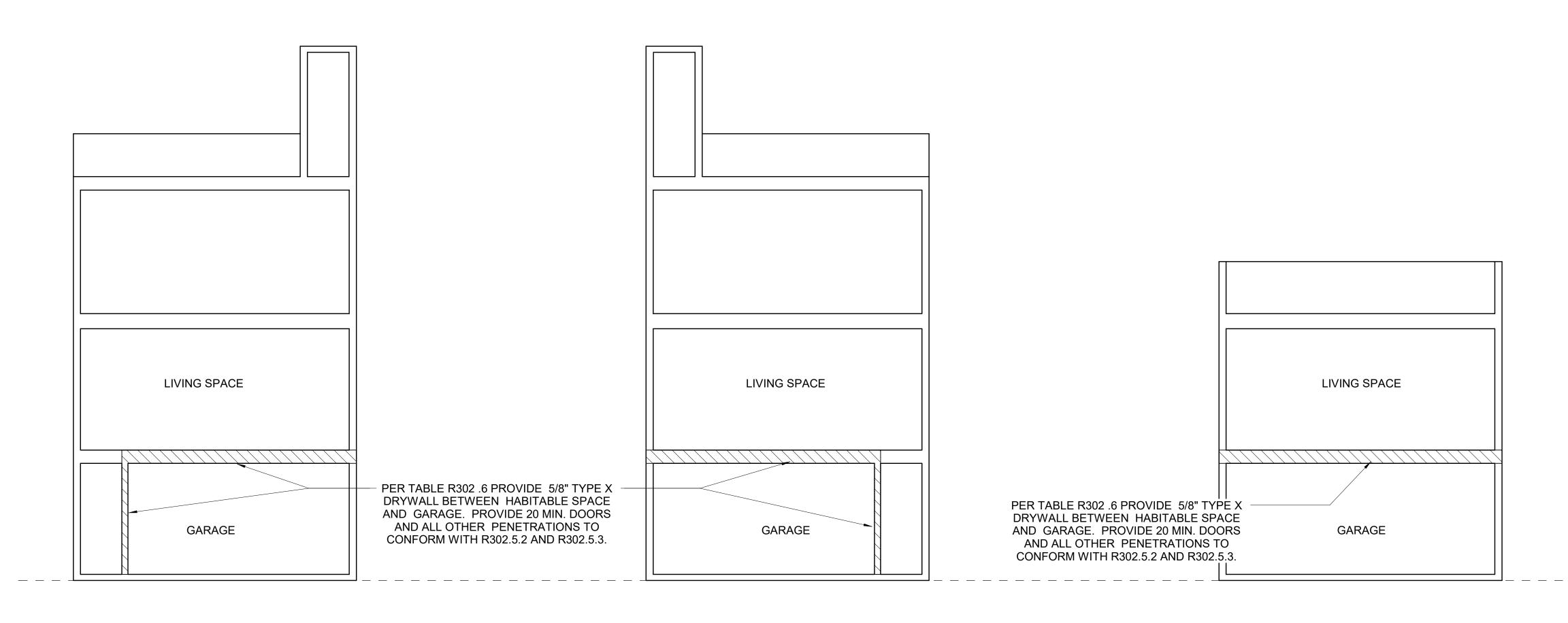
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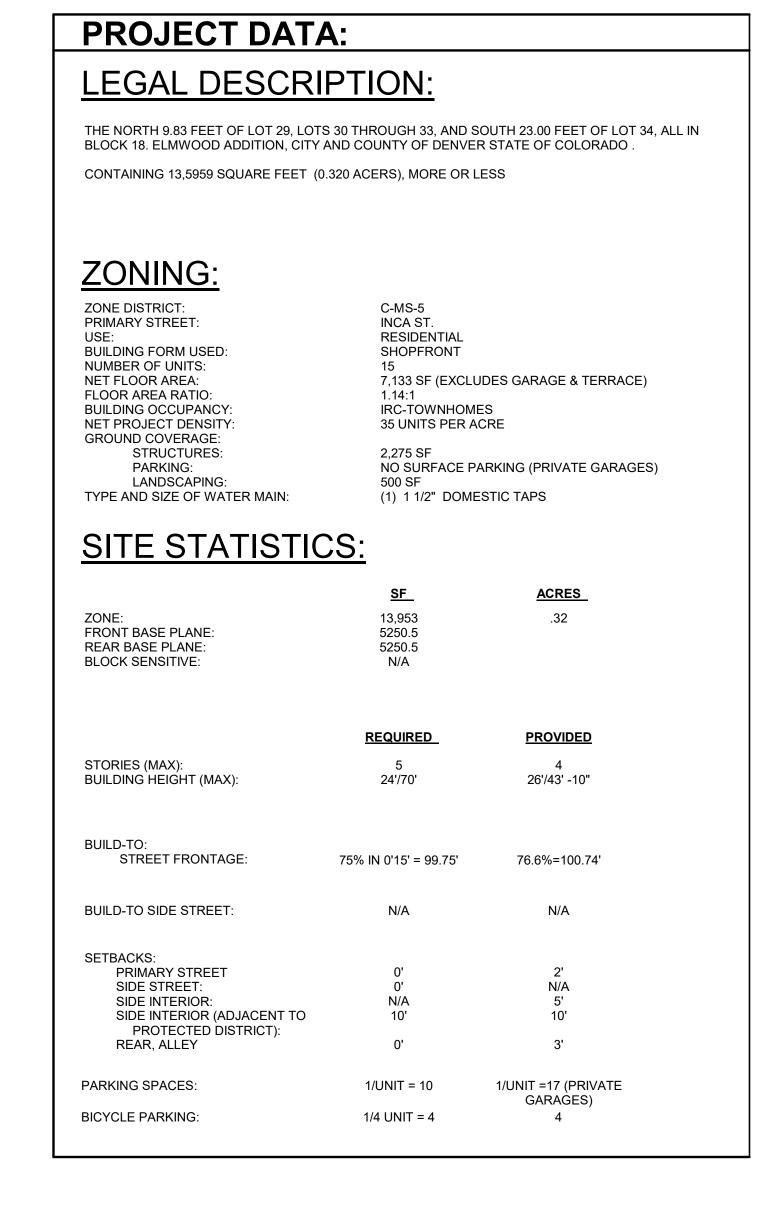
Revision Schedule Revision Revision Revision
Number Description Date

Revision 1 11.14.18

SHEET TITLE: **BUILDING CODE** ANALYSIS



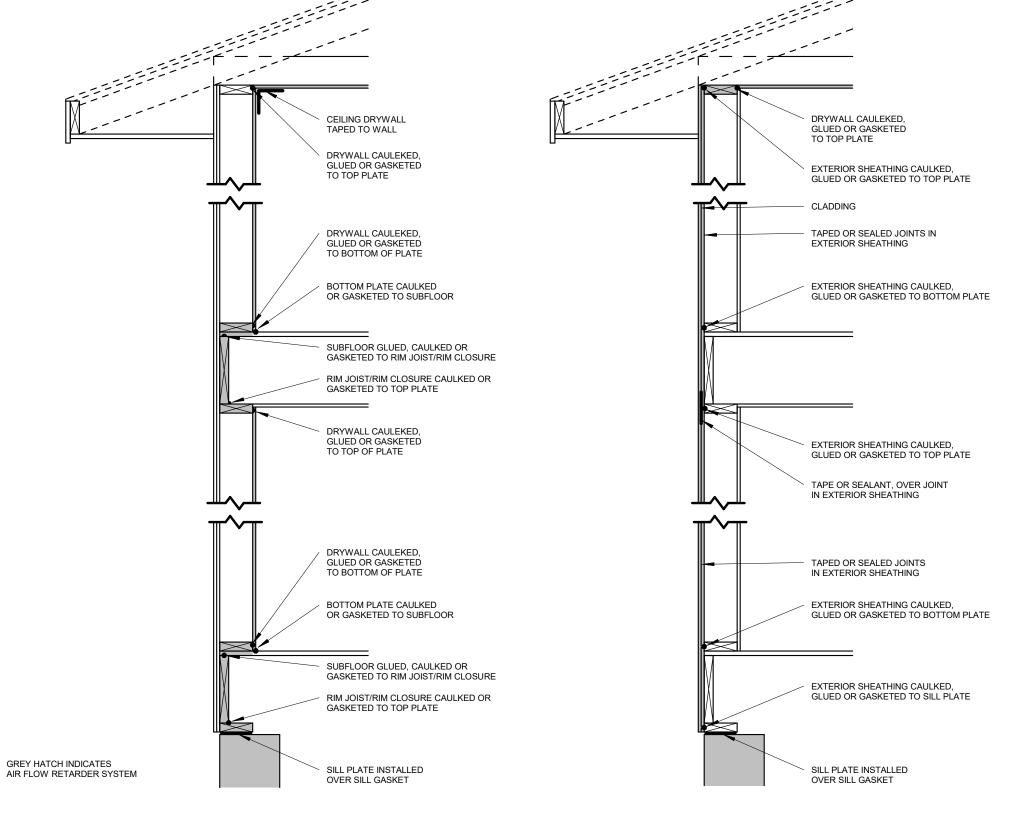
N-S SECTION FIRE RATEING DIAGRAM
3/16" = 1'-0"



2015 IECC PRESCRIPTIVE PATH PER TABLE C402.1.3

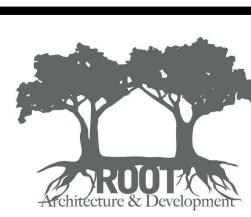
- A. FENESTRATION U-FACTOR 0.32 B. EXTERIOR FRAMED WALLS R-20 C. ROOF/ATTIC/ENCLOSED RAFTERS R-49
- D. FLOORS CANTILEVERED OR OVER UNCONDITIONED SPACE R-30
- E. SLAB & VERT. FOUNDATION R VALUE: R-10, 2 FT

	TABLE N1102.4.1.1 (R402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION							
COMPONENT	CRITERIA ^a							
Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.							
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.							
Walls	Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.							
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.							
Rim joists	Rim joists shall be insulated and include the air barrier.							
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.							
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.							
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.							
Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.							
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.							
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.							
Plumbing and wiring	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.							
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.							
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.							
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.							
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.							



ENEVELOPE AIR SEALING

IECC CODE COMPLIANCE	
THERMAL ENVELOPE INDICATION	MARKED ON PLANS, SECTIONS AND DETAILS. SEE BUILDING SECTION DIAGRAMS SHEET A3.4 - A3.6
R-VALUES AND U-FACTORS	RE: WALL, CEILING AND FLOOR TYPES. SEE BUILDING SECTION DIAGRAMS SHEET A3.4 - A3.6
FENESTRATION U-VALUES	RE: WINDOW AND DOOR GENERAL NOTES G1.0
AIR LEAKAGE PREVENTION	RE: ENVELOPE AIR SEALING DIAGRAM SHEET G2.2
CRAWL SPACE VENTILATION	NOT APPLICABLE
DUCT INSULATION OUTSIDE THERMAL ENVELOPE	NO INSULATION REQUIRED PER EXCEPTION RR403.3.1/N1103.3.1 INSULATION (ALL DUCTS SHALL BE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE
DUCT SEALING METHODS	ALL DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED PER 2015 IMC SECTION M1601.4.1
ACCA MANUAL J,S & D	RE: PROJECT MANUAL J,S & D PACKAGE



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DIGITAL SIGNATURE



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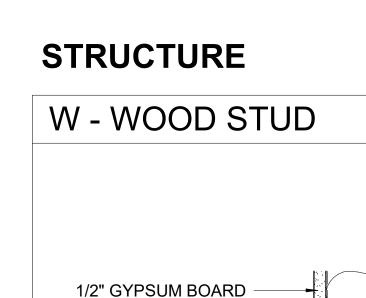
PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF DATE: 11.14.2018

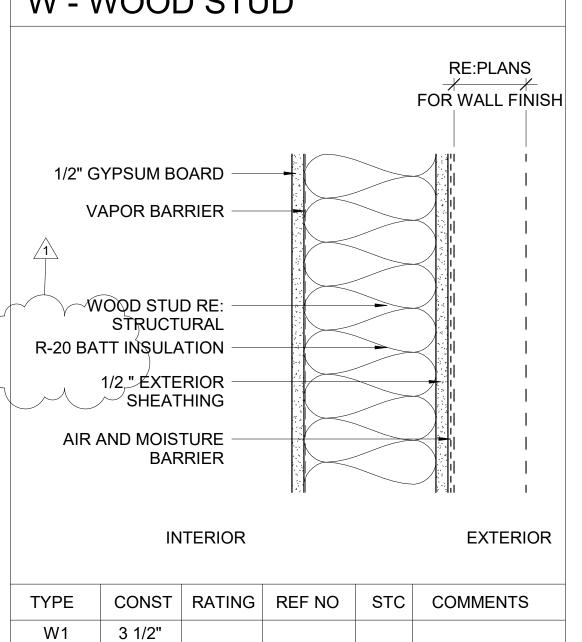
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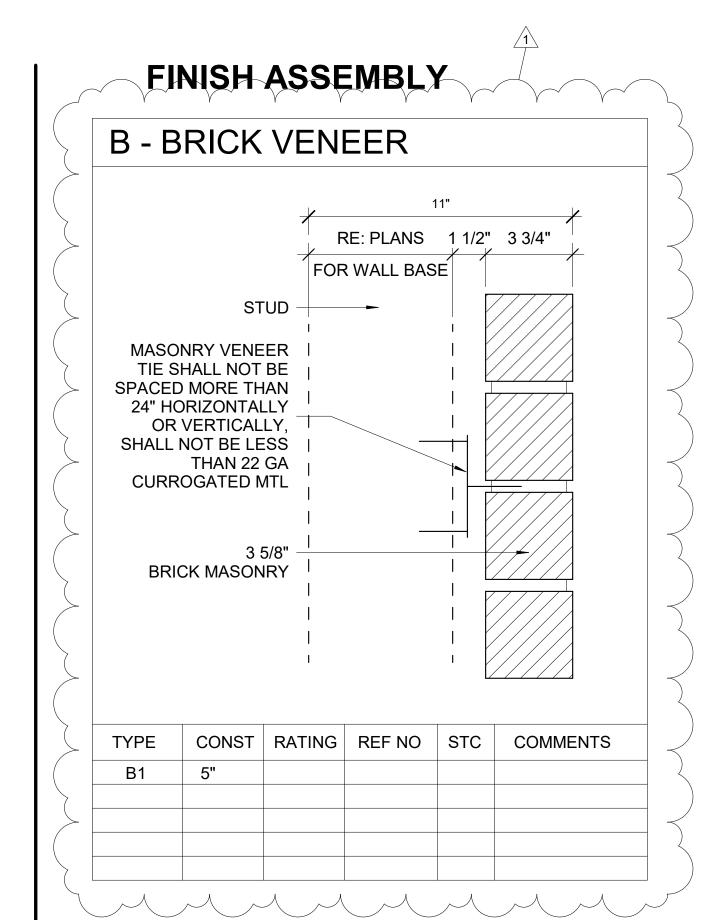
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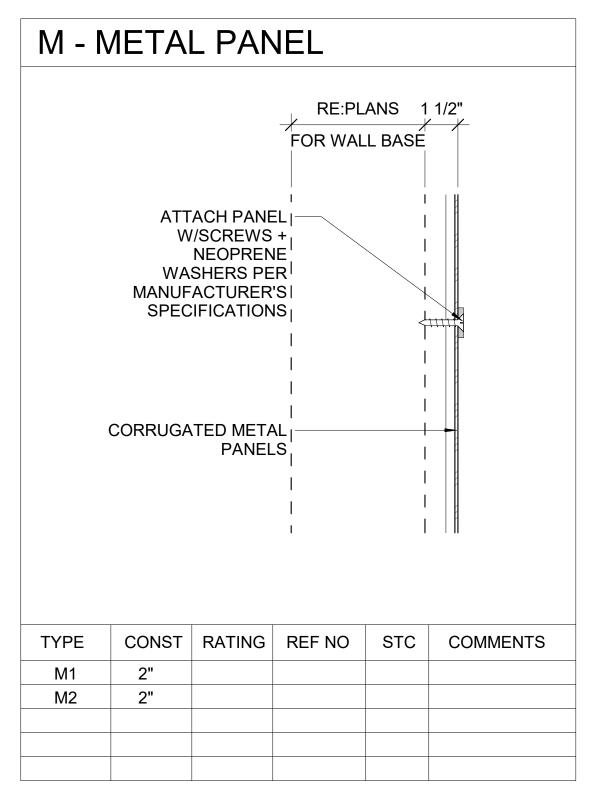
Revision 1 11.14.18

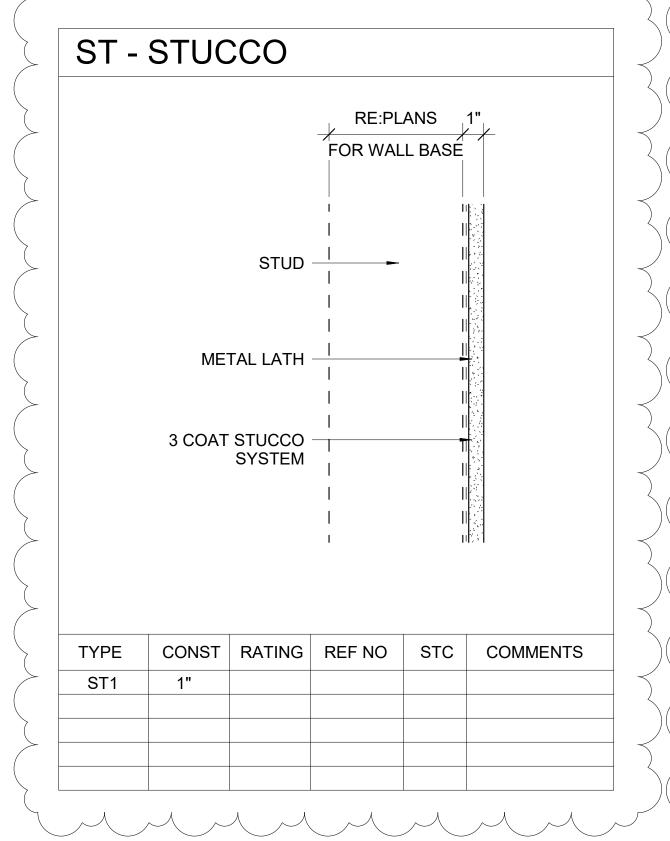
BUILDING CODE ANALYSIS

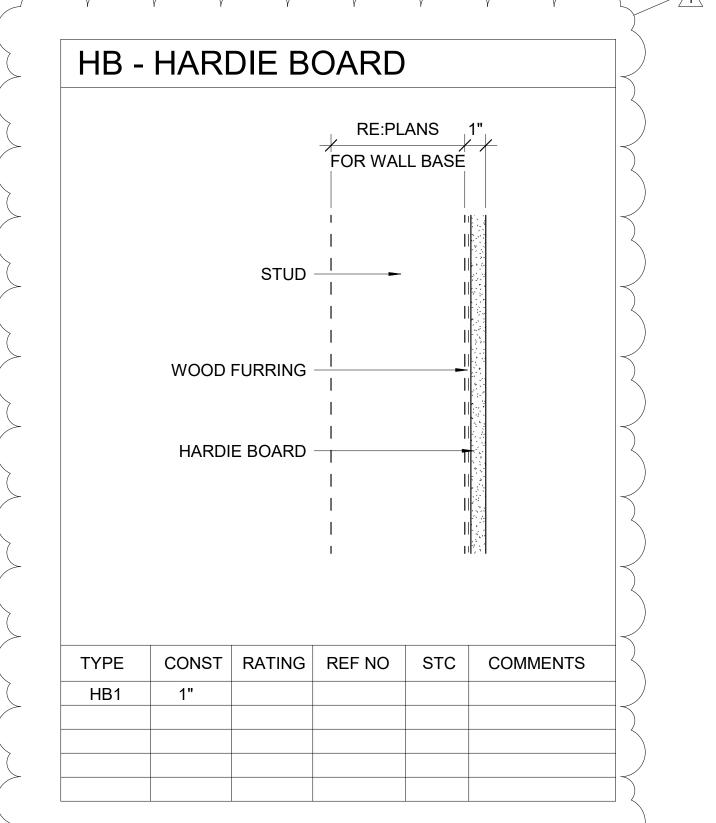












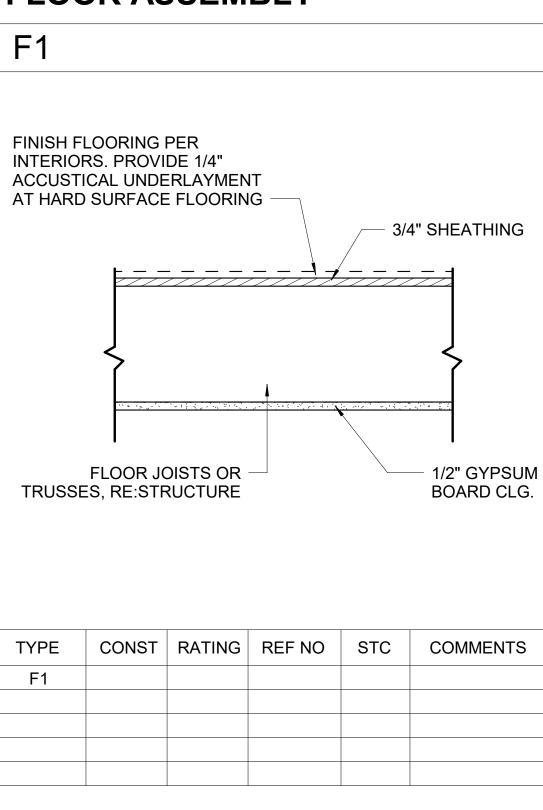
FLOOR ASSEMBLY

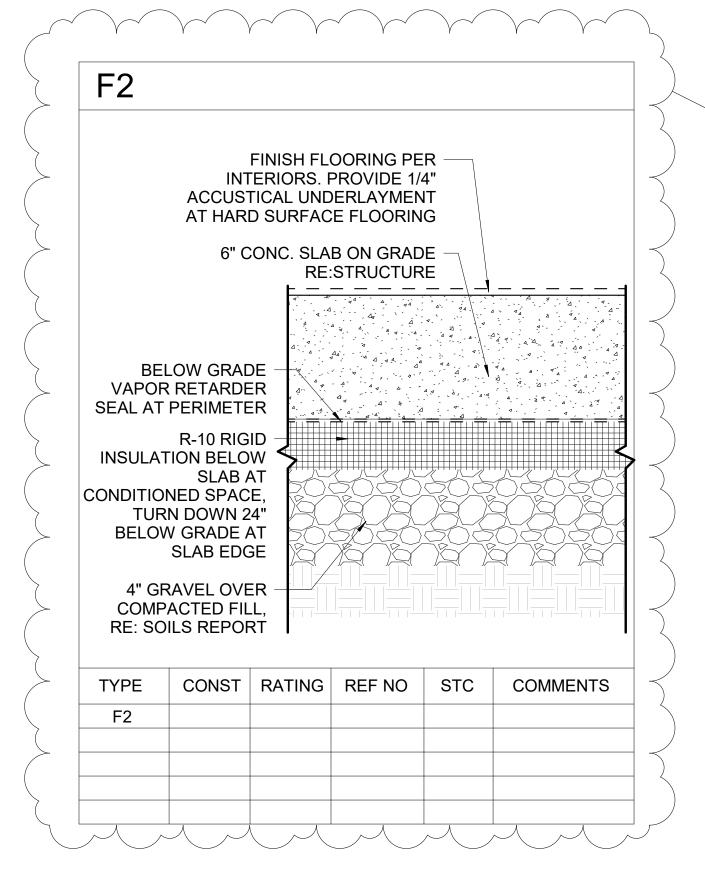
W2

5 1/2"

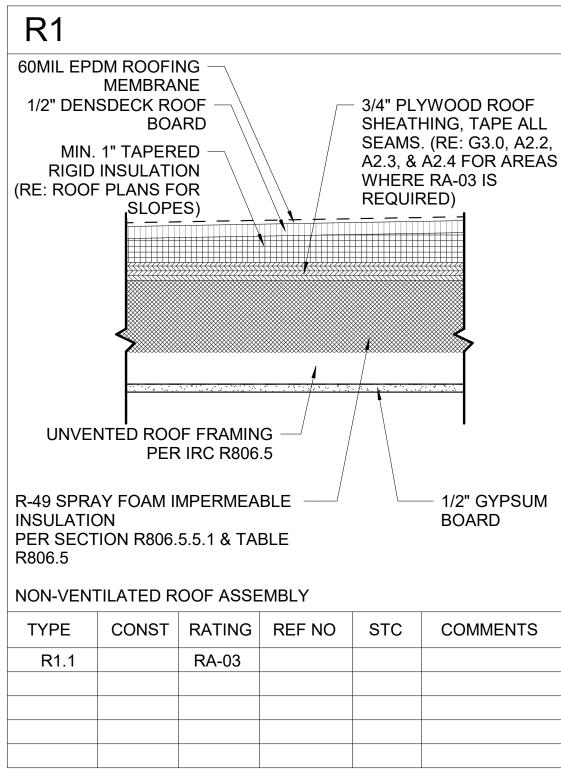
10"

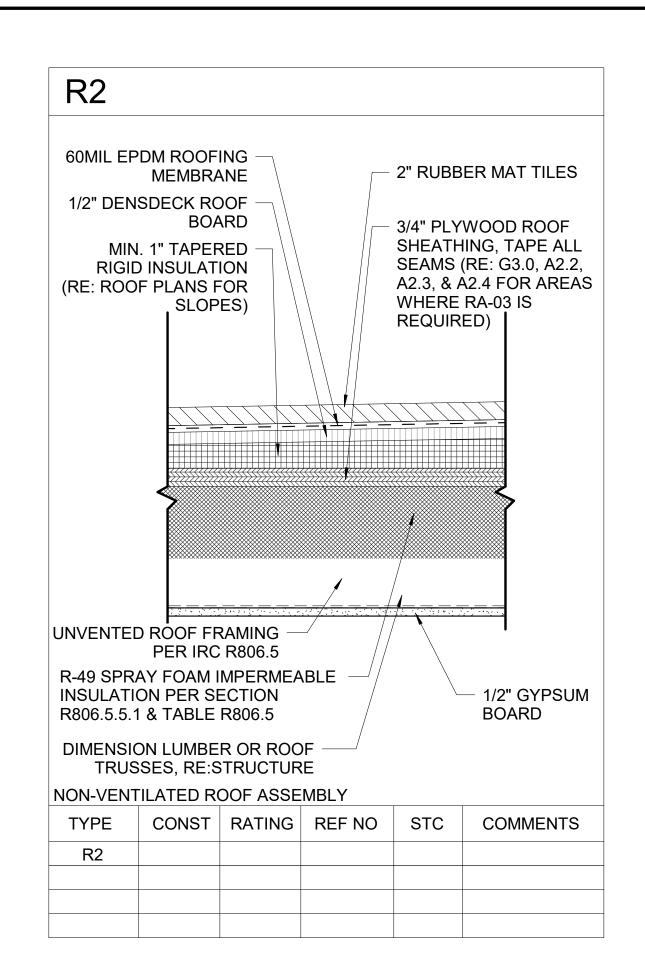
W3 5 1/2" RA-01.1



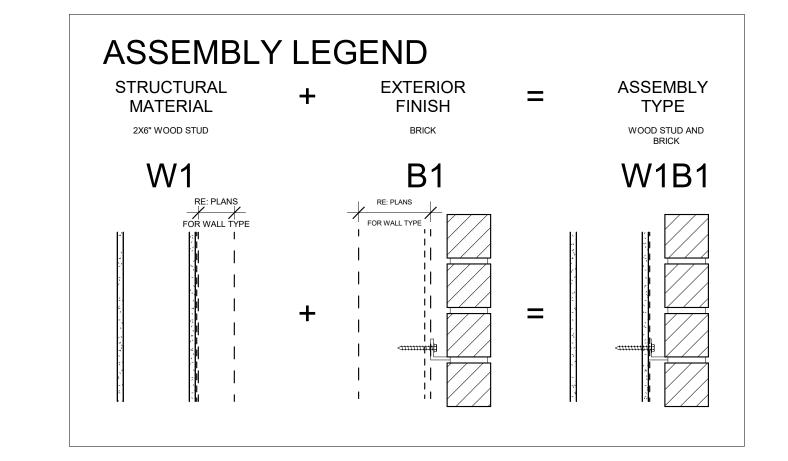


ROOF ASSEMBLY





R3					
MIN.	MEMBRA SDECK RC BOA 1" TAPER INSULATIO	NE DOF — ARD ED — ON OR		SHEATI SEAMS A2.3, &	YWOOD ROOF HING, TAPE ALL . (RE: G3.0, A2.2, A2.4 FOR AREAS E RA-03 IS RED)
	DN LUMBE SES, RE:S				YERS 5/8" 'X' GYPSUM D
TYPE	CONST	RATING	REF NO	STC	COMMENTS
R3		RA-03.1			
			<u> </u>		





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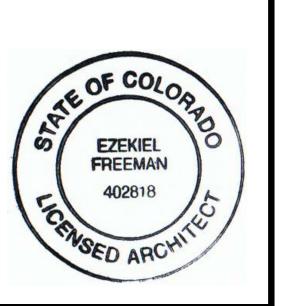
ALTITUDE LAND CONSULTANTS INC 3461 RINGSBY COURT, SUITE 125 DENVER, CO 80216 201 EAST LAS ANIMAS, SUITE 113 COLORADO SPRINGS, CO 80903 PHONE: 720.594.9494 EMAIL: Info@AltitudeLandCo.com APEX ENGINEERS, INC.

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DIGITAL SIGNATURE

INCA STRE CO 80204

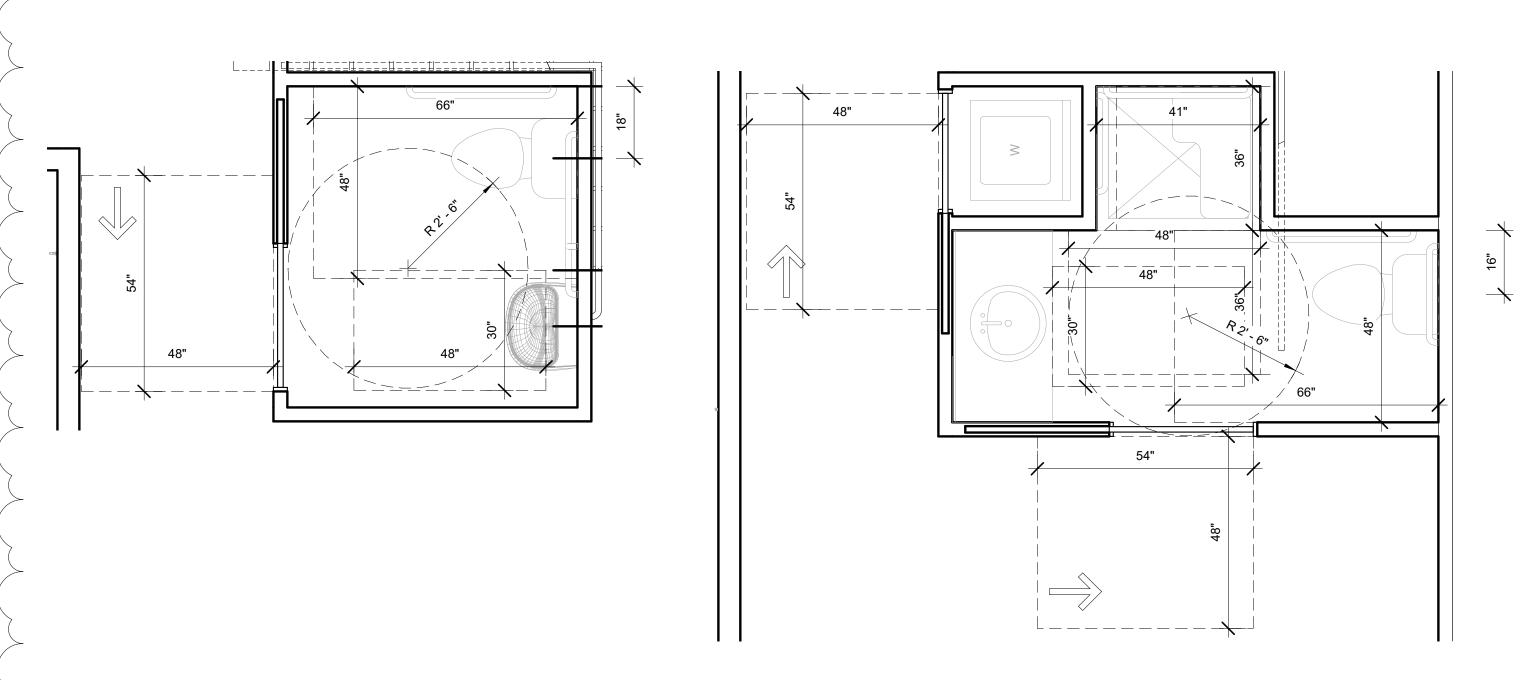


ISSUED BUILDING PERMIT PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF DATE: 11.14.2018

Revision Schedule Revision Revision Revision Number Description Date

Revision 1 11.14.18

SHEET TITLE: **WALL TYPES**



48"

2 ANSI BATH TYPE C 1/2" = 1'-0"

TYPE Count Width Height Sill Height Head Height Description A 2 5^{*} - 0^{*} 3^{*} - 0^{*} 9^{*} - 0^{*} 12^					WIND	OW SCHEDULE	
B	TYPE	Count	Width	Height	Sill Height	Head Height	Description
B	Δ	0	EL 011	21 01	01 011	401 011	
B			5' - 0"	3' - 0"	9' - 0"	12' - 0"	
C		2	5' O"	7' 6"	6"	o' 0"	
C		2	3 - 0	7 - 0	O	0 - 0	
D		2	5' - 0"	Λ' - Λ"	3' _ 8"	8' - 0"	
D			3 - 0	4 - 4	3 - 0	0 - 0	
D		22	5' - 0"	5' - 0"			
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E		3	5' - 0"	4' - 6"	3' - 6"	8' - 0"	
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		2	2' - 6"	5' - 0"	3' - 0"	8' - 0"	
		_					

3 ANSI BATH TYPE A
1/2" = 1'-0"

1 ANSI BATH TYPE B 1/2" = 1'-0"

DOOR AND WINDOW NOTES:

1. COORDINATE ALL ROUGH OPENING DIMENSIONS W/ DOOR AND WINDOW MANUFACTURER.

2. COORDINATE ALL DOOR JAMB DIMENSIONS WITH WALL FRAMING.

3. REFER TO SPECIFICATIONS FOR ALL DOOR CASING AND FINISHING AND HARDWARE.

4. CONTRACTOR RESPONSIBLE FOR QUANTITY TAKE OFFS, HANDING, COODINATION OF ALL JAMB SIZES BASED ON WALL DIMENSIONS AND FIRE RATED ASSEMBLIES.

5. COORDINATE ALL HARDWARE WITH SPECIFICATIONS.

6. PROVIDE LOW PROFILE (1/4" MAXIMUM VERTICAL HEIGHT PER ANSI 303.2)ACCESSIBLE THRESHOLDS AT ALL EXTERIOR DOOR LOCATIONS.

7. PROVIDE PREFINISHED METAL SILL PANS AT ALL EXTERIOR DOOR THRESHOLDS.8. COORDINATE UNIT DOOR UNDERCUT WITH MECHANICAL REQUIREMENTS.

9. NOT USED

10. ALL GLAZING AT DOORS SHALL COMPLY WITH IRC R308.4.

11. SAFETY GLAZING IS REQUIRED AT WINDOWS OR DOORS ADJACENT TO STAIRWAYS, LANDINGS, RAMPS WITHING 36 HORIZONTALLY OF A WALKING SURFACE, WHEN EXPOSED GLASS IS LESS THAN 60 ABOVE THE PLANEOF ADJACENT WALKING SURFACE, SAFETY GLAZING SHALL COMPLY WITH IRC R308.4

12. SAFETY GLAZING IS REQUIRED ADJACENT TO STAIRWAYS WITHIN 60 OF THE BOTTOM TREAD OF A STAIRWAY INANY DIRECTION.

13. ALL GLAZING LESS THAN 60" ABOVE SHOWER OR TUB SHALL BE SAFETY GLAZING.

14. ALL GLAZING WITHIN 24" OF A DOORWAY AND LESS THAN 60" ABOVE A WALKWAY SHALL BE SAFETY GLAZING.

15. ALL GLAZING WITHIN 24" OF FINISH FLOOR SHALL BE SAFETY GLAZING.

16. EGRESS WINDOWS SHALL HAVE MINIMUM CLEARANCES PER CODE, SILLS @ 44" MAX. ABOVE FINISH FLOOR.

17. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTUER'S RECOMMENDATIONS.

18. EGRESS WINDOWS SHALL CONFORM WITH IRC 2015, SECTION R310, EMERGENCY ESCAPE AND RESCUE OPENINGS.

19. 'ANSI TYPE-A' ACCESSIBLE UNITS- WINDOW OPERATION MUST CONFORM TO ANSI 117.1 STANDARDS FOR GRASPING.

20. MAXIMUM U-FACTOR FOR PROJECT DOORS AND WINDOWS IS .32 PER 2015 IECC
21. MAXIMUM U-FACTOR FOR PROJECT SKYLIGHTS IS .55 PER 2015 IECC

22. MAXIMUM SGHC FOR PROJECT DOORS AND WINDOWS IS **N/A** PER SECTION N1102 OF IRC 2015

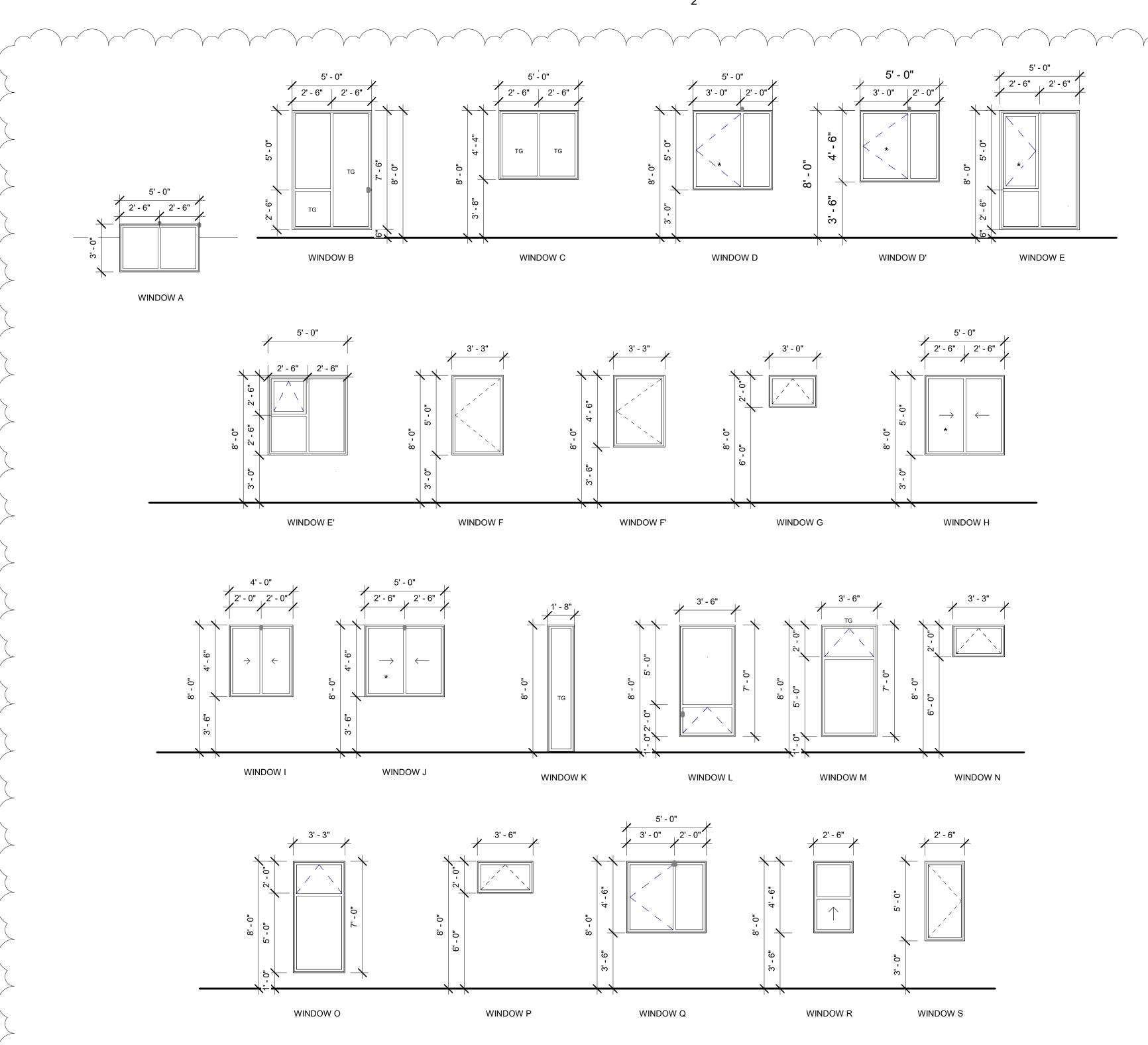
23. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS N1102.4.1 THROUGH N1102.4.4. OF IRC

24. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.

25. THE FORCE EQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS (22.2 N) MAXIMUM.

26. A MINIMUM CLEAR MANUEVERING CLEARANCE SHALL BE PROVIDED FOR FRONT APPROACH. 305.3 SIZE. THE CLEAR FLOOR SPACE SHALL BE 48 INCHES (1220 MM) MINIMUM IN LENGTH AND 30 INCHES (760 MM) MINIMUM IN WIDTH. (ANSI A11.1 - 1998)

27. HEIGHT OF OPERABLE PARTS SHALL BE WITHIN 15 AFF AND 48 AFF. R-308.2.1 UNOBSTRUCTED. WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48 INCHES (1220 MM) MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15 INCHES (380 MM) MINIMUM ABOVETHE FLOOR. (ANSI A11.1 - 1998)



ROOT ARCHITECTURE AND
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DIGITAL SIGNATURE

DA SIREET

S. 645 N INCA STREET



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA

CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision

Number Description Date

Revision 1 11.14.18

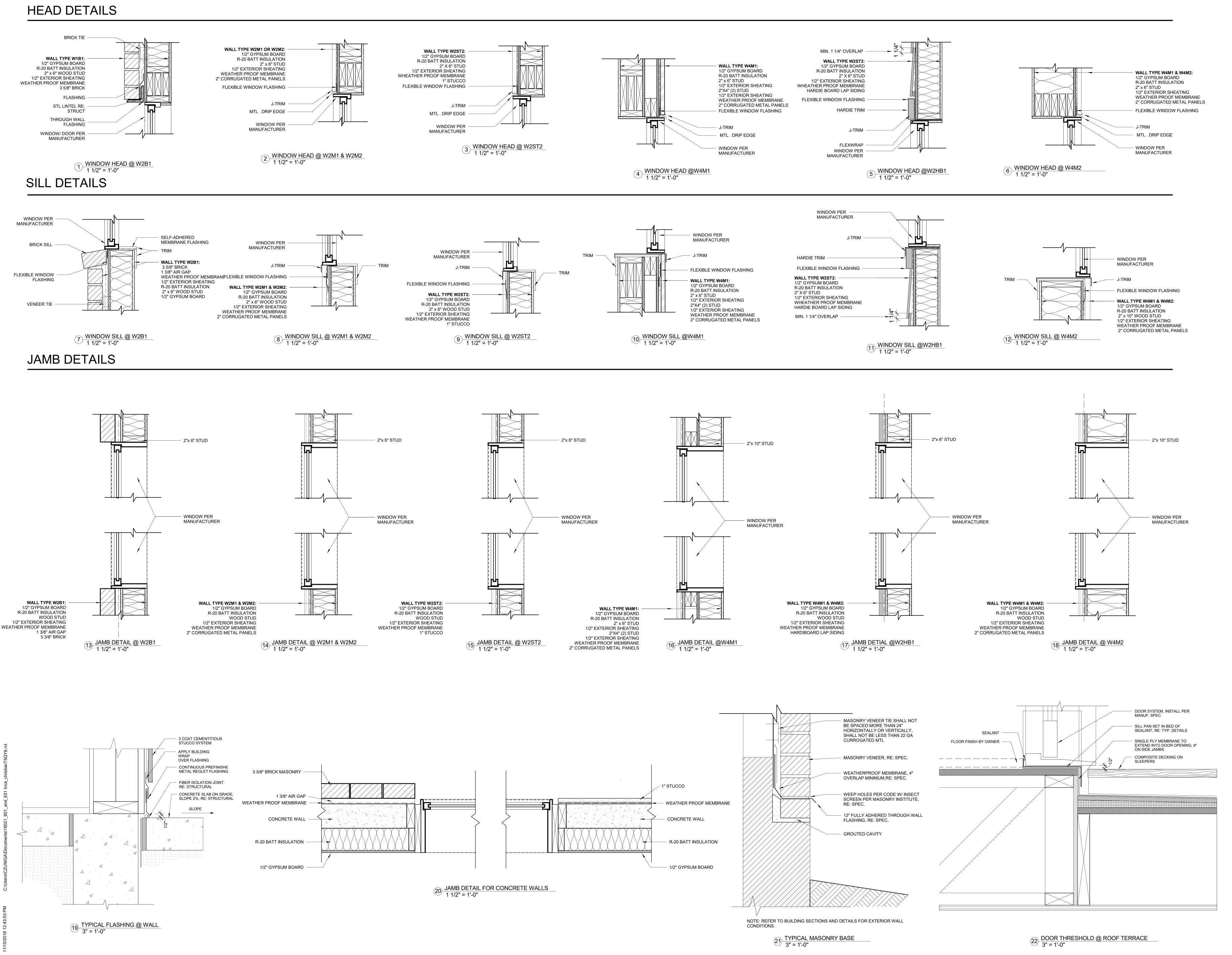
SHEET TITLE:

ADA BATHS /
WINDOW
SCHEDULE

SCALE: As indicated
SHEET NUMBER

TG: TEMPERED GLASS
*: EGRESS WINDOW

A1.0



Architecture & Development

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DIGITAL SIGNATURE

L

OWNHOMES

55, 645 N INCA STREET
ENVER, CO 80204

EZEKIEL FREEMAN 402818

ISSUED BUILDING PERMIT PROJ. NO. 16021

DRAWN: DG & CA
CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision
Number Description Date

SHEET TITLE:
TYPICAL WINDOW
DETAILS

SCALE: As indicated SHEET NUMBER

A1.1

TYPICAL WINDOW INSTALLATION DIAGRAM

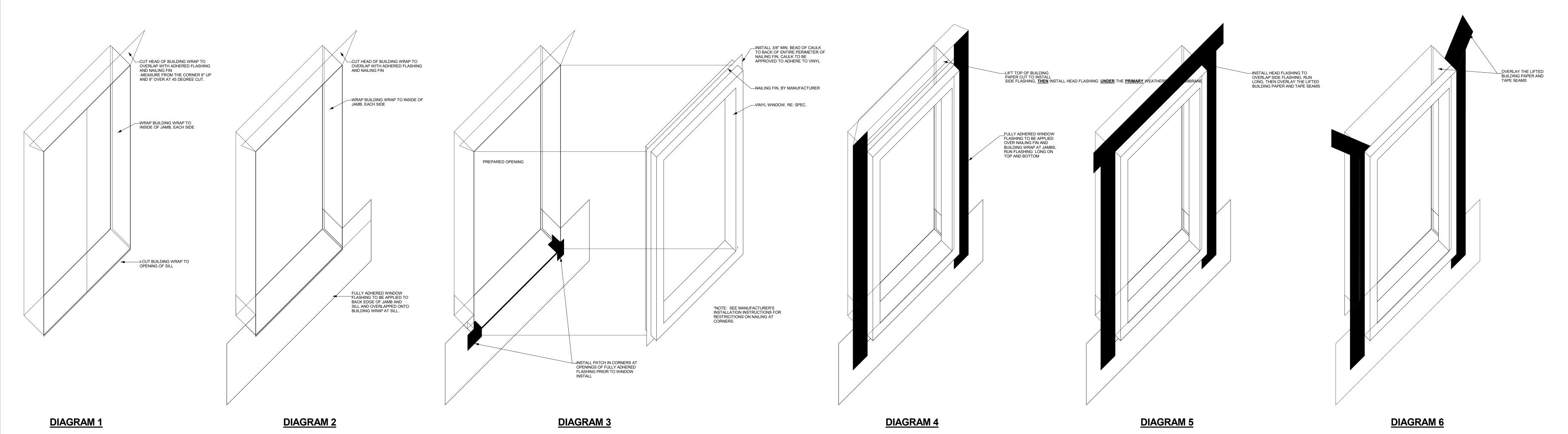
1. WINDOW & DOOR MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION SUPERCEDE ALL DETAIL

RECOMMENDATIONS. 2. VERIFY THAT ALL SEALANTS ARE COMPATIBLE WITH RUBBER BASED ADHESIVE FLASHING AND VINYL WINDOWS.

3. SEALANTS TO MEET AN ASTM C920 CLASS 25. 4. REFER TO MANUFACTURER'S SPECIFICATIONS FOR R.O. DIMENSIONS.

5. THE DIAGRAMS ARE GIVEN AS A MINIMUM REQUREMENT AND ARE SUBJECT TO ALL CODES AND RESTRICTIONS SET BY LOCAL GOVERNMENTS AND MUNICIPALITIES, WHICH MAY REQURE ADDITIONAL PROCEDURES FOR THEIR AREAS.
6. 12" FULLY ADHERED FLEXIBLE FLASHING TO BE INSTALLED AT SILLS WITH 9" OVERLAP ON WALL.

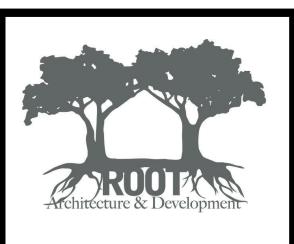
7. 9" FULLY ADHERED FLEXIBLE FLASHING TO BE INSTALLED AT JAMB AND HEAD.
8. IF BUILDING IS WRAPPED WITH MULTIPLE LAYERS OF WEATHERPROOF MEMBRANE, HEAD AND SILL FLASHING SHOULD BE OVERLAPPED PROPERLY OVER PRIMARY LAYER.



JAMB FLASHING = RO HEIGHT + (2X FLASHING WIDTH)-1"

HEAD FLASHING = RO WIDTH + (2X FLASHING WIDTH)+2"

1 1/2" = 1'-0"



OWNER: DCDP MASTER, LLC PRESTON LOOS BEN GEARHART 370 AMMONS STREET LAKEWOOD, CO 80226 PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM ARCHITECTURAL
ROOT ARCHITECTURE AND

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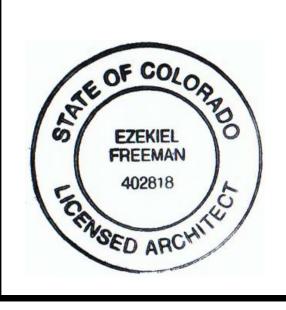
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DIGITAL SIGNATURE

NINCA STREE CO 80204



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

11.14.2018

Revision Schedule Revision Revision
Number Description Date

SHEET TITLE:

TYPICAL WINDOW DETAILS

SCALE: 1 1/2" = 1'-0" SHEET NUMBER

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				DOC	R SCHEDU	LE UNIT TYPE A	
ount	Mark	Type Mark	Level	Height	Width	Comments	Description
	A100	С	FIRST FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
	A101	Е	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	
	A102A	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
	A102B	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	20min. Fire Rated
	A103	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	1 1
	A104A	В	FIRST FLOOR	8' - 6"	8' - 3"	4-PANEL SMOOTH GARAGE DOOR	
	A104B	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
	A105	F	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	
	A106	С	FIRST FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
	A203A	С	SECOND FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	
	A203B	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR	
	A204	E	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
	A205	С	SECOND FLOOR	8' - 0"	2' - 8"	SOLID CORE MDF	

				DOO	R SCHEDUI	LE UNIT TYPE B	
Count	Mark	Type Mark	Level	Height	Width	Comments	Description
2	B100	E	FIRST FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	B101	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
1	B102	E	FIRST FLOOR	8' - 0"	3' - 0"		
1	B103	E	FIRST FLOOR	8' - 0"	3' - 0"		
2	B105A	В	FIRST FLOOR	8' - 6"	8' - 3"	4-PANEL SMOOTH GARAGE DO	OR
2	B105B	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	20min. Fire Rated
2	B201	F	SECOND FLOOR	8' - 0"	4' - 6"	SOLID CORE MDF	
2	B202	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	B203	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	B204	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	B205A	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	B205B	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR	
2	B206A	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	B206B	D	SECOND FLOOR	8' - 0"	5' - 10"	SOLID CORE MDF	
							•

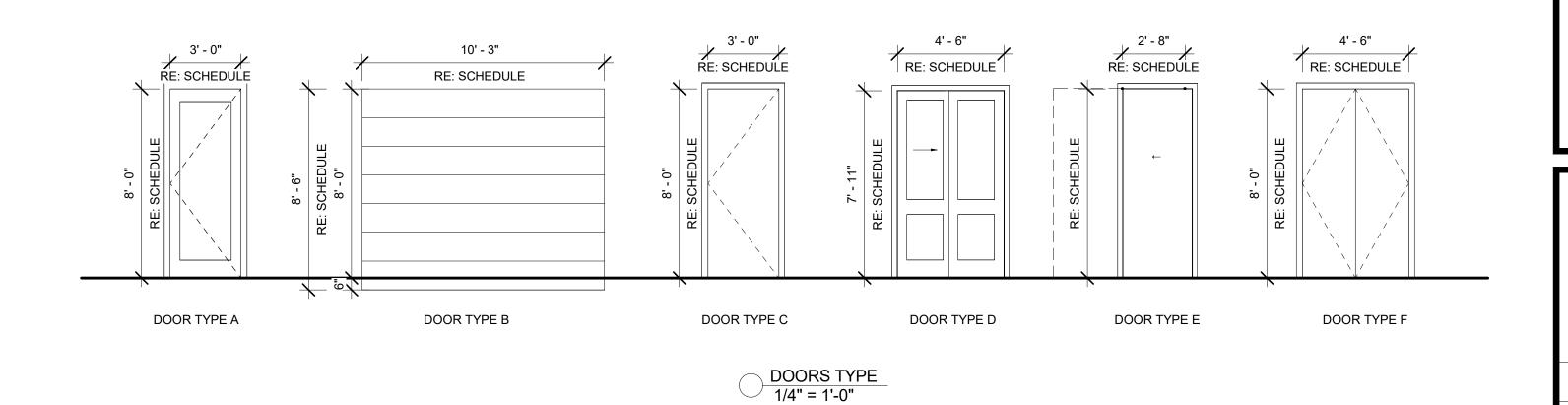
	DOOR SCHEDULE UNIT TYPE C								
Count	Mark	Type Mark	Level	Height	Width	Comments	Description		
1	C100	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR			
1	C101	E	FIRST FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF			
1	C102	E	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF			
1	C103A	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF			
1	C103B	D	FIRST FLOOR	7' - 11"	4' - 6"	SOLID CORE MDF			
1	C104A	В	FIRST FLOOR	8' - 6"	8' - 3"	4-PANEL SMOOTH GARAGE DOOR			
1	C104B	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	20min. Fire Rated		
1	C201	С	SECOND FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF			
1	C202A	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF			
1	C202B	Е	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF			
1	C203	С	SECOND FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF			
1	C205	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR			

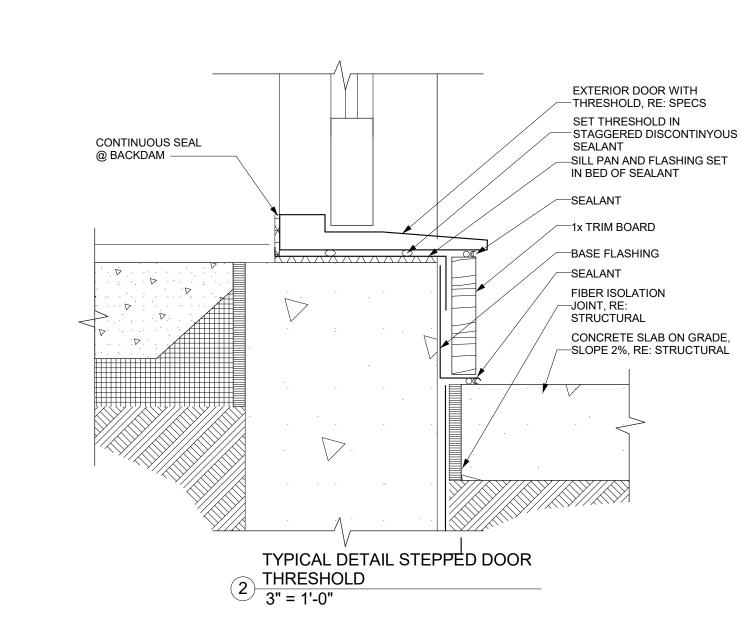
				DOO	R SCHEDU	LE UNIT TYPE D	
Count	Mark	Type Mark	Level	Height	Width	Comments	Description
2	D100A	В	FIRST FLOOR	8' - 6"	16' - 3"	4-PANEL SMOOTH GARAGE DOOR	
2	D100B	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	20min. Fire Rated
2	D100C	F	FIRST FLOOR	6' - 8"	4' - 6"	SOLID CORE MDF	20min. Fire Rated
2	D101	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
1	D201	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR	
1	D203	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR	
2	D204	E	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	D300A	С	THIRD FLOOR	8' - 0"	2' - 8"	SOLID CORE MDF	
2	D300B	С	THIRD FLOOR	6' - 8"	2' - 6"	SOLID CORE MDF	
2	D301	С	THIRD FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	D303A	С	THIRD FLOOR		2' - 6"	SOLID CORE MDF	
2	D303B	Е	THIRD FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	
2	D304A	С	THIRD FLOOR	8' - 0"	2' - 8"	SOLID CORE MDF	
2	D304B		THIRD FLOOR		4' - 10"	SOLID CORE MDF	
2	D400	А	ROOF	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
2	D401	С	ROOF	8' - 0"	3' - 0"	HOLLOW METAL DOOR	

	DOOR SCHEDULE UNIT TYPE E							
Count	Mark	Type Mark	Level	Height	Width	Comments	Description	
				•				
6	E100A	В	FIRST FLOOR	8' - 6"	10' - 3"	4-PANEL SMOOTH GARAGE DOOR	Y	
6	E100B	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	20min. Fire Rated	
6	E101A	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR		
6	E101B	F	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF		
6	E201	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR		
6	E202	E	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF		
6	E300	D	THIRD FLOOR	8' - 0"	5' - 10"	SOLID CORE MDF		
6	E301	С	THIRD FLOOR	8' - 0"	2' - 8"	SOLID CORE MDF		
6	E400	Α	ROOF	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR		
6	E401	С	ROOF	8' - 0"	3' - 0"	HOLLOW METAL DOOR		

				DOC	R SCHEDUL	E UNIT TYPE F	
Count	Mark	Type Mark	Level	Height	Width	Comments	Description
2	F100A	В	FIRST FLOOR	8' - 6"	16' - 3"	4-PANEL SMOOTH GARAGE DOOR	
2	F100B	С	FIRST FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	20min. Fire Rated
2	F100C	F	FIRST FLOOR	6' - 8"	4' - 6"	SOLID CORE MDF	20min. Fire Rated
2	F101	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
2	F203	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR	
2	F204	Е	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	F301	С	THIRD FLOOR	8' - 0"	2' - 8"	SOLID CORE MDF	
2	F302A	С	THIRD FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	F302B	С	THIRD FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	F303A	С	THIRD FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	F303B	D	THIRD FLOOR	8' - 0"	5' - 10"	SOLID CORE MDF	
2	F304A	С	THIRD FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	F304B	E	THIRD FLOOR	8' - 0"	3' - 0"	SOLID CORE MDF	
2	F400	Α	ROOF	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
2	F401	С	ROOF	8' - 0"	3' - 0"	HOLLOW METAL DOOR	

DOOR SCHEDULE UNIT TYPE G							
Count	Mark	Type Mark	Level	Height	Width	Comments	Description
2	G100A	Α	FIRST FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	
2	G102	E	FIRST FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	G200	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	G201	С	SECOND FLOOR	8' - 0"	2' - 6"	SOLID CORE MDF	
2	G203	Α	SECOND FLOOR	8' - 0"	2' - 9"	FULL LIGHT FIBERGLASS DOOR	
2	G300	С	THIRD FLOOR	8' - 0"	2' - 8"	SOLID CORE MDF	
2	G301	Α	THIRD FLOOR	8' - 0"	3' - 0"	FULL LIGHT FIBERGLASS DOOR	



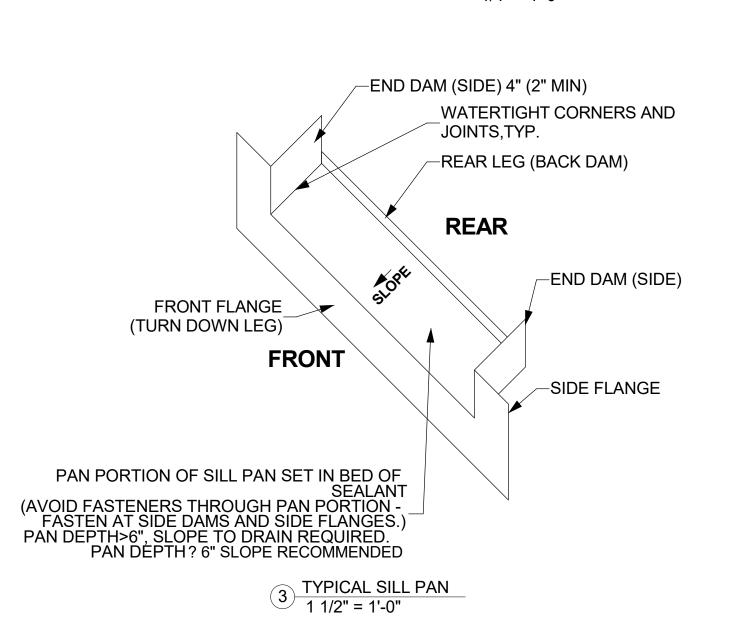


EXTERIOR DOOR WITH

SET THRESHOLD IN

THRESHOLD, RE: SPECS

STAGGERED DISCONTINYOUS



FINISH D		EXTERIOR DOOR WITH THRESHOLD, RE: SPECS SET THRESHOLD IN STAGGERED DISCONTINUOUS SEALANT SILL PAN AND FLASHING SET IN BED OF SEALANT SEALANT FIBER ISOLATION JOINT, RE: STRUCTURAL CONCRETE SLAB ON GRADE, SLOPE 2%, RE: STRUCTURAL
	AL ADA DETAIL DOOR SHOLD (ALL ENTRY DOORS IN BUILDIN	

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ROOT ARCHITECTURE AND

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PRESTON LOOS

BEN GEARHART 370 AMMONS STREET

ARCHITECTURAL

2658 WALNUT ST. DENVER, CO 80205

635, 645 N INCA STRE DENVER, CO 80204



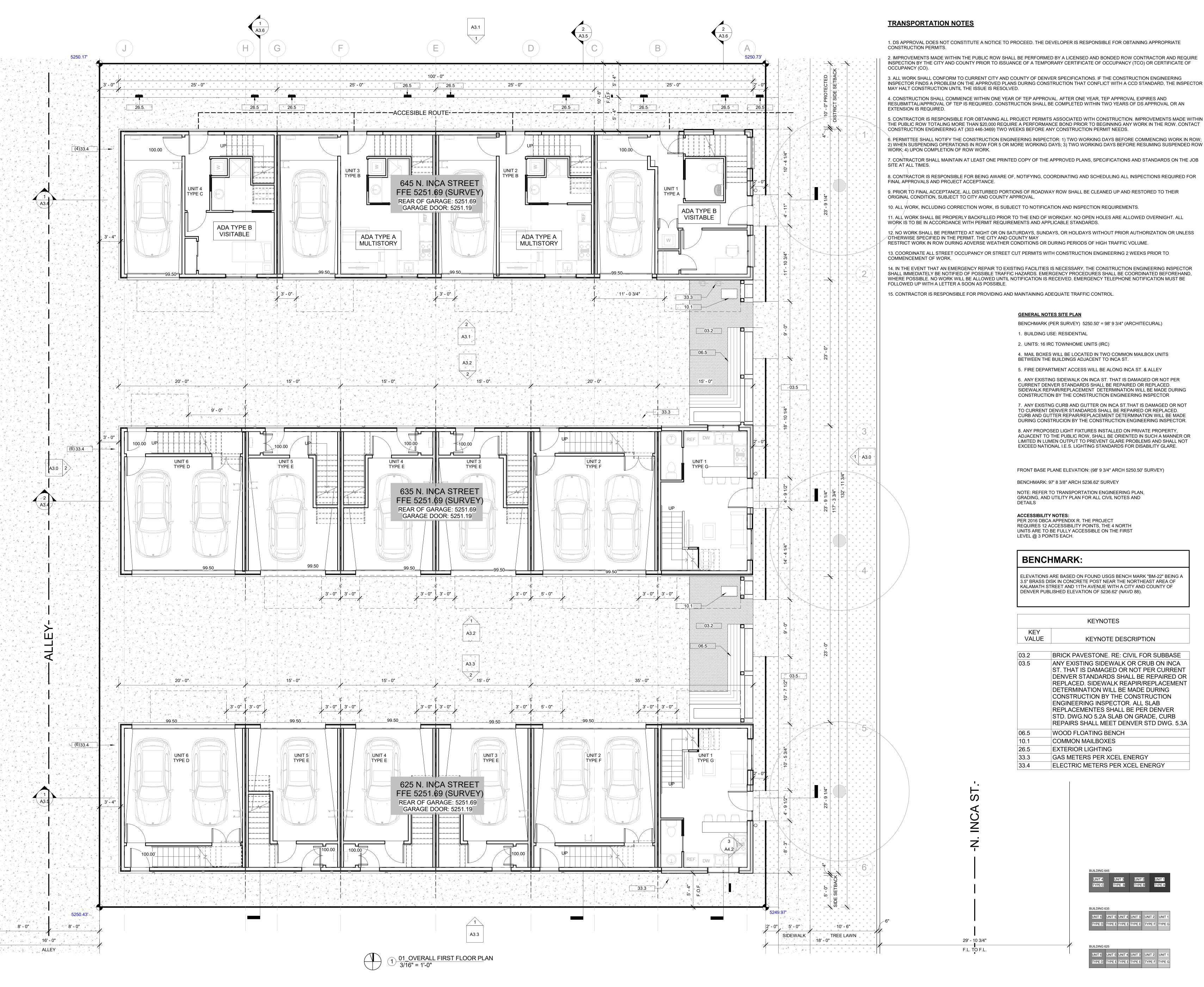
ISSUED BUILDING PERMIT PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

> 11.14.2018 **Revision Schedule**

Revision Revision Revision
Number Description Date

Revision 1 | 11.14.18

SHEET TITLE: **DOORS TYPE DETAILS &** SCHEDULE



1. DS APPROVAL DOES NOT CONSTITUTE A NOTICE TO PROCEED. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING APPROPRIATE

2. IMPROVEMENTS MADE WITHIN THE PUBLIC ROW SHALL BE PERFORMED BY A LICENSED AND BONDED ROW CONTRACTOR AND REQUIRE INSPECTION BY THE CITY AND COUNTY PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) OR CERTIFICATE OF

3. ALL WORK SHALL CONFORM TO CURRENT CITY AND COUNTY OF DENVER SPECIFICATIONS. IF THE CONSTRUCTION ENGINEERING INSPECTOR FINDS A PROBLEM ON THE APPROVED PLANS DURING CONSTRUCTION THAT CONFLICT WITH A CCD STANDARD, THE INSPECTOR

4. CONSTRUCTION SHALL COMMENCE WITHIN ONE YEAR OF TEP APPROVAL. AFTER ONE YEAR, TEP APPROVAL EXPIRES AND RESUBMITTAL/APPROVAL OF TEP IS REQUIRED. CONSTRUCTION SHALL BE COMPLETED WITHIN TWO YEARS OF DS APPROVAL OR AN

5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PROJECT PERMITS ASSOCIATED WITH CONSTRUCTION. IMPROVEMENTS MADE WITHIN THE PUBLIC ROW TOTALING MORE THAN \$20,000 REQUIRE A PERFORMANCE BOND PRIOR TO BEGINNING ANY WORK IN THE ROW. CONTACT

CONSTRUCTION ENGINEERING AT (303 446-3469) TWO WEEKS BEFORE ANY CONSTRUCTION PERMIT NEEDS. 3. PERMITTEE SHALL NOTIFY THE CONSTRUCTION ENGINEERING INSPECTOR: 1) TWO WORKING DAYS BEFORE COMMENCING WORK IN ROW;

7. CONTRACTOR SHALL MAINTAIN AT LEAST ONE PRINTED COPY OF THE APPROVED PLANS, SPECIFICATIONS AND STANDARDS ON THE JOB

8. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF, NOTIFYING, COORDINATING AND SCHEDULING ALL INSPECTIONS REQUIRED FOR

9. PRIOR TO FINAL ACCEPTANCE, ALL DISTURBED PORTIONS OF ROADWAY ROW SHALL BE CLEANED UP AND RESTORED TO THEIR

10. ALL WORK, INCLUDING CORRECTION WORK, IS SUBJECT TO NOTIFICATION AND INSPECTION REQUIREMENTS.

WORK IS TO BE IN ACCORDANCE WITH PERMIT REQUIREMENTS AND APPLICABLE STANDARDS. 12. NO WORK SHALL BE PERMITTED AT NIGHT OR ON SATURDAYS, SUNDAYS, OR HOLIDAYS WITHOUT PRIOR AUTHORIZATION OR UNLESS

OTHERWISE SPECIFIED IN THE PERMIT. THE CITY AND COUNTY MAY RESTRICT WORK IN ROW DURING ADVERSE WEATHER CONDITIONS OR DURING PERIODS OF HIGH TRAFFIC VOLUME.

13. COORDINATE ALL STREET OCCUPANCY OR STREET CUT PERMITS WITH CONSTRUCTION ENGINEERING 2 WEEKS PRIOR TO

14. IN THE EVENT THAT AN EMERGENCY REPAIR TO EXISTING FACILITIES IS NECESSARY, THE CONSTRUCTION ENGINEERING INSPECTOR SHALL IMMEDIATELY BE NOTIFIED OF POSSIBLE TRAFFIC HAZARDS. EMERGENCY PROCEDURES SHALL BE COORDINATED BEFOREHAND, WHERE POSSIBLE. NO WORK WILL BE ALLOWED UNTIL NOTIFICATION IS RECEIVED. EMERGENCY TELEPHONE NOTIFICATION MUST BE

15. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL.

GENERAL NOTES SITE PLAN

- BENCHMARK (PER SURVEY) 5250.50' = 98' 9 3/4" (ARCHITECURAL)
- 1. BUILDING USE: RESIDENTIAL
- 2. UNITS: 16 IRC TOWNHOME UNITS (IRC)

4. MAIL BOXES WILL BE LOCATED IN TWO COMMON MAILBOX UNITS

BETWEEN THE BUILDINGS ADJACENT TO INCA ST. 5. FIRE DEPARTMENT ACCESS WILL BE ALONG INCA ST. & ALLEY

6. ANY EXISTING SIDEWALK ON INCA ST. THAT IS DAMAGED OR NOT PER CURRENT DENVER STANDARDS SHALL BE REPAIRED OR REPLACED. SIDEWALK REPAIR/REPLACEMENT DETERMINATION WILL BE MADE DURING CONSTRUCTION BY THE CONSTRUCTION ENGINEERING INSPECTOR

7. ANY EXISTNG CURB AND GUTTER ON INCA ST.THAT IS DAMAGED OR NOT TO CURRENT DENVER STANDARDS SHALL BE REPAIRED OR REPLACED. DURING CONSTRUCION BY THE CONSTRUCTION ENGINEERING INSPECTOR.

8. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC ROW, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.

FRONT BASE PLANE ELEVATION: (98' 9 3/4" ARCH 5250.50' SURVEY)

BENCHMARK: 97' 8 3/8" ARCH 5236.62' SURVEY NOTE: REFER TO TRANSPORTATION ENGINEERING PLAN, GRADING, AND UTILITY PLAN FOR ALL CIVIL NOTES AND

ACCESSIBILITY NOTES: PER 2016 DBCA APPENDIX R. THE PROJECT REQUIRES 12 ACCESSIBILITY POINTS, THE 4 NORTH UNITS ARE TO BE FULLY ACCESSIBLE ON THE FIRST LEVEL @ 3 POINTS EACH.

BENCHMARK:

ELEVATIONS ARE BASED ON FOUND USGS BENCH MARK "BM-22" BEING A 3.5" BRASS DISK IN CONCRETE POST NEAR THE NORTHEAST AREA OF KALAMATH STREET AND 11TH AVENUE WITH A CITY AND COUNTY OF DENVER PUBLISHED ELEVATION OF 5236.62' (NAVD 88).

KEY	KEVALOTE DECODIDATION
VALUE	KEYNOTE DESCRIPTION
03.2	BRICK PAVESTONE. RE: CIVIL FOR SUBBASE
03.5	ANY EXISTING SIDEWALK OR CRUB ON INCA ST. THAT IS DAMAGED OR NOT PER CURRENT DENVER STANDARDS SHALL BE REPAIRED OR REPLACED. SIDEWALK REAPIR/REPLACEMENT DETERMINATION WILL BE MADE DURING CONSTRUCTION BY THE CONSTRUCTION ENGINEERING INSPECTOR. ALL SLAB REPLACEMENTES SHALL BE PER DENVER STD. DWG.NO 5.2A SLAB ON GRADE, CURB REPAIRS SHALL MEET DENVER STD DWG. 5.3A
06.5	WOOD FLOATING BENCH
10.1	COMMON MAILBOXES
26.5	EXTERIOR LIGHTING
33.3	GAS METERS PER XCEL ENERGY
33.4	ELECTRIC METERS PER XCEL ENERGY

UNIT 4 UNIT 3 UNIT 2 UNIT 1
TYPE C TYPE B TYPE B TYPE A

SITE/OVERALL FIRST FLOOR PLAN

SHEET TITLE:

SCALE: As indicated SHEET NUMBER

A2.0

OWNER: DCDP MASTER, LLC PRESTON LOOS BEN GEARHART 370 AMMONS STREET

LAKEWOOD, CO 80226 PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM ARCHITECTURAL ROOT ARCHITECTURE AND

DEVELOPMENT, LLC ZEKE FREEMAN, R.A., G.C. 2658 WALNUT ST. DENVER, CO 80205 PHONE: 720.498.1925 EMAIL: <u>zfreeman@root-ad.com</u> **CIVIL/STRUCTURAL:**

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DIGITAL SIGNATURE

INCA STRE CO 80204

FREEMAN

BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF DATE: 11.14.2018

Revision Schedule Revision Revision Revision Number Description Date

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE <u>ONLY!</u>

2. FRAMER TO PROVIDE BACKING AT ALL STAIR RAILS LOCATIONS, CABINETS AS REQUIRED, INTERIOR ACCESSORIES, ETC.

3. **260 000** PROVIDE UFER GROUND @ EACH UTILITY METER PLACEMENT, RE: STRUCTURAL FOR TYPICAL DETAIL.

4. **260 000** COORDINATE TRANSFORMER LOCATION WITH UTILITY PROVIDER.

5. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUITS AND SWITCH **AND** HEAT TAPE AT **ALL** GUTTER AND DOWNSPOUT LOCATIONS THROUGHOUT PROJECT. CONTRACTOR IS RESPONSIBLE FOR QUANTITY

6. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUIT FOR IN-WALL HEATER AT FIRST LEVEL ENTRIES.

7. 260 000 ELECTRICAL SUBCONTRACTOR TO PROVIDE (2) TWO SEPARATE 2" FLEXIBLE PVC CONDUIT RUNS TO EACH UNIT FOR QWEST AND COMCAST DISTRIBUTION, COORDINATE W/ UTILITY PROVIDER.
 8. 260 000 ELECTRICAL SUBCONTRACTOR TO SEE CIVIL NOTES ON HEAT TAPE AT UNDERGROUND STORM

MAINTAIN MINIMUM 24" CLEARANCE FROM ALL ROOF PENETRATIONS TO ROOF VALLEYS, CRICKETS, ETC.
 UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 2X4 STUDS W/1/2" GYP. BOARD EA. SIDE.

PLUMBING WALLS TO BE 2X6 STUDS W 1/2" GYP. BOARD EA. SIDE.

11. COORDINATE BOOK VENTING LOCATIONS W/MED. BROVIDE MIN. 18" SPACING BETWEEN VENTS, NO.

11. COORDINATE ROOF VENTING LOCATIONS W/ MEP. PROVIDE MIN. 18" SPACING BETWEEN VENTS, NO PENETRATION OF THE 48" OF APPROVED FRT SHEATHING ALLOWED PER R302.2.2.2

12. FINISH FLOOR ELEVATION @ WOOD FRAMED FLOORS IS TO TOP OF SHEATHING.

13. CONCRETE CONTRACTOR TO COORDINATE ALL GARAGE DOOR BLOCKOUTS WITH CIVIL GRADING PLAN. PROVIDE BLOCKOUT FROM TOP OF CONCRETE WALL TO 8" MINIMUM BELOW CIVIL GRADING PLAN ELEVATIONS AT EACH GARAGE DOOR. EACH UNIT VARIES.

14. FRAMER TO REFER TO SOIL REPORT FOR TYPICAL 'FLOATING WALL' DETAIL AT INTERIOR PARTITIONS RESTING ON SLAB ON GRADE CONDITIONS.

15. ROOF MATERIALS MUST COMPLY WITH DENVER ROOF GUIDELINES TABLE R301.2, GROUND SNOWLOAD 35PSF, SPEED 115/125/140

16.FLASHING UNDER SHEET METAL COPING CAPS TO BE RATED FOR HIGH TEMPERATURE APPLICATIONS.

17. ALL UNITS SHALL BE PROVIDED WITH INDIVIDUAL UTILITIES SERVING EACH UNIT FROM THE EXTERIOR OF THE BUILDING. NO UTILITY (WATER, GAS, ELECTRIC, ETC.) SHALL PASS THROUGH THE COMMON 2-HR FIRE RESISTIVE RATED WALLS NOR THE COMMON FOUNDATION STEM WALLS OR CRIPPLE WALLS. (IRC SECTION R302.2.) THE GAS LINES SHALL NOT RUN BELOW THE BUILDING AND SHALL SERVE EACH UNIT FROM A SEALED PENETRATION ABOVE GRADE (IFGC SECTION 404.)

	KEYNOTES	
KEY VALUE	KEYNOTE DESCRIPTION	



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BEN GEARHART
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ROOT ARCHITECTURE AND
DEVELOPMENT, LLC
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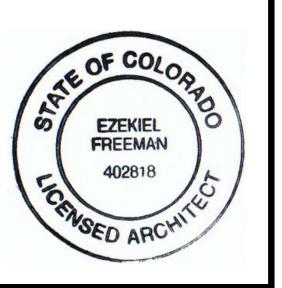
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DIGITAL SIGNATURE

TOWNHOMES
25, 635, 645 N INCA STREE



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

Davisias Ca

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision

Number Description Date

OVERALL SECOND FLOOR PLAN

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2

TYPE D TYPE E TYPE TYPE TYPE TYPE TYPE F

BUILDING 625

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE

SCALE: As indicated SHEET NUMBER

A2.1

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE <u>ONLY!</u>

2. FRAMER TO PROVIDE BACKING AT ALL STAIR RAILS LOCATIONS, CABINETS AS REQUIRED, INTERIOR ACCESSORIES, ETC.

3. **260 000** PROVIDE UFER GROUND @ EACH UTILITY METER PLACEMENT, RE: STRUCTURAL FOR TYPICAL DETAIL.

4. **260 000** COORDINATE TRANSFORMER LOCATION WITH UTILITY PROVIDER.

5. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUITS AND SWITCH **AND** HEAT TAPE AT **ALL** GUTTER AND DOWNSPOUT LOCATIONS THROUGHOUT PROJECT. CONTRACTOR IS RESPONSIBLE FOR QUANTITY

6. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUIT FOR IN-WALL HEATER AT FIRST LEVEL ENTRIES.

7. 260 000 ELECTRICAL SUBCONTRACTOR TO PROVIDE (2) TWO SEPARATE 2" FLEXIBLE PVC CONDUIT RUNS TO EACH UNIT FOR QWEST AND COMCAST DISTRIBUTION, COORDINATE W/ UTILITY PROVIDER.

8. **260 000** ELECTRICAL SUBCONTRACTOR TO SEE CIVIL NOTES ON HEAT TAPE AT UNDERGROUND STORM PIPING.

 MAINTAIN MINIMUM 24" CLEARANCE FROM ALL ROOF PENETRATIONS TO ROOF VALLEYS, CRICKETS, ETC.
 UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 2X4 STUDS W/1/2" GYP. BOARD EA. SIDE. PLUMBING WALLS TO BE 2X6 STUDS W 1/2" GYP. BOARD EA. SIDE.

11. COORDINATE ROOF VENTING LOCATIONS W/ MEP. PROVIDE MIN. 18" SPACING BETWEEN VENTS, NO PENETRATION OF THE 48" OF APPROVED FRT SHEATHING ALLOWED PER R302.2.2.2

12. FINISH FLOOR ELEVATION @ WOOD FRAMED FLOORS IS TO TOP OF SHEATHING.

13. CONCRETE CONTRACTOR TO COORDINATE ALL GARAGE DOOR BLOCKOUTS WITH CIVIL GRADING PLAN. PROVIDE BLOCKOUT FROM TOP OF CONCRETE WALL TO 8" MINIMUM BELOW CIVIL GRADING PLAN ELEVATIONS AT EACH GARAGE DOOR. EACH UNIT VARIES.

14. FRAMER TO REFER TO SOIL REPORT FOR TYPICAL 'FLOATING WALL' DETAIL AT INTERIOR PARTITIONS RESTING ON SLAB ON GRADE CONDITIONS.

15. ROOF MATERIALS MUST COMPLY WITH DENVER ROOF GUIDELINES TABLE R301.2, GROUND SNOWLOAD 35PSF, SPEED 115/125/140

16.FLASHING UNDER SHEET METAL COPING CAPS TO BE RATED FOR HIGH TEMPERATURE APPLICATIONS.

17. ALL UNITS SHALL BE PROVIDED WITH INDIVIDUAL UTILITIES SERVING EACH UNIT FROM THE EXTERIOR OF THE BUILDING. NO UTILITY (WATER, GAS, ELECTRIC, ETC.) SHALL PASS THROUGH THE COMMON 2-HR FIRE RESISTIVE RATED WALLS NOR THE COMMON FOUNDATION STEM WALLS OR CRIPPLE WALLS. (IRC SECTION R302.2.) THE GAS LINES SHALL NOT RUN BELOW THE BUILDING AND SHALL SERVE EACH UNIT FROM A SEALED PENETRATION ABOVE GRADE (IFGC SECTION 404.)

KEYNOTES				
KEY VALUE	KEYNOTE DESCRIPTION			
01.6	ELEVATED ROOF			
05.9	METAL CAP FOR WALL			
05.11	METAL SPIRAL STAIRS BY PARAGON STAIRS 5'DIAMETER RIGHT HAND UP SPIRAL STAIR			
23.1	CONDENSING UNIT. HEIGHT REMAINS BELOW ADJACENT PARAPET HEIGHT.			



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DIGITAL SIGNATURE

_

TOWNHOMES
25, 635, 645 N INCA STREE



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

Revision Schedule

DATE: 11.14.2018

Revision Revision Revision
Number Description Date

SHEET TITLE:

OVERALL THIRD

FLOOR PLAN

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 U
TYPE D TYPE E TYPE E TYPE E TYPE F TYPE F

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1 TYPE D TYPE E TYPE E TYPE E TYPE F TYPE

SCALE: As indicated SHEET NUMBER

A2.2

1 03_OVERALL THIRD FLOOR 3/16" = 1'-0"

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE <u>ONLY!</u>

2. FRAMER TO PROVIDE BACKING AT ALL STAIR RAILS LOCATIONS, CABINETS AS REQUIRED, INTERIOR ACCESSORIES, ETC.

3. 260 000 PROVIDE UFER GROUND @ EACH UTILITY METER PLACEMENT, RE: STRUCTURAL FOR TYPICAL

4. **260 000** COORDINATE TRANSFORMER LOCATION WITH UTILITY PROVIDER.

PLUMBING WALLS TO BE 2X6 STUDS W 1/2" GYP. BOARD EA. SIDE.

AT EACH GARAGE DOOR. EACH UNIT VARIES.

PENETRATION ABOVE GRADE (IFGC SECTION 404.)

5. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUITS AND SWITCH **AND** HEAT TAPE AT **ALL** GUTTER AND DOWNSPOUT LOCATIONS THROUGHOUT PROJECT. CONTRACTOR IS RESPONSIBLE FOR QUANTITY TAKEOFFS.

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8. 260 000 ELECTRICAL SUBCONTRACTOR TO SEE CIVIL NOTES ON HEAT TAPE AT UNDERGROUND STORM

9. MAINTAIN MINIMUM 24" CLEARANCE FROM ALL ROOF PENETRATIONS TO ROOF VALLEYS, CRICKETS, ETC.

10. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 2X4 STUDS W/1/2" GYP. BOARD EA. SIDE.

11. COORDINATE ROOF VENTING LOCATIONS W/ MEP. PROVIDE MIN. 18" SPACING BETWEEN VENTS, NO PENETRATION OF THE 48" OF APPROVED FRT SHEATHING ALLOWED PER R302.2.2.2

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14. FRAMER TO REFER TO SOIL REPORT FOR TYPICAL 'FLOATING WALL' DETAIL AT INTERIOR PARTITIONS RESTING ON SLAB ON GRADE CONDITIONS.

15. ROOF MATERIALS MUST COMPLY WITH DENVER ROOF GUIDELINES TABLE R301.2, GROUND SNOWLOAD 35PSF, SPEED 115/125/140

17. ALL UNITS SHALL BE PROVIDED WITH INDIVIDUAL UTILITIES SERVING EACH UNIT FROM THE EXTERIOR OF THE BUILDING. NO UTILITY (WATER, GAS, ELECTRIC, ETC.) SHALL PASS THROUGH THE COMMON 2-HR FIRE RESISTIVE RATED WALLS NOR THE COMMON FOUNDATION STEM WALLS OR CRIPPLE WALLS. (IRC SECTION R302.2.) THE GAS LINES SHALL NOT RUN BELOW THE BUILDING AND SHALL SERVE EACH UNIT FROM A SEALED

16.FLASHING UNDER SHEET METAL COPING CAPS TO BE RATED FOR HIGH TEMPERATURE APPLICATIONS.

KEYNOTES				
KEY VALUE	KEYNOTE DESCRIPTION			
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05.11	METAL SPIRAL STAIRS BY PARAGON STAIRS 5'DIAMETER RIGHT HAND UP SPIRAL STAIR			
07.1	DOWNSPOUT			
23.1	CONDENSING UNIT. HEIGHT REMAINS BELOW ADJACENT PARAPET HEIGHT.			



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DIGITAL SIGNATURE

TOWNHOMES25, 635, 645 N INCA STRE



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision
Number Description Date

SHEET TITLE:
OVERALL ROOF
PLAN

BUILDING 625

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE

SCALE: As indicated SHEET NUMBER

A2.3

1 04_OVERALL ROOF PLAN 3/16" = 1'-0"

BUILDING 2 - ROOF UNIT PLANS
3/16" = 1'-0"

GENERAL NOTES

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE <u>ONLY!</u>

2. FRAMER TO PROVIDE BACKING AT ALL STAIR RAILS LOCATIONS, CABINETS AS REQUIRED, INTERIOR ACCESSORIES, ETC.

3. $260\ 000\ \text{PROVIDE}$ UFER GROUND @ EACH UTILITY METER PLACEMENT, RE: STRUCTURAL FOR TYPICAL DETAIL.

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 8. 260 000 ELECTRICAL SUBCONTRACTOR TO SEE CIVIL NOTES ON HEAT TAPE AT UNDERGROUND STORM

9. MAINTAIN MINIMUM 24" CLEARANCE FROM ALL ROOF PENETRATIONS TO ROOF VALLEYS, CRICKETS, ETC.

10. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 2X4 STUDS W/1/2" GYP. BOARD EA. SIDE. PLUMBING WALLS TO BE 2X6 STUDS W 1/2" GYP. BOARD EA. SIDE.

11. COORDINATE ROOF VENTING LOCATIONS W/ MEP. PROVIDE MIN. 18" SPACING BETWEEN VENTS, NO

PENETRATION OF THE 48" OF APPROVED FRT SHEATHING ALLOWED PER R302.2.2.2

12. FINISH FLOOR ELEVATION @ WOOD FRAMED FLOORS IS TO TOP OF SHEATHING.

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	KEYNOTES
KEY VALUE	KEYNOTE DESCRIPTION
01.4	3/4" APPROVED FRTW SHEATING 48" FROM PROPERTY LINE
01.6	ELEVATED ROOF
05.3	METAL CABLE HANDRAIL RE: DETAILS SHEET 13
05.9	METAL CAP FOR WALL
07.1	DOWNSPOUT
23.1	CONDENSING UNIT. HEIGHT REMAINS BELOW ADJACENT PARAPET HEIGHT.



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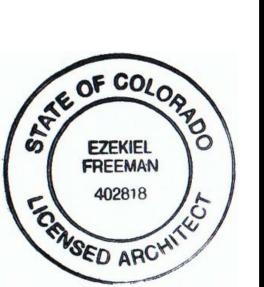
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DIGITAL SIGNATURE

DIGITAL SIGNATU

INCA STREET
TOWNHOMES
5, 635, 645 N INCA STREE
DENVER, CO 80204



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision
Number Description Date

UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE E TYPE E TYPE E TYPE F TYPE G

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2

TYPE D TYPE E TYPE E TYPE E TYPE F

SCALE: As indicated SHEET NUMBER

A2.4

SHEET TITLE:
OVERALL UPPER
ROOF PLAN



1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE ONLY!

2. FRAMER TO PROVIDE BACKING AT ALL STAIR RAILS LOCATIONS, CABINETS AS REQUIRED, INTERIOR ACCESSORIES, ETC.

3. **260 000** PROVIDE UFER GROUND @ EACH UTILITY METER PLACEMENT, RE: STRUCTURAL FOR TYPICAL

4. **260 000** COORDINATE TRANSFORMER LOCATION WITH UTILITY PROVIDER.

5. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUITS AND SWITCH **AND** HEAT TAPE AT **ALL** GUTTER AND DOWNSPOUT LOCATIONS THROUGHOUT PROJECT. CONTRACTOR IS RESPONSIBLE FOR QUANTITY

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9. MAINTAIN MINIMUM 24" CLEARANCE FROM ALL ROOF PENETRATIONS TO ROOF VALLEYS, CRICKETS, ETC.

10. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 2X4 STUDS W/1/2" GYP. BOARD EA. SIDE. PLUMBING WALLS TO BE 2X6 STUDS W 1/2" GYP. BOARD EA. SIDE.

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PENETRATION OF THE 48" OF APPROVED FRT SHEATHING ALLOWED PER R302.2.2.2 12. FINISH FLOOR ELEVATION @ WOOD FRAMED FLOORS IS TO TOP OF SHEATHING.

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15. ROOF MATERIALS MUST COMPLY WITH DENVER ROOF GUIDELINES TABLE R301.2, GROUND SNOWLOAD 35PSF, SPEED 115/125/140

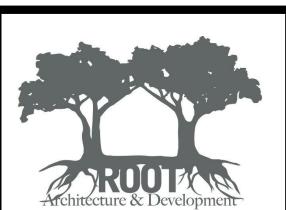
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SYMBOL	DESCRIPTION
	1-HR RATED SEPARATION WALL
	2-HR RATED SEPARATION WALL

RE: SHEET G2.1 FOR COMPLETE RATED WALL LAYOUT

HABITABLE ROOM	HABITABLE ROOM	GLAZED AREA	GLAZED AR
	SIZE	REQUIRED (8%)	PROVIDED
1ST LIVING AREA	159 SF	12.7 SF	22.50 SF

KEYNOTES		
KEY VALUE	KEYNOTE DESCRIPTION	
01.6 ELEVATED ROOF		
23.1	CONDENSING UNIT. HEIGHT REMAINS BELOW ADJACENT PARAPET HEIGHT.	



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DIGITAL SIGNATURE



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

DATE: 11.14.2018

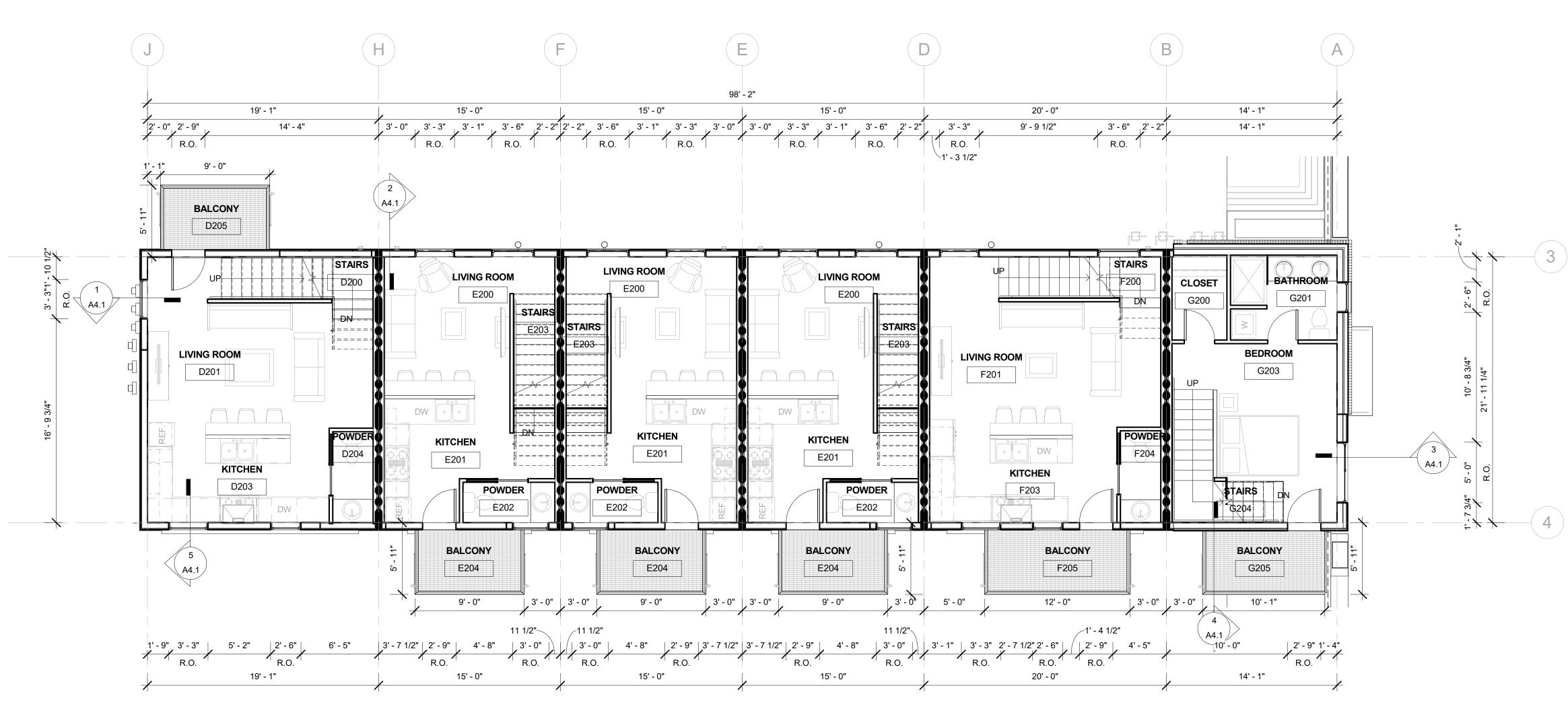
Revision Schedule

Revision Revision Revision Number Description Date

TYPE B TYPE B TYPE B TYPE B VISITABLE MULTISTORY MULTISTORY VISITABLE TYPE D TYPE E TYPE E TYPE F TYPE G

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1 TYPE D TYPE E TYPE E TYPE F TYPE G

SHEET TITLE: **BUILDING 645 Inca** St UNIT PLANS



2 635 Inca St. -2ND FLOOR UNIT PLANS 3/16" = 1'-0"

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) ONLY FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE ONLY!

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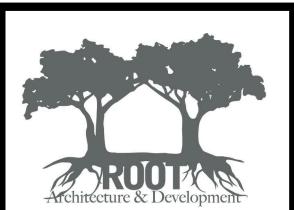
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R302.2.) THE GAS LINES SHALL NOT RUN BELOW THE BUILDING AND SHALL SERVE EACH UNIT FROM A SEALED

PENETRATION ABOVE GRADE (IFGC SECTION 404.)

SYMBOL	DESCRIPTION
	1-HR RATED SEPARATION WALL
	2-HR RATED SEPARATION WALL

RE: SHEET G2.1 FOR COMPLETE RATED WALL LAYOUT



DCDP MASTER, LLC PRESTON LOOS BEN GEARHART 370 AMMONS STREET LAKEWOOD, CO 80226 PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM

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201 EAST LAS ANIMAS, SUITE 113 COLORADO SPRINGS, CO 80903 PHONE: 720.594.9494 EMAIL: Info@AltitudeLandCo.com APEX ENGINEERS, INC. 2701 LAWRENCE ST. INC.

DENVER, CO 80205 PHONE: 720.588.3222 www.apex-engineers.com

SURVEYOR: CBM SURVEYS, INC. RANDY FORTUIN 1418 S. ADDISON CT.

AURORA, CO 80018 PHONE: 720.373.8376 EMAIL: CBMSURVEYS@COMCAST.NET

DIGITAL SIGNATURE



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision
Number Description Date

SHEET TITLE:

BUILDING 635 Inca St UNIT PLANS 1ST & 2ND FLOOR

SCALE: As indicated SHEET NUMBER

BUILDING 645

UNIT 4 UNIT 3 UNIT 2 UNIT 1

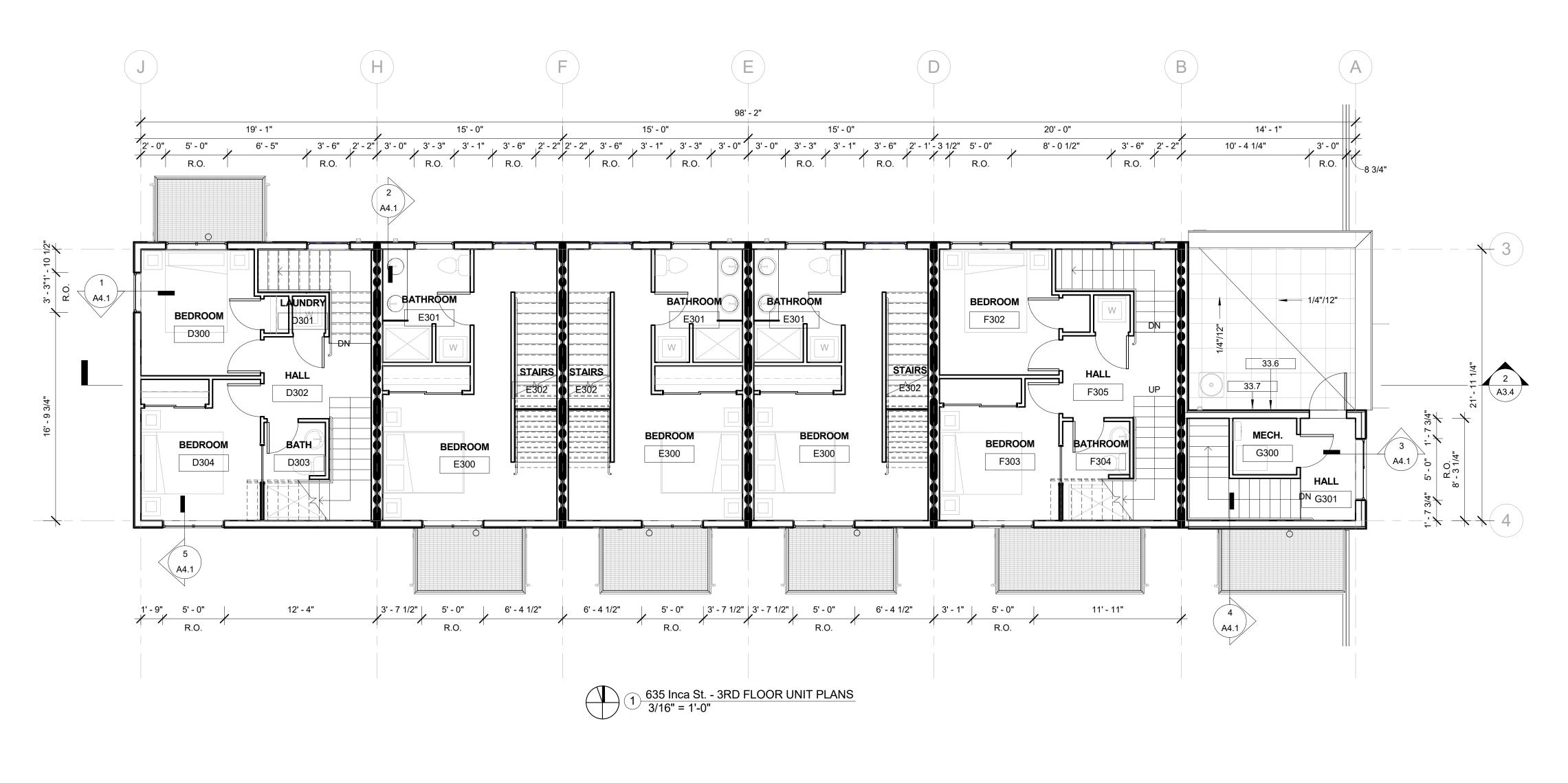
TYPE C TYPE B TYPE B TYPE A UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

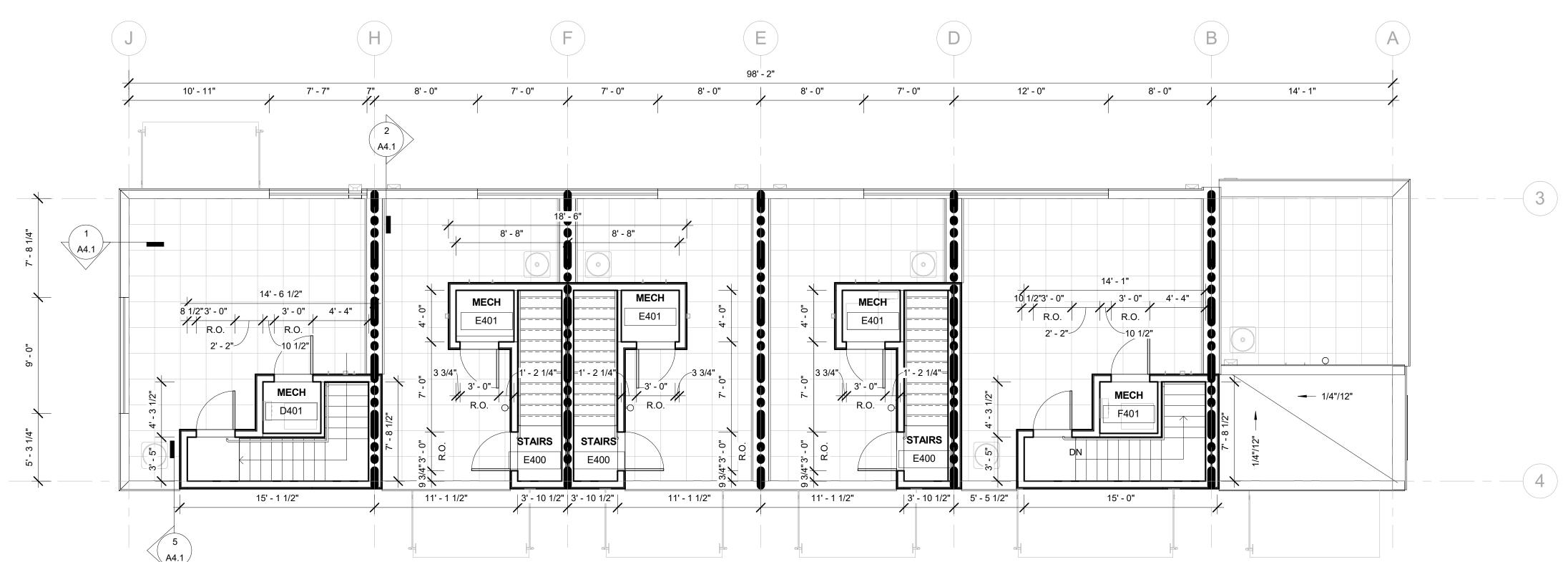
TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

BUILDING 625

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G





2 635 Inca St. - 4TH FLOOR UNIT PLAN 3/16" = 1'-0"

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE ONLY!

2. FRAMER TO PROVIDE BACKING AT ALL STAIR RAILS LOCATIONS, CABINETS AS REQUIRED, INTERIOR ACCESSORIES, ETC.

3. **260 000** PROVIDE UFER GROUND @ EACH UTILITY METER PLACEMENT, RE: STRUCTURAL FOR TYPICAL

4. **260 000** COORDINATE TRANSFORMER LOCATION WITH UTILITY PROVIDER.

5. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUITS AND SWITCH **AND** HEAT TAPE AT **ALL** GUTTER AND DOWNSPOUT LOCATIONS THROUGHOUT PROJECT. CONTRACTOR IS RESPONSIBLE FOR QUANTITY

6. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUIT FOR IN-WALL HEATER AT FIRST LEVEL ENTRIES.

7. 260 000 ELECTRICAL SUBCONTRACTOR TO PROVIDE (2) TWO SEPARATE 2" FLEXIBLE PVC CONDUIT RUNS TO **EACH UNIT** FOR QWEST AND COMCAST DISTRIBUTION, COORDINATE W/ UTILITY PROVIDER. 8. **260 000** ELECTRICAL SUBCONTRACTOR TO SEE CIVIL NOTES ON HEAT TAPE AT UNDERGROUND STORM

9. MAINTAIN MINIMUM 24" CLEARANCE FROM ALL ROOF PENETRATIONS TO ROOF VALLEYS, CRICKETS, ETC.

10. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 2X4 STUDS W/1/2" GYP. BOARD EA. SIDE. PLUMBING WALLS TO BE 2X6 STUDS W 1/2" GYP. BOARD EA. SIDE. 11. COORDINATE ROOF VENTING LOCATIONS W/ MEP. PROVIDE MIN. 18" SPACING BETWEEN VENTS, NO

PENETRATION OF THE 48" OF APPROVED FRT SHEATHING ALLOWED PER R302.2.2.2

12. FINISH FLOOR ELEVATION @ WOOD FRAMED FLOORS IS TO TOP OF SHEATHING.

PENETRATION ABOVE GRADE (IFGC SECTION 404.)

13. CONCRETE CONTRACTOR TO COORDINATE ALL GARAGE DOOR BLOCKOUTS WITH CIVIL GRADING PLAN. PROVIDE BLOCKOUT FROM TOP OF CONCRETE WALL TO 8" MINIMUM BELOW CIVIL GRADING PLAN ELEVATIONS AT EACH GARAGE DOOR. EACH UNIT VARIES.

14. FRAMER TO REFER TO SOIL REPORT FOR TYPICAL 'FLOATING WALL' DETAIL AT INTERIOR PARTITIONS RESTING ON SLAB ON GRADE CONDITIONS.

15. ROOF MATERIALS MUST COMPLY WITH DENVER ROOF GUIDELINES TABLE R301.2, GROUND SNOWLOAD 35PSF, SPEED 115/125/140

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SYMBOL	DESCRIPTION
	1-HR RATED SEPARATION WALL
	2-HR RATED SEPARATION WALL

RE: SHEET G2.1 FOR COMPLETE RATED WALL LAYOUT



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DIGITAL SIGNATURE

635, 645 N INCA STRE DENVER, CO 80204 INCA STREET TOWNHOMES



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

Revision Schedule

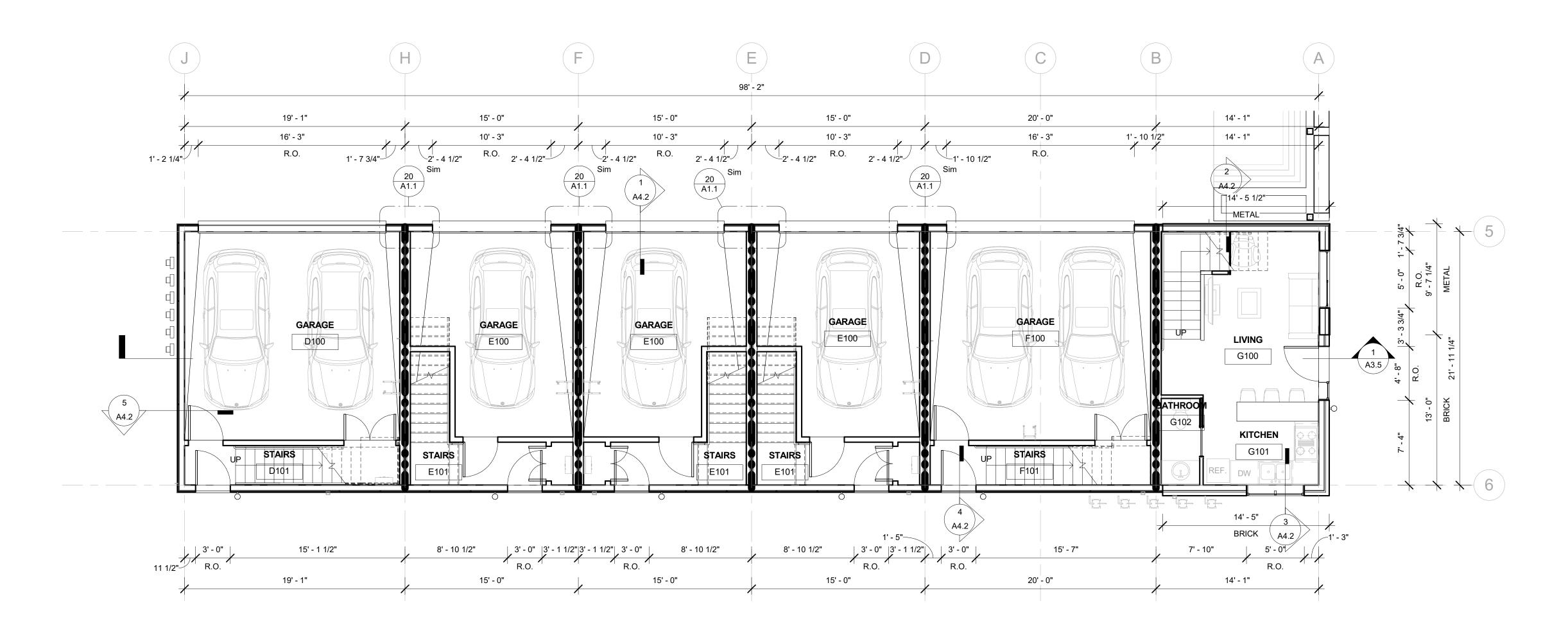
DATE: 11.14.2018

Revision Revision Revision
Number Description Date

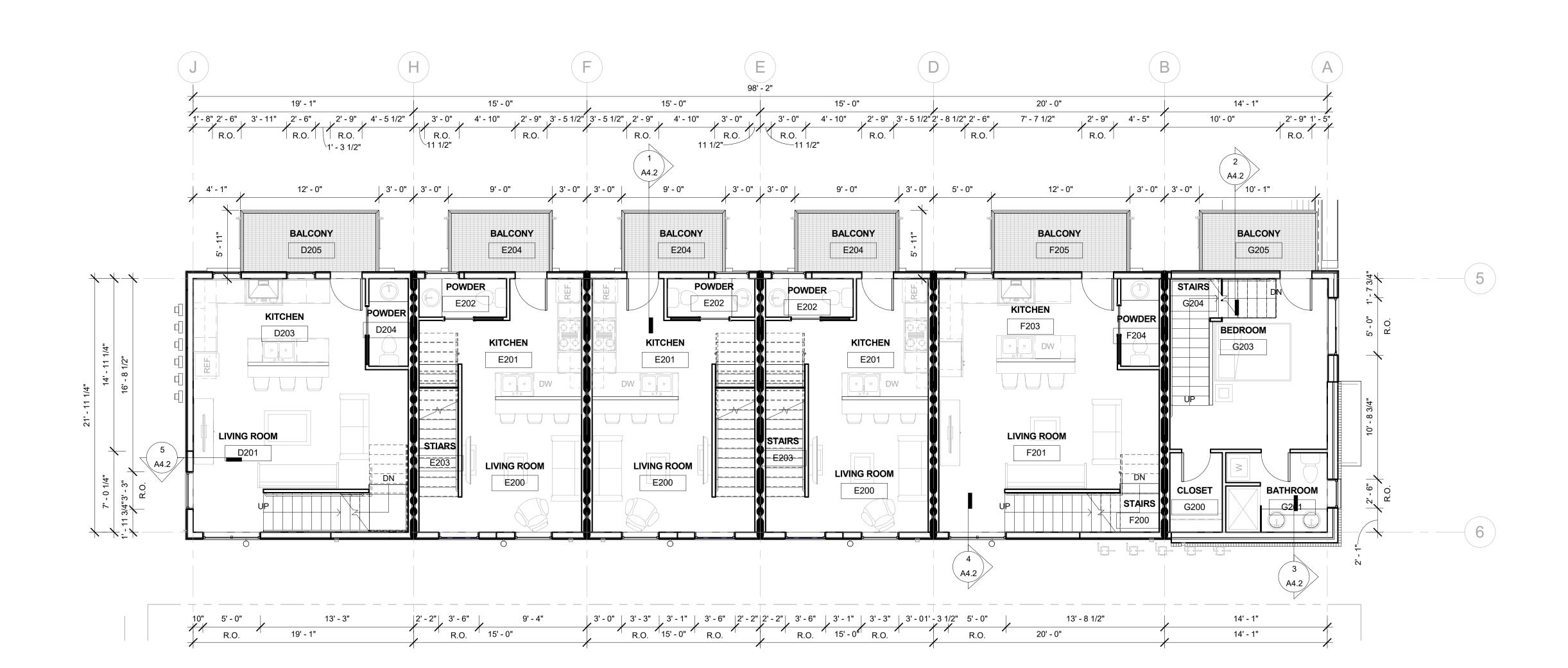
UNIT 4 UNIT 3 UNIT 2 UNIT 1
TYPE C TYPE B TYPE B TYPE A

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1 TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

SHEET TITLE: **BUILDING 635 Inca** St UNIT PLANS 3RD & 4TH FLOOR



1 625 Inca St. - 1ST FLOOR UNIT PLAN 3/16" = 1'-0"



2 625 Inca St. - 2ND FLOOR UNIT PLANS 3/16" = 1'-0"

GENERAL NOTES

1. REFER TO OVERALL FLOOR PLANS (SHEETS A2.1-2.4) <u>ONLY</u> FOR ALL EXTERIOR FRAMING DIMENSIONS, WINDOW AND EXTERIOR DOOR CALLOUTS. GRIDLINES ARE TO EXTERIOR FACE OF FOUNDATION AND ALIGN WITH THE FACE OF STUD @ STUCCO AND PANEL SYSTEM AND WITH THE FACE OF BRICK @ BRICK SYSTEMS. EXTERIOR WALLS ON INTERIOR PLANS ARE FOR REFERENCE ONLY!

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4. **260 000** COORDINATE TRANSFORMER LOCATION WITH UTILITY PROVIDER.

5. **260 000** ELECTRICAL SUBCONTRACTOR TO PROVIDE CIRCUITS AND SWITCH <u>AND</u> HEAT TAPE AT <u>ALL</u> GUTTER AND DOWNSPOUT LOCATIONS THROUGHOUT PROJECT. CONTRACTOR IS RESPONSIBLE FOR QUANTITY

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	2-HR RATED SEPARATION WALL

RE: SHEET G2.1 FOR COMPLETE RATED WALL LAYOUT



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DIGITAL SIGNATURE



ISSUED BUILDING PERMIT

DRAWN: DG & CA CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

Revision Revision Revision
Number Description Date

SHEET TITLE: **BUILDING 625 Inca** St UNIT PLANS 1ST & 2ND FLOOR

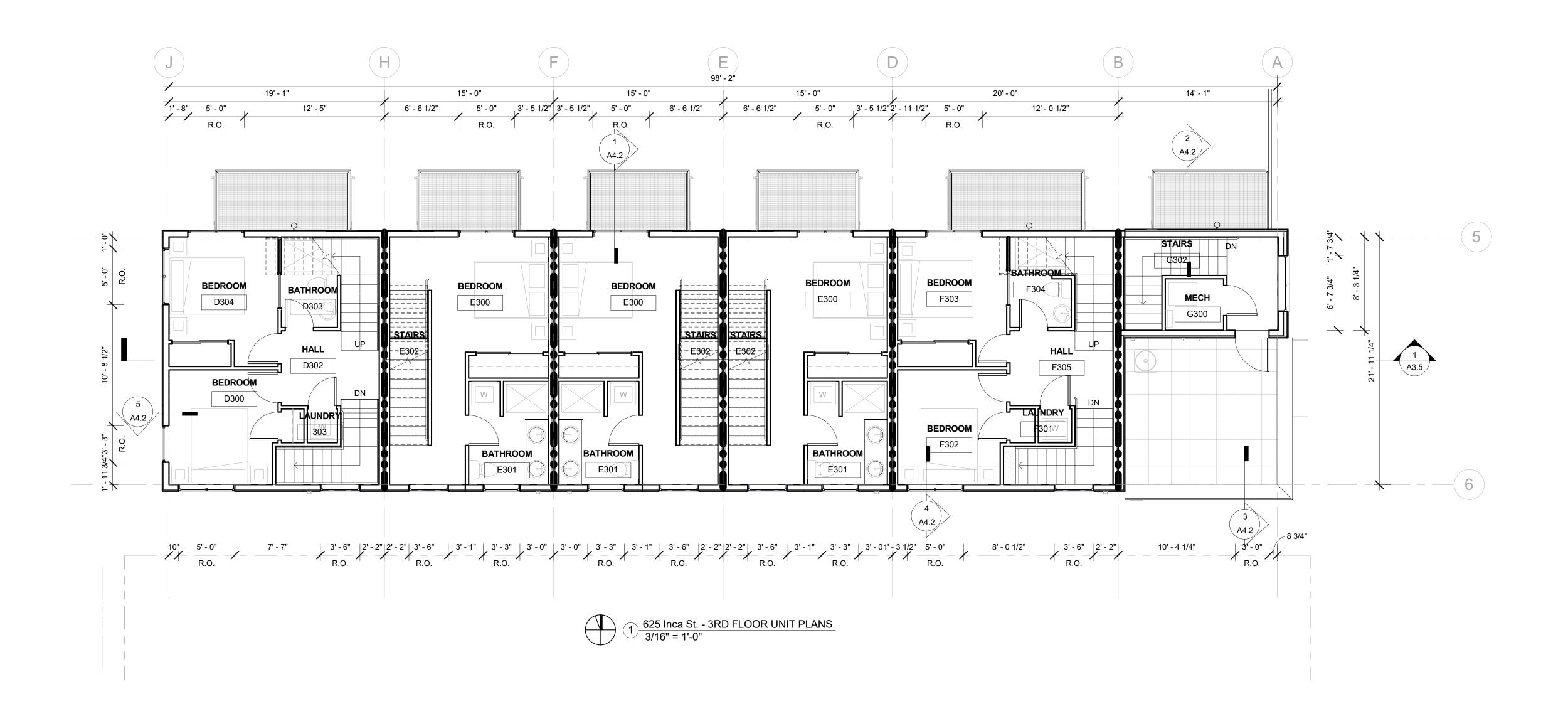
SCALE: As indicated SHEET NUMBER

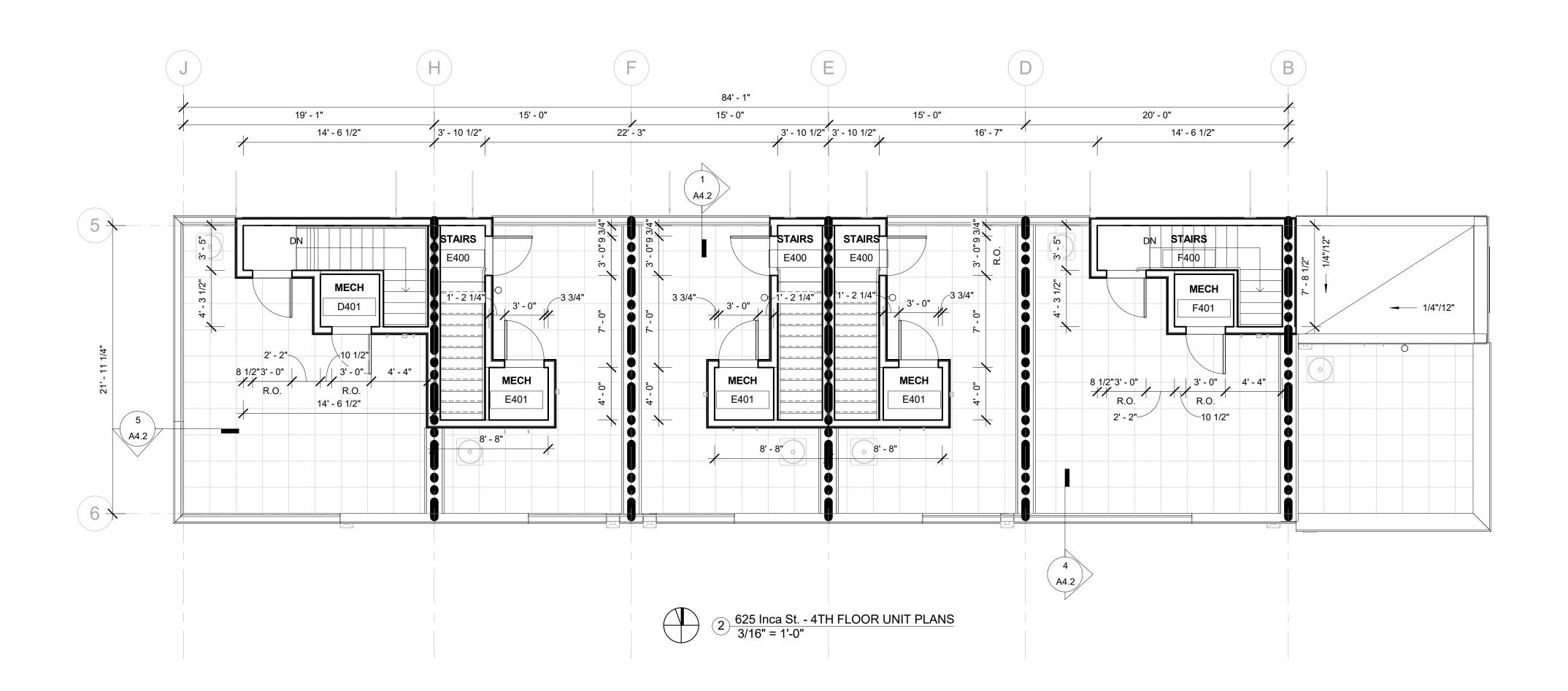
UNIT 4 UNIT 3 UNIT 2 UNIT 1
TYPE C TYPE B TYPE B TYPE A BUILDING 635

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

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SYMBOL	DESCRIPTION
	1-HR RATED SEPARATION WALL
	2-HR RATED SEPARATION WALL

RE: SHEET G2.1 FOR COMPLETE RATED WALL LAYOUT



OWNER:
DCDP MASTER, LLC
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BEN GEARHART
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EMAIL: CBMSURVEYS@COMCAST.NET

DIGITAL SIGNATURE

WNHOMES
645 N INCA STREET
VER, CO 80204

EZEKIEL FREEMAN 402818

ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

DATE: 11.14.2018

Revision Schedule

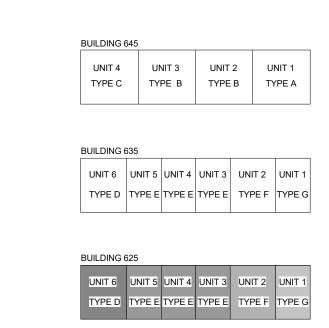
Revision Revision Revision
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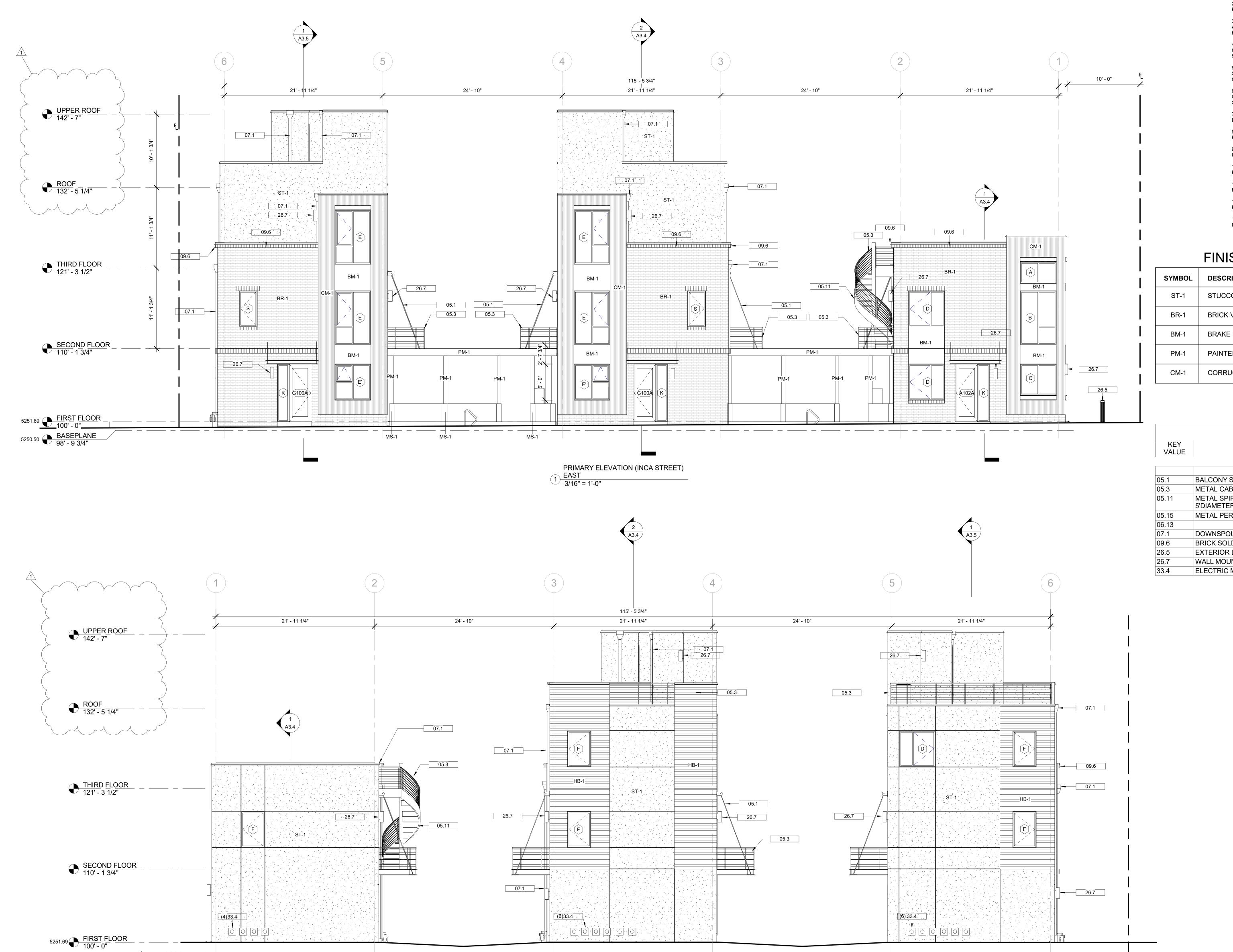
SHEET TITLE:

BUILDING 625 Inca St UNIT PLANS 3RD & 4TH FLOOR PLAN

SCALE: As indicated SHEET NUMBER

A2.9





2 PRIMARY ELEVATION (ALLEY) WEST 3/16" = 1'-0"

5250.50 BASEPLANE 98' - 9 3/4"

GENERAL NOTES ①

1. FINISH FLOOR ELEVATION 100'-0" = ELEVATION 5112.00

2. WINDOW TYPES ARE SHOWN THUS

RE: A8.3 FOR WINDOW INFORMATION 3. REFER TO THE DOOR SCHEDULE ON SHEET A8.1 FOR EXTERIOR HOLLOW METAL DOOR AND

FRAME INFORMATION.

4. ALL MASONRY INTERIOR CORNERS SHALL BE CONTROL JOINTS WITH BACKER ROD AND

5. ALL EXTERIOR MASONRY AND CAST STONE SILLS TO RECEIVE GRAFFITI REPELLANT COATING, TYP.

6. METAL WALL PANEL SYSTEMS SHALL BE ORIENTED HORIZONTALLY OR VERTICALLY AS

7. FACE BRICK SHALL BE COURSED RUNNING BOND OR STACKED BOND AS SHOWN

8. CAST STONE SILLS TO MATCH COLOR OF BRICK BELOW, TYP UON.

9. ALL ALUMINUM WINDOWS ARE TYPE 1 TYP

10. PROVIDE BITUMINOUS DAMPPROOFING AS REQUIRED IN SPEC SECTION 07 11 13.

11. PROVIDE SHEET WATERPROOFING AS REQUIRED IN SPEC SECTION 07 13 26.

12. MOUNT EXTERIOR WALL-MOUNTED LIGHT FIXTURES AT 11'-4" AFF TYP, UON

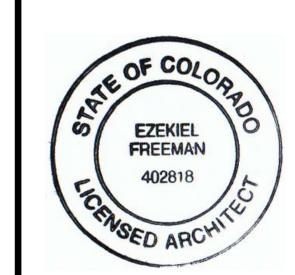
13. MOUNT EXTERIOR WALL-MOUNTED INTERCOM SPEAKERS AT 14'-0" AFF TYP, UON

FINISHES LEGEND

SYMBOL	DESCRIPTION	COMMENT
ST-1	STUCCO	
BR-1	BRICK VENEER	
BM-1	BRAKE METAL	
PM-1	PAINTED METAL	
CM-1	CORRUGATED METAL	

KEYNOTES KEY VALUE KEYNOTE DESCRIPTION	
05.1	BALCONY STEEL CABLE HANGER
05.3 METAL CABLE HANDRAIL RE: DETAILS SHEE	
05.11 METAL SPIRAL STAIRS BY PARAGON STA	

5'DIAMETER RIGHT HAND UP SPIRAL STAIR METAL PERGOLA DOWNSPOUT BRICK SOLDIER COURSE FINISH: COLOR TBD EXTERIOR LIGHTING WALL MOUNTED INDIRECT LIGHTING ELECTRIC METERS PER XCEL ENERGY



OWNER: DCDP MASTER, LLC

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DEVELOPMENT, LLC

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ARCHITECTURAL
ROOT ARCHITECTURE AND

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EMAIL: Info@AltitudeLandCo.com

PRESTON LOOS BEN GEARHART

ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

Revision Schedule

DATE: 11.14.2018

Revision Revision
Number Description Date

Revision 1 11.14.18

SHEET TITLE:
PRIMARY
ELEVATIONS

BUILDING 645

UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE C TYPE B TYPE B TYPE A

BUILDING 635

UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

BUILDING 625

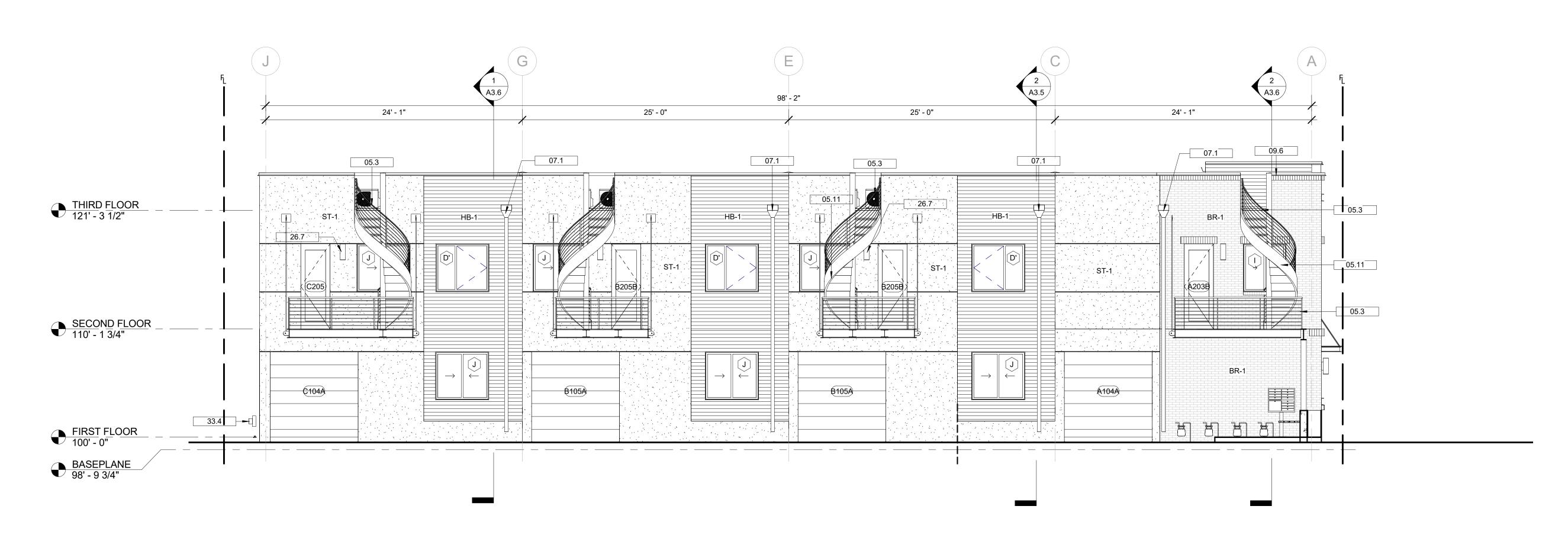
UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

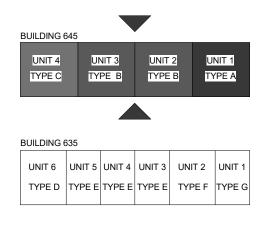
EAST-WEST

SCALE: As indicated SHEET NUMBER

A3.0



2 SOUTH ELEVATION 645 Inca St BLDNG 1 3/16" = 1'-0"



UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1

TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G

GENERAL NOTES ①

1. FINISH FLOOR ELEVATION 100'-0" = ELEVATION 5112.00

SEALANT

2. WINDOW TYPES ARE SHOWN THUS RE: A8.3 FOR WINDOW INFORMATION

3. REFER TO THE DOOR SCHEDULE ON SHEET A8.1 FOR EXTERIOR HOLLOW METAL DOOR AND

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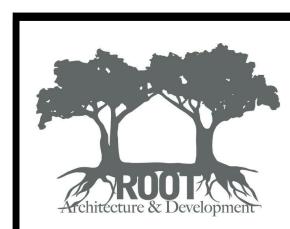
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FINISHES LEGEND		
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BM-1	BRAKE METAL	
PM-1	PAINTED METAL	
CM-1	CORRUGATED METAL	

KEYNOTES	
KEY VALUE KEYNOTE DESCRIPTION	
05.3	METAL CABLE HANDRAIL RE: DETAILS SHEET 13
05.11 METAL SPIRAL STAIRS BY PARAGON STAIRS 5'DIAMETER RIGHT HAND UP SPIRAL STAIR	
07.1 DOWNSPOUT	
09.6 BRICK SOLDIER COURSE FINISH: COLOR TBD	
26.7 WALL MOUNTED INDIRECT LIGHTING	
33.4 ELECTRIC METERS PER XCEL ENERGY	



OWNER: DCDP MASTER, LLC PRESTON LOOS BEN GEARHART 370 AMMONS STREET LAKEWOOD, CO 80226 PHONE: 303.901.4154 EMAIL: PLOOS98@GMAIL.COM

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EMAIL: zfreeman@root-ad.com CIVIL/STRUCTURAL: ALTITUDE LAND CONSULTANTS INC. 3461 RINGSBY COURT, SUITE 125 DENVER, CO 80216 201 EAST LAS ANIMAS, SUITE 113

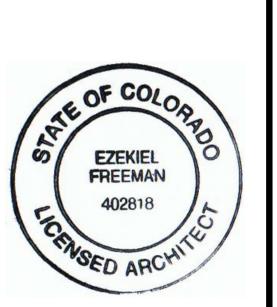
COLORADO SPRINGS, CO 80903 PHONE: 720.594.9494 EMAIL: Info@AltitudeLandCo.com APEX ENGINEERS, INC. 2701 LAWRENCE ST. INC. DENVER, CO 80205

PHONE: 720.588.3222 www.apex-engineers.com SURVEYOR:

CBM SURVEYS, INC. RANDY FORTUÍN 1418 S. ADDISON CT. AURORA, CO 80018 PHONE: 720.373.8376 EMAIL: CBMSURVEYS@COMCAST.NET

DIGITAL SIGNATURE

635, 645 N INCA STRE DENVER, CO 80204



ISSUED BUILDING PERMIT

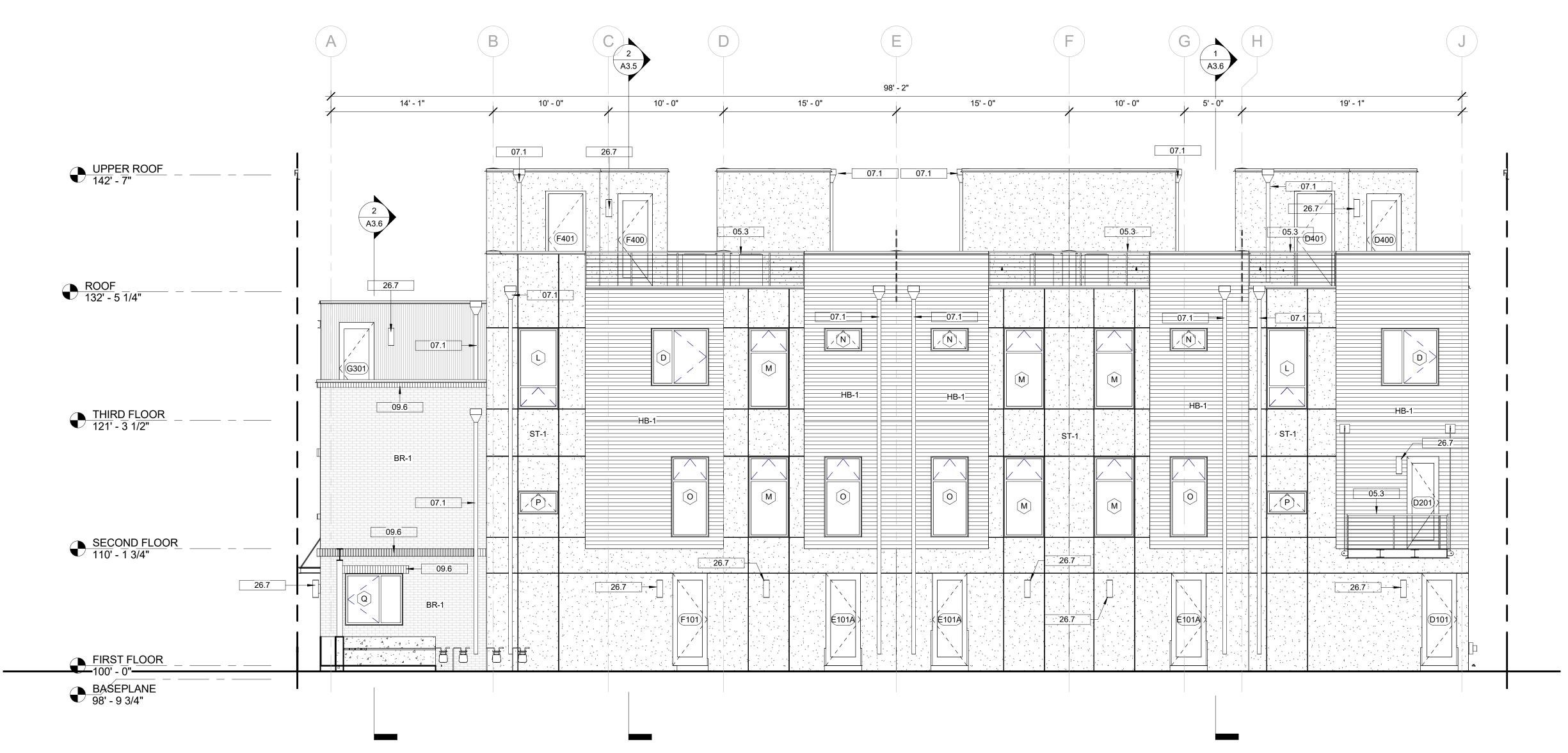
PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF DATE: 11.14.2018

Revision Schedule

Revision Revision Revision
Number Description Date

SHEET TITLE: **BUILDING 645 Inca** St. ELEVATIONS

NORTH-SOUTH



NORTH ELEVATION 635 Inca St BLDNG 2
3/16" = 1'-0"



GENERAL NOTES ①

1. FINISH FLOOR ELEVATION 100'-0" = ELEVATION 5112.00

2. WINDOW TYPES ARE SHOWN THUS RE: A8.3 FOR WINDOW INFORMATION

3. REFER TO THE DOOR SCHEDULE ON SHEET A8.1 FOR EXTERIOR HOLLOW METAL DOOR AND

FRAME INFORMATION.

4. ALL MASONRY INTERIOR CORNERS SHALL BE CONTROL JOINTS WITH BACKER ROD AND SEALANT

5. ALL EXTERIOR MASONRY AND CAST STONE SILLS TO RECEIVE GRAFFITI REPELLANT COATING, TYP.

6. METAL WALL PANEL SYSTEMS SHALL BE ORIENTED HORIZONTALLY OR VERTICALLY AS

7. FACE BRICK SHALL BE COURSED RUNNING BOND OR STACKED BOND AS SHOWN 8. CAST STONE SILLS TO MATCH COLOR OF

BRICK BELOW, TYP UON. 9. ALL ALUMINUM WINDOWS ARE TYPE 1 TYP

10. PROVIDE BITUMINOUS DAMPPROOFING AS REQUIRED IN SPEC SECTION 07 11 13.

11. PROVIDE SHEET WATERPROOFING AS REQUIRED IN SPEC SECTION 07 13 26.

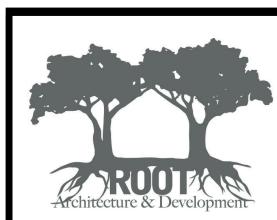
12. MOUNT EXTERIOR WALL-MOUNTED LIGHT FIXTURES AT 11'-4" AFF TYP, UON

13. MOUNT EXTERIOR WALL-MOUNTED INTERCOM SPEAKERS AT 14'-0" AFF TYP, UON

FINISHES LEGEND

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	SYMBOL	DESCRIPTION	COMMENT
	ST-1	STUCCO	
	BR-1	BRICK VENEER	
	BM-1	BRAKE METAL	
	PM-1	PAINTED METAL	
	CM-1	CORRUGATED METAL	

KEYNOTES	
KEY VALUE	KEYNOTE DESCRIPTION
05.1	BALCONY STEEL CABLE HANGER
05.3	METAL CABLE HANDRAIL RE: DETAILS SHEET 13
05.15	METAL PERGOLA
07.1	DOWNSPOUT
09.6	BRICK SOLDIER COURSE FINISH: COLOR TBD
26.7	WALL MOUNTED INDIRECT LIGHTING
33.4	ELECTRIC METERS PER XCEL ENERGY



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INCA STREET
TOWNHOMES
5, 635, 645 N INCA STREE
DENVER, CO 80204



ISSUED BUILDING PERMIT

PROJ. NO. 16021 DRAWN: DG & CA CHECKED: ZF

Revision Schedule

DATE: 11.14.2018

Revision Revision Revision
Number Description Date

SHEET TITLE: **BUILDING 635 Inca** St. ELEVATIONS

NORTH-SOUTH

SCALE: As indicated SHEET NUMBER

UNIT 4 UNIT 3 UNIT 2 UNIT 1
TYPE C TYPE B TYPE B TYPE A UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT
TYPE D TYPE E TYPE TYPE TYPE TYPE TYPE UNIT 6 UNIT 5 UNIT 4 UNIT 3 UNIT 2 UNIT 1 TYPE D TYPE E TYPE E TYPE E TYPE F TYPE G