

Offering Memorandum

# 146 Bowman Road York, PA



**FOR SALE:**  
**8,100 SF Industrial Truck Terminal**  
**2.88 Acres**

**For additional information, please contact:**

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# Confidentiality

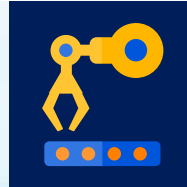
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# Table of Contents



## Section 1: Executive Summary

Overview 5

## Section 2: Property Overview

Photography 7

Building Specifications 8

## Section 3: Location/Market Highlights

Overview 10

Local Highway Access 11

Highway Access Map 12

Industrial Tenant Base 13

## Section 4: Offering Process

The Process 15

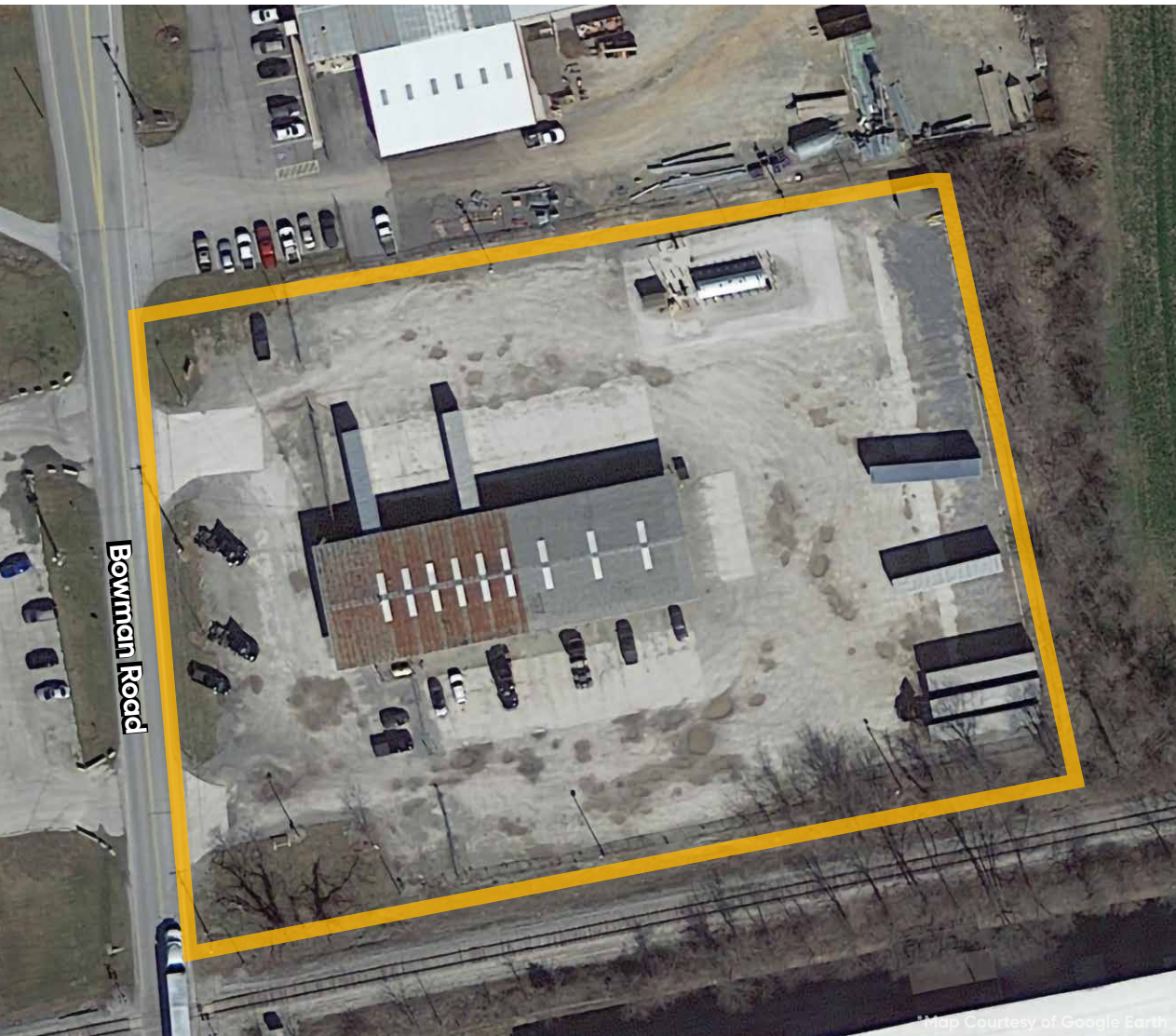
1

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# Executive Summary

# Executive Summary

## Overview



### The Offer

Cresa Global Inc. (“Cresa”), as the exclusive advisor, is proud to present qualified investors with the opportunity to acquire the property located at 146 Bowman Road, in York Township, York, Pennsylvania. This property is zoned I Industrial, located approximately 31 miles south of Harrisburg, PA. The 8,100 SF building situated on 2.88 acres of land presents the potential for industrial and truck terminal use with its 27 exterior docks. The property offers direct access to Route 30, located along Bowman Road.

### Property Highlights:



**2.88 Acres**  
land



**Zoning**  
I: Industrial



**8,100 SF**  
truck terminal  
and industrial use

\*Map Courtesy of Google Earth

2

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## Property Overview



# Property Overview

## Building Specifications

ADDRESS: York, PA, 17408, York County

TOWNSHIP: York

PARCEL ID: 33-000-HG-0272-00-00000

SF: 8,100

ACREAGE: 2.88

ZONING: I-Industrial

DOCKS: 27

ADDITIONAL: Fenced lot





3

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## Location/Market Highlights

# Location/Market Highlights

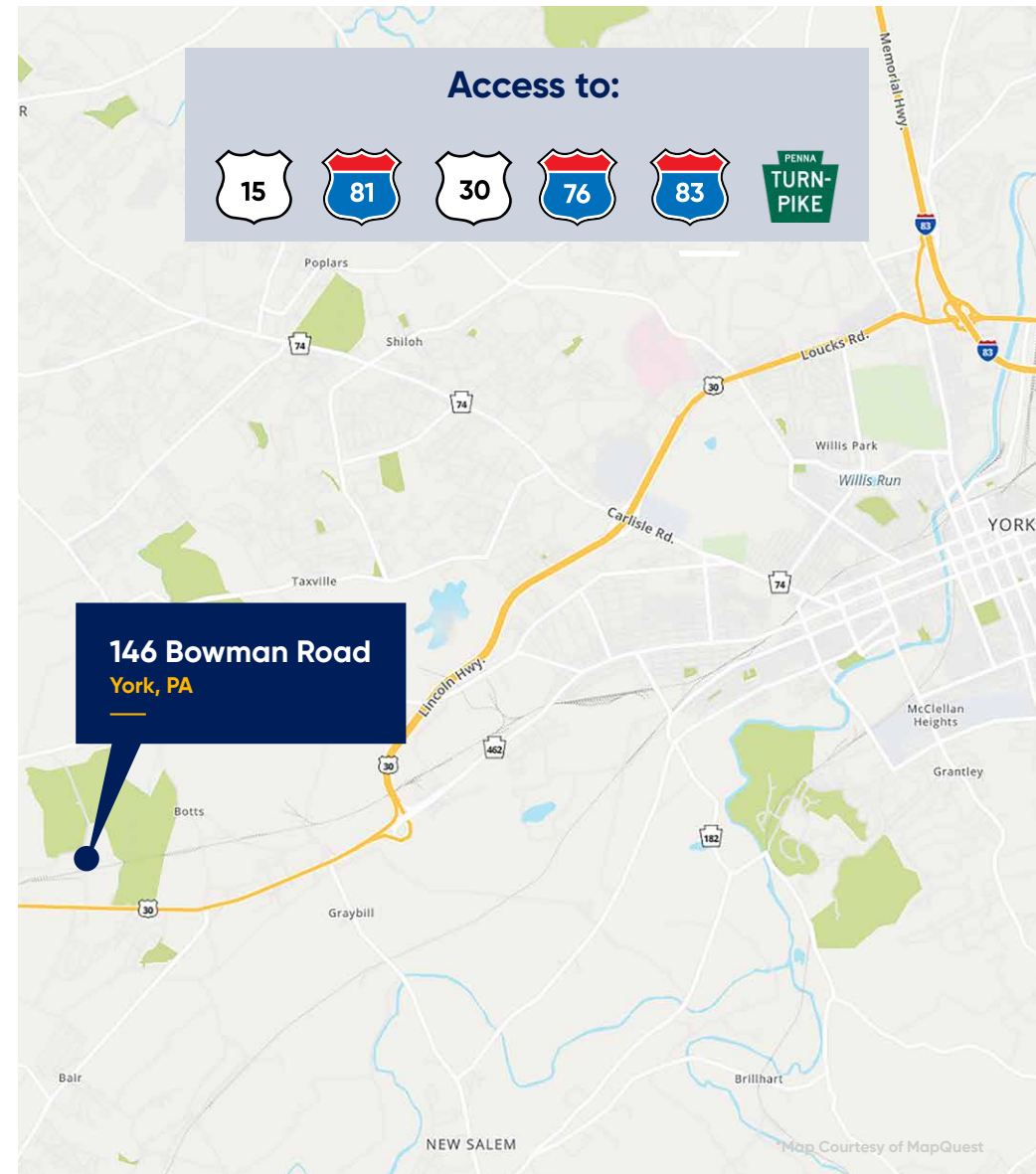
## Overview

### Exceptional Logistics Location

- Situated approximately 8 miles to Interstate 83, this location offers excellent proximity to the primary distribution corridors that service the region, including I-83, I-81, I-76, and I-78.
- Leveraging the region's strong interstate highway system, ports, intermodal terminals, airports, and parcel hubs enable users to gain a competitive edge in their manufacturing and supply chain operations.

### High Barrier to Entry Market

- Strategically located at the intersections of Interstate 83 and Route 30, York County is exceptionally well-positioned to capture spillover demand from more expensive, neighboring markets like Philadelphia, Lancaster, and Harrisburg.
- This area has sustained a year-over-year 5.4 percent rent growth, making it a desirable market for users, providing ongoing demand for warehouse and manufacturing space. Despite higher interest rates and continued market uncertainty, sales activity in York County remains strong. In the past year alone, there have been 43 deals totaling \$395 million, far surpassing the five-year average of \$75.6 million.



\*Source: CoStar

# Location/Market Highlights

## Local Highway Access



# Location/Market Highlights

## Highway Access Map



# Location/Market Highlights

## Industrial Tenant Base



4

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## Offering Process

# Offering Process

## Advisors:

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## Exclusive Representation

Cresa is exclusively representing the seller in this transaction.

## Offer Requirement

Ownership has not established an asking price but is a market-oriented Seller with expectations that are consistent with the quality of the asset and the unique nature of the opportunity.

All offers should include:

- Purchase price and approval process
- Timing for the inspection period and closing date
- Amount of earnest money, including the amount that is non-refundable
- Source of funds for the acquisition
- Financial strength of the purchaser
- Summary of closed transactions and references

Seller, with its sole and absolute discretion, reserves the right to remove the Property from the market. Seller expressly reserves the right, in its sole and absolute discretion, to reject any and all proposals or expressions of interest in the Property, to terminate discussions with any party at any time, or to extend the deadlines set forth in the time schedule.

## Co-Broker Commission

If the successful Purchaser is represented by a Cooperating Broker, that Broker will be compensated. Please call for details.

## Communication

All communications, inquiries and requests should be addressed to the Cresa Team listed to the left, as representatives of the Seller.



**Taking your  
business further.**

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