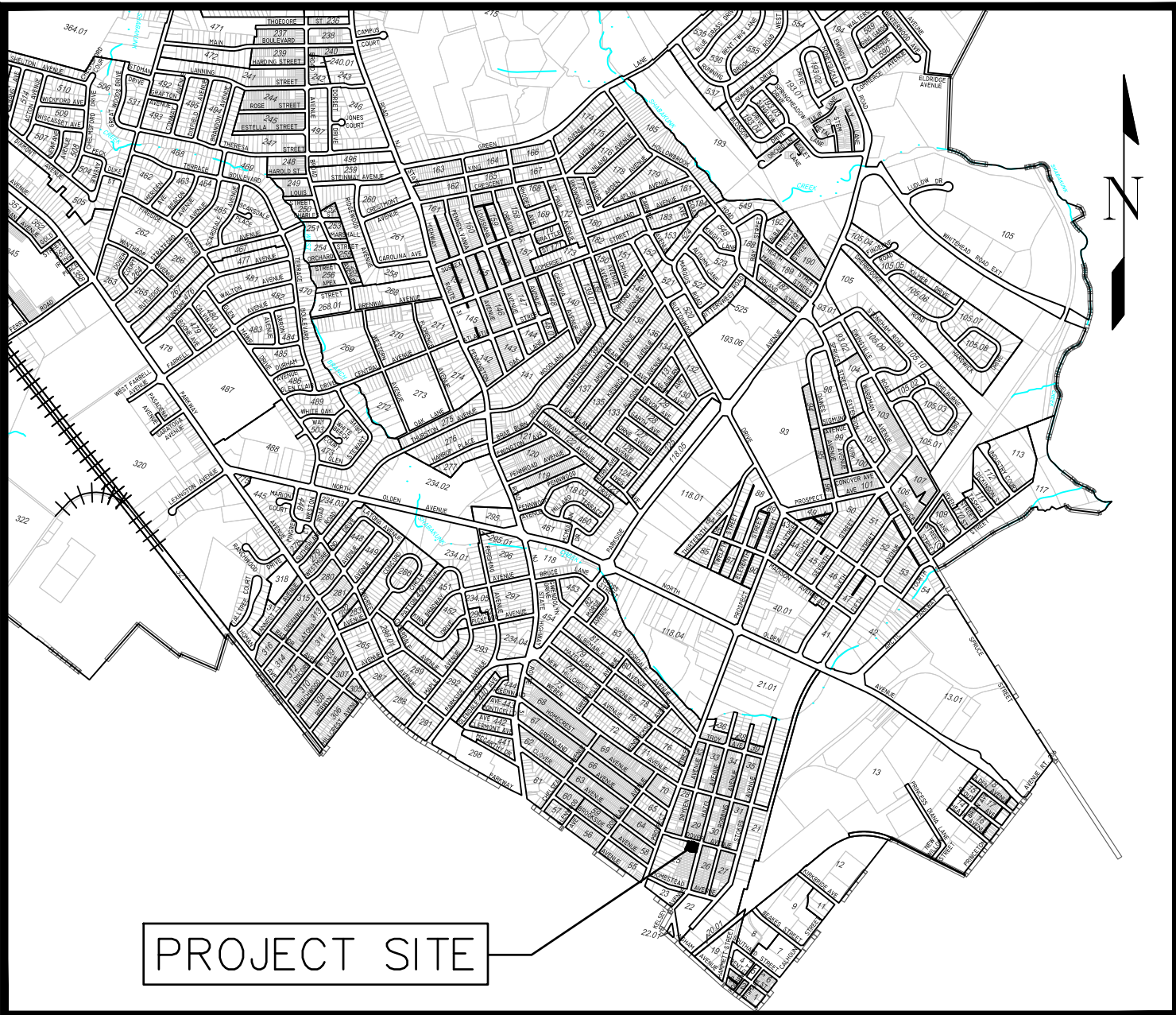


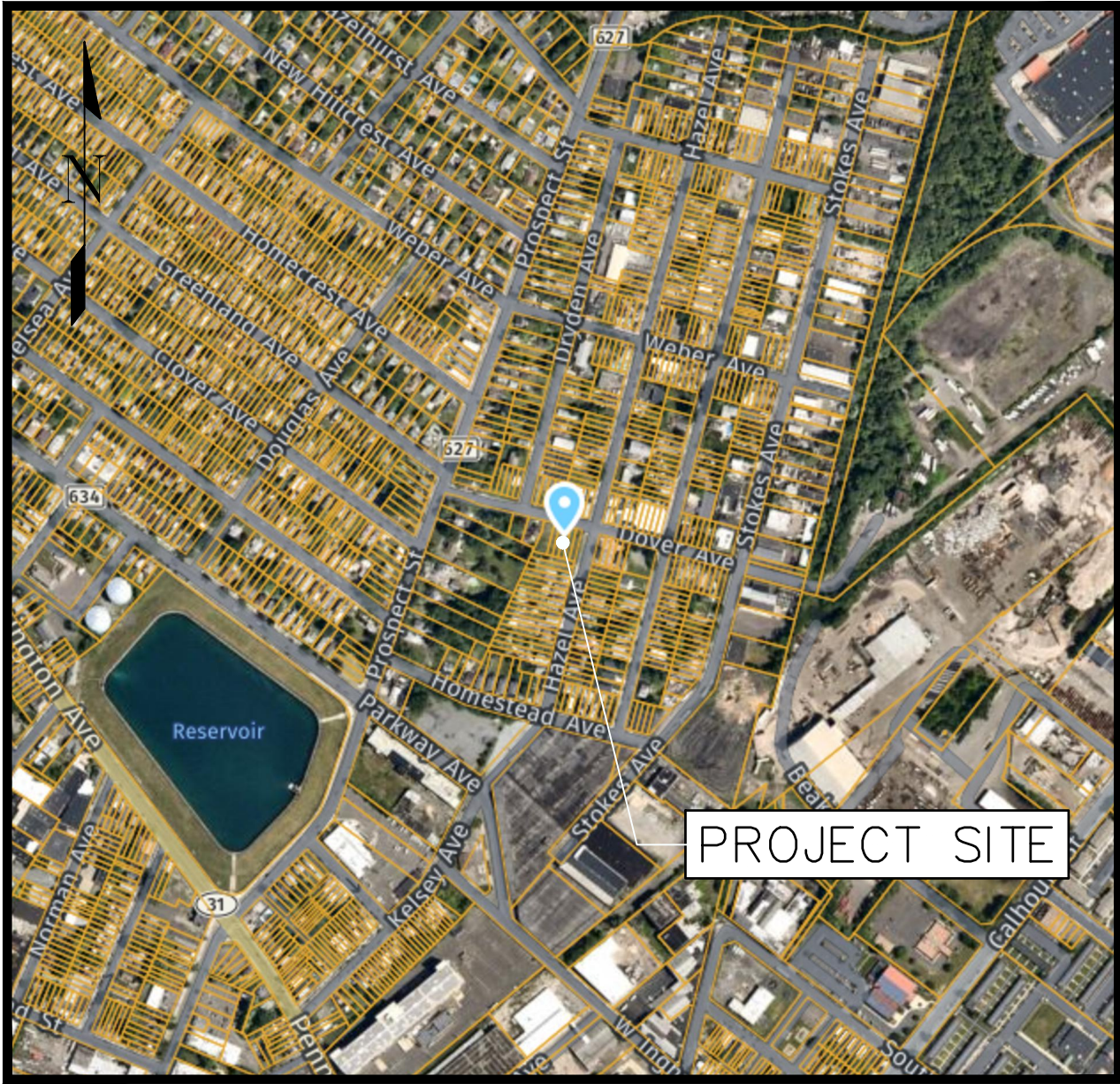
PRELIMINARY AND FINAL MAJOR SUBDIVISION AND SITE PLAN  
PROPOSED MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT FOR:  
**URBAN DECO, LLC**  
BLOCK: 25, LOTS: 83-86, PLATE: 1  
33-37 DOVER AVENUE  
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY



**KEY MAP**  
SCALE: 1"=2000'



**TAX MAP**  
SCALE: 1" = 100'



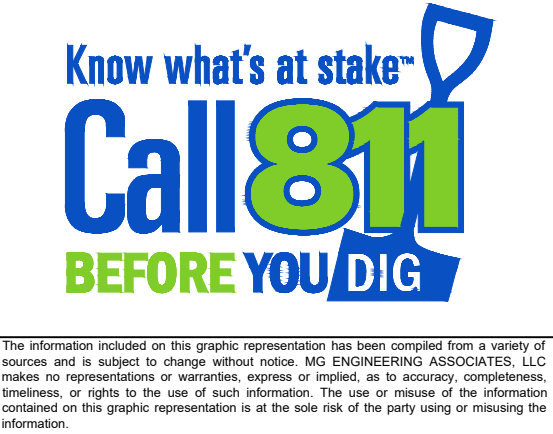
**AERIAL MAP**  
SCALE: N.T.S.

PREPARED BY  
**MG ENGINEERING ASSOCIATES, LLC**  
76 ARGYLE AVENUE  
BLACKWOOD, NEW JERSEY 08012  
**WWW.MGEASSOCIATES.COM**

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4	SITE PLAN AND LANDSCAPE PLAN
5	GRADING PLAN
6	UTILITY PLAN
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8	SOIL EROSION & SEDIMENT CONTROL PLAN
9	SOIL EROSION & SEDIMENT CONTROL NOTES AND DETAILS
10-11	CONSTRUCTION DETAILS

I HAVE CAREFULLY EXAMINED THIS PLAN OR PLAT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN OR PLAT HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EWING WHICH IS THE PROPER AUTHORITY TO APPROVE THIS PLAN.

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN OR PLAT HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EWING WHICH IS THE PROPER AUTHORITY TO APPROVE THIS PLAN.

PLANNING BOARD SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER:  
MICHAEL GALANTE PE

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

APPLICANT/OWNER:  
URBAN DECO, LLC.  
21 TERRIER PLACE  
KENDALL PARK, NJ 08824

DATE: 10-06-2021  
MICHAEL D. GALANTE  
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

MG ENGINEERING ASSOCIATES, LLC

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540  
WWW.MGEASSOCIATES.COM  
CERTIFICATE OF AUTHORIZATION # 246A28279000

SIGNATURE PLANS

ALL DOCUMENTS PREPARED BY MG ENGINEERING ASSOCIATES, LLC, ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT.

ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY MG ENGINEERING ASSOCIATES, LLC, FOR THE SPECIFIC PURPOSE INTENDED, WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO MG ENGINEERING ASSOCIATES, LLC, AND OWNER SHALL HOLD HARMLESS MG ENGINEERING ASSOCIATES, LLC FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

NO.	DATE	REVISION	BY
1	10/06/2021		MG
2	10/06/2021		MG
3	10/06/2021		MG
4	10/06/2021		MG
5	10/06/2021		MG

COVER SHEET

PRELIMINARY AND FINAL MAJOR SUBDIVISION AND SITE PLAN  
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:  
**URBAN DECO, LLC**  
BLOCK: 25, LOTS: 83-86, PLATE: 1  
33-37 DOVER AVENUE  
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY

DRAWN BY:	DESIGN BY:	CHECKED BY:	SCALE:
M.D.G.	M.D.G.	M.D.G.	AS NOTED
DATE: APRIL, 2021		SHEET No. 1	
JOB No.: 2021-555			



3. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO MG ENGINEERING ASSOCIATES, LLC, (HEREIN "MG ENGINEERING") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND MG ENGINEERING PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY MG ENGINEERING ASSOCIATES IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND MG ENGINEERING THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
4. ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS IN THE JURISDICTION OF WHICH THE PROJECT IS LOCATED. CONTRACTOR MUST ABIDE BY ALL LOCAL BUILDING CODES, STATE CONSTRUCTION STANDARDS, AND ALL OSHA GUIDELINES.
5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
6. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.
7. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND MG ENGINEERING, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.
8. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
9. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND MG ENGINEERING, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR CONDITIONS SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND MG ENGINEERING WRITTEN NOTIFICATION OF SAME, AND (B) ENGINEER OF RECORD AND MG ENGINEERING, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
10. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES, ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS.
11. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
12. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND MG ENGINEERING, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.
13. ENGINEER OF RECORD AND MG ENGINEERING ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.
14. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE.
15. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
16. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR.
17. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
18. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRUCTURES, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITION PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
19. THE ENGINEER OF RECORD AND MG ENGINEERING ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND MG ENGINEERING HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND MG ENGINEERING SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND MG ENGINEERING ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME.
20. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND MG ENGINEERING, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING WRITTEN NOTIFICATION TO THE ENGINEER OF RECORD AND MG ENGINEERING, THE CONTRACTOR OWNS THE RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND MG ENGINEERING FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS.

21. THE ENGINEER OF RECORD AND MG ENGINEERING ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND MG ENGINEERING HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT ENGINEER AND MG ENGINEERING SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND MG ENGINEERING INCUR AS RELATED TO SAME.

22. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME MG ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, SUBSIDIARIES, AFFILIATES, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH MG ENGINEERING WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES REQUIRED TO COME ANY WORK AND UPON RENEWAL OF EACH POLICY. AFTER THE BEGINNING OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS MG ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

23. THE ENGINEER OF RECORD AND MG ENGINEERING ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

24. NEITHER THE PROFESSIONAL ACTIVITIES OF MG ENGINEERING, NOR THE PRESENCE OF MG ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "MG ENGINEERING PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. MG ENGINEERING PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PRETECT, AND HOLD HARMLESS MG ENGINEERING PARTIES FOR AND FROM ANY VIOLATION TO MG ENGINEERING PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME MG ENGINEERING AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE.

25. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN MG ENGINEERING'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, MG ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR'S SUBMITTALS OF THE FOLLOWING: PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND MG ENGINEERING HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. MG ENGINEERING WILL PERFORM ITS SHOP DRAWING REVIEW OF SUBMITTABLES FOR THE LIMITED PURPOSE OF IDENTIFYING, DOCUMENTING, AND REPORTING TO THE OWNER ENGINEERING'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT MG ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. MG ENGINEERING IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO MG ENGINEERING'S ATTENTION. MG ENGINEERING'S NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

26. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND MG ENGINEERING FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST INDEMNIFY, DEFEND, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND MG ENGINEERING PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.

27. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK AFFECTS TWO OR MORE ADJACENT TRAVEL LANE. THE RIGHT OF WAY, THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

28. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND MG ENGINEERING ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND MG ENGINEERING PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND MG ENGINEERING INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE.

29. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, AND ALL ORDINANCES, AND CODES, AND ALL REQUIREMENTS, AND ALL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS

30. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND MG ENGINEERING HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.

31. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND MG ENGINEERING PARTIES HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

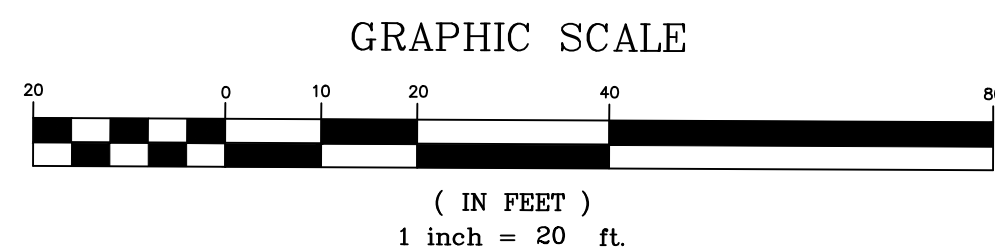
32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND MG ENGINEERING, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND MG ENGINEERING KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH THE WORKMANSHIP ACCEPTED AS A PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

33. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE SUBMITTALS PREPARED FOR ANY CONSTRUCTION DETAILED ITEMS AND TO COORDINATE THE SUBMITTALS WITH THE RESPECTIVE GOVERNING AGENCIES OR SERVICE PROVIDERS, WHO SHALL HAVE THE FINAL AUTHORITY IN APPROVING THE SUBMITTALS.

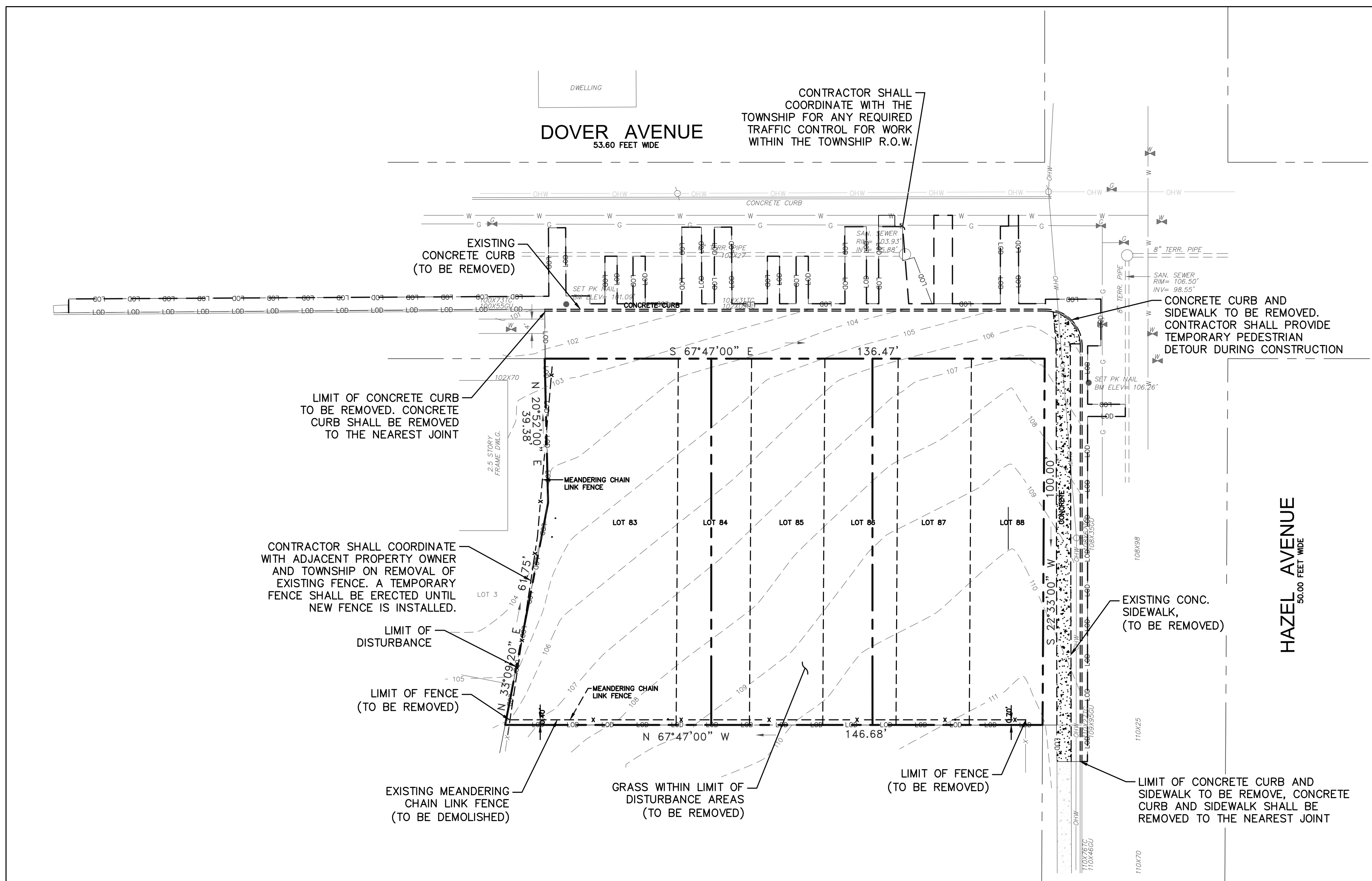
1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF:
  - (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND
  - (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
  - A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
  - B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED. CONTRACTOR SHALL COORDINATE DESIGN ENGINEER AND LOCAL BUILDING CODES ON ACCESSIBLE RAMPS. ACCESSIBLE RAMPS MAY REQUIRE HANDRAILS, WHICH NEEDS TO BE COORDINATED WITH THE DESIGN.
  - C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
  - D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%), WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERNATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
  - E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
  - F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER SLOPE SLOPES, IN CERTAIN CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
  - G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES.
4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE THE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL ALSO REFER TO 2010 ADA ACCESSIBILITY GUIDELINES.

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ASPHALT PAVEMENT, CONCRETE CURB, SITE FEATURES, AND VEGETATION FOR THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS WITHIN THE PROPERTY BOUNDARIES AS INDICATED ON THE PLANS. ALL EXISTING UTILITIES WITHIN PROPERTY BOUNDARIES SHALL BE REMOVED UNLESS OTHERWISE INDICATED. ALL DISCREPANCIES SHALL BE COORDINATED WITH THE ENGINEER, PRIOR TO THE START OF CONSTRUCTION.
2. WITHIN THE TOWNSHIP R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONCRETE CURB AS WELL AS FEATURES INDICATED ON THE PLANS. THE CONTRACTOR SHALL REMOVE CONCRETE CURB TO THE NEAREST JOINT.
3. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE SITE AND OFFSITE AREAS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
4. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY AUTHORITIES PRIOR TO UNDERGROUND EXCAVATIONS AND CALL IN A NJ-ONE CALL PRIOR TO START OF CONSTRUCTION AND DURING THE DURATION OF CONSTRUCTION AS NECESSARY TO LAWFULLY EXCAVATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH LOCAL UTILITY COMPANIES PRIOR TO REMOVAL OF ANY EXISTING ONSITE UTILITIES. ALL EXISTING UTILITIES MUST BE ABANDONED OR REMOVED IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS.
6. THE CONTRACTOR IS RESPONSIBLE FOR BACKFILLING AND COMPACTING ALL TRENCHES. NO TRENCHES SHALL BE LEFT OPEN AFTER COMPLETION OF WORK FOR THE DAY. TRENCH COMPACTION SHALL BE COMPLETED IN 8 INCH LIFTS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS, LATEST EDITION.
8. THE CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER, COUNTY AND TOWNSHIP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
9. MG ENGINEERING ASSOCIATES, LLC MAKES NO CLAIM AS TO THE ACCURACY OF THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE DEPTH OF THE EXISTING UTILITIES; IN THE EVENT OF A UTILITY CONFLICT, THE ENGINEER SHALL BE NOTIFIED.
10. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE EWING LAWRENCE SEWER AUTHORITY FOR ANY WORK ASSOCIATED WITH THE CONNECTION OF THE SEWER SERVICES TO THE PROPOSED STRUCTURE. ADDITIONALLY, THE CONTRACTOR SHALL COORDINATE WITH TRENTON WATER UTILITY FOR PROPOSED WATER SERVICES.
11. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH PSE&G FOR GAS AND ELECTRIC SERVICE.
12. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ROAD OPENING, CONCRETE CURB, AND BUILDING PERMITS NECESSARY FOR CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR RESETTling VALVE BOXES, MANHOLES, ETC., NECESSARY FOR THE CONSTRUCTION OF PROPOSED IMPROVEMENTS.
14. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC. THE TRAFFIC CONTROL DEVICES AND TRAFFIC CONTROL LAYOUT SHALL CONFORM TO NJDOT AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
15. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISCONNECTING ELECTRICAL UTILITIES TO ANY ONSITE FEATURES. CONTRACTOR SHALL BARE ALL COSTS FOR ELECTRICAL UTILITIES REMOVAL. ALL ELECTRICAL DISCONNECTIONS SHALL BE COMPLETED BY A LICENSED ELECTRICIAN.
16. CONTRACTOR SHALL HIRE AN NJ LICENSED LAND SURVEYOR TO STAKE OUT PROPOSED IMPROVEMENTS AS WELL AS LIMITS OF DISTURBANCE.
17. CONTRACTOR IS RESPONSIBLE FOR PERFORMING TEST PITS AS NECESSARY TO DETERMINE LOCATION AND DEPTH OF EXISTING UTILITIES.
18. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ONSITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OF OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT A PROPER FACILITY.
19. CONTRACTOR SHALL PROVIDE CURB STAKEOUT, STRUCTURE STAKEOUT, AND SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF CONCRETE CURB. ALL CURB INSTALLED WITHOUT REVIEW OF STAKEOUT IS AT CONTRACTORS OWN RISK.
20. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS ANY PROPOSED UTILITY CONNECTIONS AS PART OF THE PROPOSED CONSTRUCTION.
21. WHEN REMOVING EXISTING STRUCTURES, CONTRACTOR SHALL ABIDE BY ALL OSHA REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIALS PRIOR TO DEMOLITION.
22. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PROPOSED STORMWATER AND SEWER STRUCTURES FOR REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
23. CONTRACTOR SHALL PERFORM TEST PITS AS NECESSARY TO LOCATE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

<u>DRAWN BY :</u> M.D.G.	<u>DESIGN BY :</u> M.D.G.	<u>CHECKED BY :</u> M.D.G.	<u>SCALE :</u> AS NOTED
<u>DATE :</u> APRIL, 2021		<u>SHEET No. :</u> 2	
<u>JOB No. :</u> 2021-555			





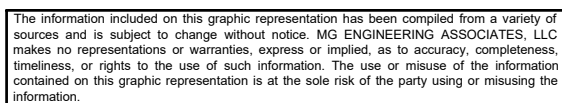


SCALE: 1"= 20'



— — — — — = SAWCUT LINE

- 1.) BEING LOTS 83 THRU 88, BLOCK 25, PLATE 1 AS SHOWN ON THE TOWNSHIP TAX MAP.
- 2.) THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- 3.) VERTICAL DATUM IS REFERENCED TO NAVD 1988.
- 4.) THIS SURVEY IS REFERENCED TO A FORMER SURVEY BY DONALD P. SWEENEY, F.L.S., DATED 2-2-2018 AND REVISED TO 2-7-2018.
- 5.) 100X00 INDICATES TYPICAL SPOT ELEV..
- 6.) THE EXISTANCE AND/OR LOCATION OF UNDERGROUND UTILITIES SHOWN ARE LIMITED TO OBSERVABLE EVIDENCE ONLY.
- 7.) CONTAINING 13,899 S.F. OR 0.32 ACRES±



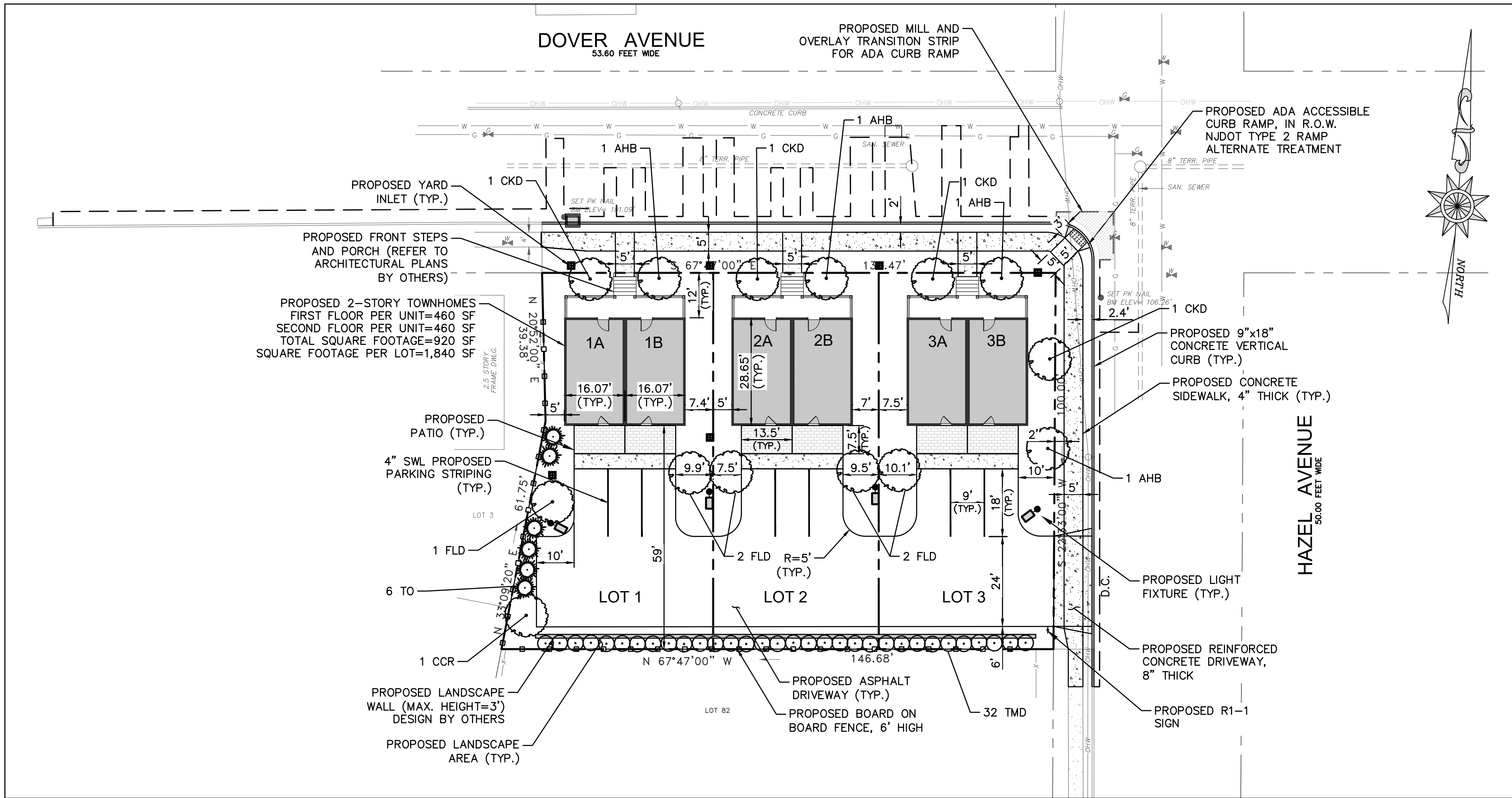
THE GENERAL NOTES SHALL BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND INCLUDED AS PART OF CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLAN SPECIFIC NOTES.

- THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.
- THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.
- THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
- ENGINEER OF RECORD AND MG ENGINEERING ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.
- PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND MG ENGINEERING, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BY MG ENGINEERING, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:
  - OBTAIN AND COMPLY WITH ALL REQUIRED PERMITS.
  - PROVIDE PROPER NOTIFICATION TO SOIL CONSERVATION DISTRICT AND TOWNSHIP IN ACCORDANCE WITH PERMITS.
  - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.
  - LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
  - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES.
  - ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
  - ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT OF WORK TO THE AFFECTED PARTIES.
  - WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND MG ENGINEERING, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.
- THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
- THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.
- EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.
- IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR AFTER THE DEMOLITION IS COMPLETE. THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST.
- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.
- THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ASPHALT PAVEMENT, CONCRETE CURB, SITE FEATURES, AND VEGETATION FOR THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS AND BUILDING WITHIN THE PROPERTY BOUNDARIES AS INDICATED ON THE PLANS. ALL FEATURES WITHIN THE PROPERTY BOUNDARIES SHALL BE REMOVED UNLESS OTHERWISE INDICATED. ALL DISCREPANCIES MUST BE COORDINATED WITH THE ENGINEER, PRIOR TO THE START OF THE CONSTRUCTION.
- WITHIN THE COUNTY AND TOWNSHIP R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONCRETE CURB AS WELL AS FEATURES INDICATED ON THE PLANS. THE CONTRACTOR SHALL REMOVE CONCRETE CURB TO THE NEAREST JOINT.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY AUTHORITIES PRIOR TO UNDERGROUND EXCAVATIONS AND CALL IN A N-1 ONE-CALL PRIOR TO START OF CONSTRUCTION AND DURING THE DURATION OF CONSTRUCTION AS NECESSARY TO LAWFULLY EXCAVATE.

NEW JERSEY  
MERCER COUNTY  
TOWNSHIP OF FLEMING

<u>DRAWN BY :</u> M.D.G.	<u>DESIGN BY :</u> M.D.G.	<u>CHECKED BY :</u> M.D.G.	<u>SCALE :</u> AS NOTED
<u>DATE :</u> APRIL, 2021		<u>SHEET No. :</u> 3	
<u>JOB No. :</u> 2021-555			



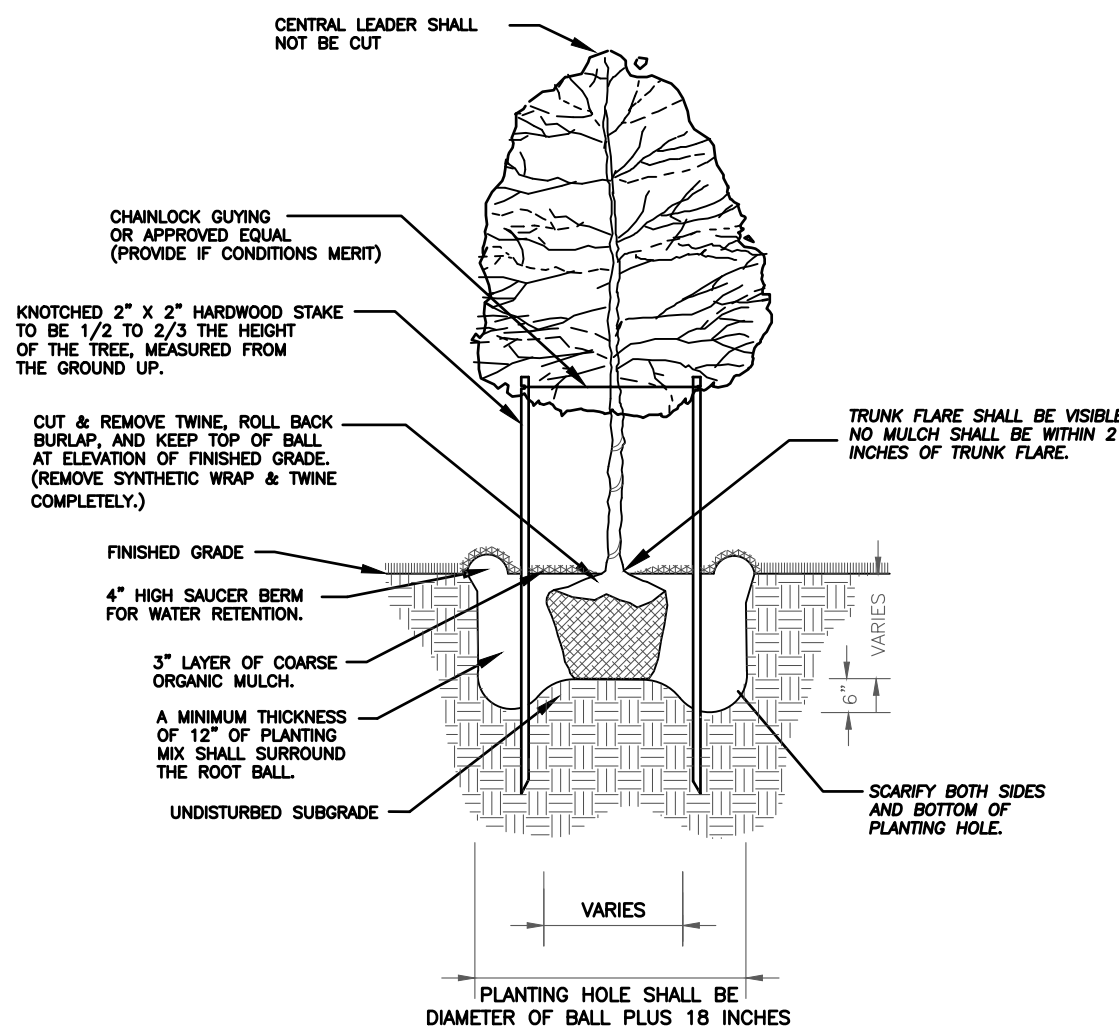


### SITE PLAN

SCALE: 1" = 20'

### PLANTING NOTES:

- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES, AND OTHER REQUIREMENTS IS SHOWN ON THE PLANT LIST. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED IN THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
- NO SUBSTITUTIONS SHALL BE ACCEPTED, EXCEPT WITH WRITTEN PERMISSION OF THE DESIGN
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND ESTABLISHED ROOT SYSTEMS. THEY SHALL BE FREE FROM DEFECTS, DISFIGURING KNOTS, BARK ABRASIONS, INJURIES FROM SUNSCALD, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTIONS. ALL PLANT MATERIAL INSTALLED BETWEEN OCTOBER 15 AND MARCH 15 SHALL BE THOROUGHLY WETTED WITH AN ANTI-TRANSPIRANT UPON DELIVERY OF THE MATERIAL TO THE SITE.
- QUALITY AND SIZE OF PLANT, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. THE TRANSPLANTING AND PLANTING OF TREES AND SHRUBS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "ANSI A300 PART 6: TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES (TRANSPLANTING)."
- CONTRACTOR IS RESPONSIBLE FOR PLANTING IN ACCORDANCE WITH APPROVED PLANS.
- DECIDUOUS AND EVERGREEN TREES SHALL BE FIELD ADJUSTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ANY OVERHEAD UTILITY WIRES AND/OR UNDERGROUND UTILITIES.
- DECIDUOUS AND EVERGREEN TREES SHALL BE PLANTED AT LEAST TWO (2) FEET FROM ANY CURBING, PAVING, OR SIDEWALK. WHENEVER POSSIBLE THIS DIMENSION SHOULD BE INCREASED TO FOUR (4) FEET. ALL PLANTINGS, EXCEPT GROUND COVERS, SHOULD BE PLANTED AT LEAST TWO (2) FEET FROM ANY BUILDING AND FIVE (5) FEET FROM ABOVE AND BELOW GROUND UTILITIES.
- PLANTING MIXTURE SHALL CONSIST OF 70% EXISTING SOIL FROM THE PLANTING SITE AND 30% HUMUS OR MUSHROOM SOIL. PRIOR TO USING EXISTING TOPSOIL, REMOVE ALL FOREIGN DEBRIS AND ALL ROCKS OR STONES LARGER THAN 2 INCHES. EACH CUBIC YARD SHALL BE ADDED AND INCORPORATED BY THOROUGHLY MIXING, FOUR POUNDS OF COMMERCIAL FERTILIZER HAVING AN ANALYSIS OF 6-6-6.
- ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS AND SECURELY ATTACHED THERETO BEFORE DELIVERY TO THE PROJECT SITE.
- ALL PLANT BEDS SHALL BE MULCHED WITH THREE (3) INCHES OF DOUBLE SHREDDED HARDWOOD BARK MULCH OR OTHER MATERIAL APPROVED BY THE OWNER OR ENGINEER. THE LIMIT OF THE MULCH FOR TREES SHALL EXTEND 12 INCHES BEYOND THE PLANTING HOLE, AND FOR SHRUBS AND BEDS, THE ENTIRE SHRUB OR BED AREAS AS INDICATED ON THE PLAN OR APPROVED IN THE FIELD. NO MULCH SHALL BE PLACED WITHIN THREE (3) INCHES OF THE TRUNK OR TRUNK FLARE. NO SEPARATE PAYMENT SHALL BE MADE FOR MULCH, BUT THE COST SHALL BE INCLUDED IN VARIOUS ITEMS OF THE PROPOSAL.
- ALL PLANTING BEDS SHALL BE ROTOTILLED TO A DEPTH OF TEN (10) INCHES PRIOR TO ANY PLANTING. ALL STONES, WIRE, CONCRETE AND UNSUITABLE MATERIALS SHALL BE REMOVED. ALL SHRUB PLANTINGS SHALL BE INSTALLED IN MULCHED PLANTING BEDS EXTENDING AT LEAST TWO (2) FEET FROM THE PLANTS OR AS INDICATED ON THE APPROVED PLANS.
- CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR 1 YEAR. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING PLANT MATERIAL. ONCE PLANTING MATERIAL IS ESTABLISHED AND ACCEPTED, THE OWNER WILL BE RESPONSIBLE FOR CONTINUAL MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING. ANY RELOCATED PLANT MATERIALS SHALL BE COORDINATED WITH THE ENGINEER.
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, AND EQUIPMENT, INCIDENTALS AND CLEAN UP.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
- PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. ALL PLANT MATERIALS SHALL REMAIN PROTECTED IF IT IS NOT PLANTED WITHIN DAY OF DELIVERY, BUT SHALL NOT EXCEED TWO (2) DAY PERIOD AFTER DELIVERY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE.
- ALL NON-BIODEGRADABLE ROOT WRAPPINGS (INCLUDING WIRE BASKETS) ARE TO BE REMOVED COMPLETELY BEFORE PLANTING.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. SHEARS ARE TO BE STERILIZED BETWEEN TREES.
- ALL INJURED ROOTS SHALL BE PRUNED BEFORE PLANTING, AND OBVIOUS GIRDLING ROOTS REMOVED, PRUNED OR EXTENDED AS APPROPRIATE. PRUNE BRANCHES THAT CROSS. THE MAIN LEADER OF DECIDUOUS TREES SHOULD NOT BE CUT BACK. LONG SIDE BRANCHES MUST BE SHORTENED.
- TREES ARE TO BE SUPPORTED IMMEDIATELY AFTER PLANTING. TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED, GUYING WIRES AND STAKES SHALL BE AS INDICATED.
- UNLESS OTHERWISE NOTED, ALL DECIDUOUS AND EVERGREEN TREES SHALL HAVE A SINGLE TRUNK.
- DECIDUOUS AND EVERGREEN TREES WHICH ARE B&B SHALL BE DRUM LACED IN LIEU OF WIRE BASKETS.



### SHADE TREE PLANTING DETAIL

NOT TO SCALE

### ZONING NOTES:

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCED PLAN OF SURVEY: JTS ENGINEERS AND LAND SURVEYORS, INC. BOUNDARY AND TOPOGRAPHY PLAN. SOUTHWESTERLY LINE OF DOVER AVENUE DATED: 03-06-2021 PROJECT NO. 21-073

2. OWNER: URBAN DECO, LLC. 21 TERRIER PLACE KENDALL PARK, NJ 08824

3. APPLICANT: URBAN DECO, LLC 21 TERRIER PLACE KENDALL PARK, NJ 08824

4. PROPERTY DATA: 33-37 DOVER AVENUE TOWNSHIP OF EWING, MERCER COUNTY, NJ PLATE: 1, BLOCK: 25, LOT 83-86

5. ZONING: OARA (OLDEN AVENUE REDEVELOPMENT AREA) S-7B SUBAREA

PROPOSED USE: TWO-FAMILY - PERMITTED USE

6. BULK TABLE:

ZONING REQUIREMENT	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3
MIN. LOT AREA	6,000 SF	4,826 SF (V)	13,898.56 SF (V)	13,898.56 SF (V)
MIN. LOT WIDTH	60'	45.46 (V)	44 (V)	47 (V)
MIN. FRONT YARD	0'-25"	6'	6'	6'
MIN. SIDE YARD	5'/12' (AGG)	5'/12.4'	5'/12'	7.5'/14.8'
MIN. REAR YARD	25'	59.4'	59.4'	59.4'
MAX. BUILDING HEIGHT	4-1/2 STORIES/45'	2 STORIES/35'	2 STORIES/35'	2 STORIES/35'
MAX. BUILDING COVERAGE	35%	21.70%	25.20%	23.72%
MAX. IMPERVIOUS COVERAGE	70%	63.75% (3,077 SF)	68.37% (3,009 SF)	65.72% (3,069 SF)
MAX. GROSS FLOOR AREA	1,480-1,617**	1,840 SF (V)	1,840 SF (V)	1,840 SF (V)

\* OARP: VARIATION IN FRONT YARD IS DEPENDENT ON CHARACTER OF NEIGHBORHOOD  
\*\* OARP: APPENDIX C. EWING FAR SLIDING SCALE TABLE (4,500-0)X(02)+600 = 1,480

7. ACCESSORY STRUCTURE REQUIREMENTS:

- ACCESSORY BUILDINGS SHALL BE SETBACK A MINIMUM OF 5' TO THE SIDE LOT LINE.
- ACCESSORY BUILDINGS SHALL BE SETBACK A MINIMUM OF 5' TO THE REAR LOT LINE.
- ACCESSORY BUILDINGS SHALL BE ONE STORY AND A MAXIMUM OF 15' HIGH.

8. ADDITIONAL REQUIREMENTS:

- SEPARATION FROM PUBLIC STREETS. ALONG EACH STREET LINE, AS DEFINED BOUNDING THE DISTRICT A SEVEN-FOOT STRIP SHALL BE PROVIDED, SUITABLY LANDSCAPED EXCEPT FOR NECESSARY SIDEWALKS AND ACCESS WAYS.
- SCREENING OR BUFFER STRIP. ALONG EACH SIDE AND REAR PROPERTY LINE WHICH ADJOINS A RESIDENTIAL DISTRICT IN THE TOWNSHIP OR A SIMILAR DISTRICT IN AN ADJOINING MUNICIPALITY, A SCREEN OR BUFFER PLANTING STRIP SHALL BE PROVIDED CONSISTING OF MASSSED EVERGREENS AND SHRUBS OF SUCH SPECIES AND SIZE AS WILL PRODUCE AN EFFECTIVE SCREEN AT THE TIME OF PLANTING.
- ENTRANCES AND EXITS. ALL ENTRANCES AND EXITS UPON A PUBLIC STREET SHALL NOT BE LOCATED WITHIN 50 FEET OF ANY STREET INTERSECTION, THE DISTANCE IS TO BE MEASURED FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES AT THE CORNER AFFECTED AND THE CLOSEST POINT OF SUCH PROPOSED DRIVEWAY, NO ENTRANCE OR EXIT, AT THE CURBLINE ONLY, SHALL BE CLOSER THAN FIVE FEET FROM A SIDE LOT LINE.
- LOADING DOCKS AND SERVICE AREAS. NO LOADING DOCK OR SERVICE AREA MAY BE ON ANY STREET FRONTAGE.
- OUTDOOR STORAGE AREAS - NO USE OR ACCESSORY USE SHALL BE CONSTRUCTED TO PERMIT THE KEEPING OF ARTICLES, EQUIPMENT, GOODS OR MATERIALS IN THE OPEN, EXPOSED TO PUBLIC VIEW, ADJACENT RESIDENCES OR A RESIDENTIAL DISTRICT. WHEN NECESSARY TO STORE OR KEEP SUCH GOODS OR MATERIALS IN THE OPEN, THE AREA SHALL BE FENCED WITH A SCREEN OR BUFFER PLANTING STRIP AND SITUATED NO CLOSER THAN 50' TO A RESIDENTIAL DISTRICT LINE. LANDSCAPED STRIP BETWEEN THE SIDEWALK AND BUILDING A MINIMUM OF FOUR FEET IN WIDTH.

9. PARKING REQUIREMENTS:

- REQUIRED PARKING STALL SIZE: 9'X20' FOR 90' PARKING EXCEPT 9'X18' WITH OVERHANG. 9'X18' PROPOSED WITH 2' OVERHANG.
- AT THE DISCRETION OF THE BOARD, UP TO 30% OF REQUIRED PARKING SPACES MAY BE DESIGNED FOR COMPACT CAR USE. SUCH SPACES SHALL NOT BE LESS THAN 8' WIDE NOR LESS THAN 17' DEEP. DEPTH MAY BE REDUCED TO 16' WITH 2' OVERHANG.
- INTERIOR DRIVEWAYS: 24' WIDE FOR 90' PARKING, 18' WIDE FOR 60' PARKING, 14' WIDE FOR 30' OR 45' PARKING.
- REQUIRED PARKING STALLS (DWELLING UNITS): 1.5 SPACES REQUIRED FOR EACH DWELLING UNIT PROPOSED PARKING STALLS = 8 DWELLING UNITS X 1.5 SPACES PER UNIT = 12 PARKING SPACES 12 SPACES REQUIRED; 13 PROPOSED.
- 1.5-2 BEDROOM DWELLING UNIT (RSIS) - REQUIRED 9, PROPOSED 9 (3 PER UNIT)

### IMPERVIOUS AREA

TOTAL IMPERVIOUS AREA = 9,155 SF

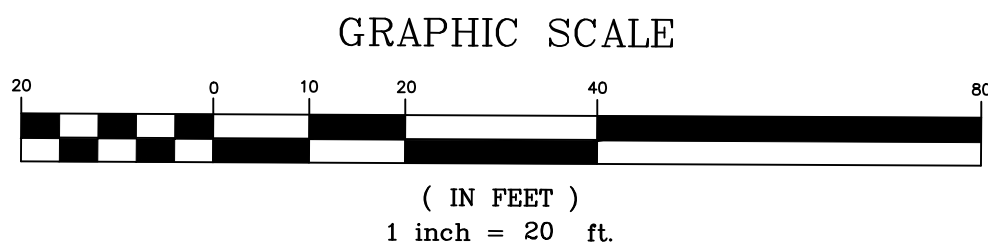
PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
CKD	CORNUS KOUSA	KOUSA DOGWOOD	4	2"-2.5" CAL. MINIMUM	B&B 'ORN. TREE'
AHB	MUSCLEWOOD	AMERICAN HORNBEAM	4	2"-2.5" CAL. MINIMUM	B&B TREE
FLD	CORNUS FLORIDA	FLOWERING DOGWOOD	5	2"-2.5" CAL. MINIMUM	B&B TREE
CCR	CERCIS CANADENSIS	EASTERN REDBUD	1	2"-2.5" CAL. MINIMUM	B&B TREE
TMD	TAURUS X MEDIA 'DENISFORMIS'	DENISFORMIS YEW	32	24-30"	B&B EVERGREEN SHRUB
TO	THUJA ACCIDENTALIS 'NIGRA'	DARK GREEN AMER. ARBORVITAE	6	6' B&B	EVERGREEN TREE

NOTE:

- ALL EXTERIOR GROUND AREAS NOT OCCUPIED BY BUILDINGS, STRUCTURES AND PAVING (EXCEPT AREAS INDICATED TO BE UNDISTURBED AND PLANTING BEDS) SHALL BE LAWN AREAS.



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ENGINEER:  
MICHAEL GALANTE PE

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

APPLICANT/OWNER:

URBAN DECO, LLC.  
21 TERRIER PLACE  
KENDALL PARK, NJ 08824

MICHAEL D. GALANTE  
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

MG ENGINEERING ASSOCIATES, LLC  
76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540  
WWW.MGEASSOC.COM  
CERTIFICATE OF AUTHORIZATION # 24GA28279000

### SIGNATURE PLANS

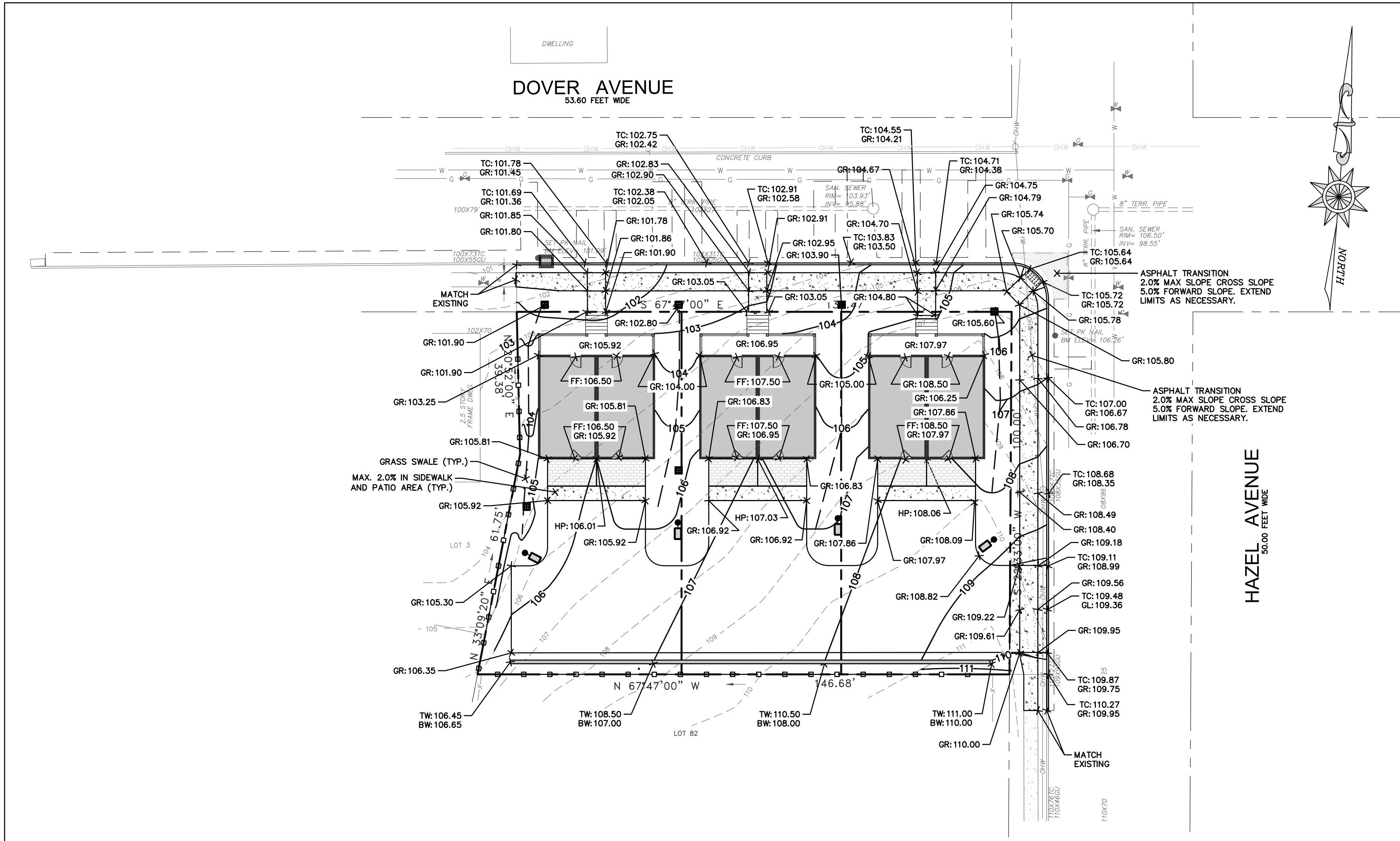
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NO.	DATE	BY	REVISION
1	9/23/22	MG	REV. PER SETTLEMENT PLAN
2	9/23/22	MG	REV. PER SETTLEMENT PLAN
3	9/23/22	MG	REV. PER CONSERVATION DISTRICT COMMENTS
4	9/23/22	MG	REV. PER TRENTON WATER SUBMISSION
5	9/23/22	MG	REV. PER EVERGREEN TREES

SITE AND LANDSCAPE PLAN  
PRELIMINARY AND FINAL MAJOR SUBDIVISION AND SITE PLAN  
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:  
URBAN DECO, LLC  
BLOCK: 25, LOTS: 83-86, PLATE: 1  
33-37 DOVER AVENUE  
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY

DRAWN BY:	DESIGN BY:	CHECKED BY:	SCALE:
M.D.G.	M.D.G.	M.D.G.	AS NOTED
DATE: JULY 2022			SHEET No.: 4
JOB No.: 2021-555			





GRADING PLAN

SCALE: 1"= 20'

GRADING NOTES

- CONTRACTOR SHALL MAINTAIN A MAX. 2.0% CROSS SLOPE AND 5.0% FORWARD SLOPE IN ALL ADA AREAS. ADA PARKING STALLS AND PATH SHALL MAINTAIN A MAX. 2.0% SLOPE IN ALL DIRECTIONS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND APPLICABLE REPORTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL UNSUITABLE MATERIALS SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL SITE AND BACKFILL MATERIALS SHALL CONSIST OF CONTROLLED DENSE GRADED AGGREGATE. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUB-GRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE AT THE CONTRACTORS OWN RISK.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL THAT IS COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD).
- CONTRACTOR SHALL SUBMIT CURB CUT SHEETS FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION. IF CURB CUT SHEETS ARE NOT SUBMITTED, CONTRACTOR IS PROCEEDING AT THEIR OWN RISK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILTS UNLESS OTHERWISE DIRECTED WITHIN THE CONTRACT.
- REFER TO SITE PLAN AND GENERAL NOTES FOR ADDITIONAL DETAILS.

ADA NOTE

- CONTRACTOR SHALL MAINTAIN A MAX. 2.0% SLOPE IN ANY DIRECTION IN ALL ADA AREAS. CONTRACTOR SHALL MAINTAIN A MAX. 2.0% CROSS SLOPE ON ALL SIDEWALK AND ASPHALT CROSSWALK AREAS AND A MAX 5.0% FORWARD SLOPE.
- ALL SIDEWALK LANDING AND TURNING AREAS SHALL BE A MAX. 2.0% GRADE. IN EVERY DIRECTION.
- CONTRACTOR SHALL COORDINATE WITH ENGINEER ON CONSTRUCTION OF ADA CURB RAMPS. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF FULLY COMPLIANT CURB RAMPS. ANY DISCREPANCIES SHALL BE COORDINATED TO THE ENGINEER IMMEDIATELY.

ROOF LEADER INSTALLATION NOTES

- CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING UTILITIES AND COORDINATE WITH ENGINEER ANY CONFLICTS THAT MAY EXIST.
- THE PROJECT PROPOSES TO INSTALL A NEW WATER SERVICE. PRIOR TO THE START OF CONSTRUCTION, PROPOSED WATER CONNECTION SHALL BE COORDINATE WITH TRENTON WATER UTILITY AND CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, FOR THE PROPOSED WATER CONNECTION.

SEWER SERVICE NOTES

- THE PROJECT PROPOSES TO CONNECT INTO THE EXISTING SANITARY SEWER MAIN LOCATED ALONG HAZEL AVENUE AND UTILIZE THE EXISTING SEWER CONNECTION AS INDICATED ON THE PLAN. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE EWING LAWRENCE SEWER AUTHORITY AND OBTAIN NECESSARY PERMITS FOR THE PROPOSED CONNECTION.

GAS AND ELECTRIC SERVICE NOTES

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE GAS AND ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE WITH PSE&G FOR THE PROPOSED ELECTRIC SERVICE AND GAS SERVICE.

ENGINEER:  
MICHAEL GALANTE PE

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

APPLICANT/OWNER:  
URBAN DECO, LLC.  
21 TERRIER PLACE  
KENDALL PARK, NJ 08824

DATE: 10-6-2021  
MICHAEL D. GALANTE  
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

MG ENGINEERING  
ASSOCIATES, LLC  
76 ARGYLE AVENUE  
BLACKWOOD, N.J.  
08012 PHONE:  
1-856-404-0540  
WWW.MGEASSOC.COM  
CERTIFICATE OF AUTHORIZATION  
# 24628279000

SIGNATURE PLANS

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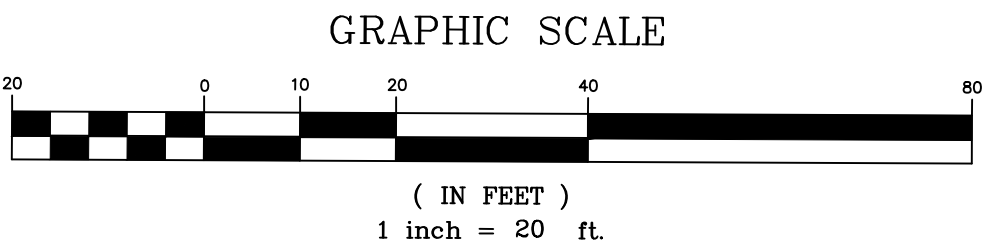
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GRADING PLAN  
PRELIMINARY AND FINAL MAJOR SUBDIVISION AND  
SITE PLAN  
PROPOSED MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT FOR:  
URBAN DECO, LLC  
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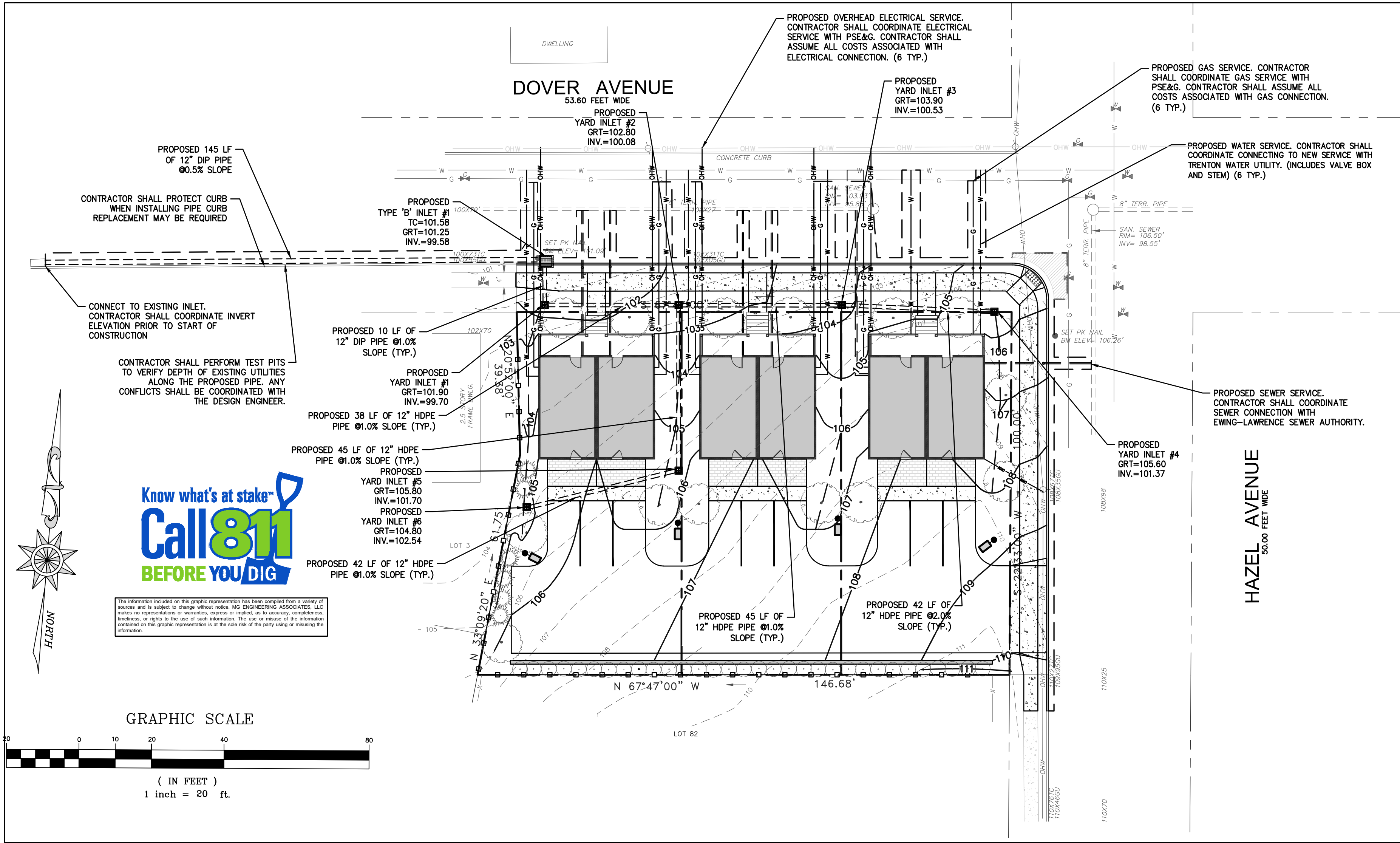
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DATE: APRIL, 2021		SHEET No. 5	
JOB No. 2021-555			



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UTILITY PLAN

SCALE: 1"= 20'

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINT (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY UTILITY "ONE CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE AND WITHIN ANY R.O.W. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. IF A CONFLICT EXISTS WITH THE SITE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- THE MINIMUM DOMESTIC WATER SERVICE SIZE SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAIN BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE NOTED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CL.52.
- ALL SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL UTILITY COMPANIES RULES AND REGULATIONS.
- ROOF LEADER COLLECTION PIPING SHALL BE COORDINATED WITH ARCHITECTURAL PLANS PRIOR TO INSTALLATION.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE AND HDPE PIPE SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS. SUBMITTALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL.
- ALL UTILITIES WILL BE THE RESPONSIBILITY OF THE APPLICANT.

ROOF LEADER INSTALLATION NOTES

- CONTRACTOR SHALL COORDINATE ROOF DRAINS WITH THE ARCHITECTURAL PLANS AND DIRECT TO PROPOSED YARD DRAINS.

WATER SERVICE NOTES

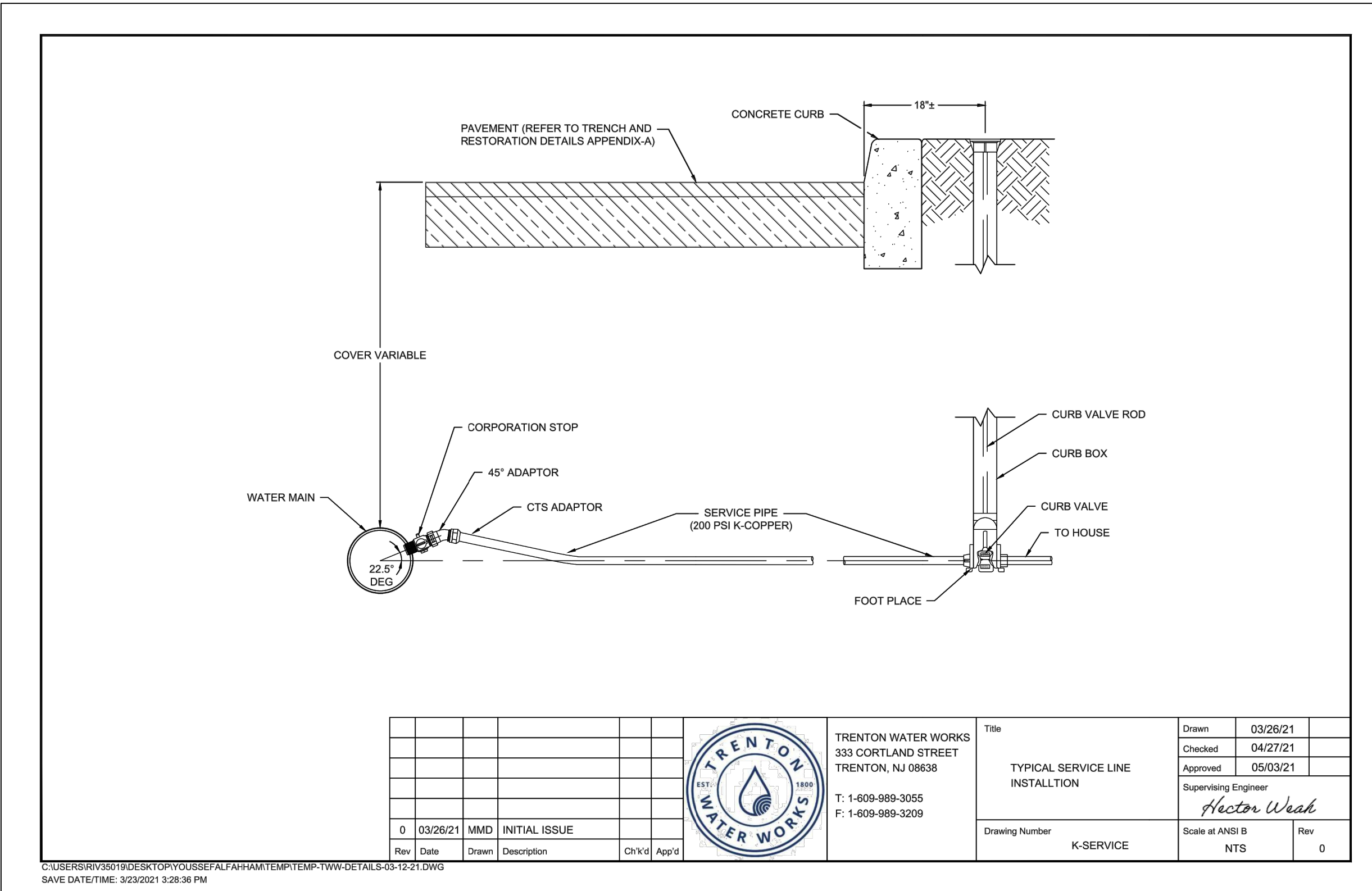
- THE PROJECT PROPOSES TO INSTALL A NEW WATER SERVICE. PRIOR TO THE START OF CONSTRUCTION, PROPOSED WATER CONNECTION SHALL BE COORDINATE WITH TRENTON WATER UTILITY AND CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, FOR THE PROPOSED WATER CONNECTION.

SEWER SERVICE NOTES

- THE PROJECT PROPOSES TO CONNECT INTO THE EXISTING SANITARY SEWER MAIN LOCATED ALONG DOVER AND HAZEL AVENUES. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE EWING LAWRENCE SEWER AUTHORITY AND OBTAIN NECESSARY PERMITS FOR THE PROPOSED CONNECTION. CONTRACTOR IS REQUIRED TO OBTAIN AN INSPECTION FROM THE TOWNSHIP, EWING LAWRENCE SEWER AUTHORITY AND THE BUILDING CODE OFFICIAL PRIOR TO BACKFILLING SEWER LATERALS.

GAS AND ELECTRIC SERVICE NOTES

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE GAS AND ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE WITH PSE&G FOR THE PROPOSED ELECTRIC SERVICE AND GAS SERVICE.



TYPICAL WATER SERVICE DETAIL

ENGINEER:  
MICHAEL GALANTE PE

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

APPLICANT/OWNER:  
URBAN DECO, LLC.  
21 TERRIER PLACE  
KENDALL PARK, NJ 08824

DATE: 10-6-2021  
MICHAEL D. GALANTE  
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

MG ENGINEERING  
ASSOCIATES, LLC  
76 ARGYLE AVENUE  
BLACKWOOD, N.J.  
08012 PHONE:  
1-856-404-0540  
WWW.MGEASSOC.COM  
CERTIFICATE OF AUTHORIZATION  
# 24G28279000

SIGNATURE PLANS

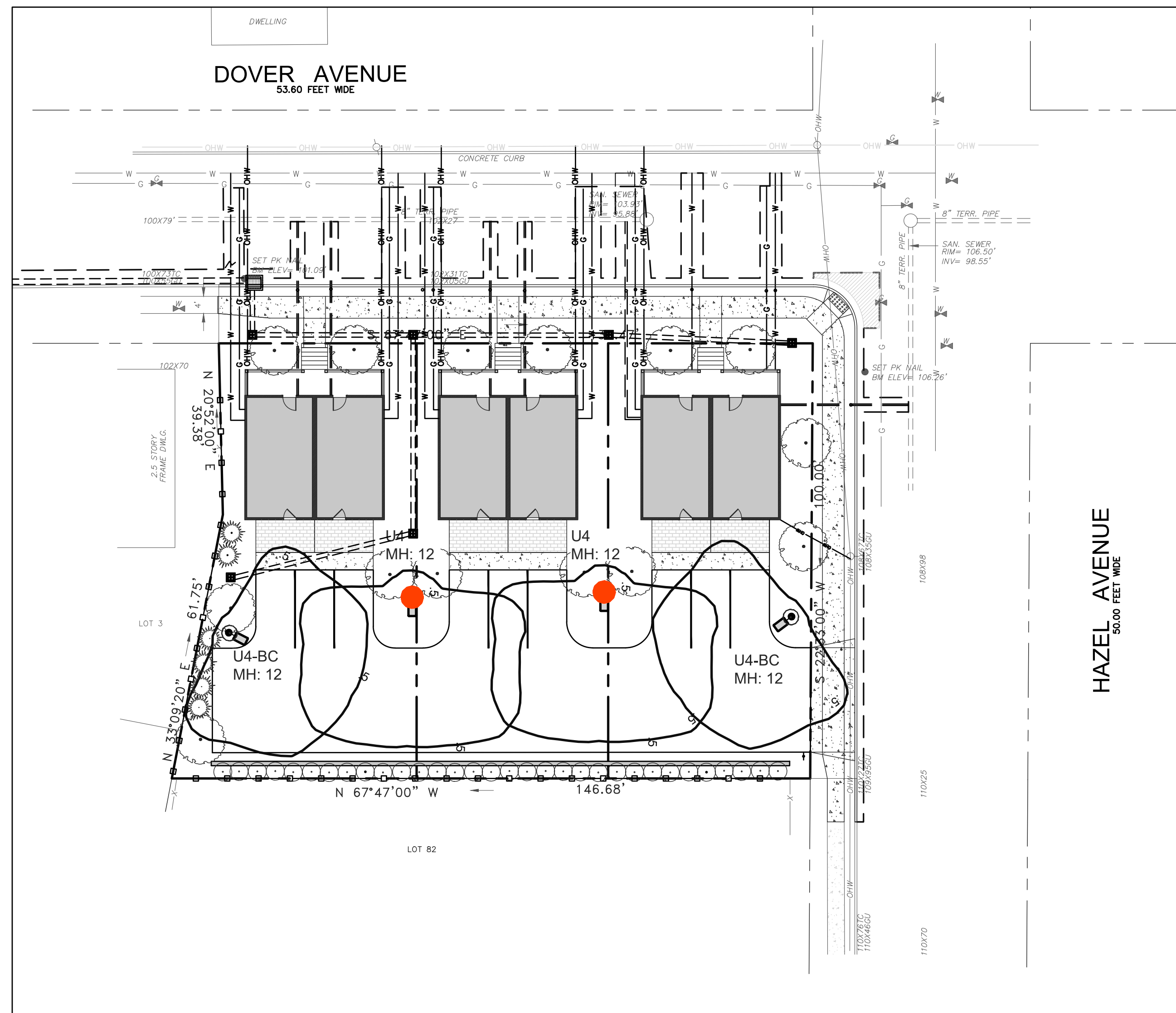
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NO.	REVISION	DATE	BY
1			
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UTILITY PLAN  
PRELIMINARY AND FINAL MAJOR SUBDIVISION AND  
SITE PLAN  
PROPOSED MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT FOR:  
URBAN DECO, LLC  
BLOCK: 25, LOTS: 83-86, PLATE: 1  
33-37 DOVER AVENUE  
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY

DRAWN BY:	DESIGN BY:	CHECKED BY:	SCALE:
M.D.G.	M.D.G.	M.D.G.	AS NOTED
DATE:			SHEET No.:
APRIL, 2021			6
JOB No.:			
2021-555			





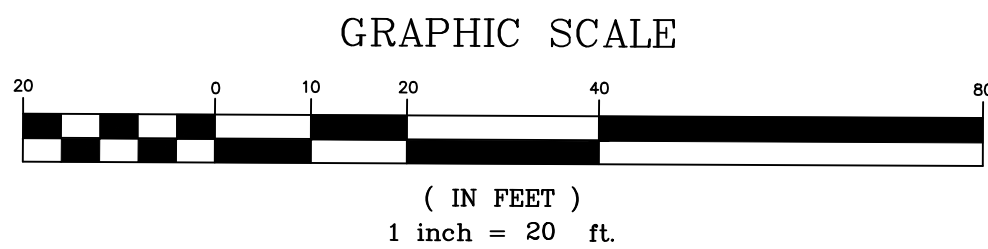
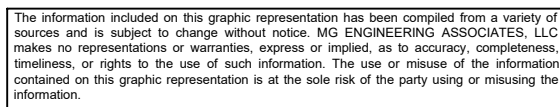


SCALE: 1" = 20'



LUMINAIRE SCHEDULE \*\*REFER TO LIGHTING FIXTURE CUTSHEETS FOR COMPLETE CATALOG NUMBERS\*\*

Symbol	Qty	Fixture Type	Description	Manufacturer	Catalog No.	CCT	LLF	Total Watts	Delivered Lumens	Mounting Height	Filename
	2	U4	LED DECORATIVE POST TOP LUMINAIRE, 21IN DIA ANGLED SHADE, TYPE 4 DISTRIBUTION, LLF ADJUST FOR 27W, 3486 LUMENS	Beacon Lighting	URB-XXXX-21-24L-27-3K7-4-UNV	3000K	0.539	57	5811	12	URB-XXXX-21-24L-55-3K7-4-UNV.ies
	2	U4-BC	LED DECORATIVE POST TOP LUMINAIRE, WITH BACKLIGHT CONTROL, 21IN DIA ANGLED SHADE, TYPE 4 DISTRIBUTION, LLF ADJUST FOR 27W, 3486 LUMENS	Beacon Lighting	URB-XXXX-21-24L-27-3K7-4-UNV-BC	3000K	0.900	27.4	2443	12	URB-XXXX-21-24L-27-3K7-4-BC.ies



# URBAN SERIES

URBAN LUMINAIRE

## FEATURES

- Decorative transitional style lighting fixture series is suitable for walkway lighting and wall mounting
- Two unique shade and style options
- LED Turtle-friendly option available
- Integral Surge and Thermal Protection

## CONTROL TECHNOLOGY

## SPECIFICATIONS

### CONSTRUCTION

- The drivers shall be located in the top cast housing and shall be accessible without tools by hinging the lower shade assembly. The driver and all electrical components shall be on a tray
- The lower shade shall be made from a one-piece aluminum spinning
- The housing is designed for LED thermal management without the use of metallic screens, cages, or fans. The top casting shall be able to be pendent mounted in place with a stainless steel safety pin and then permanently held in place with four stainless steel bolts

### ELECTRICAL

- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input
- Power factor is  $\geq 0.90$  at full load
- Dimming drivers are standard with connections for external dimming equipment available upon request
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is limited by UL for use at 600VAC at 50°C or higher
- Plug disconnects are listed by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (UL) side only
- Fixture electrical compartment shall contain all LED driver components
- Button photocell available
- Ambient operating temperature -40°C to 40°C

### ELECTRICAL (CONTINUED)

- Surge protection - 20KA
- Lifeshield® Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. A luminaire equipped with the device may be reliably operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fall on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.)

### CONTROLS

- Available with Emergent for optional set, timing, timed dimming with simple delay, or timed dimming based on time of night visit: [www.beaconproducts.com/products/emergent](http://www.beaconproducts.com/products/emergent)
- Urban can be specified with SiteSunc® wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. For more details, see ordering information or visit: [www.hubbellighting.com/products/sitesunc/](http://www.hubbellighting.com/products/sitesunc/)

### FINISH

- IPS polyester powder-coat electrostatically applied and thermocured
- IPS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## RELATED PRODUCTS

Matrix MA4    Brighton    La Jolla

### FINISH (CONTINUED)

- The finish meets the AAMA 606.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds

### CERTIFICATIONS

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/DPL>
- NRTL Certified, UL8750, UL 1598 and CSA22.2#250, 13-14 for wet locations
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available at [www.beaconproducts.com/products/urban](http://www.beaconproducts.com/products/urban)

### WARRANTY

- 5 year warranty
- See HLL Standard Warranty for additional information

KEY DATA	
Lumen Range	3,300-11,600
Wattage Range	55-136
Efficiency Range (LPW)	61-87

Page 1/5 Rev. 01/19  
URBANSERIES-SPC

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701 Millennium Blvd • Greenville, SC 29607 | Tel 864.678.1000 | Website [www.beaconproducts.com](http://www.beaconproducts.com)

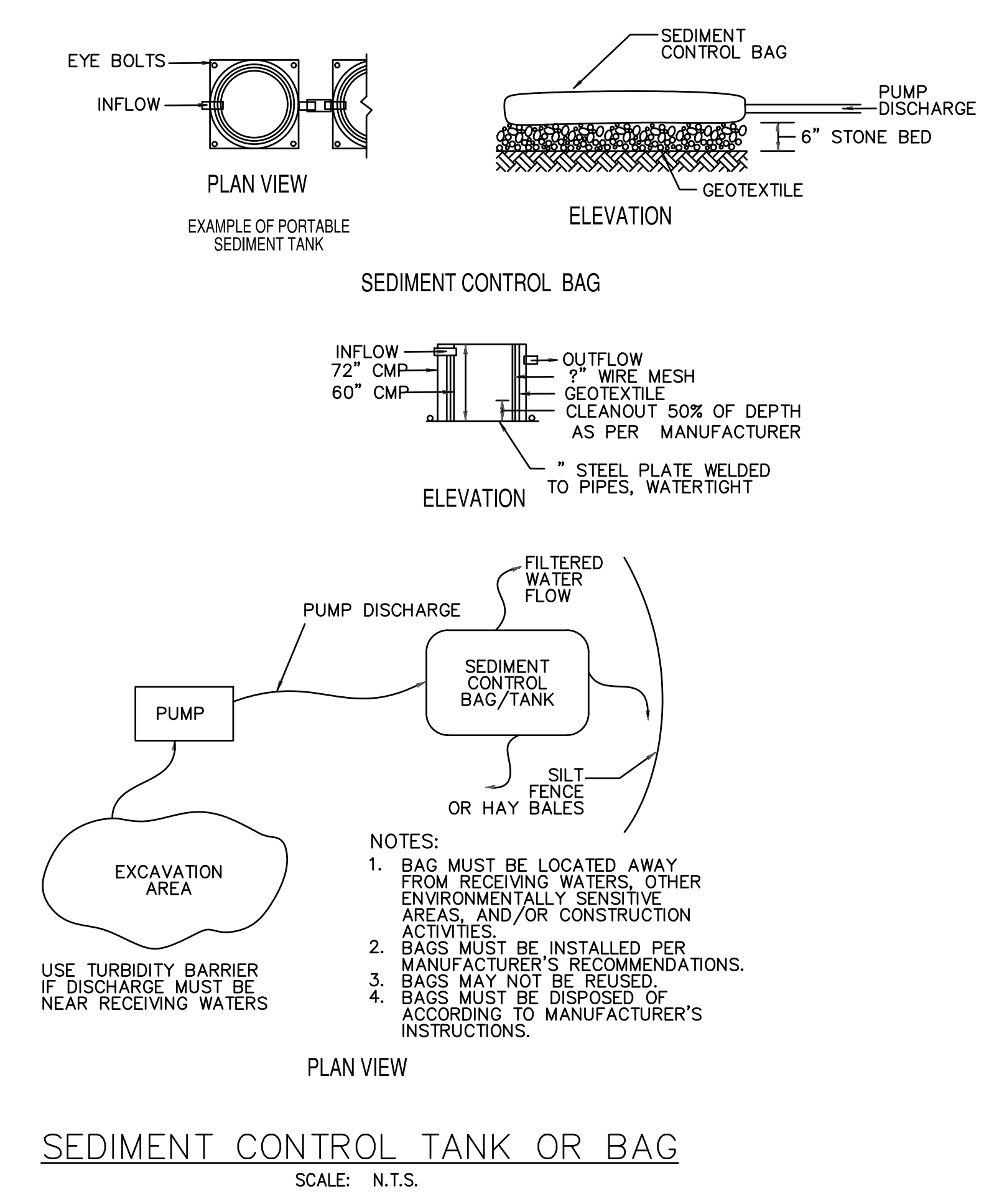
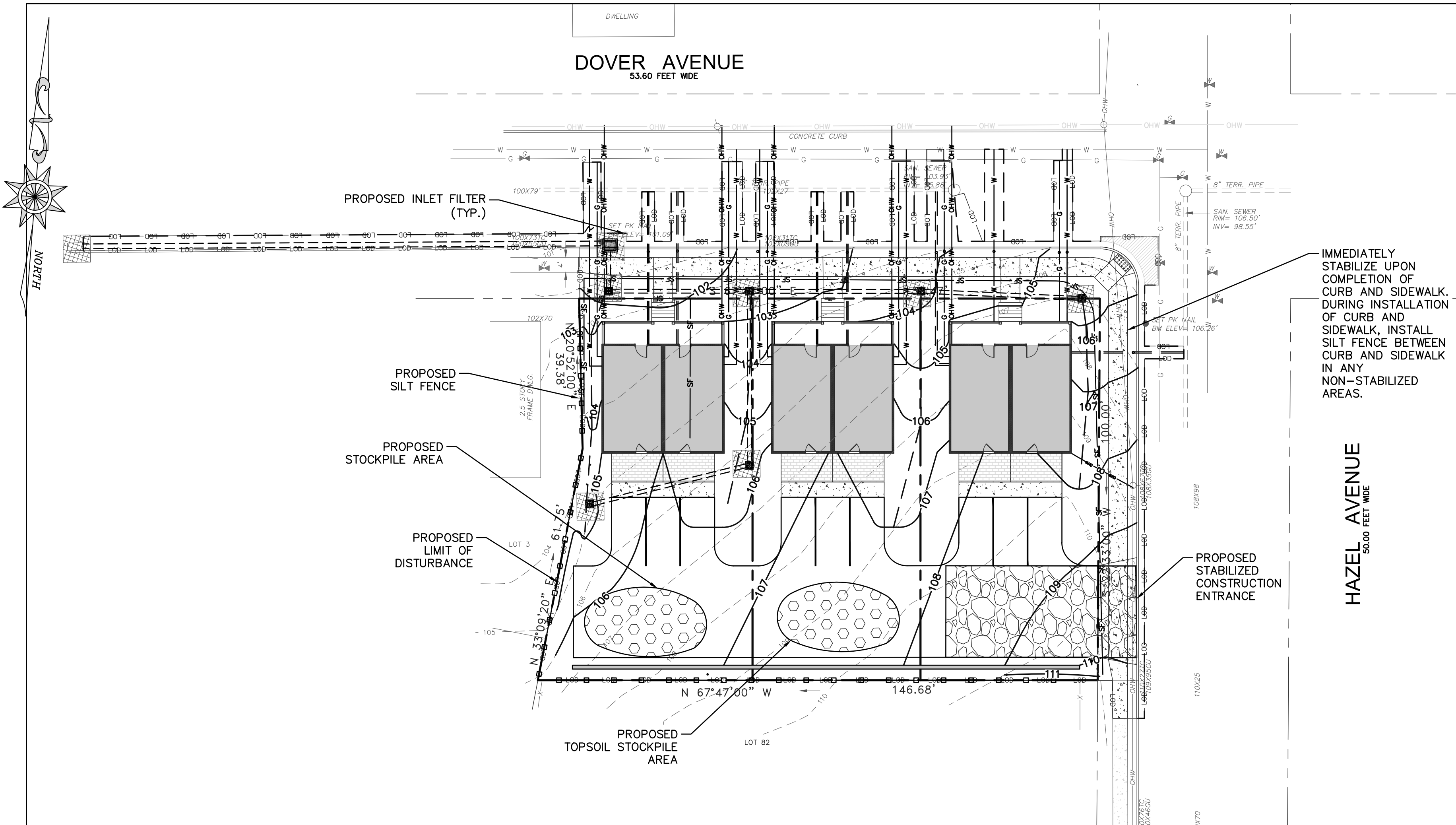
HUBBELL Lighting

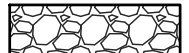

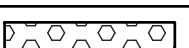


NO.	REVISION	DATE	BY	CHK
1	REV. PER SETTLEMENT PLAN	8/23/22	MOJONG	
2	REV. PER SETTLEMENT PLAN	8/23/22	MOJONG	
3	REV. PER CONSERVATION DISTRICT COMMENTS	1/16/23	MOJONG	
4	REV. PER TRENTON WATER SUBMISSION	3-1-23	MOJONG	
5	REV. PER EVERGREEN TREES	5-16-23	MOJONG	

**33-37 DOVER AVENUE**

1. THIS PLAN SHALL BE UTILIZED FOR LIGHTING PURPOSES ONLY. CONTRACTOR SHALL REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
2. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER WITH A COMPLETE LIGHTING DESIGN FOR REVIEW AND APPROVAL.
3. FREESTANDING LUMINAIRE MOUNTING HEIGHT SHALL BE 10'
4. FREESTANDING LIGHT FIXTURES SHALL BE BLACK.
5. WRITTEN APPROVAL IS REQUIRED FROM MG ENGINEERING ASSOCIATES FOR AND SUBSTITUTIONS ARE MODIFICATIONS TO THE APPROVED LIGHTING PLAN.
6. A NIGHT LIGHT FUNCTION TEST SHALL BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY.
7. LIGHT SHIELDS SHALL BE INSTALLED ON ALL NON-CONFORMING LIGHTS ALONG ANY STREET RIGHT-OF-WAY AND/OR RESIDENTIALLY-ZONED USED PROPERTIES TO CONTROL GLARE, AND WHERE DETERMINED BY THE PLANNING BOARD ENGINEER.
8. CONTRACTOR SHALL PROVIDE A SIGNED AND SEALED LIGHT POLE FOUNDATION DETAIL FOR BUILDING PERMIT APPLICATION.

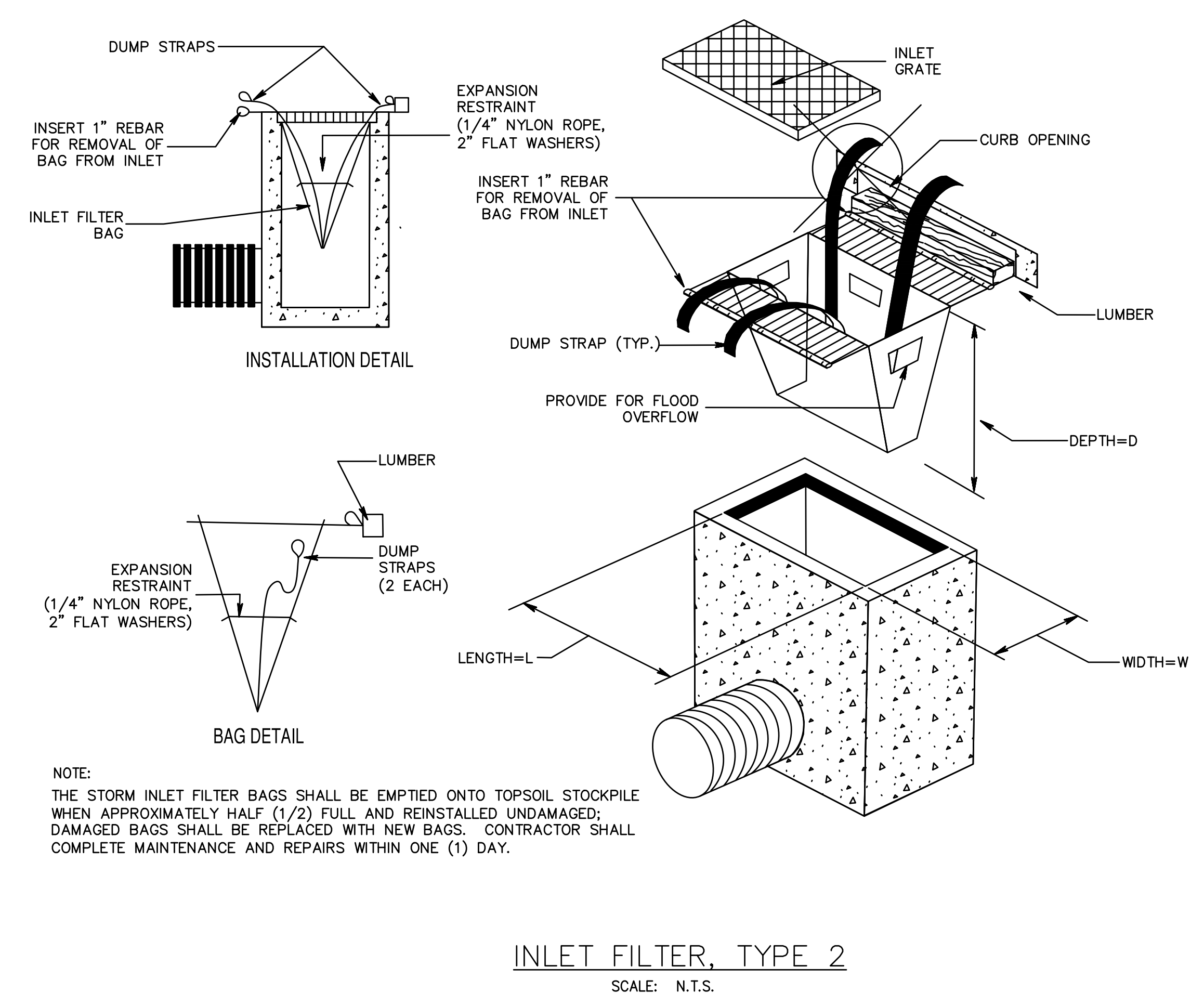
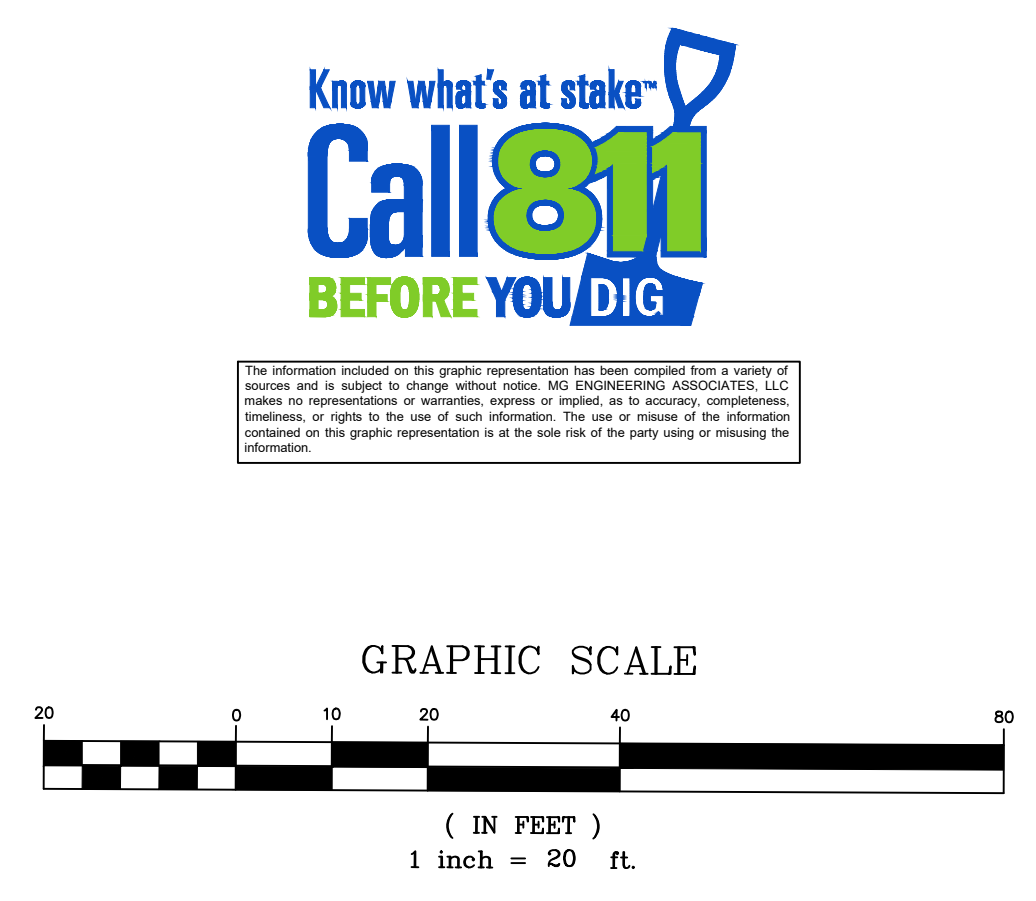




<u>IMPERVIOUS AREA</u>		<u>EARTH DISTURBANCE</u>	
TOTAL IMPERVIOUS AREA = 9,155 SF		TOTAL LIMIT OF EARTH DISTURBANCE = 18,905 SF (0.43 ACRES)	
<u>EROSION AND SEDIMENT CONTROL PLAN NOTES AND LEGEND</u>			
	= DENOTES STABILIZED CONSTRUCTION ACCESS		= PROPOSED LIMIT OF DISTURBANCE LINE
	= DENOTES SOIL STOCKPILE AND STAGING LOCATION		= PROPOSED SILT FENCE
	= INLET FILTER		

THIS PLAN SHALL BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY  
REFER TO SESC NOTES AND DETAILS (SHEET 7)

- NOTES:
- 1.) BEING LOTS 83 THRU 88, BLOCK 25, PLATE 1 AS SHOWN ON THE TOWNSHIP TAX MAP.
  - 2.) THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
  - 3.) VERTICAL DATUM IS REFERENCED TO NAVD 1988.
  - 4.) THIS SURVEY IS REFERENCED TO A FORMER SURVEY BY DONALD P. SWEENEY, P.L.S., DATED 2-2-2018 AND REVISED TO 2-7-2018.
  - 5.) 100X00 INDICATES TYPICAL SPOT ELEV..
  - 6.) THE EXISTANCE AND/OR LOCATION OF UNDERGROUND UTILITIES SHOWN ARE LIMITED TO OBSERVABLE EVIDENCE ONLY.
  - 7.) CONTAINING 13,899 S.F. OR 0.32 ACRES±
- LEGEND
- RIGHT-OF-WAY
  - CURB
  - UNDERGROUND ELEC.
  - UNDERGROUND GAS
  - UNDERGROUND WATER
  - UNDERGROUND TELEPHONE
  - OVERHEAD WIRES
  - CHAIN LINK FENCE
  - WOOD FENCE
  - UNDERGROUND PIPE
  - P.S.E & G. MANHOLE
  - SEWER MANHOLE
  - WATER MANHOLE
  - MANHOLE
  - BELL MANHOLE
  - WATER METER
  - GAS METER
  - WATER VALVE
  - GAS VALVE
  - VALVE
  - TREE
  - A.D.A. TILE
  - SAN. SEWER VENT
  - CLEAN-OUT
  - FIRE HYD.
  - "A" SEWER INLET
  - "B" SEWER INLET
  - TRAFF. LIGHT STANDARD
  - D.D.T. BOX
  - DEPRESSED CURB
  - TRAFF. SIGN
  - UTILITY POLE
  - OVERHEAD LIGHT
  - ROOF DRAIN



ENGINEER:  
MICHAEL GALANTE PE

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

APPLICANT/OWNER:  
URBAN DECO, LLC.  
21 TERRIER PLACE  
KENDALL PARK, NJ 08824

DATE: 10-6-2021  
MICHAEL D. GALANTE  
NJ PROFESSIONAL ENGINEER LIC. No. PE 48374

MG ENGINEERING ASSOCIATES, LLC  
76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540  
WWW.MGEASSOC.COM  
CERTIFICATE OF AUTHORIZATION # 24628279000

SIGNATURE PLANS

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NO.	DATE	BY	REVISION
1	9/23/22	MDG	REV. PER SETTLEMENT PLAN
2	9/23/22	MDG	REV. PER SETTLEMENT PLAN
3	1/16/23	MDG	REV. PER CONSERVATION DISTRICT COMMENTS
4	3-1-23	MDG	REV. PER TRENTON WATER SUBMISSION
5	5-16-23	MDG	REV. PER EVERGREEN TREES

SOIL EROSION & SEDIMENT CONTROL PLAN  
PRELIMINARY AND FINAL MAJOR SUBDIVISION AND SITE PLAN  
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:  
URBAN DECO, LLC  
BLOCK: 25, LOTS: 83-86, PLATE: 1  
33-37 DOVER AVENUE  
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY

DRAWN BY:	DESIGN BY:	CHECKED BY:	SCALE:
M.D.G.	M.D.G.	M.D.G.	AS NOTED
DATE:		SHEET No.:	
APRIL, 2021		8	
JOB No.:			
2021-555			



MERCER COUNTY SOIL SEDIMENT AND CONTROL GENERAL NOTES

1. THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED TO: MCCSD, 590 HUGHES DRIVE, HAMILTON SQUARE, NJ 08690  
PHONE: 609-586-9603 FAX: 609-586-1117 EMAIL: PAULSMERCER@AOL.COM
2. IF APPLICABLE TO THIS PROJECT, THE OWNER SHOULD BE AWARE OF HIS OR HER OBLIGATION TO FILE FOR AN NPDES CONSTRUCTION ACTIVITY STORMWATER 563 PERMIT (NJ0008323) VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJDEP.PER/ONLINE) AND TO MAINTAIN THE ASSOCIATED BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN SELF-INSPECTION LOGBOOK ONSITE AT ALL TIMES. THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF AN EROSION CONTROL CODE. THE EROSION CONTROL CODE MUST BE THE CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
3. THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
5. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
6. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AS OUTLINED WITHIN THE SEQUENCE OF CONSTRUCTION ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IF LANGUAGE CONTAINED WITHIN ANY OTHER PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN (BUT NOT CONTRADICTIONARY TO) WHAT IS CONTAINED WITHIN THESE NOTES OR ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A 1 1/2" TO 2 1/4" CLEAN STONE TRACKING PAD AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT. THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 50 FT. OR MORE. DEPENDING ON SITE CONDITIONS AS REQUIRED BY THE STANDARD. THIS SHALL INCLUDE INDIVIDUAL LOT ACCESS POINTS WITHIN RESIDENTIAL SUBDIVISIONS. IF THE EGRESS IS TO A COUNTRY ROAD, THEN A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAD.
9. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHER REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION ACTIVITY WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER, OR IF THE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPED AREAS IN EXCESS OF 3H:1V SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS. CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER INITIAL DISTURBANCE OR ROUGH GRADING.
11. ANY STEEP SLOPES (I.E. SLOPES GREATER THAN 3:1) RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS. PERMANENT VEGETATION SHALL BE SEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING AND TOPSOILING. ALL AGRONOMIC REQUIREMENTS CONTAINED WITHIN THE STANDARDS AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH BINDER, IN ACCORDANCE WITH THE STANDARDS, SHALL BE USED ON ALL SEEDED AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MIXTURES AND RATES MEET THE STANDARDS.
13. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADJACENT VEGETATION, SHOULD BE REMOVED AND BE REINTEGRATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, THEN NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAUL ROUTES, STAGING AREAS AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED 6" TO 12" IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
15. PRIOR TO SEEDING, TOPSOIL SHALL BE WORKED TO PREPARE A PROPER SEEDED. THIS SHALL INCLUDE RAKING OF THE TOPSOIL AND REMOVAL OF DEBRIS AND STONES, ALONG WITH OTHER REQUIREMENTS OF THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION.
16. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE BURIED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD, AND COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDED PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS, OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 24" OF SOIL HAVING A PH OF 5 OR MORE.
17. MULCHING TO THE STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONAL ROC'S ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING. PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC, OR THE COMPLETION OF WORK IN A GIVEN AREA.
18. HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDROMULCH SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE OF HYDROMULCH ON SLOPED AREAS IS DISCOURAGED.
19. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
20. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE, AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.
21. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
22. ALL DETENTION / RETENTION BASINS MUST BE FULLY CONSTRUCTED (INCLUSIVE OF ALL STRUCTURAL COMPONENTS AND LINERS) AND PERMANENTLY STABILIZED PRIOR TO PAVING OR PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES. PERMANENT STABILIZATION INCLUDES, BUT MAY NOT BE LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OR EROSION CONTROL BLANKETS ON ALL SEEDED, AGRONOMIC REQUIREMENTS AS SPECIFIED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. INSTALLATION OF THE OUTFLOW CONTROL STRUCTURES AND DISCHARGE STORM DRAINAGE PIPING, LOW FLOW CHANNELS, CONDUIT OUTLET PROTECTION, EMERGENCY SPILLWAYS, AND LAP RING PROTECTION.
23. THE RIDING SURFACE OF ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE 3/4" CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED.
24. ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR SIMILAR STABLE SURFACE.
25. ALL SWALES OR CHANNELS THAT WILL RECEIVE RUNOFF FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
26. N.J.S.A. 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY PROTECT THE SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS SEEDING, THE DISTURBED AREAS SHALL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. ALL CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS TO THE STABILIZED PAD IMMEDIATELY PRIOR TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL FLOW WITHIN 10 DAYS OF THE DESIGN STORM.
16. N.J.S.A. 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO ENSURE ANCHORING BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. GLOUCESTER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL WITH STRAW MULCH OR CRUMPER-MULCH ANCHORING TOOL. IF THE SEASON DOES NOT PERMIT TOPSOIL APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING, ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
24. METHODS FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A PH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SLOPE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS OF THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIALS SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER OF UNDERGROUND UTILITIES.
2. SEEDED PREPARATION
- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF SOIL. IF THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF SOIL INDICATES OTHERWISE, APPLY LIMESTONE AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF SOIL. IF THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF SOIL INDICATES OTHERWISE, CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDED IS PREPARED.
- C. INSPECT SEEDED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AS ABOVE.
- D. SOILS HIGH ON SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS.
3. SEEDING
- A. SEE TEMPORARY SEED MIXTURE FOR SPECIES AND APPLICATION RATES.
- B. APPLY SEED UNIFORMLY BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTPACKER SEEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HYDRO-SEEDER TANK WITH SEED. SEED SHALL BE INCORPORATED INTO THE SOIL BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4" INCH DEEPER ON COARSE TEXTURED SOIL.
- C. AFTER SEEDING, FIRING THE SOIL SHALL BE PERFORMED WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE.
4. MULCHING
- MULCHING IS REQUIRED ON ALL SEEDING.
- A. STRAW OR HAY, SHOULD BE UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER TO TACKIFYING OR ADHESIVE AGENT, THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MATERIAL.
- B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED, FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATE 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 90 POUNDS WITHIN EACH SECTION.
- C. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MUST BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTING - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
3. CRUMPER-MULCH ANCHORING TOOL - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
4. LIQUID MULCH BINDERS - ORGANIC AND VEGETABLE BINDERS - NATURALLY OCCURRING, POWER BASED HYDROMULCH MIXED WITH WATER FORMULATES THAT WHEN APPLIED AND ALLOWED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM A MEMBRANED NETWORKS OF

WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER.

- D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

TEMPORARY SEEDING MIXTURE

THIS SEEDING MIXTURE IS COMPOSED OF A SINGLE SPECIES WHICH GERMINATES QUICKLY IN ORDER TO REDUCE SOIL EROSION UNTIL A PERMANENT VEGETATIVE COVER CAN BE COVER ESTABLISHED. A MIXTURE OF EQUAL QUALITY MAY BE SUBSTITUTED IF APPROVED BY OUR OFFICE.

APPLICATION RATE - COMMON NAME  
1 LB/1000 SF PERENNIAL RYE GRASS

RECOMMENDED SEEDING PERIODS ARE FEBRUARY 15-MAY 1 AND AUGUST 15-OCTOBER 15. SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL GERMINATION.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. SEEDED PREPARATION
- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL, WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ON-HALF THE RATE DESCRIBED ABOVE DURING SEEDED PREPARATION AND REPEAT ANOTHER ON-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDED IS PREPARED.
- C. HIGH ACID PRODUCTIN SOILS: SOILS HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5 OR MORE BEFORE INITIATING SEEDED PREPARATION.
3. SEEDING
- A. GRASS SHALL BE APPLIED IN ACCORDANCE WITH TABLE ON THIS SHEET.
- B. APPLY SEED UNIFORMLY BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTPACKER SEEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HYDRO-SEEDER TANK WITH SEED. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTPACKED SEEDING, SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- C. AFTER SEEDING, FIRING THE SOIL SHALL BE PERFORMED WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE.
4. MULCHING
- MULCHING IS REQUIRED ON ALL SEEDING.
- A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER TO TACKIFYING OR ADHESIVE AGENT, THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MATERIAL.
- B. APPLICATION: SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 90% OF THE SOIL SURFACE WILL BE COVERED, FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATE 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- C. ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MUST BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTING - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
3. CRUMPER-MULCH ANCHORING TOOL - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
4. LIQUID MULCH BINDERS MAY BE USED.
- D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
5. IRRIGATION
- A. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE PERFORMED IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
6. TOP DRESSING \*
- A. SEEDING WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.
- B. FALL SEEDING WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.
- C. MIXTURES DOMINATED BY WEEPING LOVEGRASS OR LEGUMES MAY NOT NEED TOPDRESSING.
- \* IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THIS FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.

TEMPORARY SEEDING MIXTURE

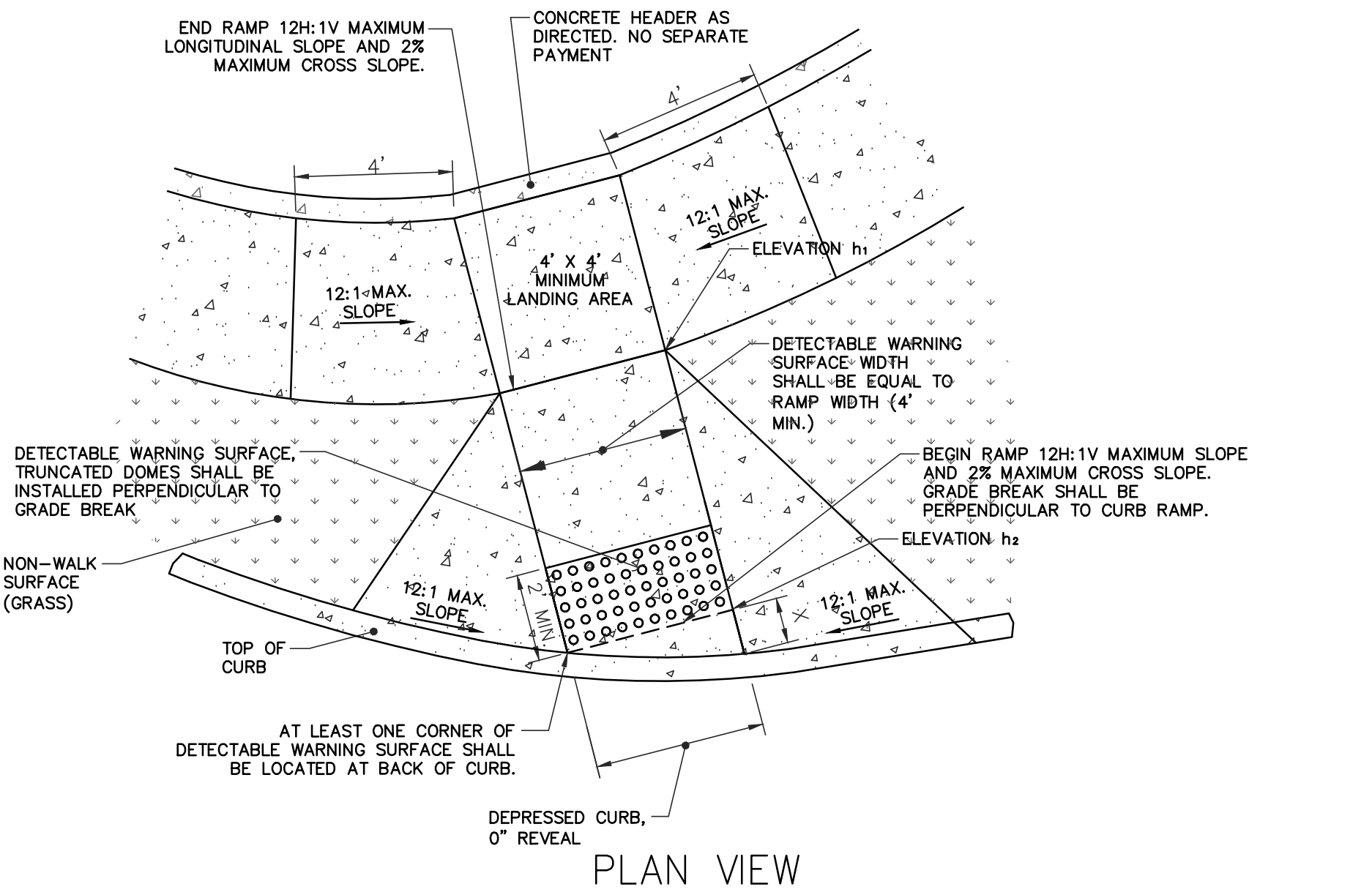
THIS SEEDING MIXTURE SHALL BE USED FOR PERMANENT VEGETATIVE COVER. THE SEED MIXTURE SHALL NUMBER 15 BASED UPON TABLE 4-3 OF THE SOIL EROSION AND SEDIMENT CONTROL MANUAL.

APPLICATION RATE - COMMON NAME  
1 LB/1000 SF PERENNIAL RYEGRASS (BLEND)  
1 LB/1000 SF PERENNIAL RYEGRASS

RECOMMENDED SEEDING PERIODS ARE FEBRUARY 15-MAY 1 AND AUGUST 15-OCTOBER 15. SUMMER SEEDING SHALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL GERMINATION.

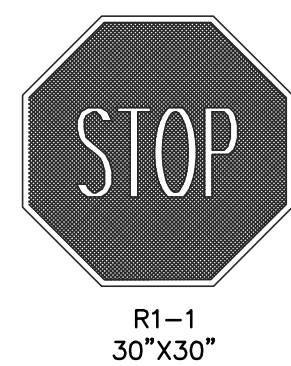
- PERMANENT STABILIZATION WITH SOD
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. SITE PREPARATION
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. SITE PREPARATION
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
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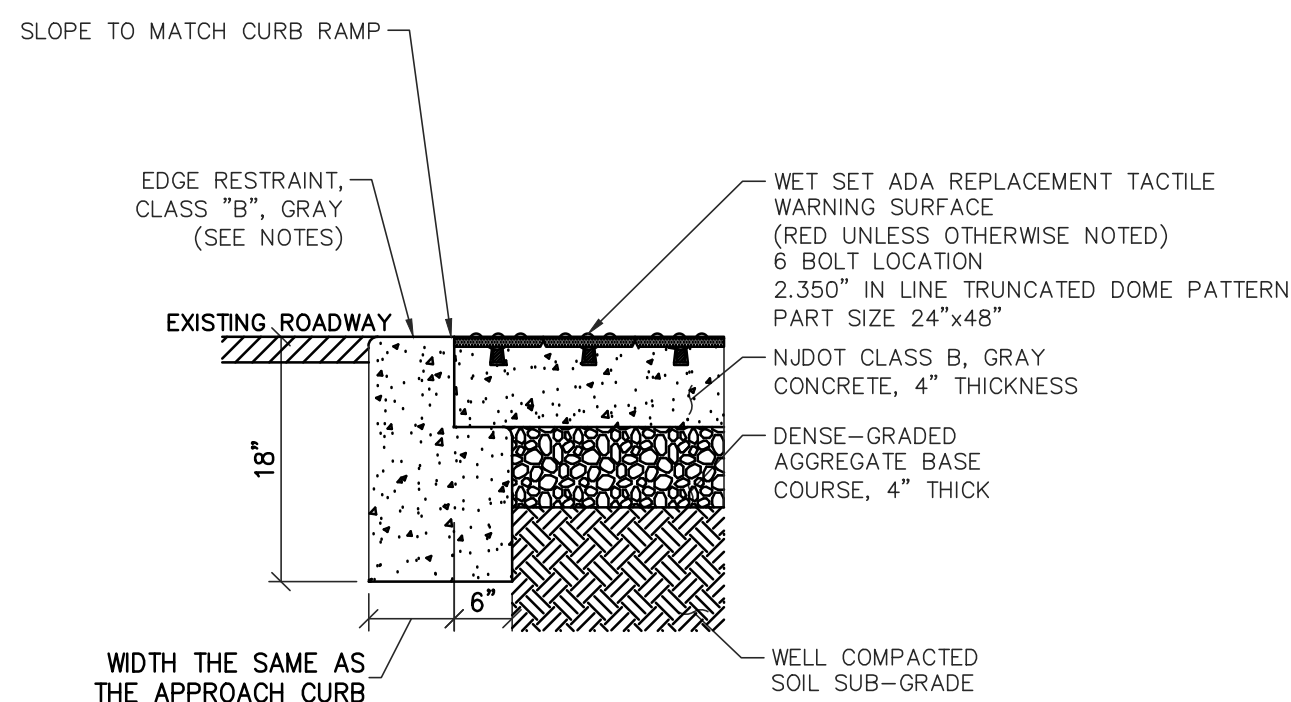


ADA CURB RAMP & DETECTABLE WARNING SURFACE DETAIL

- NOTES:
- ALL PEDESTRIAN ACCESS TO SIDEWALKS AND STREETS, INCLUDING CROSSWALKS, CURB RAMPS, STREET FURNISHINGS, PEDESTRIAN SIGNALS, PARKING AND OTHER COMPONENTS OF PEDESTRIAN ACCESS IN THE RIGHTS-OF-WAY ARE TO BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY GUIDELINES PROPOSED BY THE ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD).
  - GRADE BREAKS AT THE TOP AND BOTTOM OF THE CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF RAMP RUN. AT LEAST ONE END OF THE BOTTOM GRADE BREAK SHALL BE AT THE BACK OF CURB. WHEN INSTALLING A CURB RAMP ON A CURB RADIUS, THE AREA BETWEEN THE GRADE BREAK AND THE BACK OF CURB SHALL MEET THE SLOPE REQUIREMENTS FOR LANDINGS AND PROVIDE ADEQUATE DRAINAGE TO PREVENT THE ACCUMULATION OF WATER OR DEBRIS ON OR AT THE BOTTOM OF THE RAMP. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF CURB RAMPS, BLENDED TRANSITIONS, LANDINGS, AND CUTTER AREAS WITHIN THE PEDESTRIAN ACCESS ROUTE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH. THE ROWS OF TRUNCATED DOMES IN THE DETECTABLE WARNING SURFACE SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP AND THE LANDING
  - H=CURB HEIGHT. VOID NJDOT DETAIL CD-606-1. H= h<sub>1</sub>-h<sub>2</sub>

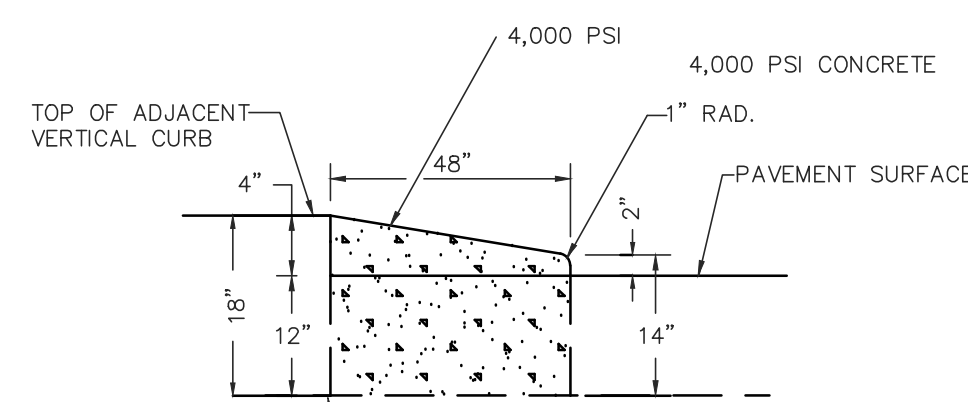


SIGN DETAILS

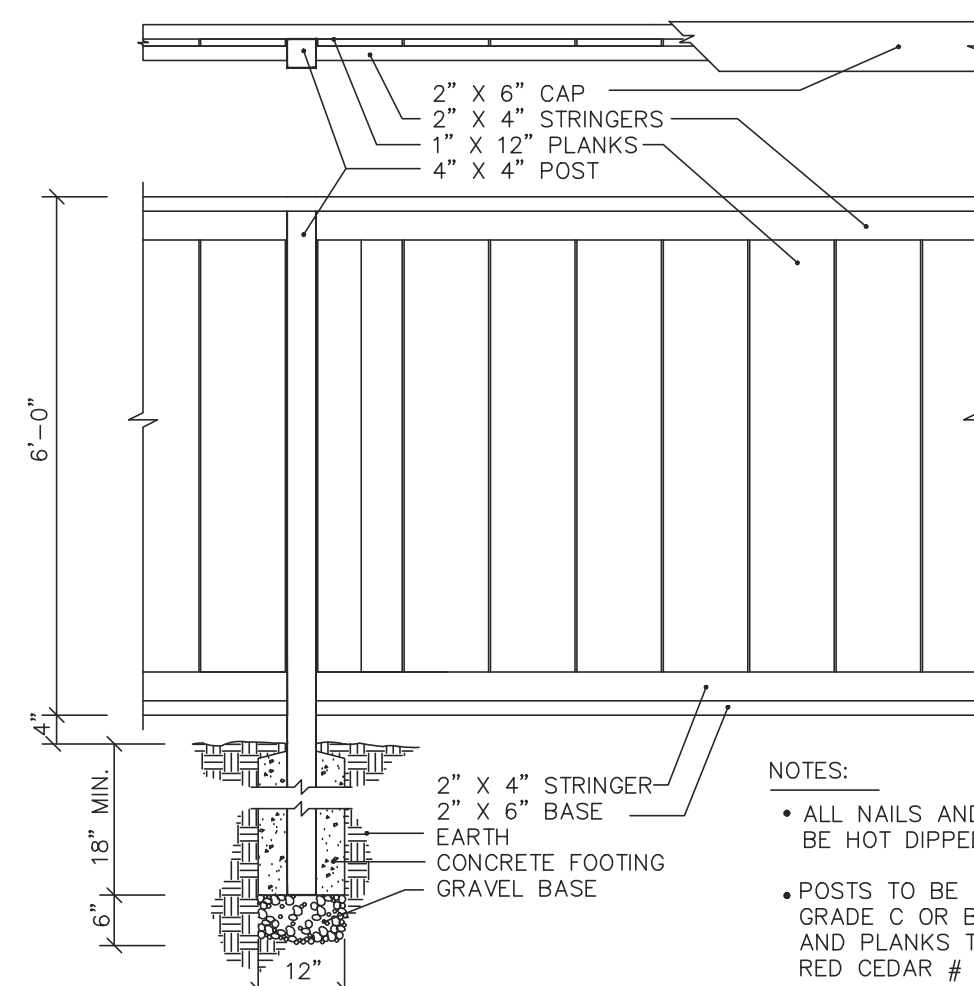


- NOTES:
- SEPARATE PAYMENT WILL NOT BE MADE FOR STABILIZED BED, CONCRETE BASE COURSE, CONCRETE EDGE RESTRAINT AND DENSE GRADED AGGREGATE, BUT THE COST SHALL BE INCLUDED IN THE PAID BID ITEM FOR DETECTABLE WARNING SURFACE, CAST-IN-PLACE.

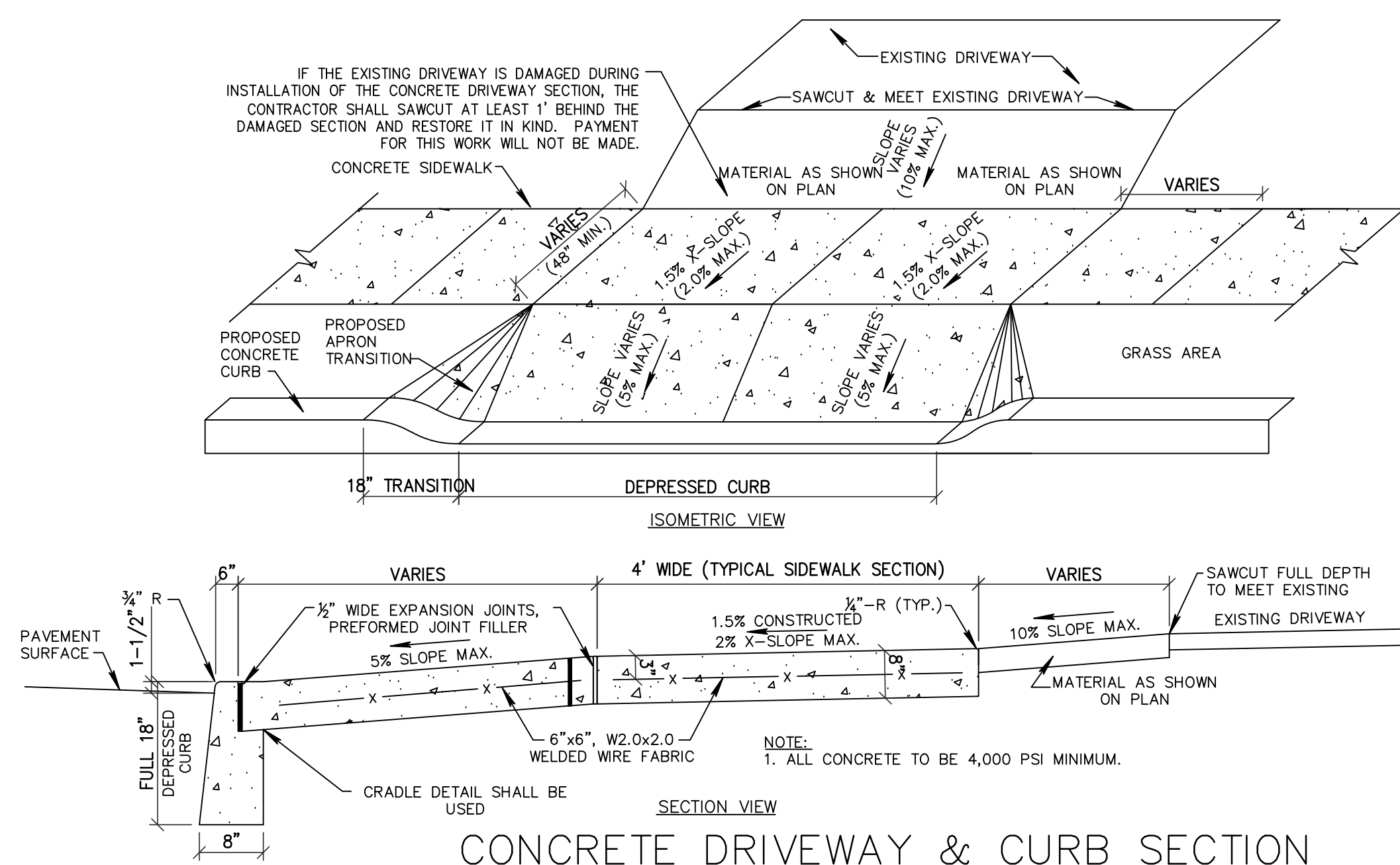
COMPOSITE TILE CURB RAMP DETAIL



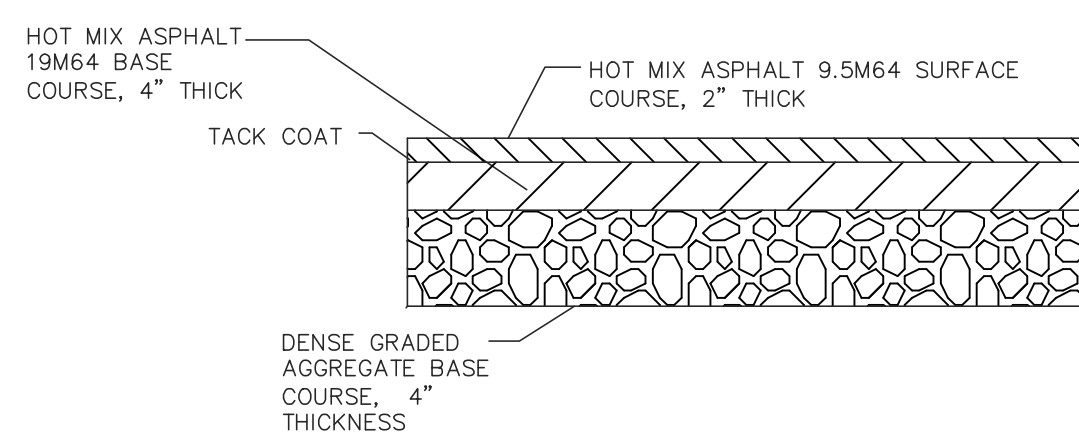
CURB TAPER DETAIL



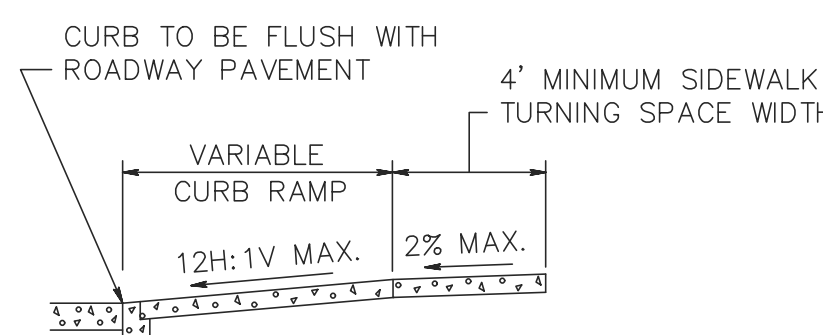
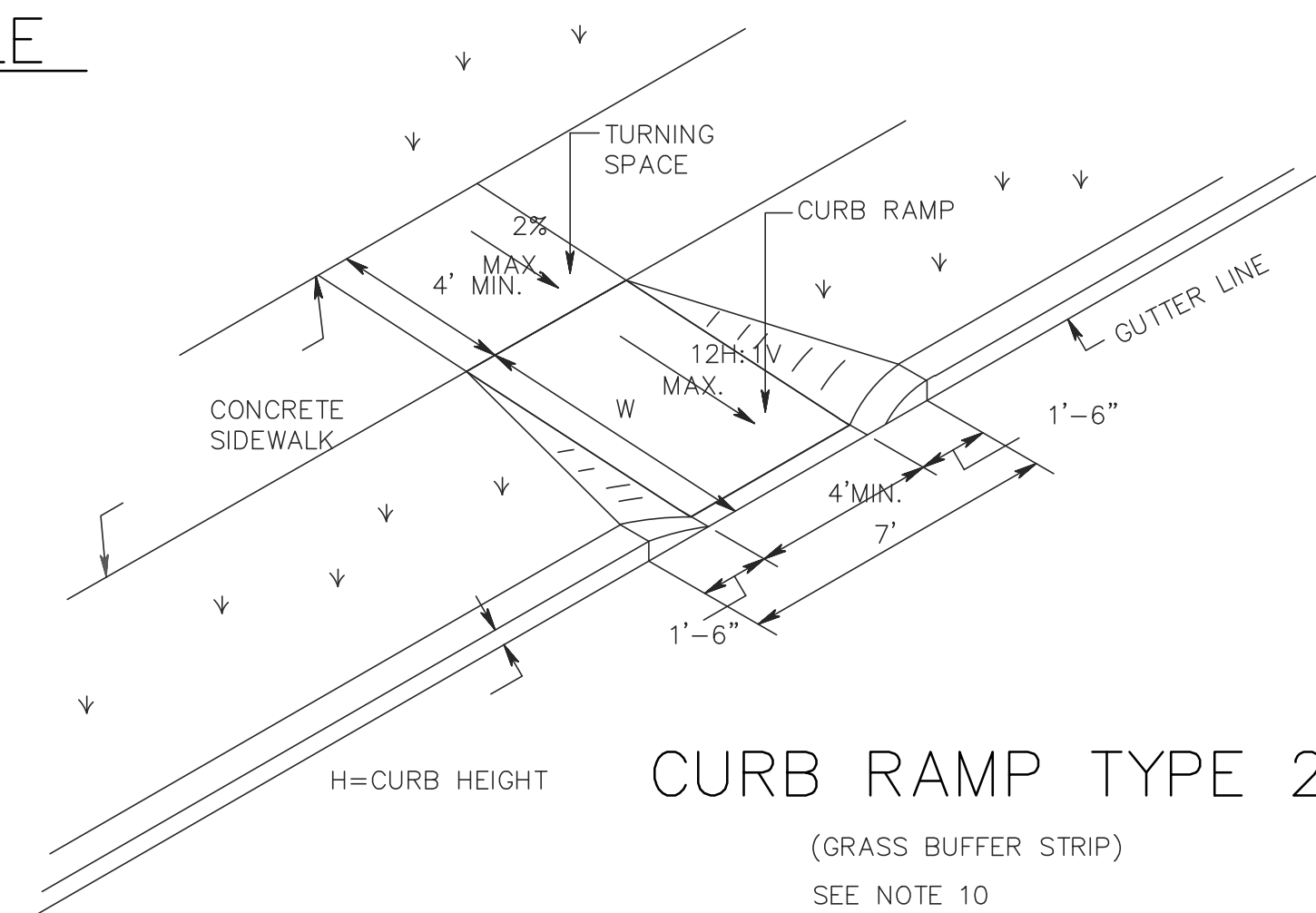
WOOD FENCE-12" PLANKS



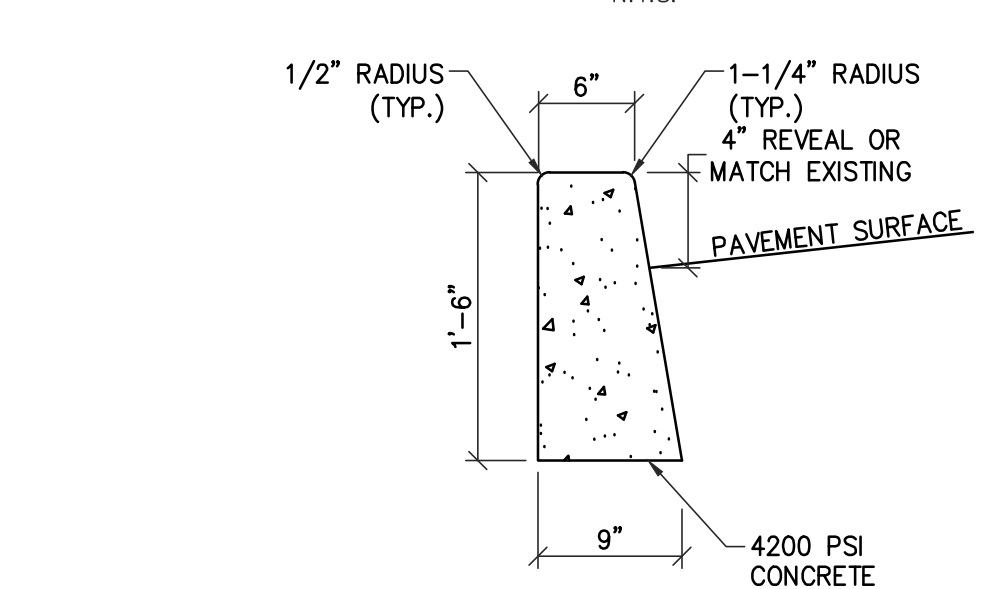
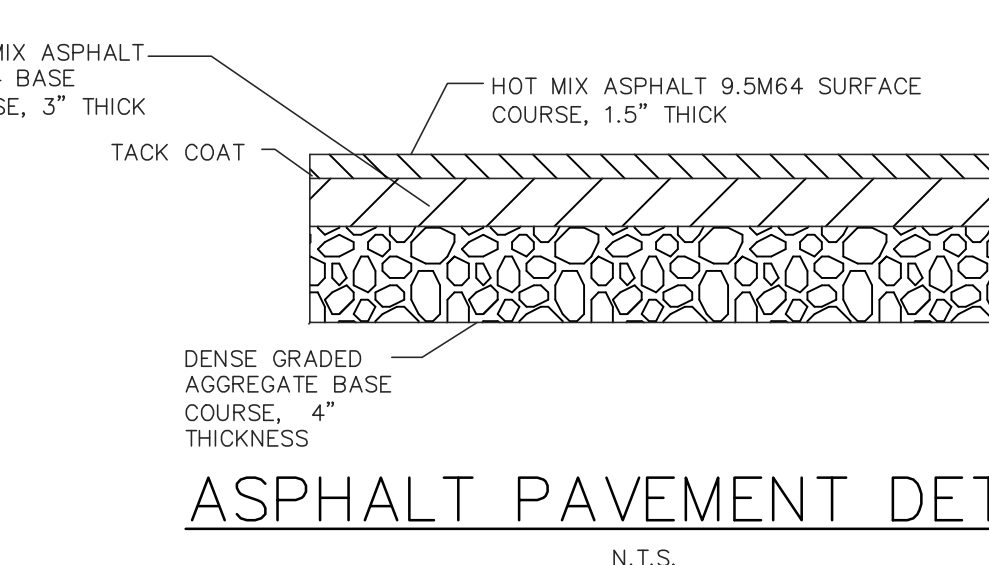
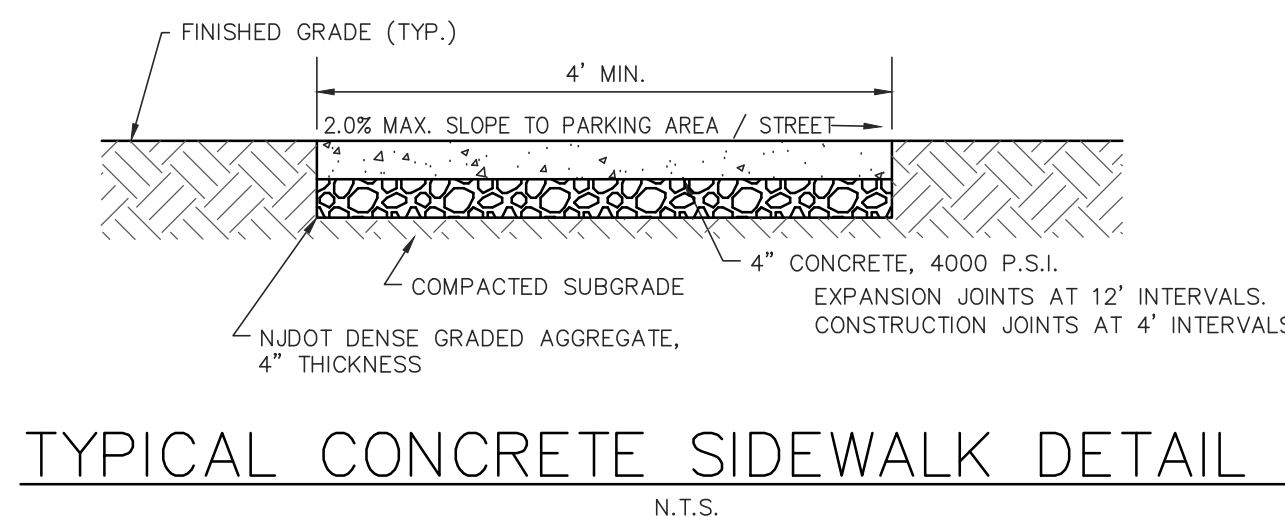
- DRIVEWAY NOTES:
- DRIVEWAYS WHERE CURB IS NOT PRESENT SHALL BE FLUSH TO THE FINISHED ROADWAY GRADE UNLESS OTHERWISE NOTED.
  - DRIVEWAYS WHERE CURB IS PRESENT SHALL HAVE A ONE AND ONE HALF INCH (1.5") CURB REVEAL AND SHALL TRANSITION BACK TO CURB HEIGHT AS INDICATED ON THE PLANS CONSISTENT WITH NJDOT STANDARDS UNLESS OTHERWISE NOTED.
  - DEPTH OF DRIVEWAY REPAIR SHALL BE MEASURED FROM THE BACK OF CURB OR EDGE OF ROADWAY AND SHALL BE 3' DEEP OR MATCH THE BACK OF SIDEWALK WHERE PRESENT UNLESS OTHERWISE NOTED OR DIRECTED.
  - ALL DRIVEWAYS SHALL BE CONSTRUCTED SEPARATELY FROM ROADWAY PAVING OPERATIONS.
  - ALL DRIVEWAYS ARE TO BE REVIEWED BY FIELD INSPECTOR PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO INSTALL HUMPS IN DRIVEWAY 3' FROM PROPOSED EDGE OF PAVEMENT IF POSITIVE FLOW OF STORMWATER TO THE ROADWAY CANNOT BE ACHIEVED.



ASPHALT ROADWAY SECTION DETAIL



SECTION THROUGH CURB RAMPS 1 THROUGH 4

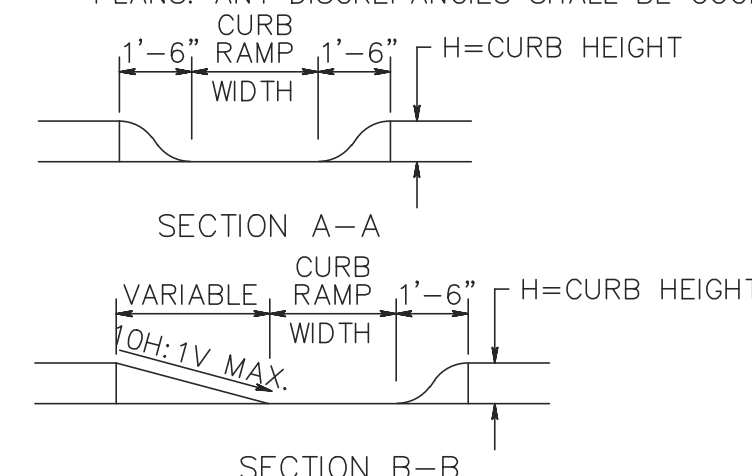


- NOTES:
- EXPANSION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10' APART AND FILLED WITH CELLULAR COMPRESSION MATERIAL AS SPECIFIED, AND RECESSED 1/4" FROM FACE AND TOP OF CURB.

9"x18" CONCRETE VERTICAL CURB

- NOTES:
- MATCH EXISTING CURB REVEAL/TOP OF CURB ELEVATION UNLESS OTHERWISE INDICATED ON THE PLANS.

- NOTES:
- KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
  - FOR DIMENSIONS SEE CD-606-3 AND CD-606-4
  - CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT THE ENTIRE WIDTH OF THE RAMP (4 FEET MIN.) AT ALL CURB RAMPS.
  - FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
  - SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
  - CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
  - WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, USE CURB RAMP TYPE 7, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
  - CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED. SEE PLANS.
  - THE 12H:1V MAX SLOPE IS THE RUNNING SLOPE FOR CURB RAMPS, BUT ONLY THE 12H:1V SLOPE MEASURED AS X<sub>2</sub> IS THE RUNNING SLOPE FOR TYPE 3 AND TYPE 4 CURB RAMPS. ENSURE THE RUNNING SLOPE OF CURB RAMPS DOES NOT REQUIRE ITS LENGTH TO EXCEED 15 FEET. THE RUNNING SLOPE MAY EXCEED THE 12H:1V MAX SLOPE SO AS NOT TO EXCEED THE 15 FEET MAXIMUM LENGTH.
  - CURB RAMP TYPE 1 THROUGH 7 ARE NORMALLY PLACED ON THE RADIUS RETURN AT THE INTERSECTION AND ON A TANGENT SECTION AS DRAWN.
  - ALL DIMENSIONS FOR ADA CURB RAMP DETAILS SHALL BE AS PER THE APPROVED PLANS. ANY DISCREPANCIES SHALL BE COORDINATED WITH THE ENGINEER



- NOTE:
- CURB RAMP OPENING TO BE FLUSH WITH ROADWAY PAVEMENT (CURB RAMP TYPES 5 & 6).

**ENGINEER:**  
**MICHAEL GALANTE PE**

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

**APPLICANT/OWNER:**  
URBAN DECO, LLC.  
21 TERRIER PLACE  
KENDALL PARK, NJ 08824

**DATE:** 10-6-2021  
**MICHAEL D. GALANTE**  
NJ PROFESSIONAL ENGINEER LIC. NO. PE 48374

**MG ENGINEERING ASSOCIATES, LLC**

76 ARGYLE AVENUE  
BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540  
WWW.MGEASSOC.COM

CERTIFICATE OF AUTHORIZATION  
# 24628279000

## SIGNATURE PLANS

ALL DOCUMENTS PREPARED BY MG ENGINEERING ASSOCIATES, LLC, ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY MG ENGINEERING ASSOCIATES, LLC, FOR THE SPECIFIC PURPOSE INTENDED, WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO MG ENGINEERING ASSOCIATES, LLC, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS MG ENGINEERING ASSOCIATES, LLC FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

NO.	DATE	BY	REVISION
1	10/6/21	MG	1
2	10/6/21	MG	2
3	10/6/21	MG	3
4	10/6/21	MG	4
5	10/6/21	MG	5

**CONSTRUCTION DETAILS**

**PRELIMINARY AND FINAL MAJOR SUBDIVISION AND SITE PLAN**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT FOR:**  
**URBAN DECO, LLC**  
**BLOCK: 25, LOTS: 83-86, PLATE: 1**  
**33-37 DOVER AVENUE**  
EWING TOWNSHIP, MERCER COUNTY, NEW JERSEY

DATE	SHEET No.
APRIL, 2021	10



ENGINEER:  
MICHAEL GALANTE PE

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BLACKWOOD, N.J. 08012  
PHONE: 1-856-404-0540

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DATE: 10-6-2021  
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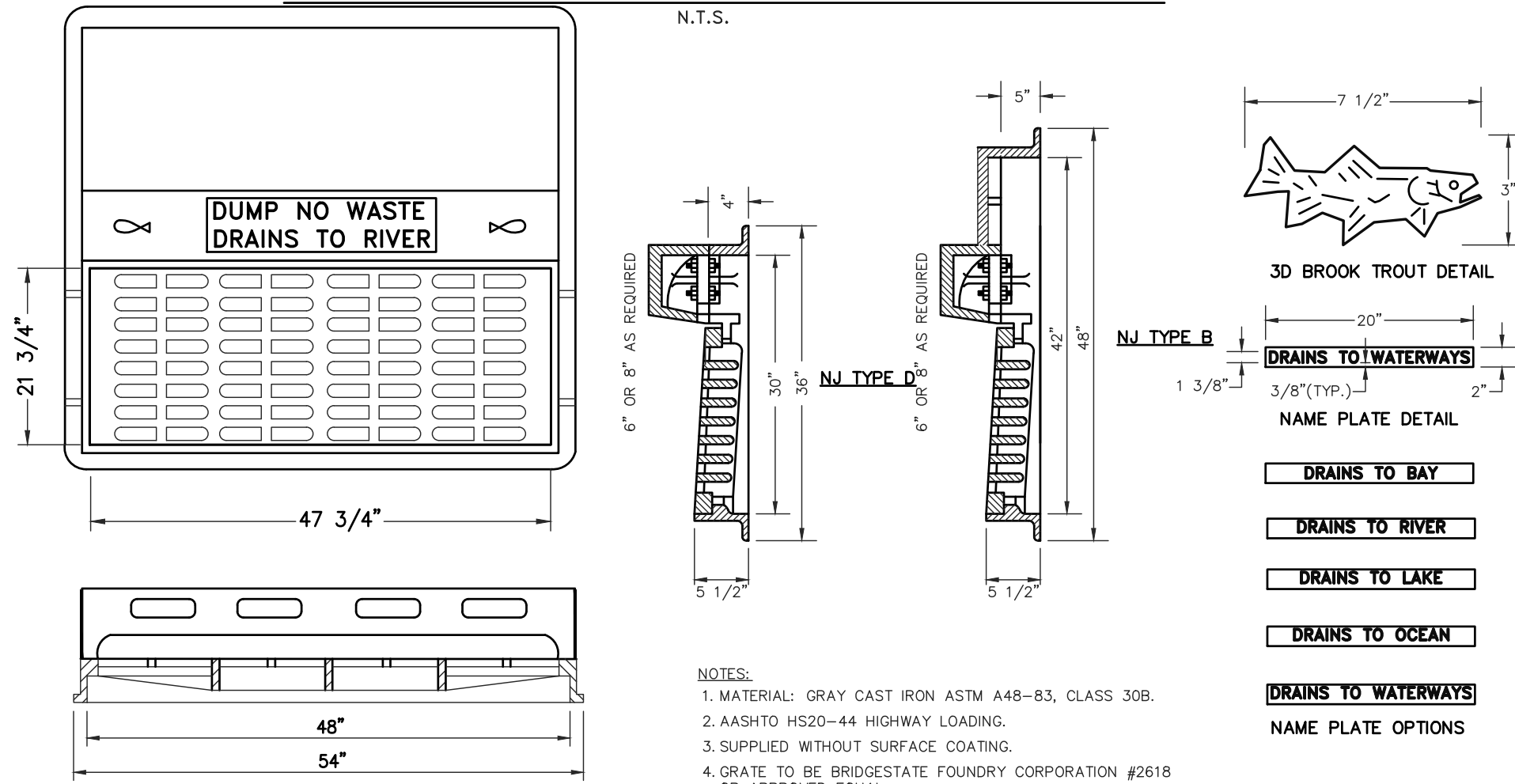
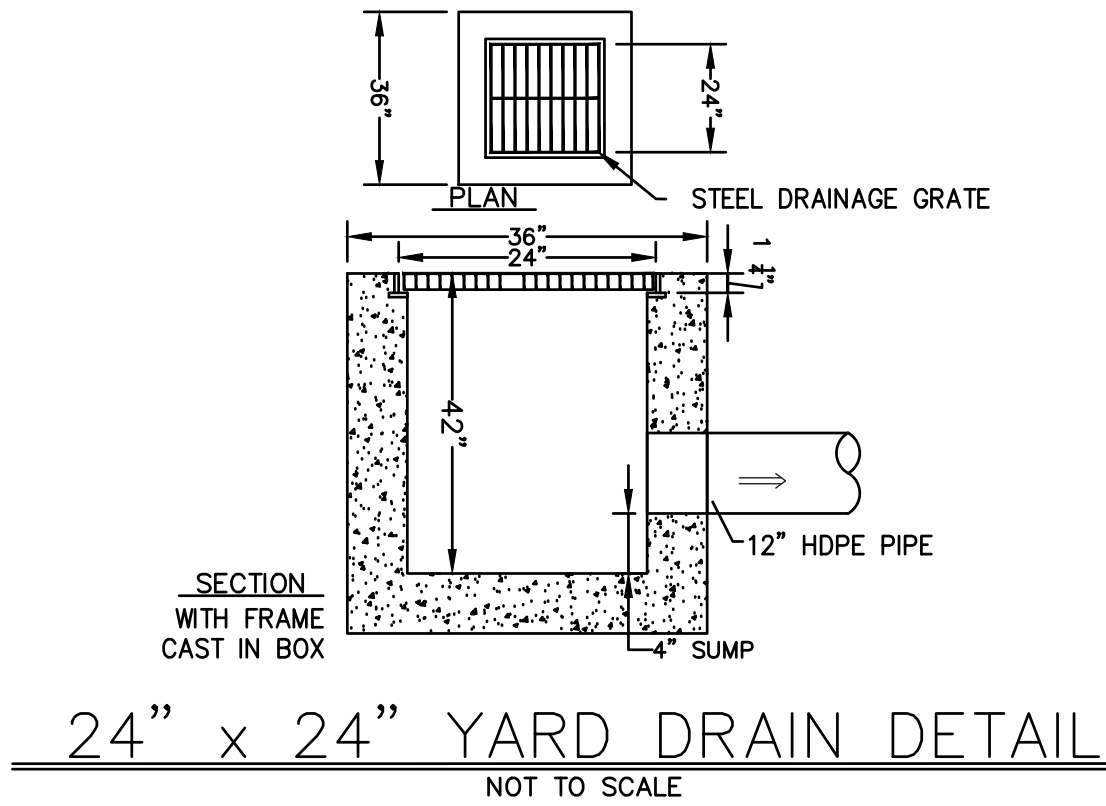
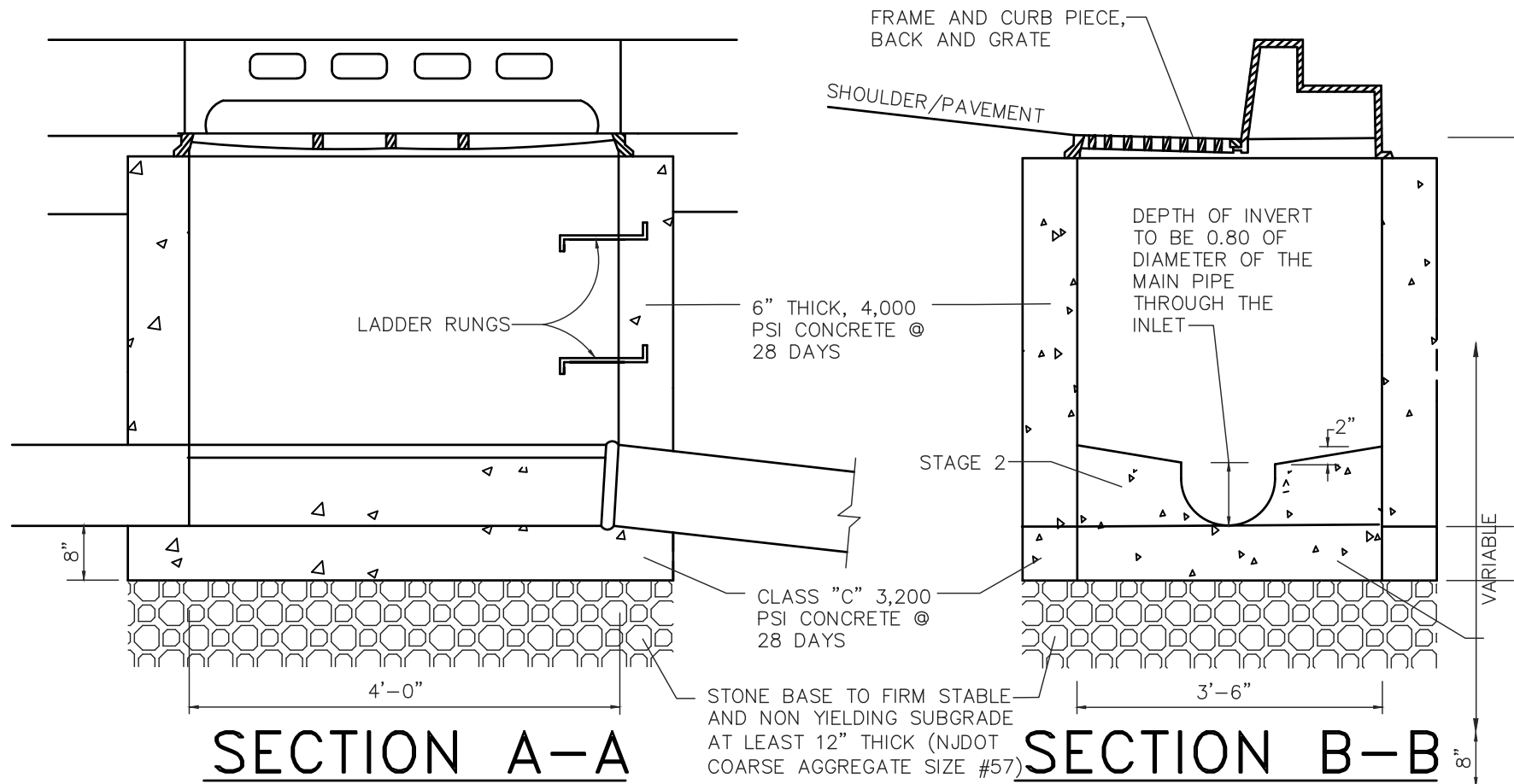
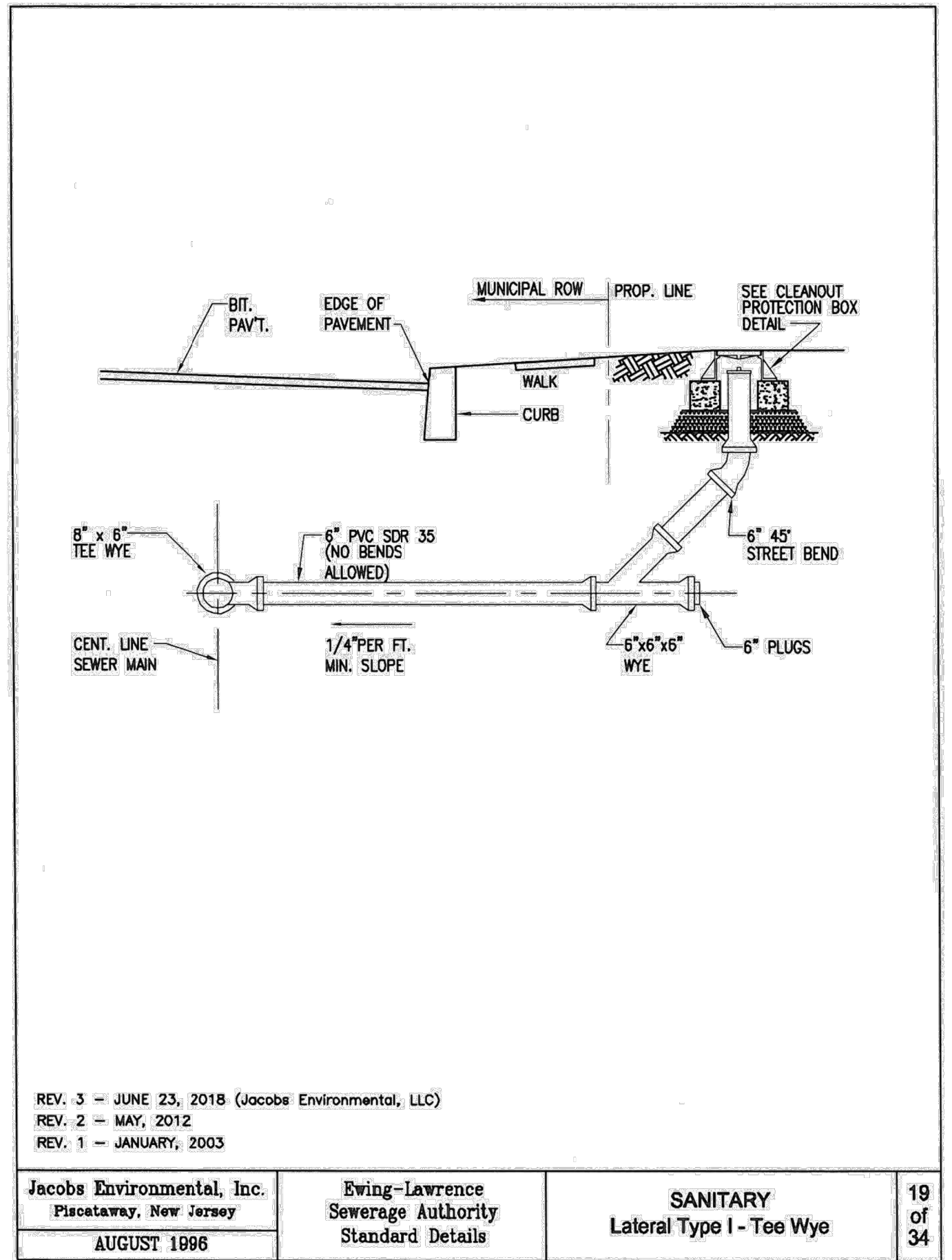
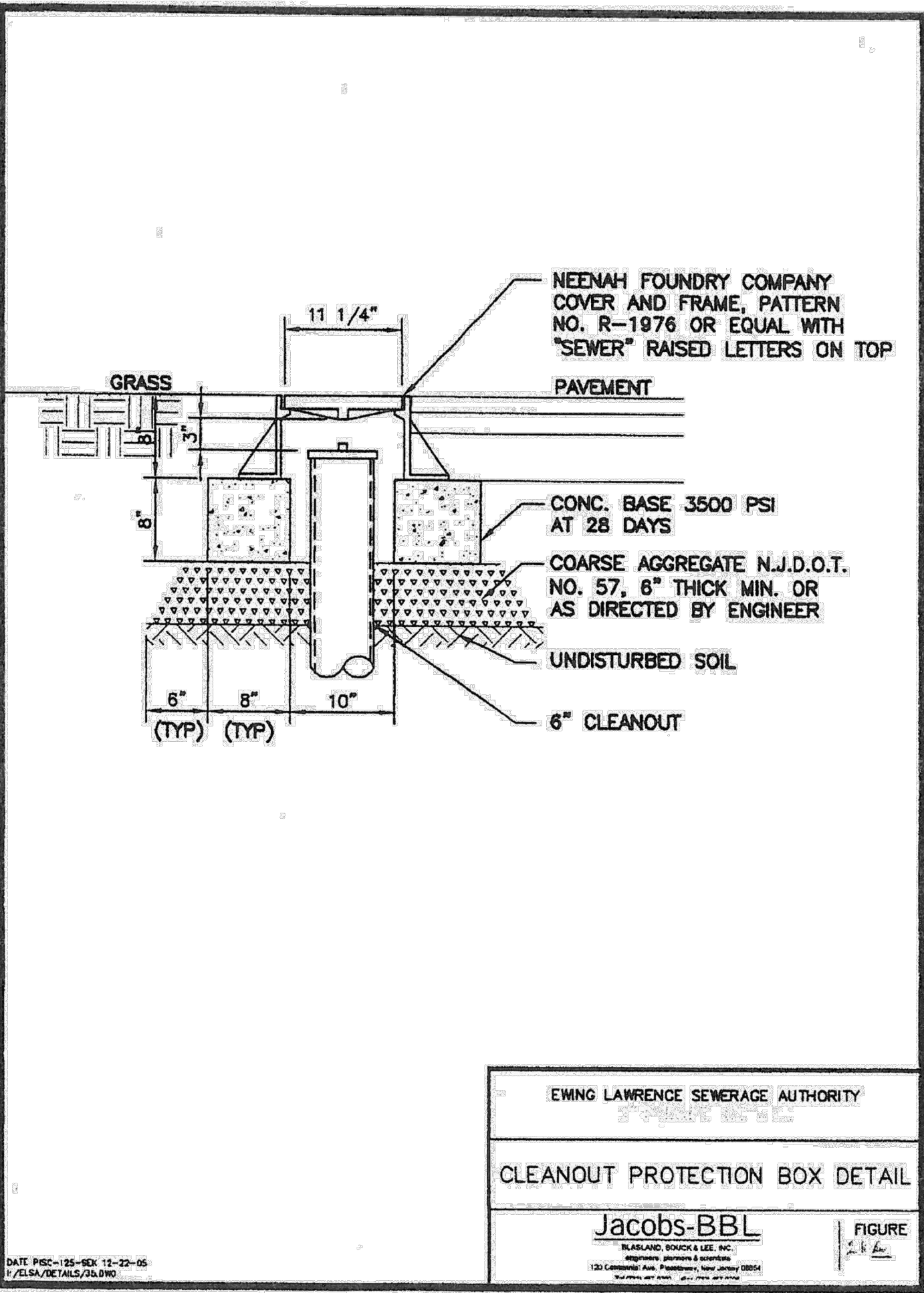
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NO.	REVISION	DATE	BY
1	REV. PER SETTLEMENT PLAN	9/23/22	MDG
2	REV. PER SETTLEMENT PLAN	9/23/22	MDG
3	REV. PER SETTLEMENT PLAN	9/23/22	MDG
4	REV. PER TRENTON WATER SUBMISSION	3-1-23	MDG
5	REV. PER EVERGREEN TREES	5-16-23	MDG

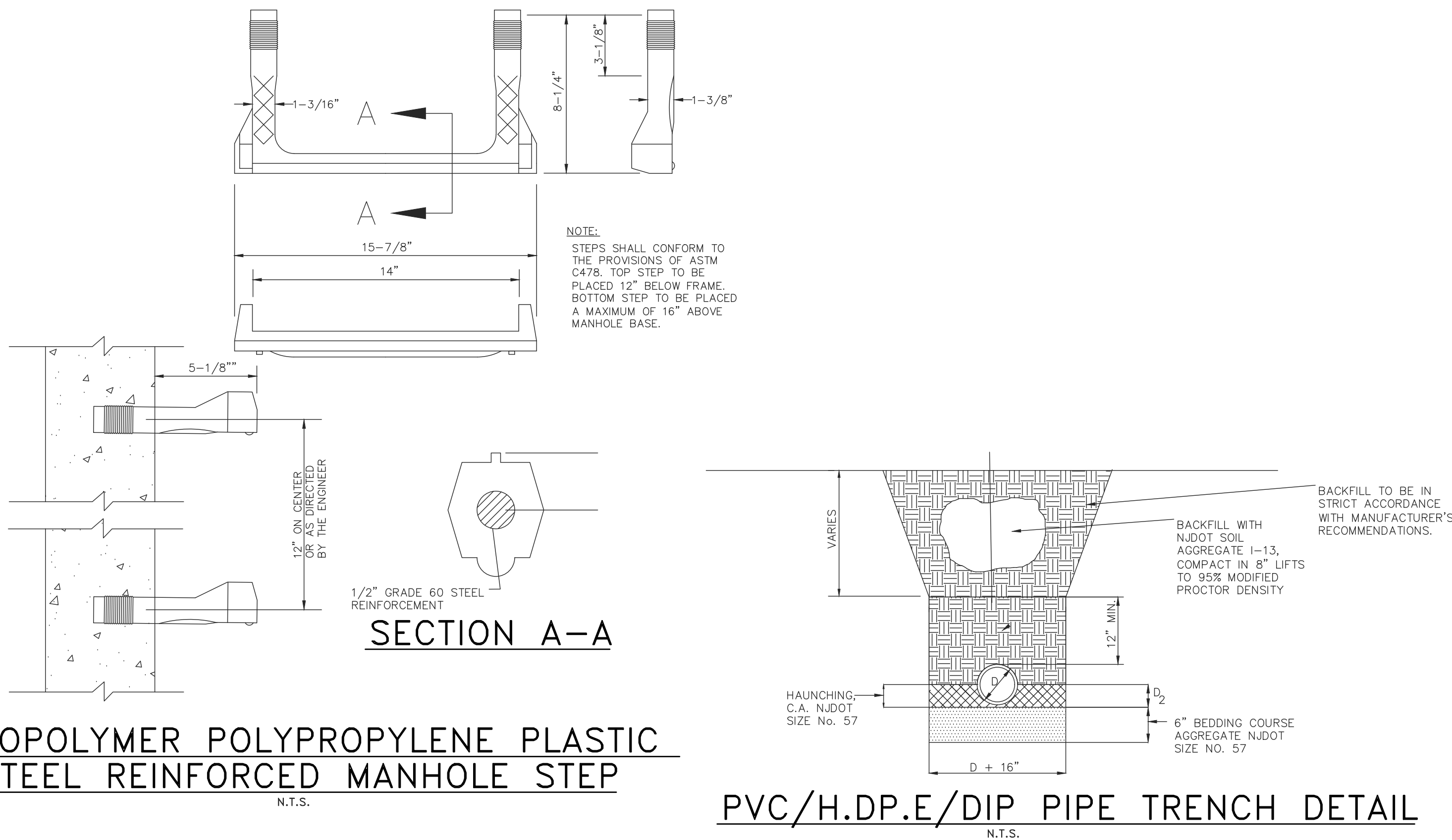
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TYPE "B" BICYCLE SAFE GRATE & TYPE "N-ECO" CURB PIECE



COPOLYMER POLYPROPYLENE PLASTIC  
STEEL REINFORCED MANHOLE STEP

PVC/H.D.P.E./DIP PIPE TRENCH DETAIL