

General Conditions

TREE

Stipulation Tree Protection

1 [Chapter 54, Article XVIII, Section 54-586]: An approved Tree Permit will be required. Once the Planning Department review has been approved a Tree Permit application must be submitted for review and approval prior to the start of any site clearing work. An application meeting the requirements of the Trees Code shall be submitted for review by the Administrator at the time the subject project development review is completed and approved by all reviewers of the County Planning Department.

2 [Chapter 54, Article XVIII, Section 54-588] An initial Tree Permit inspection must be scheduled to confirm Tree barricade installation. Trees indicated as protected on project perimeter near construction impact areas must have tree protection barricades installed prior to the start of project work. No clearing with heavy equipment, filling, or placement of improvements or utility lines shall occur within the protected root zone of any canopy tree to be saved. The protected root zone is defined as the dripline of the tree.

3 The approved project Landscape Plan shall be implemented. The Tree Survey (Figure LA-1. TR-1) includes at least 7 existing protected trees and 9 Sabal Palms to be relocated in accordance with the NOKOMIS CENTER REVITALIZATION PLAN (NO. 99-03-SP) Attachment A, Environmental Requirements. The tree planting schedule in the approved Landscape Plan (sheet LA-1) indicates 23 approved native trees planted within the project area. Tree replanting plan shall be implemented with replanting compliant with Best Management Practices ANSI 300 standards and site-specific tree protection plans

UTILITIES

Utility Stips

-When submitting for UP review and resubmitting approved S&D plans address the following

- Please use the EDU schedule found on page 19 of the utility manual, fixture count EDUs are not used during design phase(fixture is used for capacity fees)

- Datum, please note we require vertical datum NAVD 1988. It might be asked to convert to NAVD 1988 during the utility plan review

- Please relocate the Ph2 FDC that is currently shown in the proposed PUE outside of our easement.

LDS ENGINEERING

LDS Engineering

1. Please ensure all the necessary steps of the plat vacation process have been complete prior to construction authorization.

2. Please provide copies of all necessary FDOT permits for this project once they have been issued. All FDOT permits must be received prior to final site certification by EOR. (DITM, Section A)

ZONING

STIPULATIONS/CONDITIONS

Laurie Chapman, Zoning Review  
lchapman@scgov.net

1. Nonresidential and multifamily buildings and projects, including outparcels, shall be designed to provide safe, convenient, and efficient lighting for pedestrians and vehicles, according to UDC Section 124-126, Outdoor Lighting. A site lighting plan (photometrics plan) is required to be submitted as a separate permit at the time of building permit submittal/review according to UDC Section 124-230(a)(12). The building permit for the structure will not be issued without a site lighting permit being submitted. Lighting is required in all public parking areas. The application for Site Lighting permit shall include a finalized photometrics plan in compliance with UDC Section 124-126, site plan, electrical plan, light pole specifications with footer detail, and light fixture details.

2. Refuse collection, mechanical equipment, trash compaction, loading areas, recycling, roof-top equipment and other service function areas shall be fully screened and out of view from adjacent properties and public rights-of-way. The screening shall extend one foot above the height of the object to be screened according to UDC Section 124-123(a)(1-3) and 124-271.

General Notes

AIRQUALITY

EPD- AWQ Notes

1. Please ensure that a copy of the certified NPDES Stormwater Pollution Prevention Plan (SWPPP) is provided to the County before site work begins. Per UDC Section 124-174.(b)(1).

2. Please note, if dewatering is required, the ground water produced shall be retained onsite unless a discharge permit is obtained from the Florida Department of Environmental Protection (FDEP). Per UDC Section 124-174.(b)(2).

3. Water Pollution Control Code Section 54-187(f), prohibits unauthorized discharges to the stormwater system. It is the contractor's responsibility to add additional Best Management Practice (BMP) devices as deemed necessary.

4. The Operator shall ensure that adjacent properties are not impacted by wind erosion, or emissions of unconfined particulate matter in accordance with Rule 62-296.320(4)(c)1, F.A.C., by taking appropriate measures to stabilize affected areas.

5. Prior to renovation or demolition of existing on-site structures an asbestos survey and/or asbestos notification may be required. Per UDC Section 124-174.(c)(6).

LAND DEVELOPMENT

Standard Comments

Sarasota County Government staff has reviewed the above referenced plans, signed and sealed on August 7, 2024 and supplemental documentation. Pursuant to Chapter 124 of the Sarasota County Unified Development Code (UDC), construction is authorized subject to the following stipulations:

Permitting

1.Staff have approved their reviews of your Development Submittal. Once you are ready to commence construction on the site you will need to apply for a Construction Submittal and schedule a Pre-construction meeting. This can be accomplished through the Accela customer portal by clicking the 'Amendment' to the right of this Development Submittal, then choosing 'Construction Submittal'. If your project is phased then your Construction Submittal will reflect that phase only, each subsequent phase will be applied for in a separate Construction Submittal. The Construction Submittal houses your Pre-Construction Meeting, Site Certification review, and Inspections. The Pre-construction meeting request can be emailed to the Land Development Technician at ggreen@scgov.net.

2.Pursuant to section 125.022, Florida Statues, this approval requires that all other applicable state or federal permits be obtained before the commencement of development. The Applicant may wish to consult with their own attorney and state and federal agencies to determine all other applicable state or federal permits that would need to be obtained before the commencement of development.

3.If other applicable state and federal permits needs to be obtained prior to commencement of development, the Applicant should provide documentation of receipt of those permits prior to such commencement to avoid the possibility of a stop work order issued by Sarasota County. The applicant expressly acknowledges that a stop work order may be issued for failure to obtain any applicable state or federal permits, or otherwise fails to comply with the terms of this permit.

Land Development

1.Scheduling Inspections please log into your Accela customer portal if you are listed on the Construction Submittal. If you are not listed on the Construction Submittal you can utilize SelectTXT, IVR, or Builders Mobile App. Please do not call the Inspectors to schedule.

2.Construction shall take place as shown on the approved plans. Deviation from the approved plans may result in a Stop Work Order being posted.

3.The engineer-of-record shall certify that all required inspections, tests, and physical measurements have been made and confirm that the project complies with the Land Development Regulations and other Sarasota County standards.

4.Please be aware that at Site Certification, the following reporting that will comply with FDOT Specification Section 330 will need to be provided with the as-built:

1)Asphalt mix design and document approving for use by EOR

2)Asphalt plant sampling and testing results

3)Project site sampling and testing results.

5.In regards to Lighting Certification for this project, the lighting engineer shall inspect and provide a signed and sealed lighting certification form prior to site acceptance to Land Development Services. The form includes language that the lighting levels for the subject property comply with the lighting levels outlined per UDC Section 124-126 – Outdoor

Lighting. If any changes to the approved plan occurred during construction, then a lighting asbuilt plan shall be submitted in addition to the certification letter. Please click on the following link for UDC Article 8, Section 124-126:

[https://library.municode.com/fl/sarasota\\_county/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH124UNDECO\\_ART8\\_SUDERE\\_S124-126OULI](https://library.municode.com/fl/sarasota_county/codes/code_of_ordinances?nodeId=PTIICOOR_CH124UNDECO_ART8_SUDERE_S124-126OULI)

6.A separate Building permit must be applied for and issued for every sign, wall, outdoor lighting, and structure on the site. The approval of these Construction Plans does not exempt the contractor from obtaining the necessary Building permits.

7.The approval of these Construction Plans does not exempt the owner/contractor from obtaining all other necessary permits. Separate permits from Sarasota County may be required prior to commencing work to ensure consistency with the Sarasota County Code of Ordinances. Examples of work that typically require a permit or authorization include tree removal, utility construction, and right-of-way use. It is the responsibility of the owner/contractor to obtain all other applicable permits and approvals from the County.

8.At the applicant, owner or engineer's request, a process review meeting may be requested within 30 days of the date of this letter.

9.Please be advised that if there has been no substantial construction activity for two years on the referenced project, the Construction Authorization issued on this date will expire.









THIS AUTHORIZATION IS SUBJECT TO  
EXISTING REQUIREMENTS OF SARASOTA COUNTY  
FLORIDA AND ANY SPECIAL REQUIREMENTS OF  
THE BOARD OF COUNTY COMMISSIONERS.

**NOTE:**  
PLEASE REFER TO CONSTRUCTION  
AUTHORIZATION LETTER FOR STIPULATIONS  
ASSOCIATED WITH THIS DEVELOPMENT  
APPROVAL.

REQUIRED OPACITY	0.6
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REQUIREMENTS MET  
1 LIVE OAK;  
7 BLACK OLIVE;  
2 EXISTING PINES USED  
CONTINUOUS VIBURNUM  
HEDGE PROVIDED

DESIGN PARAMETERS	
Design Elements	
Buffer Width	20
Plant Unit Type	3
No. Plant Units	2.90
Minimum Plant Units	none
Berm Height	0
Wall Height	0
Wall Placement	0
Wall Solidity	0.0
OPACITY RATING	0.599
Adequate?	YES
Width Adequate?	YES
Height Screened?	YES

PLANTING REQUIREMENTS	
Summary	
CANOPY AND WALL ALTERNATIVE SELECTED	
Length of Buffer	157
Required Opacity	0.60
Selected Opacity	0.60
PLANTS REQUIRED FOR BUFFER SEGMENT	
No. Canopy Trees	10
No. Accent Trees	0
No. Shrubs	19
PLANT MATERIAL SUBSTITUTION	
No. Total Trees	10
Max. Substituted Trees	2

CONSTRAINED BUFFER REQUIREMENTS FOR  
PROPERTY LINE BUFFER NEXT TO RMF & RSF ZONED LAND  
15' LF, 10' TOTAL WIDTH. 60% OPACITY WITH 6' WALL  
= 7 CANOPY TREES, 0 ACCENT TREES, 14 SHRUBS  
& 1 VINE PER 12 LF ON OUTSIDE OF WALL. (10)

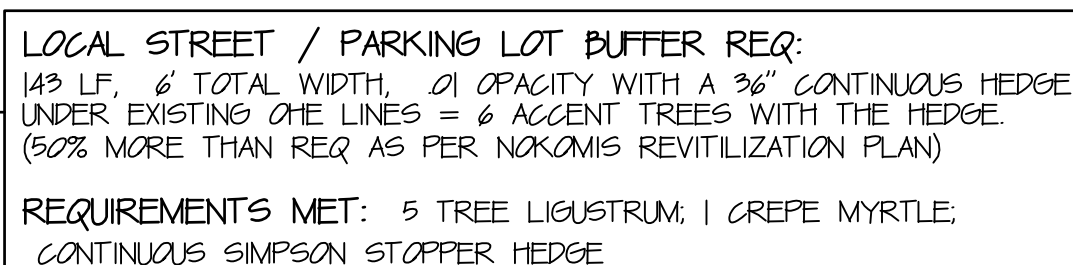
REQUIREMENTS MET

- 2 LIVE OAKS;
- 4 BLACK OLIVES
- 3 SABALS USED FOR 1 CANOPY
- 15 PHILODENDRON
- 10 CONFEDERATE JASMINE

<b>REQUIRED OPACITY</b>		<b>0.6</b>
<b>DESIGN PARAMETERS</b>		
<b>Design Elements</b>		
Buffer Width		10
Plant Unit Type		3
No. Plant Units		2.30
Minimum Plant Units		none
Berm Height		0
Wall Height		6
Wall Placement		0
Wall Solidity		1.0
<b>OPACITY RATING</b>		<b>0.606</b>
<b>Adequate?</b>		<b>YES</b>
<b>Width Adequate?</b>		<b>YES</b>
<b>Height Screened?</b>		<b>YES</b>

PLANTING REQUIREMENTS	
<b>Summary</b>	
<b>CANOPY AND WALL ALTERNATIVE SELECTED</b>	
Length of Buffer	151
Required Opacity	0.60
Selected Opacity	0.61
<b>PLANTS REQUIRED FOR BUFFER SEGMENT</b>	
No. Canopy Trees	7
No. Accent Trees	0
No. Shrubs	14
<b>PLANT MATERIAL SUBSTITUTION</b>	
No. Total Trees	7
Max. Substituted Trees	1

THESE DRAWINGS SHALL NOT BE REPRODUCED OR MODIFIED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION FROM SWSL



ARTERIAL STREET / PARKING LOT BUFFER REQ:  
75 LF, 10' TOTAL WIDTH, 6 ACCENT TREES PER 100 LF WITH  
A 3" CONTINUOUS HEDGE UNDER EXISTING ONE LINES  
= 5 ACCENT TREES WITH THE HEDGE.  
(50% MORE THAN REQ AS PER NOKOMIS REVITALIZATION PLAN)

REQUIREMENTS MET: 3 TREE LIGUSTRUM; 2 CREPE MYRTLE  
CONTINUOUS SIMPSON STOPPER HEDGE

CONSTRAINED BUFFER REQUIREMENTS FOR  
PROPERTY LINE BUFFER NEXT TO RMF ZONED LAND  
48 LF, 75' TOTAL WIDTH, 40% OPACITY WITH 6' WALL  
= 2 CANOPY TREES (1 trees + 3 palms), 0 ACCENT TREES, 3 SHRUBS  
& 1 VINE PER 12 LF ON OUTSIDE OF WALL (4).

REQUIREMENTS MET:

- 1 LIVE OAK;
- 3 PALMS USED FOR 1 CANOPY
- 3 PHILODENDRON
- 4 CONFERPERATE JASMINE

<b>REQUIRED OPACITY</b>		<b>0.4</b>
<b>DESIGN PARAMETERS</b>		
<b>Design Elements</b>		
Buffer Width		7.5
Plant Unit Type		3
No. Plant Units		1.20
Minimum Plant Units		none
Berm Height		0
Wall Height		6
Wall Placement		0
Wall Solidity		1.0
<b>OPACITY RATING</b>		<b>0.407</b>
<b>Adequate?</b>		<b>YES</b>
Width Adequate?		YES
Height Screened?		YES

PLANTING REQUIREMENTS	
<b>Summary</b>	
<b>CANOPY AND WALL ALTERNATIVE SELECTED</b>	
Length of Buffer	48
Required Opacity	0.40
Selected Opacity	0.41
<b>PLANTS REQUIRED FOR BUFFER SEGMENT</b>	
No. Canopy Trees	2
No. Accent Trees	0
No. Shrubs	3
<b>PLANT MATERIAL SUBSTITUTION</b>	
No. Total Trees	2
Max. Substituted Trees	0

REQUIREMENTS FOR  
PROPERTY LINE BUFFER NEXT TO RMF ZONED LAND  
137 LF, 15' AVERAGE WIDTH WIDTH, 40 OPACITY  
= 7 CANOPY TREES 2 ACCENT TREES 15 SHRUBS

REQUIREMENTS MET  
1 LIVE OAK  
2 BLACK OLIVES  
12 SABALS USED FOR 4 CANOPY  
CONTINUOUS VIBURNUM HERGE

<b>REQUIRED OPACITY</b>	<b>0.4</b>
<b>DESIGN PARAMETERS</b>	
<b>Design Elements</b>	
Buffer Width	15
Plant Unit Type	3
No. Plant Units	2.50
Minimum Plant Units	none
Berm Height	0
Wall Height	0
Wall Placement	0
Wall Solidity	0.0
<b>OPACITY RATING</b>	<b>0.493</b>
<b>Adequate?</b>	<b>YES</b>
Width Adequate?	YES
Height Screened?	YES

PLANTING REQUIREMENTS	
<b>Summary</b>	
<b>CANOPY AND WALL ALTERNATIVE SELECTED</b>	
Length of Buffer	137
Required Opacity	0.40
Selected Opacity	0.49
<b>PLANTS REQUIRED FOR BUFFER SEGMENT</b>	
No. Canopy Trees	7
No. Accent Trees	0
No. Shrubs	14
<b>PLANT MATERIAL SUBSTITUTION</b>	
No. Total Trees	7
Max. Substituted Trees	1

**NOTES:**

ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER QUALITY AS PER "GRAPES AND STANDARDS FOR NURSERY PLANTS", FLORIDA DEPT. OF AGRICULTURE & CONSUMER AFFAIRS.

MULCH ALL NEW PLANTINGS WITH 3" DEPTH OF SHREPPED, GRADE 'B' OFFRESS BARK MULCH - COLOA BROWN COLOR.

ALL AREAS NOT OTHERWISE DESIGNATED SHALL BE SODDED WITH SAND GROWN FLORATAM ST. AUGUSTINEGRASS SOD.

THE OWNER IS REQUIRED TO PROVIDE ADEQUATE MAINTENANCE FOR ALL NEWLY PLANTED MATERIALS BY WATERING, FERTILIZING AND OTHER NECESSARY CARING FOR THE PLANTS AS REQUIRED TO ESTABLISH THE MINIMUM SIZE AND QUALITY OF PLANTING.

IRRIGATION SHALL BE IN COMPLIANCE WITH ORDINANCE 2201-081.

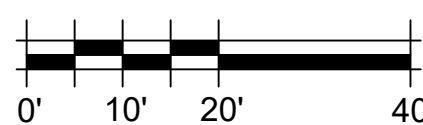
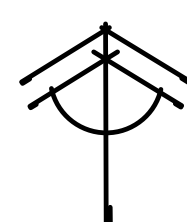
ALL PARKING LOT PLANTING AREAS RECEIVING TREES SHALL HAVE LANDSCAPE COURSE WITHIN 5' OF THEM AS DEEP AS ALL COMPACTED SOIL, CONTAMINATED SOIL OR ROADWAY SHALL BE REMOVED. SOILS MUST BE APPRECIABLY FREE OF GRAVEL, RUBBLE & TRASH.

ARTERIAL STREET / PARKING LOT BUFFER REQ:  
75 LF. 10' TOTAL WIDTH, 4 ACCENT TREES PER 100 LF WITH  
A 3/8" CONTINUOUS HEDGE UNDER EXISTING ONE LINES  
= 5 ACCENT TREES WITH THE HEDGE.  
(50% MORE THAN REQ AS PER NOKOMIS REVITALIZATION PLAN)  
REQUIREMENTS MET:  
5 TREE LIGUSTRUM CONTINUOUS SIMPSON STOPPER HEDGE

LOCAL STREET BUFFER REQUIREMENTS:  
165 LF, 10' TOTAL WIDTH, 01' OPACITY  
= 1 CANOPY TREE, 2 ACCENT TREES & 13 SHRUBS.

REQUIREMENTS EXCEEDED 3 PALMS USED FOR 1 CANOPY TREE.  
4 NALLIE STEVENS HOLLY, 22 COCCO PALM

PLANT LIST			
NO.	BOTANICAL NAME	COMMON NAME	MIN. SIZE
TREES			
- 4	ILEX NELLE STEVENS	NELLE STEVENS HOLLY	8"x3-4" SPR., 2" CAL
- 5	QUERCUS VIRGINIANA	WHITE OAK	10"x4-5" SPR., 1" CAL, 5" CT
- 9	LAEGERSTROMIA INDICA	TUSKEGEE CREEP MYRTLE	8"x3-4" SPR., 2" CAL
- 13	BUCIDIA BUCERAS	SHADY LADY BLACK OLIVE	10"x4-5" SPR., 2" CAL, 5" CT
- 14	LEUCISTRUM JAPONICUM	TREE FERN LEUCISTRUM	8"x6" SPR., 2" CAL, MULTI TRUNK TREE FORM
- 23	SADAL PALMETTO	SADAL PALM	10-14" STG HTS
- 9	SADAL PALMETTO	SADAL PALM	TRANSPLANTS TO HOLDING AREA THEN RELOCATED TO SITE AS PER PLAN AS REQUIRED BY CO.
SHRUBS			
- 44	CHRYSODALANUS ICAGO	COCCOPLIM	20" DIA., 3 GAL
- 36	PHILIPENDRUM SELLUM	SPLIT LEAF PHILIPENDRON	20" DIA., 3 GAL
- 9	MYRICANTHES FRAGRANS	SIMPSON STOPPER	20" DIA., 3 GAL, 30' OC
- 25	TRACHELOSPERMUM JASM	CONFEDERATE JASMINE	1 GAL WY, 3 RUNNERS
- 99	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	20" DIA., 3 GAL, 36" OC



## Minimum Code Plan

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CERTIFICATE OF AUTHORIZATION

© 2022 STEWART WASHMUTH SOLLARS  
LANDSCAPE ARCHITECTURE, INC.  
EMAIL: [INFO@SWSLA.COM](mailto:INFO@SWSLA.COM)  
CONTACT: 941.377.4704  
MAIL: P.O. BOX 1062 LITHIA, FL, 33547  
[WWW.SWSLA.COM](http://WWW.SWSLA.COM)



PROJECT NO.:	2221
SCALE:	1"=20'
DATE:	08.29.
DRAWN BY:	LRW
ISSUED:	BWS

**Nokomis Office Suites**  
US 41 & Bayview Parkway  
Sarasota County, Florida

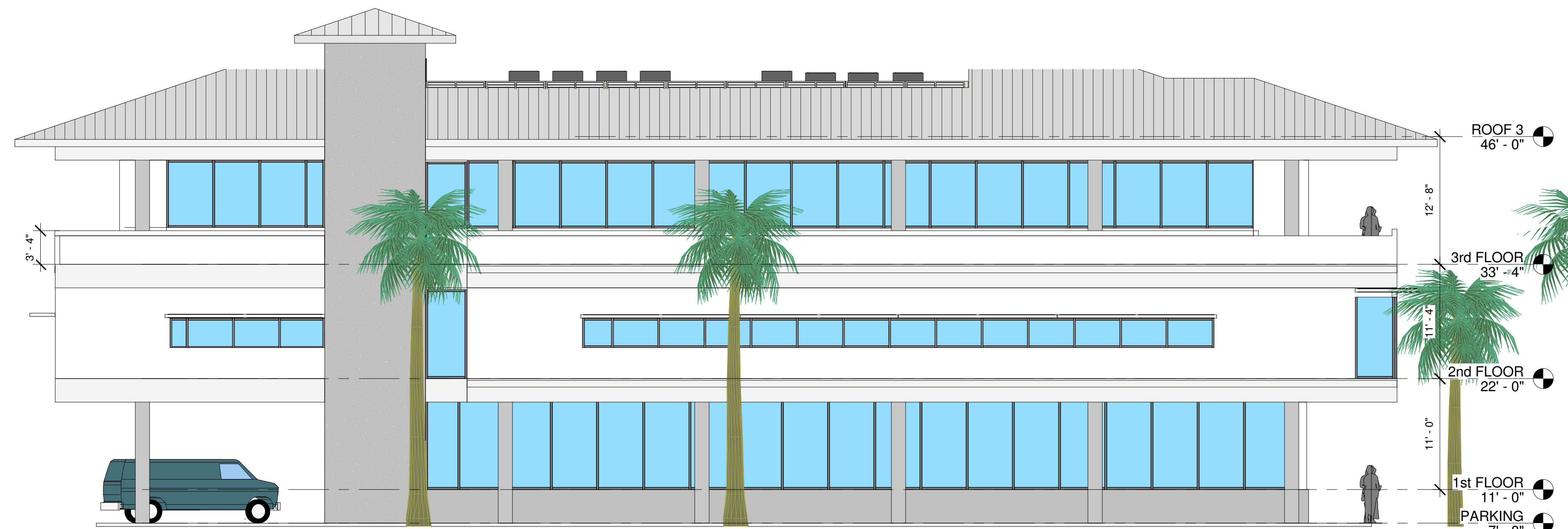
## REVISIONS

SHEET #  
LA-1





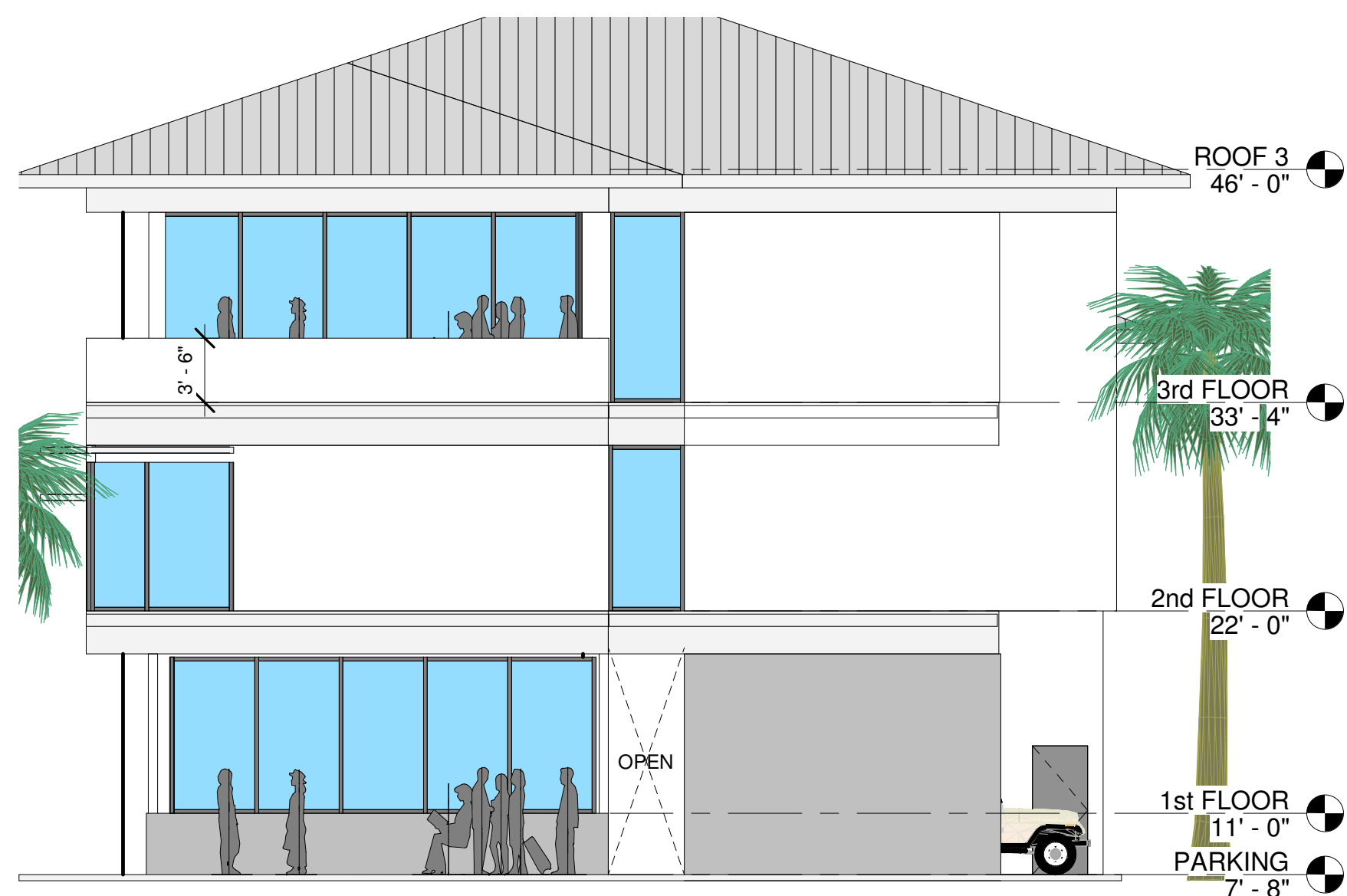
③ (3D)



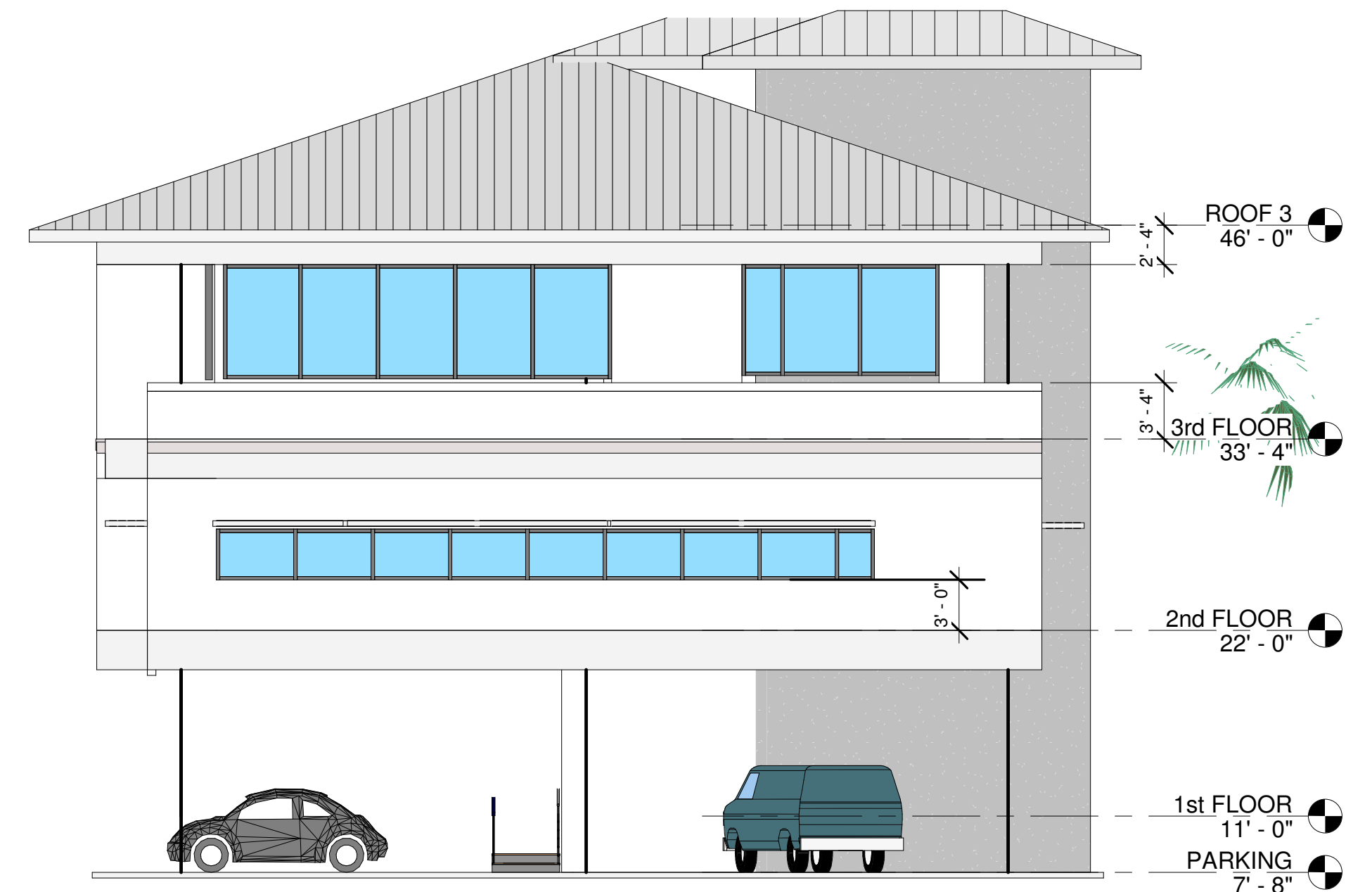
① EAST EL.  
1/8" = 1'-0"



② WEST EL.  
1/8" = 1'-0"



⑥ NORTH EL.  
1/8" = 1'-0"



⑤ SOUTH EL.  
1/8" = 1'-0"

## INBAR ARCHITECTURE, AIA

FLORIDA LICENSE NO. AA0002701  
2831 RINGLING BLVD, SUITE E-117  
SARASOTA, FLORIDA 34237  
PHONE & FAX: (941) 951-2816  
CELL PHONE: (941) 350-5939  
EMAIL: inbararchitecture@gmail.com

## DIGITALLY SIGN & SEAL YEHUDA INBAR, ARCHITECT, AIA

**DATE:**  
9/14/2023 12:19:18 PM

### REVISIONS

No.	Description	Date
		9/14/2023 12:19:18 PM

### OWNER APPROVALS

No.	Description	Date
01	DESIGN STAGE	
02	DD-STAGE	
03	CD STAGE	

PROPOSED NEW HOME FOR:

NOKOMIS MEDICAL CENTER

498 S. TAMiami TrL.  
NOKOMIS, FL.

PERMIT #

EXTERIOR ELEVATIONS

Sheet Title

Drawing Name: NOKOMIS OFFICE  
Design: Y. Inbar  
Issues: 01/10/2022  
Job No.: 2203

Sheet Number:

A6  
OF:18



CURVE TABLE							LINE TABLE
CURVE NUMBER 1 RADIUS= 573.86' DELTA= 09°55'42" ARC= 99.44' TANGENT= 49.84' CHORD= 99.32' CHORD BRG= N43°48'37"E	CURVE NUMBER 2 RADIUS= 2009.86' DELTA= 02°09'49" ARC= 75.90' TANGENT= 37.95' CHORD= 75.89' CHORD BRG= S23°04'07"E	CURVE NUMBER 3 RADIUS= 2009.86' DELTA= 02°08'07" ARC= 74.90' TANGENT= 37.46' CHORD= 74.90' CHORD BRG= S28°05'11"E	CURVE NUMBER 4 RADIUS= 423.10' DELTA= 13°45'18" ARC= 103.97' TANGENT= 52.24' CHORD= 103.73' CHORD BRG= S35°17'24"W	CURVE NUMBER 5 RADIUS= 355.68' DELTA= 02°39'48" ARC= 16.53' TANGENT= 8.27' CHORD= 16.53' CHORD BRG= S25°19'13"W	CURVE NUMBER 6 RADIUS= 355.68' DELTA= 12°01'28" ARC= 74.64' TANGENT= 37.46' CHORD= 74.50' CHORD BRG= N32°39'48"E	CURVE NUMBER 7 RADIUS= 355.68' DELTA= 16°37'05" ARC= 103.21' TANGENT= 51.97' CHORD= 102.85' CHORD BRG= S46°59'17"W	L-1 = S58°08'01"W. 47.92' (M) L-2 = S31°52'13"E. (M) 50.00' (P&M) L-3 = S31°52'13"E. (M) 50.00' (P&M) L-4 = N58°08'00"E. 36.91' (M) L-5 = S59°59'48"E. 13.51' (M)

LEGAL DESCRIPTION:

Lots 1 and 2, Block 24 and the west one-half of that portion of a certain vacated alley which abuts the east side of Lot 1 and Lots 1, 2 and 3, Block I, and the east one-half of that portion of a certain vacated alley which abuts the west side of Lots 1,2 and 3, all in corrected Plat of Bay Point, according to the plat thereof recorded in Plat Book 3, Page 66, of the Public Records of Sarasota County, Florida; less that portion of said Lots 1, 2 and 3, Block I, taken for state road right-of-way.

Together with:

Lots 8, 9, and 10, and 1/2 of the vacated alley adjacent thereto along the westerly line, Block I, less that part taken for state road right-of-way, and Lots 12 and 13 and 1/2 vacated alley adjacent thereto along the easterly line, Block 24, Bay Point Corrected Plat, as per plat thereof recorded in Plat Book 3, Page 66, of the Public Records of Sarasota County, Florida.

Formerly described as follows:

Parcel 1, Lots 1 and 2, Block 24 and the west one-half of that portion of a certain vacated alley which abuts the east side of Lot 1; and Lots 1, 2 and 3, Block I, and the east one-half of that portion of a certain vacated alley which abuts the west side of Lots 1, 2 and 3, all in corrected plat of Bay Point, according to the plat thereof recorded in Plat Book 3, Page 66, of the Public Records of Sarasota County, Florida, less that portion of said Lots 1, 2 and 3, Block I, taken for state road right-of-way.

Parcel 2, Lots 8, 9, and 10, and 1/2 of the vacated alley adjacent thereto along the westerly line, Block I, less that part taken for state road right-of-way, and Lots 12 and 13 and 1/2 vacated alley adjacent thereto along the easterly line, Block 24, Bay Point corrected plat, as per plat thereof recorded in Plat Book 3, Page 66, of the Public Records of Sarasota County, Florida.

(Parcel "1" contains 15,853.91 +/- square feet)

(Parcel "2" contains 28,830.10 +/- square feet)

Contains 1.0258 acres more or less (overall)

Section 01, Township 39 South, Range 18 East.

0172-08-0030 ZONED RSF-3

0172-08-0027 ZONED RMF-3

0172-08-0026 ZONED RMF-3

0172-08-0017 ZONED RSF-3

0172-08-0020 CG

0172-08-0023 ZONED RMF-3

0172-08-0022 ZONED RMF-3

0172-08-0023 ZONED RMF-3

0172-08-0023 ZONED RMF-3

0172-08-0023 ZONED RMF-3

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0172-08-0023 ZONED RMF-3

0172-08-0023 ZONED RMF-3

0172-08-0023 ZONED RMF-3

0172-08-0023 ZONED RMF-3

NGVD 1929 DATUM

(For NAVD 88 elevations subtract 1.13 ft.)



NOTES:

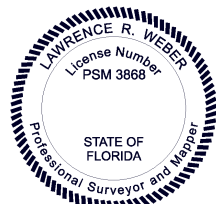
- Subject to all easements and restrictions of record.
- Improvements such as, but not limited to, underground utilities, landscape features, etc. have not been located or graphically shown.
- Date of most recent field survey: 4/6/2023
- This property appears on FEMA Flood Map # 12115C0327F, dated 11/4/2016, Zone: AE, Elev. 10 NAVD
- This survey performed with benefit of Old Republic National Title Insurance Company Title Commitment Policy No. OXFL-09070862, Dated 10/29/2021 at 4:46 PM.
- Bearings, if shown, based on assumed bearing of N.68°31'29"W. for the westerly line of Lot 2, Blk 24.
- No lot line easements shown on record plat.
- The expected use of the land, as classified in the Standards of Practice (SJ-17 FAC), is "Suburban". The minimum relative distance accuracy for this type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- Elevations based on NGS Benchmark # J634 with a published elevation of 11.67 NAVD 88 DATUM.

Certified to:  
Noto Home Development, LLC

SURVEYOR'S CERTIFICATION

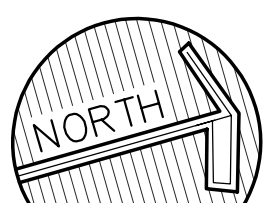
I hereby certify that this boundary & topographic survey was prepared under my direction and supervision, that it is a true representation of the land as shown and described hereon to the best of my knowledge and belief and that it meets the "Standards of Practice for land surveying in the State of Florida" Chapter 5J-17, Florida Administrative Code pursuant to Section 472.027 Florida Statutes.

Date of Certificate:



Lawrence R. Weber  
Professional Surveyor and Mapper  
Florida License No. 3868

Digitally signed by Lawrence R Weber  
DN: cn=Lawrence R Weber, c=US, o=Florida, email=LWeber@Weberengineering.com  
Date: 2024.02.28 16:06:44 -05'00'



0 10' 20'  
Scale: 1"=20'  
(Full Size)  
Scale: 1"=40'  
(Half Size)

Revisions:  
Date Description

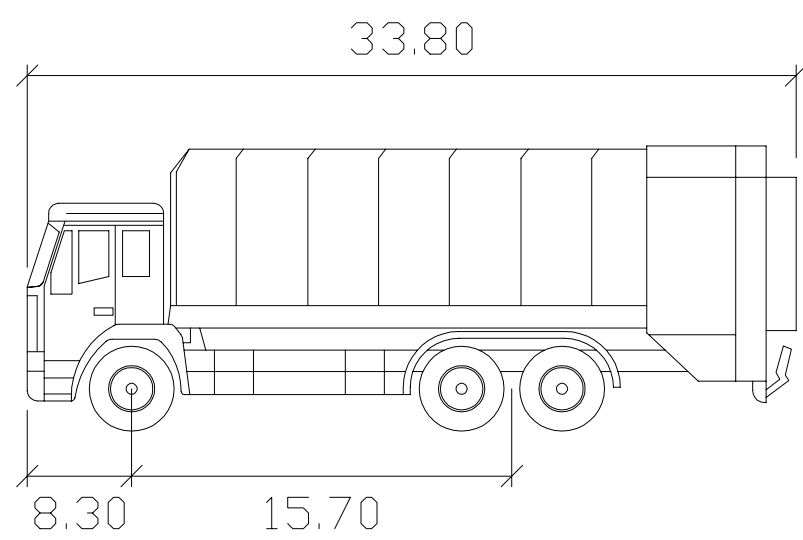
Job # 2022113  
Dwg # D-17346  
Date: 8/31/2022  
Drawn by: JSS  
Checked by:

•

BOUNDARY & TOPOGRAPHIC SURVEY  
NOKOMIS OFFICE PARK  
498 SOUTH TAMAMI TRAIL  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Nokomis, Sarasota County, Florida

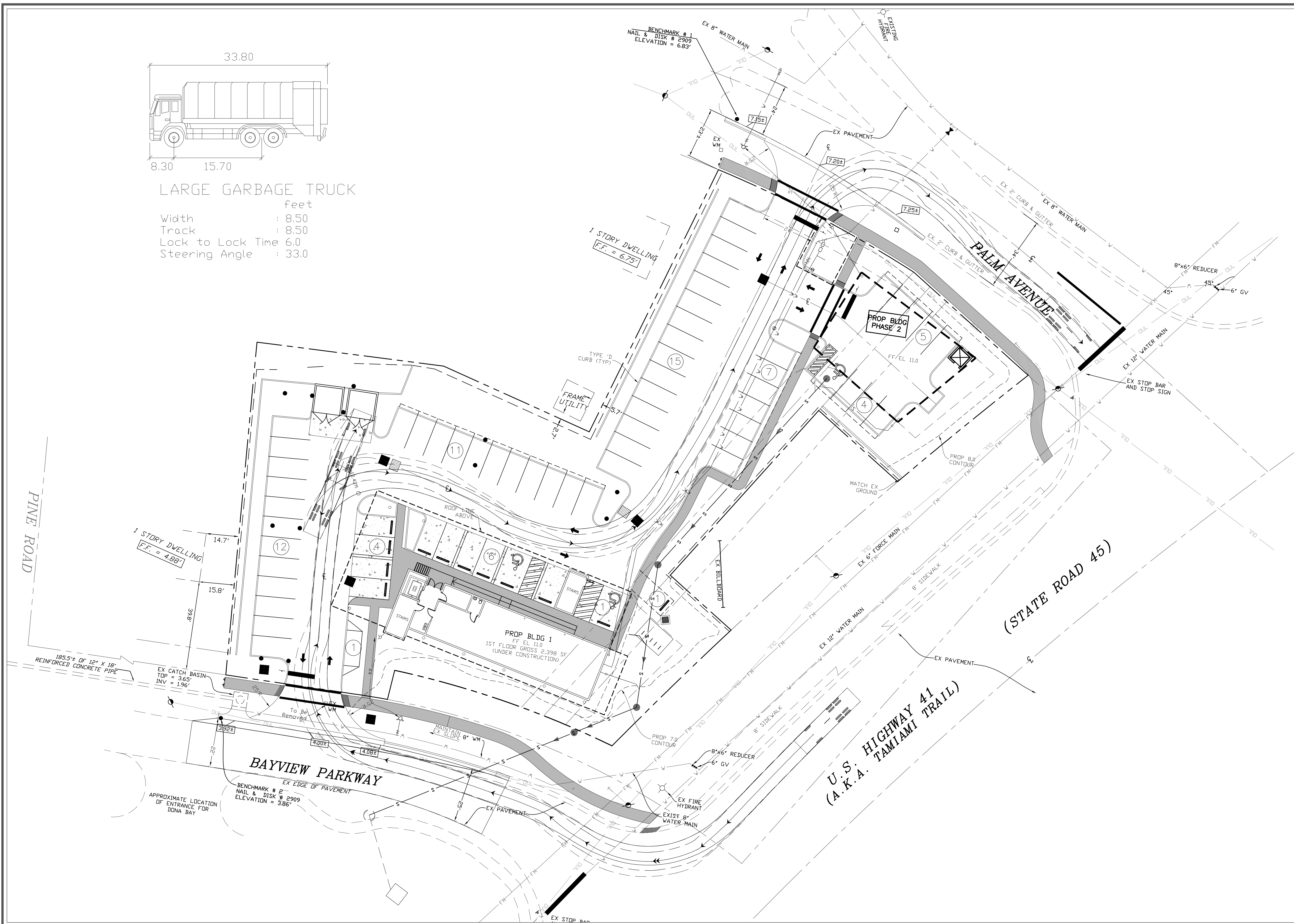
WEBER ENGINEERING & SURVEYING, INC.  
4596 Ashton Road - Sarasota, Florida 34233  
Telephone: (941) 921-3914 ~ Fax: (941) 924-3094  
www.weberengineering.com  
Surveying License No. 12000  
Engineering Business Authorization No. EB 4010





LARGE GARBAGE TRUCK

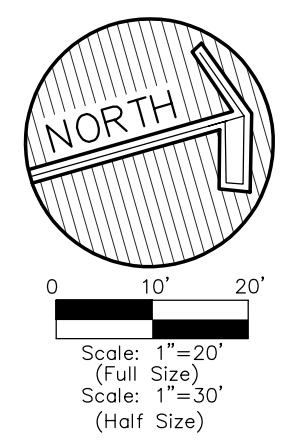
Width : 8.50 feet  
Track : 8.50 feet  
Lock to Lock Time : 6.0  
Steering Angle : 33.0



**WEBER ENGINEERING & SURVEYING, INC.**  
4596 Ashton Road - Sarasota, Florida 34233  
Telephone: (941) 921-3914 ~ Fax: (941) 924-3094  
www.weberengineering.com  
Surveying & Mapping License No. 4610  
Engineering Business Authorization No. EB 4010

**GARBAGE TRUCK TURNING TEMPLATE**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMAMI TRAIL**  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

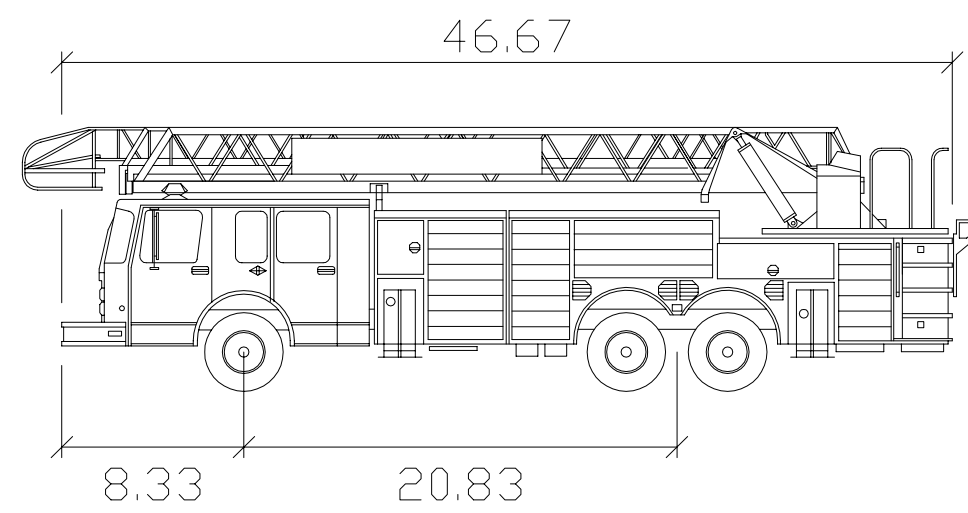
LAWRENCE R. WEBER  
FLORIDA LICENSE NO. FE 10899  
Date: \_\_\_\_\_



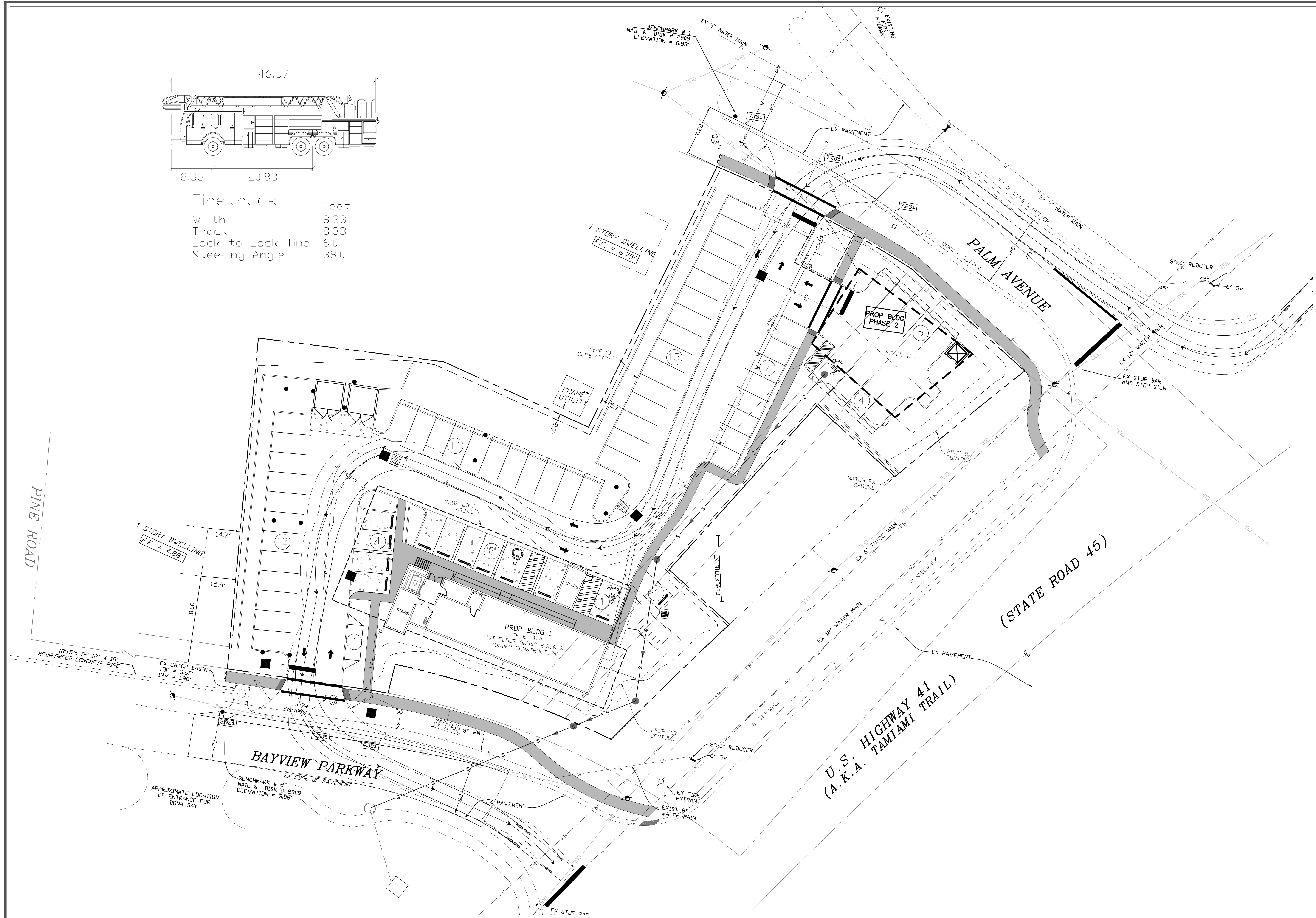
Revisions:	Description
Date	
Job # 2022113	
Dwg # D-17346	
Date: 8/31/2022	
Drawn by: JSS	
Checked by:	

TT-1





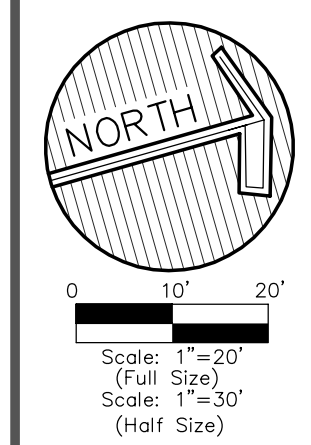
Firetruck                      feet  
Width                      : 8.33  
Track                       : 8.33  
Lock to Lock Time : 6.0  
Steering Angle        : 38.0



**WEBER ENGINEERING & SURVEYING, INC.**  
4596 Ashton Road - Sarasota, Florida 34233  
Telephone: (941) 921-3914 ~ Fax: (941) 924-3094  
www.weberengineering.com  
Surveying & Mapping License No. 4610  
Engineering Business Authorization No. EB 4010

**FIRE TRUCK TURNING TEMPLATE**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMAMI TRAIL**  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. FE 10899  
Date: \_\_\_\_\_



Revisions:	Description
Date	
Job # 2022113	
Dwg # D-17346	
Date: 8/31/2022	
Drawn by: JSS	
Checked by:	

TT-2





NOTICE OF STIPULATIONS AND LIMITATIONS ENCUMBERING  
REAL PROPERTY PURSUANT TO THE SARASOTA COUNTY ZONING CODE

The following property located in Sarasota County, Florida, owned by Rock P. Murphy, and described in Ordinance No. 98-071 attached hereto, has been rezoned to the CG (Commercial, General) zone district pursuant to Rezone Petition No. 98-04 filed by Bruce Oxley, Agent, and granted by Sarasota County on October 13, 1998, and is subject to the following stipulations and limitations, violations of which shall constitute a violation of the Sarasota County Zoning Code:

(Stipulations and limitations are those described in Section 3 of Ordinance No. 98-071, attached hereto)

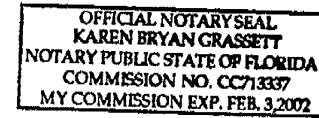
STATE OF FLORIDA  
COUNTY OF SARASOTA

Before me, the undersigned Notary Public, personally appeared Jerry Gray, Director of the Sarasota County Department of Planning, to me known to be the individual who executed the foregoing Notice of Stipulations and Limitations Encumbering Real Property pursuant to the Sarasota County Zoning Code, and he acknowledged before me that he executed the same.

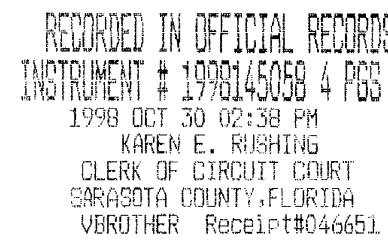
Witness my hand and official seal at Sarasota County, Florida, this 27th day of October, A.D. 1998.

*[Signature]*  
Sarasota County Director of Planning

*[Signature]*  
Notary Public  
State of Florida at Large



This instrument prepared by:  
Frances L. Powers  
Sarasota County Department of Planning  
P.O. Box 8  
Sarasota, FL 34230



OFFICIAL RECORDS INSTRUMENT # 1998145058 4 PGS  
ORDINANCE NO. 98-071

AN ORDINANCE OF THE COUNTY OF SARASOTA, FLORIDA, AMENDING THE OFFICIAL ZONING ATLAS, AS PART OF SARASOTA COUNTY ORDINANCE NO. 75-38, RELATING TO ZONING WITHIN THE UNINCORPORATED AREA OF SARASOTA COUNTY; PROVIDING FINDINGS; PROVIDING FOR AMENDMENT OF THE ZONING ATLAS; PROVIDING RESTRICTIONS, STIPULATIONS AND SAFEGUARDS; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SARASOTA COUNTY, FLORIDA:

Section 1. Findings. The Board of County Commissioners, hereinafter referred to as the "Board," hereby makes the following findings:

A. The Board has received and considered the report of the Sarasota County Planning Commission concerning Rezoning Petition No. 98-04, requesting rezoning of the property described herein.

B. The Board has held a public hearing on the proposed rezoning of the property described herein in accordance with the requirements of Sarasota County Ordinance No. 75-38 and has considered the information received at said public hearing.

C. The rezoning herein granted is consistent with the Sarasota County Comprehensive Plan and meets the requirements of Sarasota County Ordinance No. 75-38 and any amendments thereto.

D. Pursuant to the provisions of Sarasota County Ordinance No. 89-103, an evaluation has been completed of the impacts that the proposed rezoning of the property described herein will have on the levels of service for parks, drainage, solid waste, roads, mass transit and water and sewer systems. With the exception of the provisions of Section 3 of this Ordinance, adequate levels of service are anticipated to be available.

Section 2. Amendment of Ordinance No. 75-38. The Official Zoning Atlas, as part of Sarasota County Ordinance No. 75-38, is hereby amended by changing the zoning district classification for 1.09 acres ± from RMP-3 (Residential, Multi-Family, 13 units/acre) and CG (Commercial, General) to CG (Commercial, General) for the following described property located in Sarasota County, Florida:

SW corner of US 41 and Palm Avenue, more particularly described as follows:

1

098-071

OFFICIAL RECORDS INSTRUMENT # 1998145058 4 PGS

Lots 1-3, 8-10, Block I, Lots 1, 2, 12 & 13, Block 24, corrected Plat of Bay Point P.B. 3, Page 66 (Less ROW taking by FDOT) located in Section 1, Township 39 S, Range 18 E, Sarasota County, Florida.

Section 3. Restrictions, Stipulations and Safeguards. As used in the stipulations hereinafter set forth, the term "Owner" shall refer to the owner or owners of the property described in Section 2 and their successors and assigns. Upon recording in the public records of Sarasota County, these stipulations shall be covenants running with the land. The use of the property described in Section 2 of this Ordinance, in addition to the applicable restrictions imposed by Sarasota County Ordinance No. 75-38 and any amendments thereto, is hereby further limited by and subject to the following restrictions, stipulations and safeguards:

- Until central sewer is available, wastewater disposal shall be provided through the use of approved aerobic treatment unit approved by the State Department of Health.
- This project must connect to central sewer within 90 days of availability.
- Access to Palm Avenue shall be located no closer than 125 feet to U.S. 41 (measured along the centerline from the future edge of pavement of U.S. 41 to the inside edge of pavement of the access).
- Access to Bayview Parkway shall be located no closer than 125 feet to U.S. 41 (measured along the centerline from the future edge of pavement of U.S. 41 to the inside edge of pavement of the access) and shall align with the proposed Phase II Dona Bay Marina driveway on the south side of the street.
- Palm Avenue shall be widened to 22 feet, in accordance with the specifications stated in Appendix D2 of the Land Development Regulations, from the access of this subject parcel to U.S. 41. The improvement shall be included in the construction plans for the development of the parcel. Bonding the improvement shall not be permitted.
- Dumpsters and loading areas shall be located no closer than 15 feet from the residentially zoned property line to the west.
- Exterior lighting on the site shall be directed only toward the subject site and away from adjacent properties and streets and no source of such lighting shall be visible from any adjoining or nearby property used or zoned for residential purposes and, the exterior lighting shall be so designed and arranged as to shield public roadways and all other adjacent properties from direct glare or hazardous interference of any kind.

Section 4. Effective Date. This Ordinance shall take effect immediately upon receipt of official acknowledgment from the Office of the Secretary of State of Florida that this Ordinance has been filed with said office.

098-071

2

OFFICIAL RECORDS INSTRUMENT # 1998145058 4 PGS

PASSED AND DULY ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS OF SARASOTA COUNTY, FLORIDA, this 13th day of October, A.D., 1998.

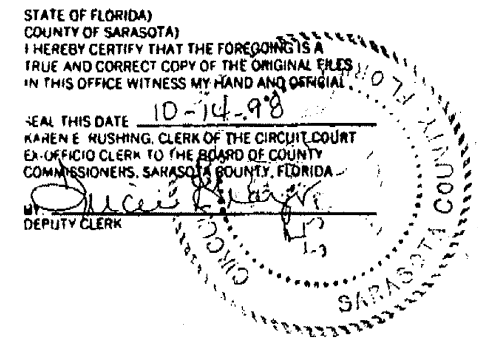
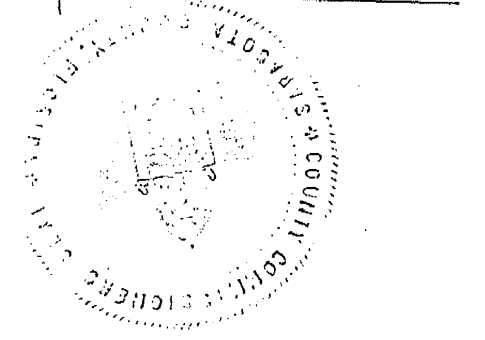
BOARD OF COUNTY COMMISSIONERS  
OF SARASOTA COUNTY, FLORIDA

*[Signature]*  
Chairman

ATTEST:

KAREN E. RUSHING, Clerk of  
the Circuit Court and Ex-  
Officio Clerk of the Board of  
County Commissioners of  
Sarasota County, Florida.

By *[Signature]*  
Deputy Clerk



3

098-071

COUNTY OF SARASOTA  
Florida  
Board of County Commissioners  
Sarasota County Planning Department

October 27, 1998

MEMORANDUM TO:

BRUCE OXLEY  
LANDMARK LAND CONSULTANTS  
4526 NORTH ACCESS ROAD  
ENGLEWOOD FL 34224

Trans/Plan(J Harriot/E Duque/D Neu)  
Land Dev. Rev.(Terry Gilbert/M Miller)  
Const/Prop Stand.(Paul Radauskas)  
Property Appraiser  
Planning Department (Att: S. Archer/Leigh)  
Graphics, Co. Surveyor, Shelley, Alan  
Env. Eng.(Att: Bob Forbes & Bill Perkins)  
Utilities Department  
Res. Permitting (L Wreford/M McClintock)  
Pollution Control (Att: Chris Dilley)  
School Board (Att: Ray Rayone)  
Historical Resources (Att: L. Muldowney)  
Fire Dept. (Att: Greg Bacon)

SUBJECT:  
Rezone Petition No. 98-04  
Ordinance No. 98-071

Planner: K. Murphy  
DP# 0172-08-0025, 0172-08-0018 & 0024,  
0172-08-0020 & 0021

ACTION TAKEN ON ABOVE SUBJECT IS AS FOLLOWS:

On October 13, 1998, the Sarasota County Board of Commissioners approved Rezone Petition No. 98-04 to rezone 1.09 acres ± located at the SW corner of US 41 and Palm Avenue, Sarasota County, Florida, from RMP-3 (Residential, Multi-Family, 13 units/acre) and CG (Commercial, General) to CG (Commercial, General) with stipulations.

A copy of Ordinance No. 98-071 is attached for your information.

By: *[Signature]*  
Director of Planning

Attachment

ORDINANCE NO. 98-071

AN ORDINANCE OF THE COUNTY OF SARASOTA, FLORIDA, AMENDING THE OFFICIAL ZONING ATLAS, AS PART OF SARASOTA COUNTY ORDINANCE NO. 75-38, RELATING TO ZONING WITHIN THE UNINCORPORATED AREA OF SARASOTA COUNTY; PROVIDING FINDINGS; PROVIDING FOR AMENDMENT OF THE ZONING ATLAS; PROVIDING RESTRICTIONS, STIPULATIONS AND SAFEGUARDS; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SARASOTA COUNTY, FLORIDA:

Section 1. Findings. The Board of County Commissioners, hereinafter referred to as the "Board," hereby makes the following findings:

A. The Board has received and considered the report of the Sarasota County Planning Commission concerning Rezoning Petition No. 98-04, requesting rezoning of the property described herein.

B. The Board has held a public hearing on the proposed rezoning of the property described herein in accordance with the requirements of Sarasota County Ordinance No. 75-38 and has considered the information received at said public hearing.

C. The rezoning herein granted is consistent with the Sarasota County Comprehensive Plan and meets the requirements of Sarasota County Ordinance No. 75-38 and any amendments thereto.

D. Pursuant to the provisions of Sarasota County Ordinance No. 89-103, an evaluation has been completed of the impacts that the proposed rezoning of the property described herein will have on the levels of service for parks, drainage, solid waste, roads, mass transit and water and sewer systems. With the exception of the provisions of Section 3 of this Ordinance, adequate levels of service are anticipated to be available.

Section 2. Amendment of Ordinance No. 75-38. The Official Zoning Atlas, as part of Sarasota County Ordinance No. 75-38, is hereby amended by changing the zoning district classification for 1.09 acres ± from RMP-3 (Residential, Multi-Family, 13 units/acre) and CG (Commercial, General) to CG (Commercial, General) for the following described property located in Sarasota County, Florida:

SW corner of US 41 and Palm Avenue, more particularly described as follows:

1

098-071

Lots 1-3, 8-10, Block I, Lots 1, 2, 12 & 13, Block 24, corrected Plat of Bay Point P.B. 3, Page 66 (Less ROW taking by FDOT) located in Section 1, Township 39 S, Range 18 E, Sarasota County, Florida.

Section 3. Restrictions, Stipulations and Safeguards. As used in the stipulations hereinafter set forth, the term "Owner" shall refer to the owner or owners of the property described in Section 2 and their successors and assigns. Upon recording in the public records of Sarasota County, these stipulations shall be covenants running with the land. The use of the property described in Section 2 of this Ordinance, in addition to the applicable restrictions imposed by Sarasota County Ordinance No. 75-38 and any amendments thereto, is hereby further limited by and subject to the following restrictions, stipulations and safeguards:

- Until central sewer is available, wastewater disposal shall be provided through the use of approved aerobic treatment unit approved by the State Department of Health.
- This project must connect to central sewer within 90 days of availability.
- Access to Palm Avenue shall be located no closer than 125 feet to U.S. 41 (measured along the centerline from the future edge of pavement of U.S. 41 to the inside edge of pavement of the access).
- Access to Bayview Parkway shall be located no closer than 125 feet to U.S. 41 (measured along the centerline from the future edge of pavement of U.S. 41 to the inside edge of pavement of the access) and shall align with the proposed Phase II Dona Bay Marina driveway on the south side of the street.
- Palm Avenue shall be widened to 22 feet, in accordance with the specifications stated in Appendix D2 of the Land Development Regulations, from the access of this subject parcel to U.S. 41. The improvement shall be included in the construction plans for the development of the parcel. Bonding the improvement shall not be permitted.
- Dumpsters and loading areas shall be located no closer than 15 feet from the residentially zoned property line to the west.
- Exterior lighting on the site shall be directed only toward the subject site and away from adjacent properties and streets and no source of such lighting shall be visible from any adjoining or nearby property used or zoned for residential purposes and, the exterior lighting shall be so designed and arranged as to shield public roadways and all other adjacent properties from direct glare or hazardous interference of any kind.

Section 4. Effective Date. This Ordinance shall take effect immediately upon receipt of official acknowledgment from the Office of the Secretary of State of Florida that this Ordinance has been filed with said office.

098-071

2

PASSED AND DULY ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS OF SARASOTA COUNTY, FLORIDA, this 13th day of October, A.D., 1998.

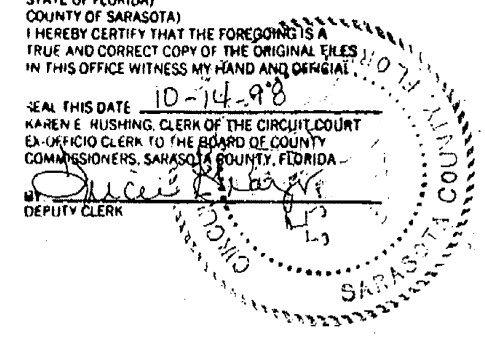
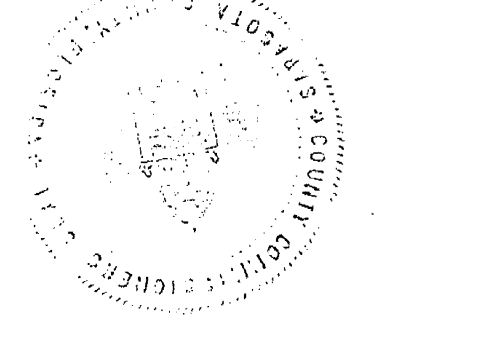
BOARD OF COUNTY COMMISSIONERS  
OF SARASOTA COUNTY, FLORIDA

*[Signature]*  
Chairman

ATTEST:

KAREN E. RUSHING, Clerk of  
the Circuit Court and Ex-  
Officio Clerk of the Board of  
County Commissioners of  
Sarasota County, Florida.

By *[Signature]*  
Deputy Clerk



3

098-071

WEBER ENGINEERING &  
SURVEYING, INC.  
4596 Ashton Road - Sarasota, Florida 34233  
Telephone: (941) 921-3914 ~ Fax: (941) 924-3094  
www.weberengineering.com  
Surveying & Mapping License #400  
Engineering Business Authorization No. EB-400

REZONE PETITION 98-04  
NOKOMIS OFFICE PARK  
498 SOUTH TAMiami TRAIL  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 10899  
Date:

Revisions:  
Date

Description

Job # 2022113  
Dwg # D-17346  
Date: 8/31/2022  
Drawn by: JSS  
Checked by:

RZ-1



Site Data

1. Zoning: CG (Commercial General)
2. Existing Land Use: Vacant, Partial Structure with Drainage Installed  
Proposed Land Use: General Office
3. Proposed Character and Intended Land Use:  
The proposed project consists of the construction of an office building  
an office building and parking
4. Area Tabulation

TABLE 11.1 TOTAL PROPOSED SITE COVERAGE					
Land Use	Area(SF)	Area(Ac)	Percent(%)	Impervious	Imp (%)
Total Project Area		1.0258			
Pavement/Sidewalks	12,309	0.28	27.3%	100	27.3%
Lakes					
Building	19,381	0.44	43%	100	43%
Open Area	13,177	0.30		0	0
Total		100%			70%

5. Parking Calculations:  
Building 1 : 12,657 Net x 1/250 = 50.6  
Building 2 : 4,218 Net x 1/250 = 16.9  
Total Required = 67 Spaces  
Parking Provided = 67 Spaces (Including 3 Handicap)
- Bicycle Spaces Req'd. = 6 Spaces  
Bicycle Spaces Provided = 10 Spaces
- Loading Spaces Req'd. = 0 Spaces  
Loading Spaces Provided = 0 Spaces
6. This property lies in Zone AE (Elev. 8 NAVD) as shown on FEMA Panel 12115C0327 G,  
Dated 3/27/24.
7. Legal Description: See Survey
8. Signs to be permitted separately in accordance with Sarasota County regulations.
9. Boundary Survey by Weber Engineering & Surveying, Inc.

10. All landscaping shall be in accordance with the Sarasota County Zoning Ordinance and shall be maintained by the property owner.
11. Storm Drainage:  
Attenuation/Treatment is provided on-site.
12. Water Service: Sarasota County Utilities
13. Sewer Service: Sarasota County Utilities
14. Trash Collection: Trash Dumpster shall be in a screened enclosure
15. The project will be under the ownership and unified control of the Developer/Owner. All improvements are to be owned and maintained by the Developer/Owner and will not be dedicated to the public or maintained by the public.
16. Habitat: Professional Services (FLUCCS – 143)
17. There are no historical features on the site.
18. There are no wetland jurisdictional areas on site.
19. Building Height – Three-Story Proposed, 35 ft Allowable
20. Water mains and hydrants shall be completed and in service prior to commencing vertical construction on any building or bringing combustible stock on site.
21. No wells exist on-site.
22. Any wells discovered during excavation, earthmoving or construction must be reported to Sarasota County Health Department, Office of Environmental Health 941– 861–6133 within 24 hours of discovery.
23. Any wells on site that will have no use must be plugged by a Florida Licensed Well Drilling Contractor in an approved manner.
24. A DEP permit is not required for the water line and fire line extension.
25. The proper backflow prevention device must be installed and certified on the central water connection.

NOTES:

1. NFPA 1–16.4.3.1 and NFPA 241– 8.7.2.3 for building construction sites, underground water mains and hydrants shall be installed, completed, and in service prior to bringing combustible materials on site and/or commencement of building construction, including foundation slab and footers.
2. NFPA 241– 7.5.5.1 – Every building shall be accessible to fire department apparatus by means of roadways having an all-weather driving surface of not less than 20 feet of unobstructed width, having the ability to withstand the live loads of fire apparatus (32 tons) and having a minimum vertical clearance of 13 feet 6 inches. The all-weather driving surface shall be marked and maintained to within 50 feet of each building for emergency vehicle access.
3. NFPA 241– 7.5.5.2 – Access for use of fire department apparatus shall be provided to the immediate job site at the start of the construction and maintained until completion. NFPA 241– 7.5.5.5 – The required width of access roadways shall not be obstructed in any manner, including obstruction by parked vehicles.
4. NFPA 1– 11.10.1: In all new and existing buildings, minimum radio signal strength for Fire Department communications shall be maintained at a level determined by the AHJ. A Radio Communication Enhancement System (RCES) drawing and narrative identifying all critical and non-critical areas shall be submitted to the Fire Marshal's office prior to final fire inspections.
5. Sarasota County has adopted the 7th edition of the Florida Fire Prevention Code and the 7th edition of the Florida Building Code. All projects & work shall comply with these editions. Lack of comment from reviewer does not relieve design professionals and/or builder/contractors from complying with all codes and standards. If alterations or modifications are made to the approved plans, resubmittal and re-review may be required.
6. The Engineer or Surveyor, with information provided by the contractor, shall provide record drawings that meet the requirements of the Sarasota County Utility Manual, Latest Edition.
7. Fire Sprinkler and Fire Alarm system design criteria in a narrative form and/or lay-out drawings shall be signed and sealed by a Professional Engineer per FAC 61G15–32.004 (sprinkler) and FAC 61G15–32.008 (alarm) and shall accompany the Building Construction plans.
8. Sarasota County requires that the installations of fire sprinkler, fire alarm, underground fire main, and RCES systems shall all have separate permits obtained by Florida certified fire contractors.

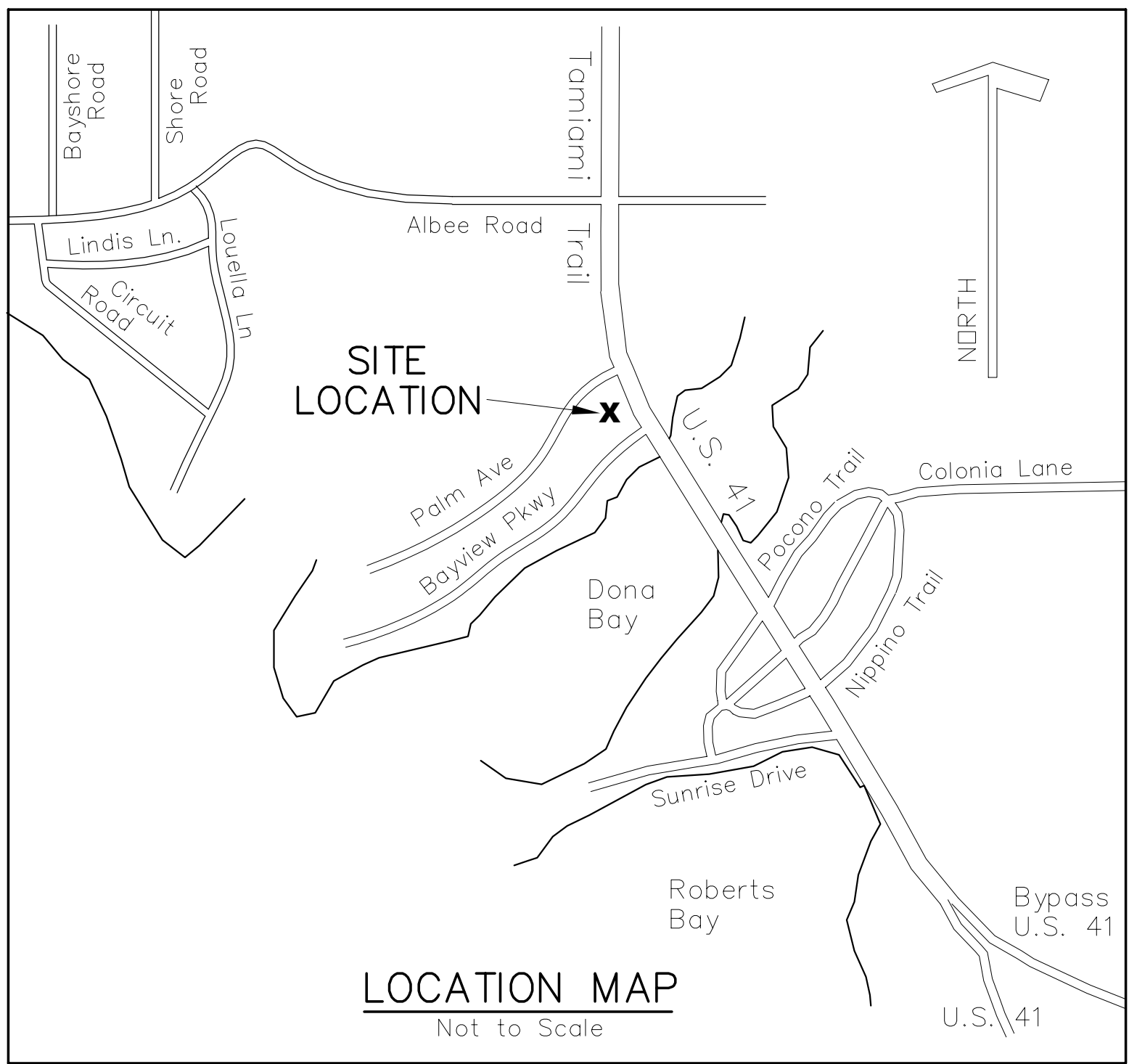
# SITE DEVELOPMENT PLAN NOKOMIS OFFICE PARK

## 498 SOUTH TAMiami TRAIL

### PART OF PID: 0172080020

## SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST

## NOKOMIS, SARASOTA COUNTY, FLORIDA



OWNER/DEVELOPER  
Noto Home Development, LLC  
6105 Anise Drive  
Sarasota, FL. 34238

LANDSCAPE ARCHITECT  
Stewart, Washmuth, Sollars  
Landscape Architecture, Inc.  
Ryan Sollars, PLA, ASLA  
P.O. Box 1082  
Lithia, FL 33547  
(941) 377–4704

SITE ENGINEER/SURVEYOR  
Weber Engineering & Surveying, Inc.  
4596 Ashton Road  
Sarasota, Florida 34233  
(941) 921–3914

WATER/WASTEWATER PURVEYOR  
Sarasota County Utilities Department  
1001 Sarasota Center Blvd.  
Sarasota, Florida 34240  
Contact: Demar Machuca  
dmachuca@scgov.net  
(941) 861–0582

Note:

A Tree Permit will be required prior to any construction, native vegetative removal within the dripline of a tree, and/or tree removal.” Ch. 54, Art. XVIII, Section 54–584

PERMITS REQUIRED:

1. Site & Development
2. Sign Permit
3. Building Permit
4. SWFWMD Permit (ERP)
5. Sarasota County Utility Construction Permit
6. FDEP NOI
7. Sarasota County – Tree Permit  
(Prior to Construction)

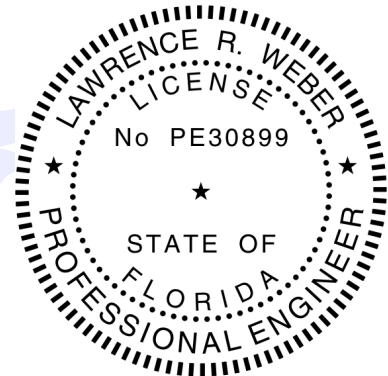
INDEX OF SHEETS

Title Sheet	1,2
Boundary & Topographic Survey	3
Dimensioned Site Plan	4
Grading & Drainage Plan	5
Miscellaneous Details	6,7
Utility Plan	8
Utility Profile	9
Utility Details	10
Erosion Control Plan	11
Garbage Truck Turning Template	T–1
Fire Truck Turning Template	T–2
Rezoning Petition 98–04	RZ–1
Landscape Plan	LA–1, TR–1

Note:

Refuse collection, mechanical equipment, trash compaction, loading areas, recycling, roof-top equipment and other service function areas shall be fully screened and out of view from adjacent properties and public rights-of-way. The screening shall extend one foot above the height of the object to be screened according to UDC section 124–123(a)(1–3) and 124–271.

Digitally signed by Lawrence R Weber  
DN: cn=Lawrence R Weber, c=US,  
o=Florida,  
email=LWeber@Weberengineering.com  
Reason: I attest to the accuracy and  
integrity of this document  
Date: 2024.08.07 15:51:27 -04'00'



CONSTRUCTION AUTHORIZED

BY:

*[Signature]*

Land Development Manager

THIS AUTHORIZATION IS SUBJECT TO  
EXISTING REQUIREMENTS OF SARASOTA COUNTY  
FLORIDA AND ANY SPECIAL REQUIREMENTS OF  
THE BOARD OF COUNTY COMMISSIONERS.

NOTE:

PLEASE REFER TO CONSTRUCTION  
AUTHORIZATION LETTER FOR STIPULATIONS  
ASSOCIATED WITH THIS DEVELOPMENT  
APPROVAL.

The undersigned, hereby certifies that to the best of my knowledge and belief, that the design of this project, as prepared under my personal direction and control, complies with all applicable standards, including the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (as adopted by the Florida Department of Transportation pursuant to Subsections 335.075 (1) and (4), Florida Statutes) and that the facilities comply with all applicable standards, including the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways and the Sarasota County UDC.) (Article 13, Section 124–230.b of the UDC.) (Article 18, Section 124–310, Appendix 18 of the UDC).

Revisions:	Description	Revised Per	Comments
Date:	4/6/23		

Job #	2022113
Dwg #	D–17346
Date:	8/31/2022
Drawn by:	SS
Checked by:	

1

11

TITLE SHEET

NOKOMIS OFFICE PARK  
498 SOUTH TAMiami TRAIL

SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 30899  
Date:

WEBER ENGINEERING &  
SURVEYING, INC.

4596 Ashton Road – Sarasota, Florida 34233

Telephone: (941) 921-3914 ~ Fax: (941) 924-3094

www.weberengineering.com

Surveying & Mapping Division

Engineering Business Authorization No. EB 8400

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CONSTRUCTION NOTES:

1. Tree protective barricades shall be installed prior to beginning construction on-site.
2. The Contractor shall install and maintain erosion and sediment control best management practices (BMPs) in accordance with the notes and specifications on the Erosion Control Plan and/or Stormwater Pollution Prevention Plan.
3. All longitudinal pavement lines shall be "Alkyd Thermoplastic" 100 mils in thickness and a maximum thickness 0.15 inch or 150 mils when measured above the pavement surface. In addition, all chevrons, diagonal and transvers lines, messages, symbols, and arrows, wherever located, will have a thickness of 0.09 inch or 90 mils to 0.12 inch or 120 mils when measured above the pavement surface in accordance with FDOT Specifications Section 701 and Sarasota County Supplemental Specification SS711. (DITM, Section B.1.f, page 108). All thermoplastic markings shall be renewed every six years. All parking stall striping shall be 6" white painted stripes.
4. All drainage swales, detention areas and grass areas shall be sodded upon completion of the grading. A strip of sodding shall be placed along the edge of all pavement, curb & walks, except when it abuts a building.
5. All facilities contained herein have been designed in accordance with The Americans with Disabilities Act and The Florida Accessibility Codes, F.A.C. (Florida Statutes 553.501 – 553.513).
6. All inlets, catch basins, outlet control structures and manholes shall be provided with inverts that are filled with concrete to allow smooth flow thru the structure with no ponding.
7. All storm sewer pipes shall be cut off flush with the inside wall face of water (except for structures specified with open bottoms) of storm sewer structures. Fill voids with non-shrink grout.
8. All storm sewer pipes labeled HDPE shall have smooth interior walls.
9. All storm sewer joints shall be wrapped per FDOT Index 280,
10. Provide FDOT traffic grates & covers on all structures in areas subject to vehicular traffic.
11. Before beginning of construction, the Contractor shall notify all utilities.
12. All signage to be permitted separately by others.
13. All drainage and roadway related concrete items/structures to be a minimum of 3,000 psi @28 days
14. All construction within the County right-of-way is to be in accordance with current County & FDOT Standards Specifications for Roadway Construction and the Roadway and Traffic Design Standard Index.
15. All sign plates (just not stop signs) shall be made of 5052 aluminum and covered with 3M diamond grade sheeting series 5000 or current County standards. All signs shall be attached with aluminum drive rivets. The TAPCO V-Loc VS1P-350 system (or an equivalent) shall be employed where signposts are installed in paved and/or median areas.
16. A separate building permit will be required prior to construction of any retaining wall system and all masonry or engineered Styrofoam privacy walls.
17. All vegetation from clearing/grubbing shall be disposed of offsite in an approved manner.
18. In the event that the construction site is abandoned prior to construction completion, the Owner/Developer shall be responsible for the removal of all stockpiled construction material, vegetative debris and fill material. All pervious areas shall be graded and seeded to prevent erosion.
19. The use of paver blocks either in travel ways or walkways shall conform to FDOT Specification #526.
20. Any wells discovered during earth moving or excavation shall be reported to the Sarasota County Health Department, Office of Environmental Engineering with 24 hours after discovery is made.
21. Any wells discovered on site that will have no use must be plugged by a licensed well drilling contractor in an approved manner.
22. Properties which proposed to be connected to central water must have the proper backflow prevention device installed and certified on the central water connection.
23. If evidence of the existence of historic resources is discovered or observed at development sites or doing development activities after final approval, all work shall cease in the area of effect as determined by the Director. The Developer, Owner, Contractor, or Agent thereof shall notify the Department of Historical Resources (History Center) within two working days. Examples of evidence of historic resources include whole or fragmentary stone tools, shell tools, aboriginal or historic pottery, historic glass, historic bottles, bone tools, historic building foundations, shell mounts, shell middens, or sand mounts. The Director shall assess the significance of the finds and mitigate any adverse effects as soon as possible, but not later than with three working days of notification.

CONSTRUCTION NOTES: (Continued)

24. If any human skeletal remains or associated burial artifacts are discovered at development sites or during development activity, all work in the area must cease, and the permittee must immediately notify the nearest law enforcement office and notify the Department of Historical Resources within two working days. According to Chapters 872, the Florida Statutes, it is unlawful to disturb, vandalize, or damage a human burial.
25. All traffic sign posts within the County right-of-way shall be 2"x 2" square break-away 14 gauge galvanized steel with punched holes in accordance with Appendix C3 of the UDC. The TAPCO V-Loc VS1P-350 system shall be employed where sign posts are installed in paved areas." (Sarasota County Technical Provisions TP 700)
26. All work and materials shall be done in accordance with Sarasota County Land Development Regulations.
27. This construction site shall comply with NFPA 241. Fire hydrants shall be installed (where and if shown on plan) and activated prior to combustible material arriving on site. A stable road surface must be provided to all areas of construction for emergency vehicles.
28. When new hydrants are installed, they should be temporarily bagged for no more than 1 to 2 business days and then the bonnet shall be painted black. If there is an FDEP water permit the water mains must be certified prior to flow testing. After the hydrant has been flow tested it shall immediately be painted the appropriate color and placed into service. If there is no one with the paint at the flow test, the test shall be rescheduled.
29. All traffic control signs within the right-of-way shall be per Section 700 of the FDOT Specifications in addition to Sarasota County Supplemental Specification SS700. All signs shall be constructed in accordance with MUTCD criteria for sign size, shape and lettering dimensions.
30. Any pavement cut within the County ROW shall be restored according to UDC, Article 18, Appendix F.

ENVIRONMENTAL NOTES:

1. Impacts to state and federally protected species as listed in the most current version of "Florida's Endangered Species, Threatened Species and Species of Special Concern: Official Lists" prepared by the Florida Fish and Wildlife Conservation Commission (FWC) are not authorized by this permit. These species may include, but are not limited to, Florida scrub jay, American bald eagle, Sherman's fox squirrel, burrowing owl, gopher tortoise, gopher frog, and eastern indigo snake. Protection extends to the nests, burrows and habitat utilized by these species. If a listed species (or its evidence, such as burrows, nests, scat, tracks) that was not addressed in this permit is observed prior to or during construction, all clearing and earthmoving on-site shall cease. The Permittee shall consult with the FWC regional office and/or the U.S. Fish and Wildlife Service regional office regarding necessary protection measures and provide evidence of such consultation to Resource Protection Services prior to resuming work.
2. If any Type A fill (clean earthen material) is to be hauled off-site, an earthmoving permit or letter of exemption is required from Resource Protection Services. If any Type A fill hauled off-site is to be stockpiled or filled upon private properties within the unincorporated areas of Sarasota County, the receiving property(s) shall possess authorization in the form of an earthmoving permit, a written earthmoving exemption, a building permit, or construction plan approval prior to receiving said fill. No Type B (concrete, broken asphalt, rocks), Type C (vegetative land clearing debris), or Type D (garbage, refuse, wood, metal, plastic, etc.) Fill may be buried within or outside approved construction limits. Type D fill must be disposed at an approved landfill or recycling facility. Type B, C, and D fills generated on-site shall not be stockpiled on-site for greater than six months. Type B, C, and D fills shall not be hauled to the site from off-site sources. For information about earthmoving permits or exemptions, contact Environmental Permitting at 941-861-5000. If fill material is to be stockpiled within the approved construction limits, the project engineer must provide detailed drawings to Land Development Services for review and approval.

AIR & WATER QUALITY PROTECTION

1. National Pollutant Discharge Elimination System (NPDES) coverage under the state Generic Permit for Stormwater Discharge from Large and Small Construction Activities (aka. Construction Generic Permit, or CGP) is required for projects that contribute stormwater discharges to surface waters of the state (or into a municipal separate storm sewer system – MS4); and that disturb more than one acre of land, or less than one acre of land if part of a larger common plan of development.
- Sarasota County requires the submittal of a copy of the completed Notice of Intent (NOI), and a copy of the Stormwater Pollution Prevention Plan (SWPPP) as outlined in Rule 62-621.300(4)(a), F.A.C., and in accordance with Sec. 54-187(g) (Water Pollution Control) of the Sarasota County Code. For additional assistance the Florida Department of Environmental Protection as information available at its website at <http://www.dep.state.fl.us/water/stormwater/npdes/swppp.htm>.
2. Dewatering operations that discharge offsite, or to onsite surface waters of the state, may be covered under the CGP if the groundwater is uncontaminated as outlined in Part 3.4 of the Generic Permit. A separate permit may be required for discharges from contaminated sites.

Applicants are urged to contact the South District of FDEP at (239) 344-5600 for permitting information relating to a specific project.

Ground water sampling results must be submitted to Sarasota County prior to the commencement of dewatering pursuant to Sec. 54-185(b) of the Water Pollution Control Code.

3. Accommodations must be made for the proper handling and disposal of waste materials, and wastewater. Wastewater discharges shall be consistent with Utilities, Air and Water Quality, and Environmental Health Services regulations. Separate agency permitting (i.e. DEP) may be required. The plans should show areas that have the potential to be significant sources of pollution such as equipment and vehicle wash racks or wash areas; waste handling facilities; chemical, equipment, and material storage areas. Food service establishments must provide dedicated can wash areas that are connected to the sanitary sewer.
4. Please note that accommodations must be made for proper disposal of overflow water and filter backwash water from proposed swimming pools. Such discharges shall be consistent with Air & Water Quality and Environmental Health Services regulations. If adequate provisions are made for dechlorination, the overflow water may be discharged to the stormwater system. Filter backwash water shall not be directed to the stormwater system, or to any surface waters. It shall be discharged to the sanitary sewer, or an approved drain field.
5. Prior to renovation or demolition of existing on site structures an asbestos survey and/or asbestos notification may be required.
6. Please disclose any known pollution-related environmental concerns. Provide copies of any environmental site assessment reports. Provide copies of agency correspondence relative to completed remediation activities.
7. The construction plans must include an erosion and sediment control plan showing the location of, and details of, all erosion and sediment control best management practices (BMPs), especially perimeter controls, stabilization of site ingress/egress points (soil tracking prevention measures – typically the former FDOT Index 106 or equivalent), inlet protection, outlet stabilization, and protection of receiving waters and stormwater conveyances. A dewatering plan is required if dewatering discharge(s) are to be directed off site, or to onsite wetlands or surface waters. The plan must include a detail of sediment traps or basins.
8. The techniques depicted in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual, July 2013, or equivalent, shall serve as the basic design criteria for erosion and sediment control best management practices (BMPs).

POLLUTION PREVENTION NOTES:

- A. Erosion and sediment control BMPs in addition to those presented on the plans and outlined in the Erosion and Sediment Control Plan (ECP), Best Management Practices (BMP) Plan, or Stormwater Pollution Prevention Plan (SWPPP) shall be implemented as necessary to prevent turbid discharges from flowing onto adjacent properties or roadways, off site stormwater conveyances or receiving waters, or on site wetlands and surface waters. BMPs shall be designed, installed, and maintained by the site Operator to ensure that off site surface water quality remains consistent with State and local regulations. [The Operator is the entity that owns or operates the construction activity and has authority to control those activities at the project necessary to ensure compliance.]
- B. Off site surface water discharges, discharges to the MS4, or discharges to onsite wetlands or surface waters with turbidity in excess of 29 Nephelometric Turbidity Units (NTUs) above background level shall be immediately corrected. Such incidents shall be reported to Sarasota County within 24 hours of the occurrence (ph: 941.861.5000; email: ReportPollution@scgov.net). The report shall include the cause of the discharge and corrective actions taken.
- C. The Operator shall ensure that adjacent properties are not impacted by wind erosion, or emissions of unconfined particulate matter in accordance with Rule 62-296.320(4)(c)1, F.A.C., by taking appropriate measures to stabilize affected areas.
- D. Fuel and other petroleum product spills that enter stormwater drains or waterbodies, or fuel and other petroleum product spills that are in excess of 25 gallons shall be contained, cleaned up, and immediately reported to Sarasota County (ph: 941.861.5000; email: ReportPollution@scgov.net). Smaller ground surface spills shall be cleaned up as soon as practical.
- E. If previously unknown Recognized Environmental Conditions (e.g. contaminated soil and/or groundwater, buried wastes, etc.) are discovered during development of the site, all activity in the immediate vicinity shall cease, and Sarasota County shall be contacted (ph: 941.861.5000; email: ReportPollution@scgov.net).
- F. Prior to renovation or demolition of existing on site structures an asbestos survey and/or asbestos notification may be required.
- G. Fertilizer application shall be consistent with Chapter 54, Article XXXII (Fertilizer and Landscape Management) of the Sarasota County Code.
- H. National Pollutant Discharge Elimination System – Stormwater:

- i. NPDES Construction Generic Permit coverage shall be obtained at least 48 hours in advance of construction commencement in accordance with the requirements of the National Pollutant Discharge Elimination System (NPDES) Generic Permit for Stormwater Discharge from Large and Small Construction Activities (aka. Construction Generic Permit, or CGP).
- ii. A copy of the certified NPDES NOI, or a copy of the FDEP coverage confirmation letter shall be posted at the site in accordance with Part 2.6 of the Generic Permit, and as per Sec 54-187(g)(1) of the Sarasota county Code.
- iii. A copy of the certified NPDES NOI, or a copy of the FDEP coverage confirmation letter shall be provided to Sarasota County within 7 calendar days in accordance with Part 2.6 of the Generic Permit, and Sec. 54-187(g)(1) of the Sarasota County Code.
- iv. The SWPPP shall be certified in accordance with Part 4.6 of the Generic Permit, and a copy of the certified document shall be submitted to Sarasota County at least 48 hours prior to the commencement of construction per Sec 54-187(g)(1) of the Sarasota County Code.
- v. A copy of the SWPPP, and copies of the inspection and maintenance records shall be maintained at the project site, and shall be readily available to county or state inspectors per Sec 54-187(g)(1) of the Sarasota County Code.

- I. National Pollutant Discharge Elimination System – Dewatering: If not otherwise covered as outlined under Part 3.4 of the Generic Permit, the discharge of groundwater produced through dewatering, to surface waters, or to any portion of the MS4 will require separate permitting from the Florida Department of Environmental Protection (DEP). Permit(s) shall be obtained prior to the commencement of dewatering. Analytical results from pre-discharge testing shall be provided to Sarasota County pursuant to Section 54-185(b) of the Sarasota County Code.

OTHER PERMITS

- a. Stormwater: National Pollutant Discharge Elimination System (NPDES) Generic Permit For Stormwater Discharge from Large and Small Construction Activities (aka Construction Generic Permit of CGP) per DEP Document 62-621.300(4)(a).
- b. Dewatering: Generic Permit for Discharges From Petroleum Contaminated Sites (DEP Document 62-621.300(1)); or, Generic Permit for the Discharge of Groundwater from Dewatering Operations (DEP Document 62-621.300(2)); or, Individual Permit pursuant to Chapter 62, Florida Administrative Code (F.A.C.).
- c. Environmental Resource Permitting: Environmental Resource Permitting is a state program (whereas the NPDES permitting noted above is a federal program delegated to the state). The ERP Program is separate and apart from the NPDES Program.

**WEBER ENGINEERING & SURVEYING, INC.**  
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Telephone: (941) 921-5914 ~ Fax: (941) 924-3094  
[www.weberengineering.com](http://www.weberengineering.com)  
Surveying & Engineering License No. 4910  
Engineering Business Authorization No. EB 4010

**TITLE SHEET**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMiami TRAIL**  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 10899  
Date: \_\_\_\_\_

Revisions:  
Date Description

Job #	2022113
Dwg #	D-17346
Date:	8/31/2022
Drawn by:	SS
Checked by:	

2

11







4' MIN.

Cross-Walk

Stop Sign

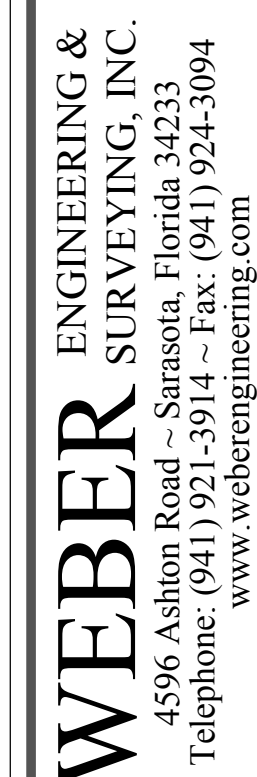
Indicates 6" Double Yellow Strips (10') with 24" White Stop Bar 30" X 30" MUTCD R1-1 Stop Sign

10"

Indicates Two 12" White Cross-Walk Stripes

2' WIDE

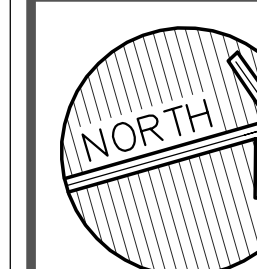
Indicates 2' Wide Tactile Surface per FDOT Index 304



**DIMENSIONED SITE PLAN**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMiami TRAIL**  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

498 SOUTH MIAMI TRAIL  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

\_\_\_\_\_  
LAWRENCE R. WEBER  
FLORIDA LICENSE No. PE 30899  
Date: \_\_\_\_\_



0 10'

Scale: 1"=20'  
(Full Size)

Scale: 1"=30'  
(Half Size)

Revisions:	Description
Date	Revised Per County Comments
4/6/23	
Job #	2022113
Dwg #	D-17346
Date:	8/31/2022
Drawn by:	JSB
Checked by:	

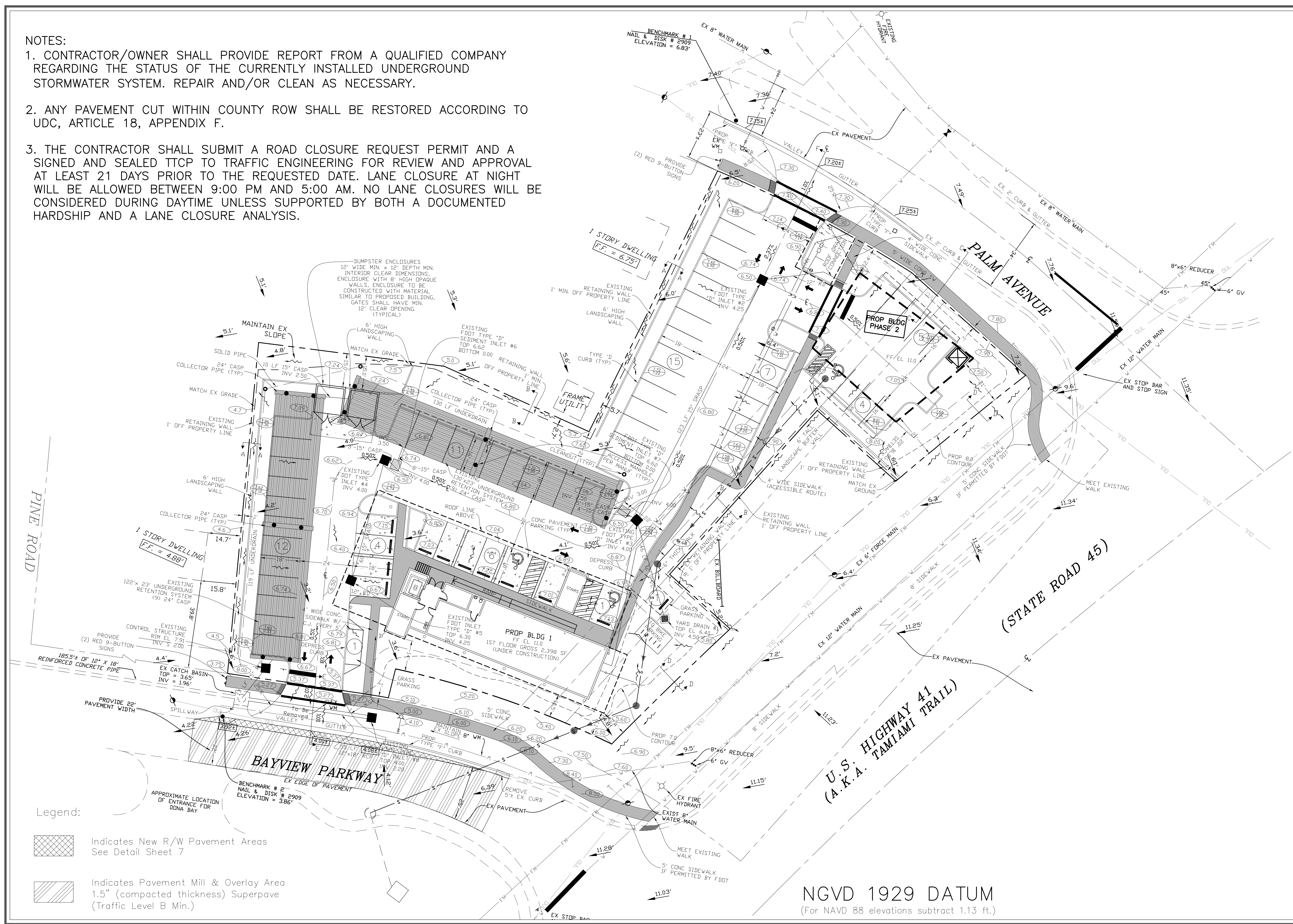
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NOTES:

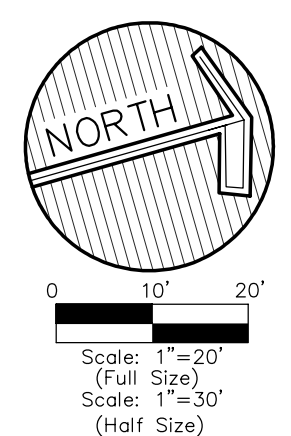
1. CONTRACTOR/OWNER SHALL PROVIDE REPORT FROM A QUALIFIED COMPANY REGARDING THE STATUS OF THE CURRENTLY INSTALLED UNDERGROUND STORMWATER SYSTEM. REPAIR AND/OR CLEAN AS NECESSARY.
2. ANY PAVEMENT CUT WITHIN COUNTY ROW SHALL BE RESTORED ACCORDING TO UDC, ARTICLE 18, APPENDIX F.
3. THE CONTRACTOR SHALL SUBMIT A ROAD CLOSURE REQUEST PERMIT AND A SIGNED AND SEALED TTCP TO TRAFFIC ENGINEERING FOR REVIEW AND APPROVAL AT LEAST 21 DAYS PRIOR TO THE REQUESTED DATE. LANE CLOSURE AT NIGHT WILL BE ALLOWED BETWEEN 9:00 PM AND 5:00 AM. NO LANE CLOSURES WILL BE CONSIDERED DURING DAYTIME UNLESS SUPPORTED BY BOTH A DOCUMENTED HARDSHIP AND A LANE CLOSURE ANALYSIS.



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Surveying & Engineering License No. 4610  
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PAVING, GRADING & DRAINAGE PLAN  
NOKOMIS OFFICE PARK  
498 SOUTH TAMAMI TRAIL  
SECTION 1 TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. FE 10899  
Date:

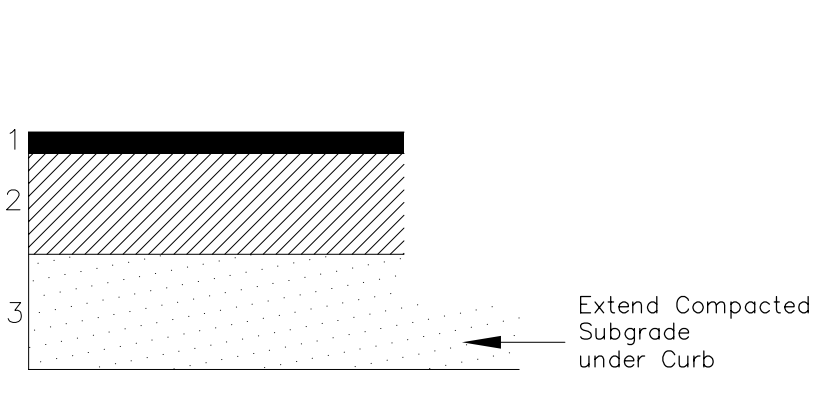
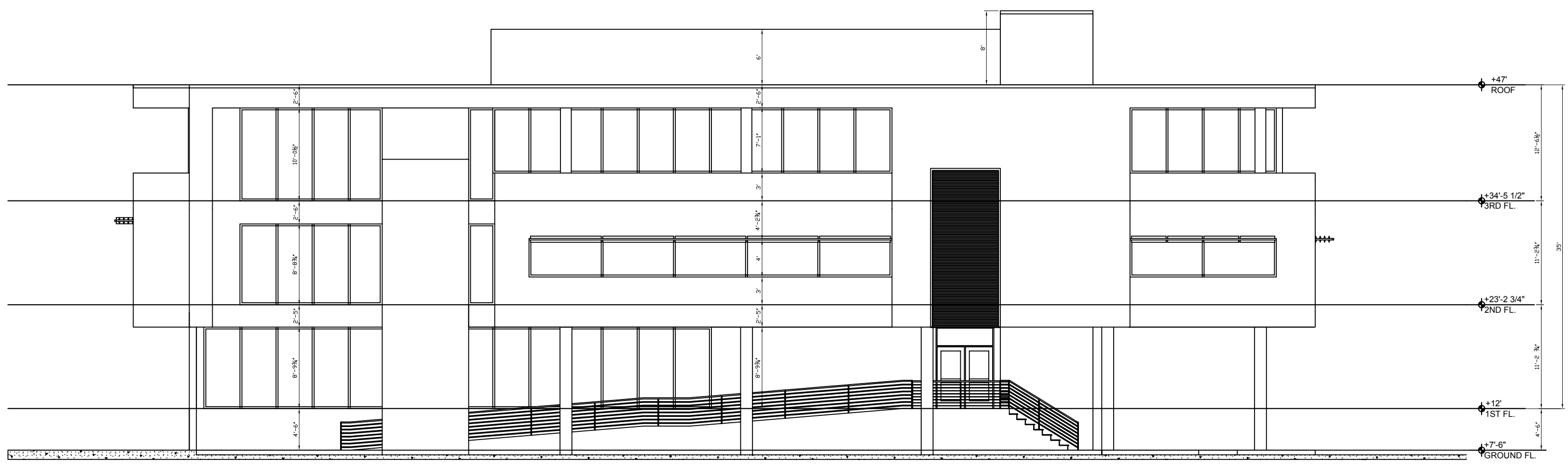


Revisions:	Description	Revised Per	County Comments
Date:			
4/6/23			
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Checked by:			

5

11

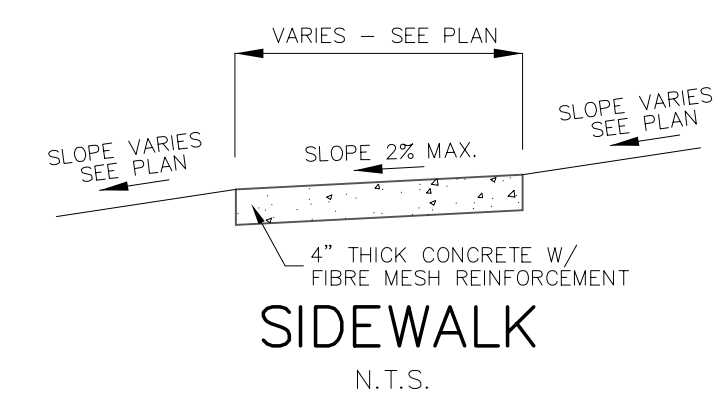




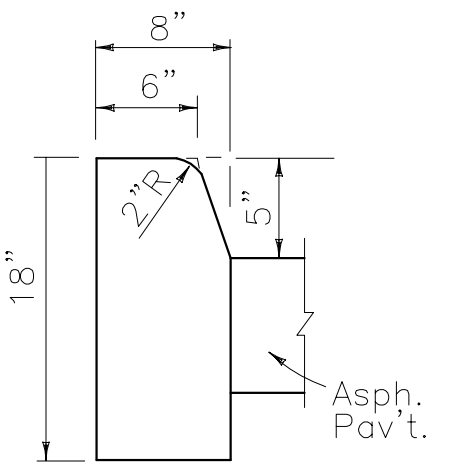
- One (1) Course of 1.5" (compacted thickness) Superpave (Traffic Level B Min.)
- Optional Base Group #6 (Min.) (See FDOT Flexible Pavement Design Manual – Current Version)
- Type B Stabilization (LBR 40)

R/W PAVEMENT SECTION  
NOT TO SCALE

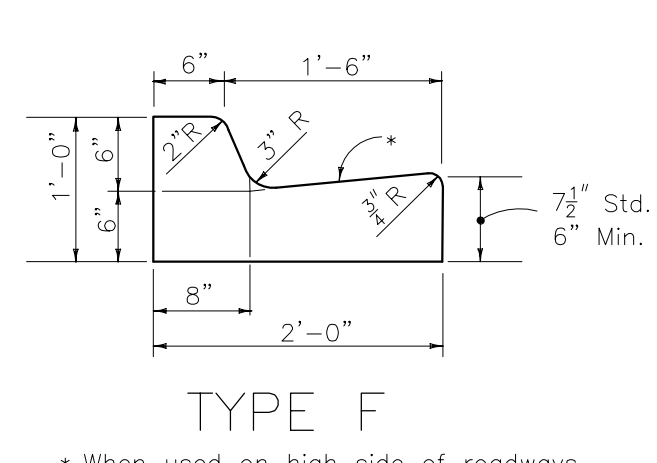
- SIDEWALK NOTES:**
- ALL ORGANIC MATERIAL & DEBRIS SHALL BE REMOVED & AREA GRADED & COMPACTED PRIOR TO CONCRETE PLACEMENT
  - THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE 3,000 PSI @ 28 DAYS
  - PROVIDE EXPANSION AND CONTRACTION



SIDEWALK  
N.T.S.



TYPE D

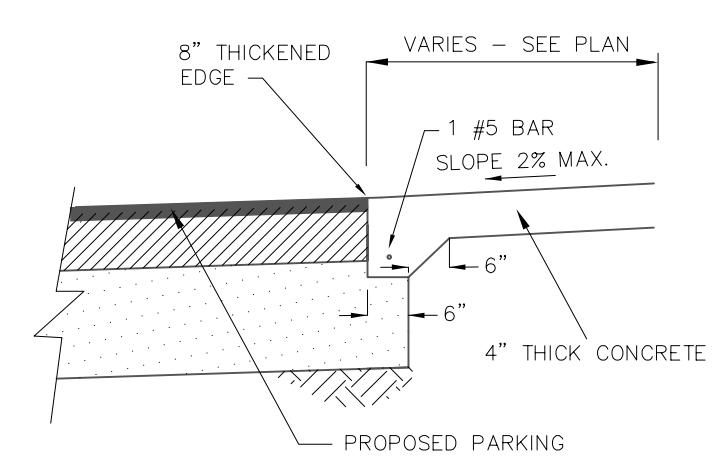


TYPE F

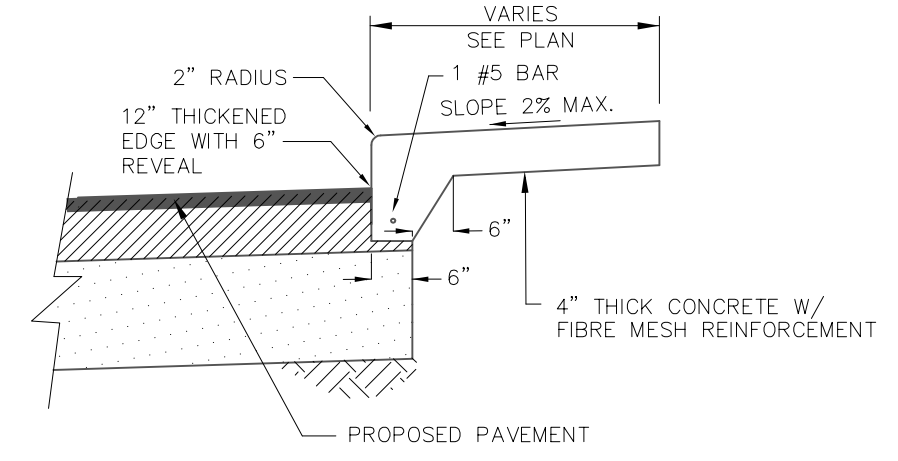
\* When used on high side of roadways, the cross slope of the gutter shall match the cross slope of the adjacent pavement. The thickness of the lip shall be 6", unless otherwise shown on plans.

CONCRETE:  
3000 PSI @ 28 DAYS

CONCRETE CURB  
N.T.S.



PAVEMENT FLUSH W/ WALK  
N.T.S.

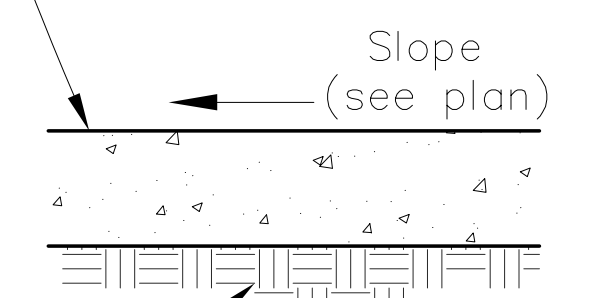


PAVEMENT @ WALK W/ 6\" REVEAL  
N.T.S.

- One (1) Course of 1 1/2" Thickness Type S-1 Asphaltic concrete (compacted thickness) Meeting the Requirements of SCTP-331
- 7" shell base compacted to 98% of max. density AASHTO T-180 (Modified) Min. LBR 100, Meeting the Requirements of SCTP-250  
Alternate: 7" Thickness Graded Aggregate – Crushed Concrete, Min LBR 100. Meeting the Requirements of SCTP-204
- 8" Compacted subgrade 98% of max. density AASHTO T-180 Min. LBR 40, Type B Stabilizing Meeting the Requirements of SCTP-160

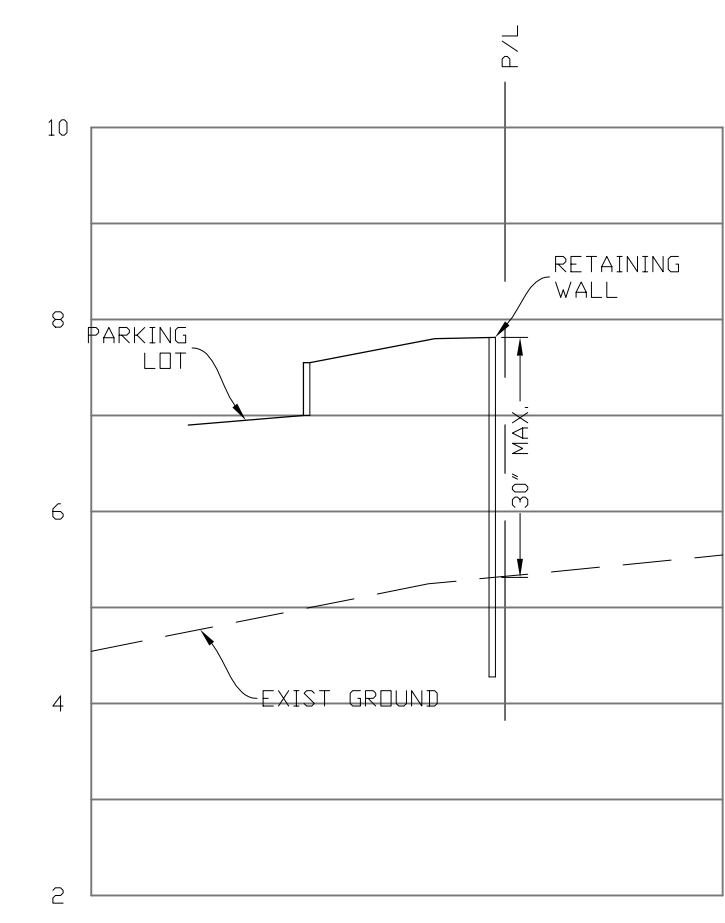
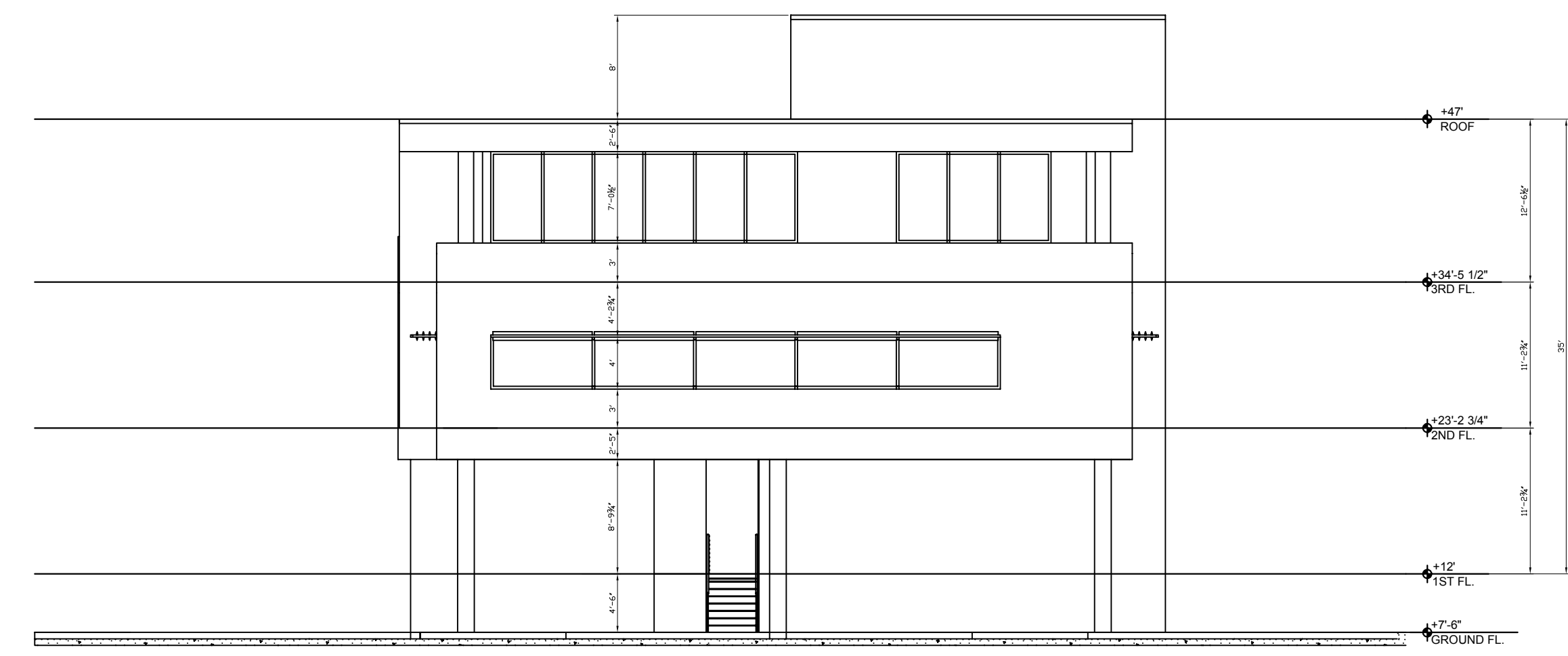
ASPHALT PAVEMENT SECTION

6" Thick Concrete Pavement w/  
Fiber Mesh Reinforcement  
Compressive Strength: 3,000 psi @ 28 days  
Saw Cut Contraction Joints @ 10' Max.  
Intervals Each Way  
Provide 1" Exp. Joints @ Buildings

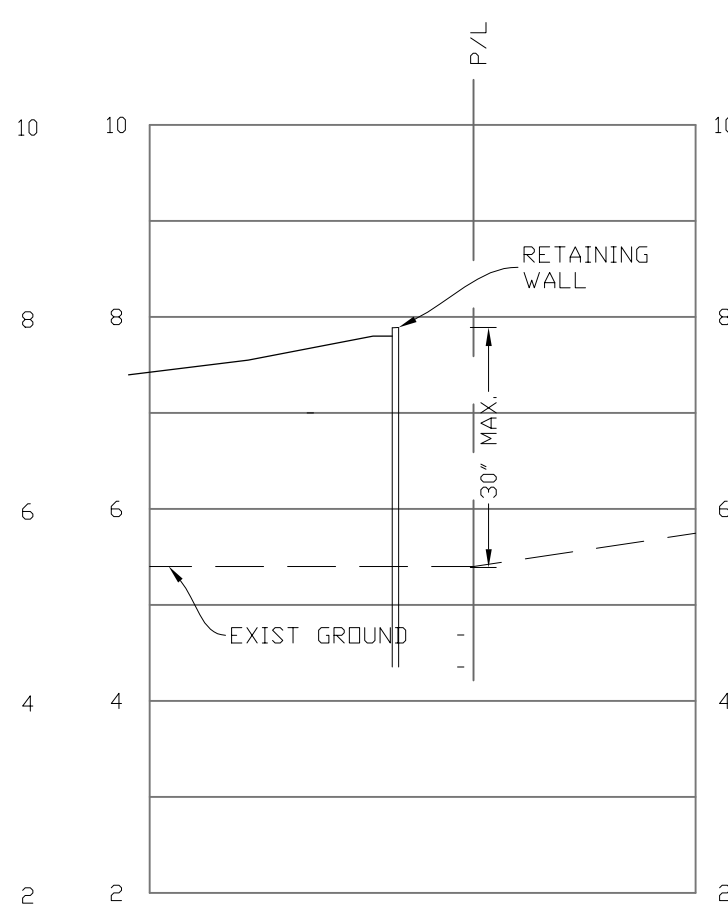


8" Thick Subgrade  
Compacted to 98% Max.  
Density, AASHTO T-180 Min.  
LBR 40, Type B Stabilizing.  
(Extend Under Integral Curb)

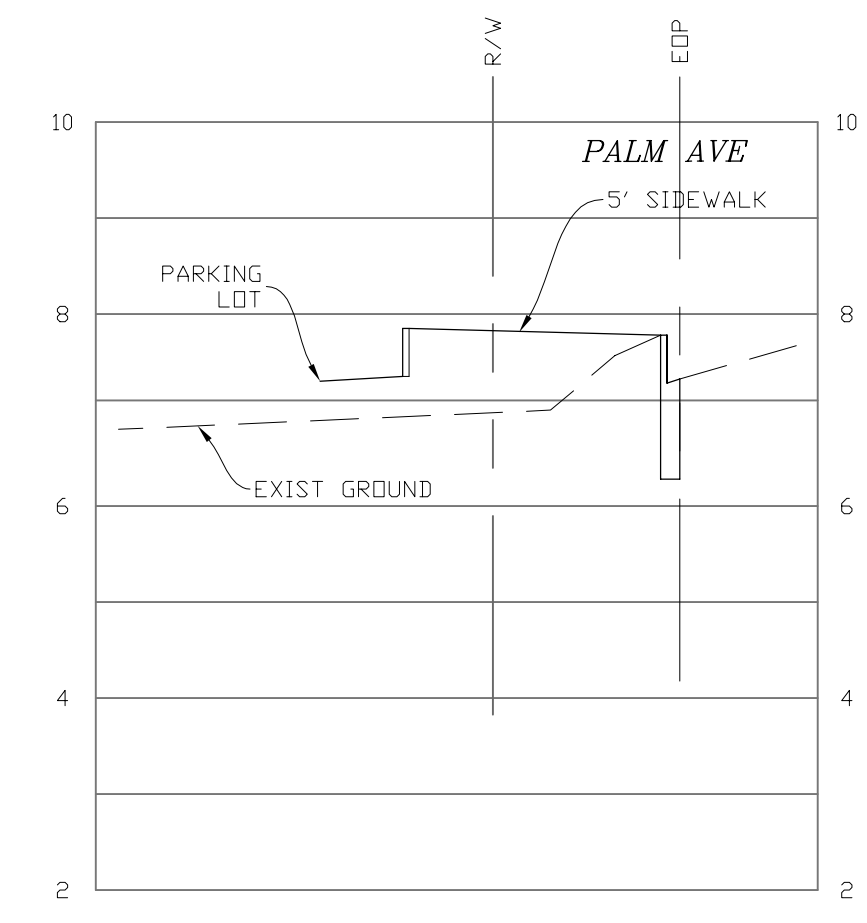
TYPICAL CONCRETE PAVEMENT SECTION  
NOT TO SCALE



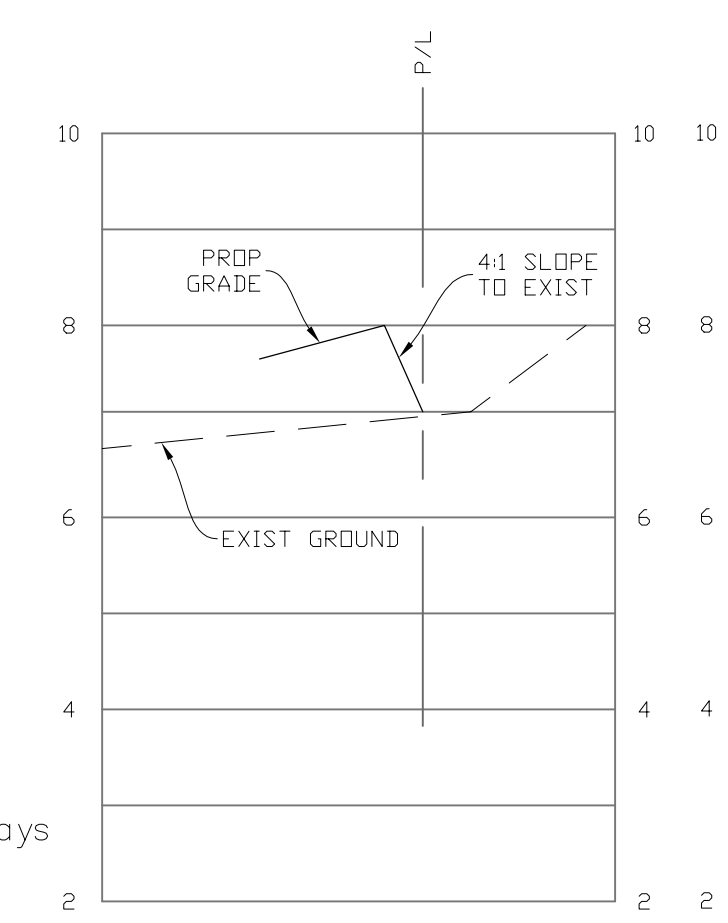
SECTION A-A  
SCALE: H 1"=20' V 1"=2'



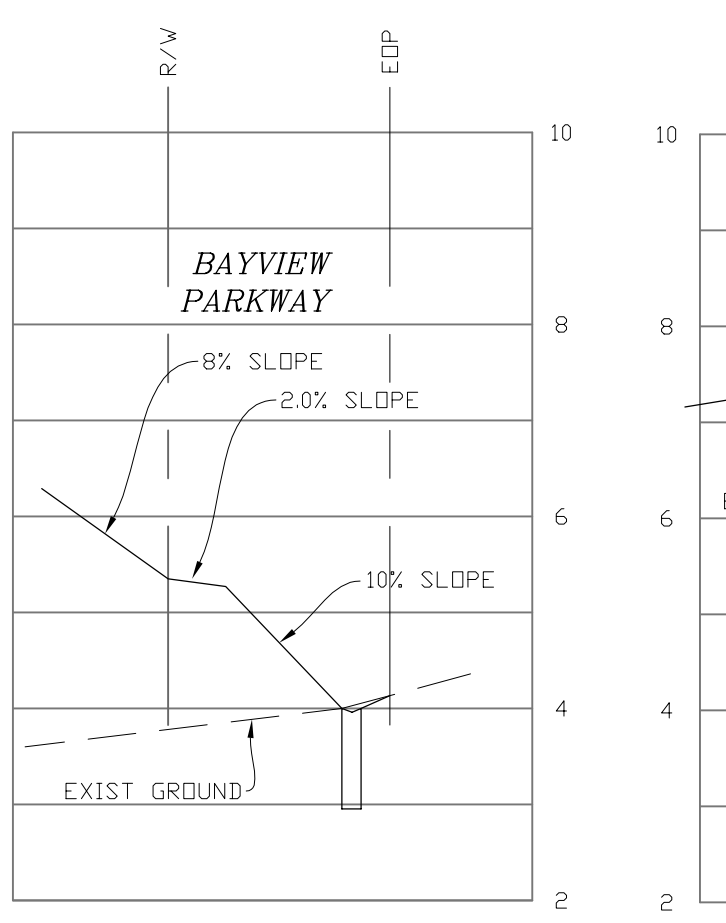
SECTION B-B  
SCALE: H 1"=20' V 1"=2'



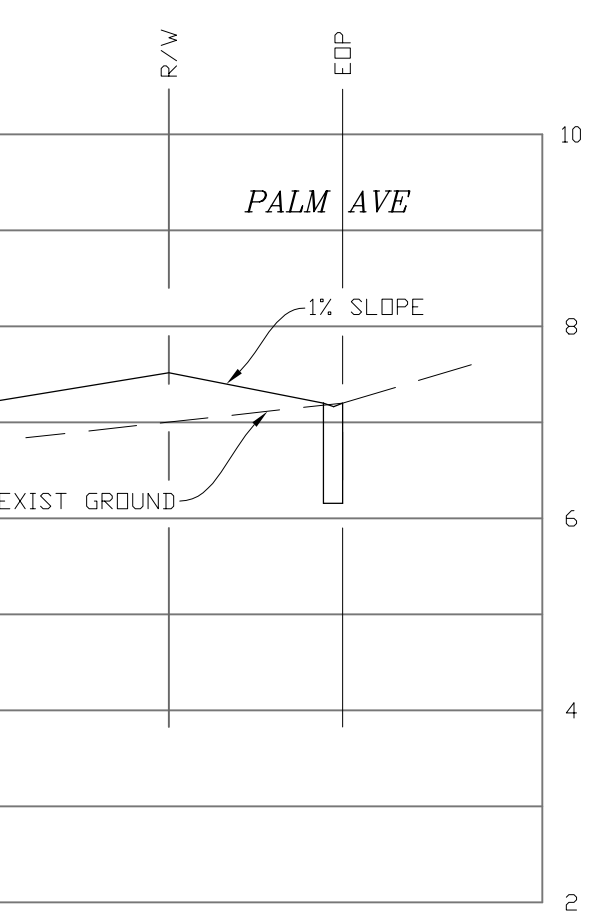
SECTION C-C  
SCALE: H 1"=20' V 1"=2'



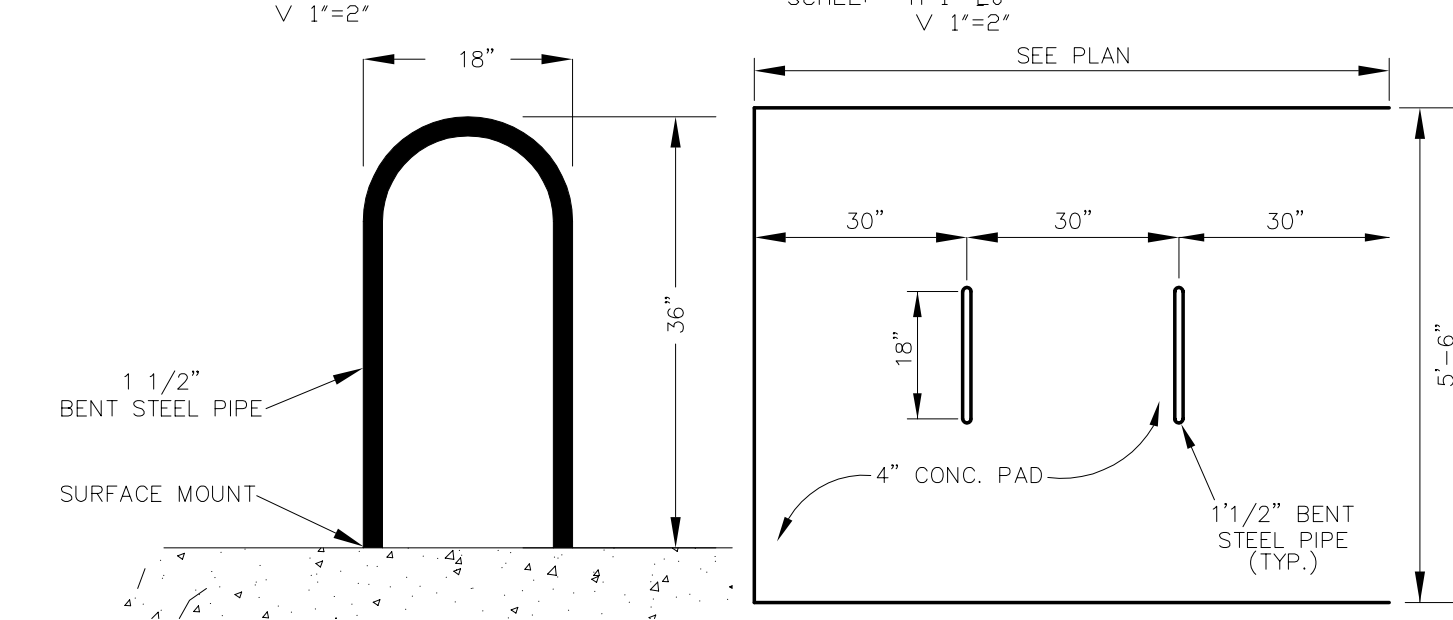
SECTION D-D  
SCALE: H 1"=20' V 1"=2'



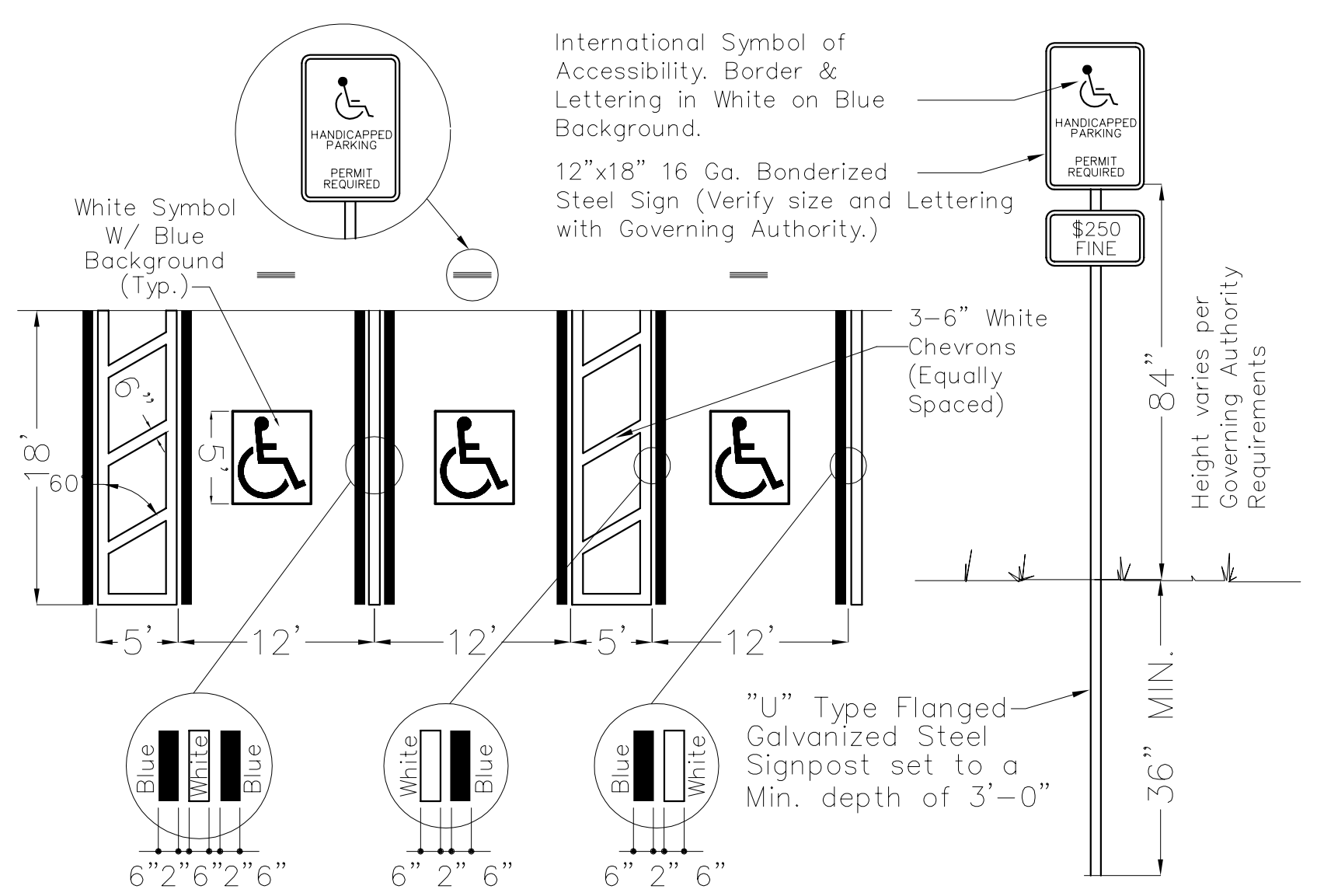
SECTION E-E  
SCALE: H 1"=20' V 1"=2'



SECTION F-F  
SCALE: H 1"=20' V 1"=2'



"INVERTED U"  
BICYCLE RACK DETAIL  
N.T.S.



Each such parking space shall be conspicuously outlined in blue paint, and shall be posted and maintained with a permanent, above grade sign bearing the international symbol of accessibility or the caption "PARKING BY DISABLED PERMIT ONLY," or bearing both such symbol and caption. Such signs shall not be obscured by a vehicle parked in the space. All handicapped parking spaces must be signed and marked in accordance with the standards adopted by the Dept. of Transportation.

TYPICAL HANDICAP SPACE DETAIL  
Not To Scale

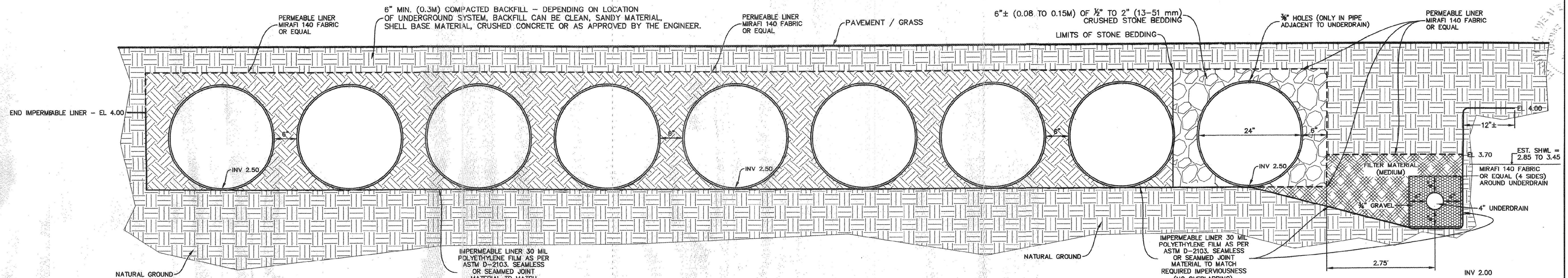
**WEBER ENGINEERING & SURVEYING, INC.**  
4596 Ashton Road - Sarasota, Florida 34233  
Telephone: (941) 921-3914 ~ Fax: (941) 924-3094  
www.weberengineering.com  
Surveying and Mapping License No. 4610  
Engineering Business Authorization No. EB 4010

**MISCELLANEOUS DETAILS**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMiami TRAIL**  
SECTION 1 TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 10899  
Date: \_\_\_\_\_

Revisions	Description	Revised Per	County Comments
4/6/23			
Job #	2022113		
Dwg #	D-17346		
Date:	8/31/2022		
Drawn by:	JSB		
Checked by:			





**SPECIFICATION FOR SPIRAL RIB ALUMINIZED TYPE 2 STEEL / CORRUGATED ALUMINIZED STEEL PIPE 3\"/>**

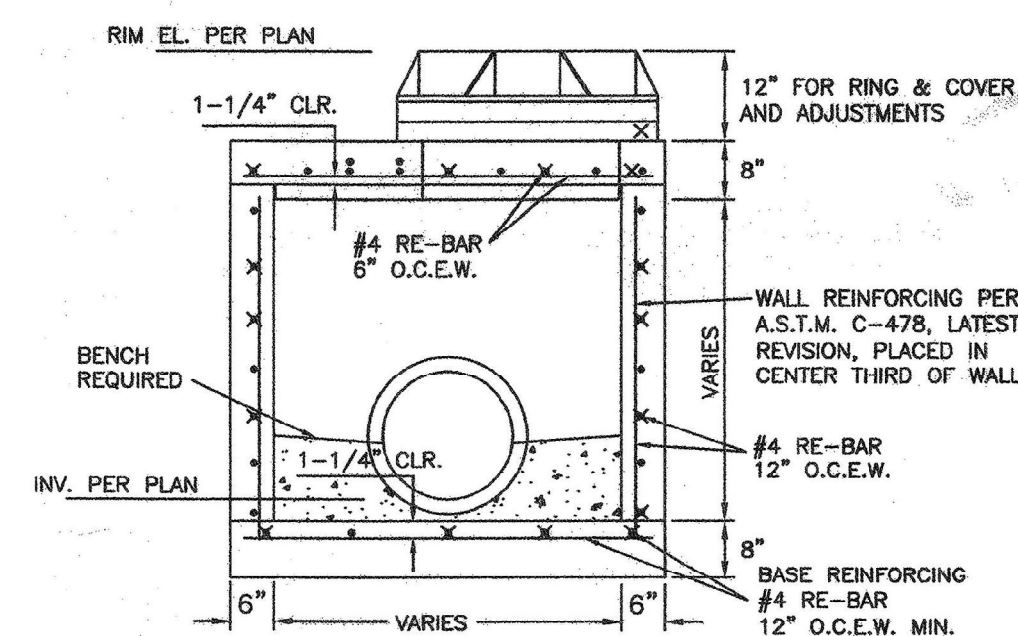
- SCOPE: THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN PROJECT PLANS.
- MATERIAL: THE ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 274 OR ASTM A 929.
- PIPE: THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M-38 OR ASTM A780. THE PIPE SIZES, GAUGES AND CORRUGATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS. ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.
- HANDLING AND ASSEMBLY: SHALL BE IN ACCORDANCE WITH NCSA'S (NATIONAL CORRUGATED STEEL PIPE ASSOCIATION) RECOMMENDATIONS.
- INSTALLATION: SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A 798 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE PROJECT ENGINEER. IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
- CONSTRUCTION LOADS: CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NCSA GUIDELINES.

**NOTES:**

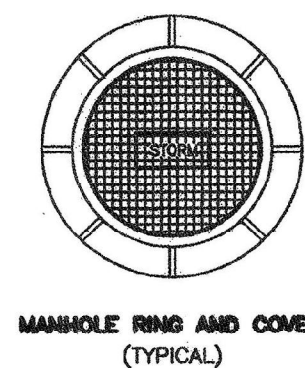
- THE FILTER MATERIAL SHALL BE SILICA SAND COMPRISED ONLY OF NATURALLY OCCURRING, UNCOATED GRAINS OF QUARTZ WITH GRAIN SIZE MEETING THE REQUIREMENTS OF APPENDIX C10 OF THE LDR
- WASHED MATERIAL MEETING FDOT ROAD AND BRIDGE SPECIFICATIONS FOR SILICA SAND AND QUARTZ GRAVELS, OR MIXTURES THEREOF (LESS THAN 1 PERCENT SILT, CLAY AND ORGANIC MATTER), UNLESS FILTER CLOTH IS USED WHICH IS SUITABLE TO RETAIN THE SILT, CLAY AND ORGANIC MATTER WITHIN THE FILTER; CALCIUM CARBONATE AGGREGATE IS NOT AN ACCEPTABLE SUBSTITUTE.
- EFFECTIVE GRAIN SIZE: .2mm - .5mm UNIFORMITY COEFFICIENT OF 1.5 OR GREATER  $K = \frac{W_{20}}{W_{60}}$  (F.A.C. 17-25)
- THE CONTRACTOR SHALL SUPPLY TO THE ENGINEER OF RECORD A CONDUCTIVITY ANALYSIS OF THE FILTER MATERIAL DELIVERED TO THE SITE PRIOR TO THE CONSTRUCTION OF THE UNDERDRAIN. THE ANALYSIS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER.

**UNDERGROUND RETENTION  
TYPICAL CROSS SECTION**  
SCALE: 1" = 1'

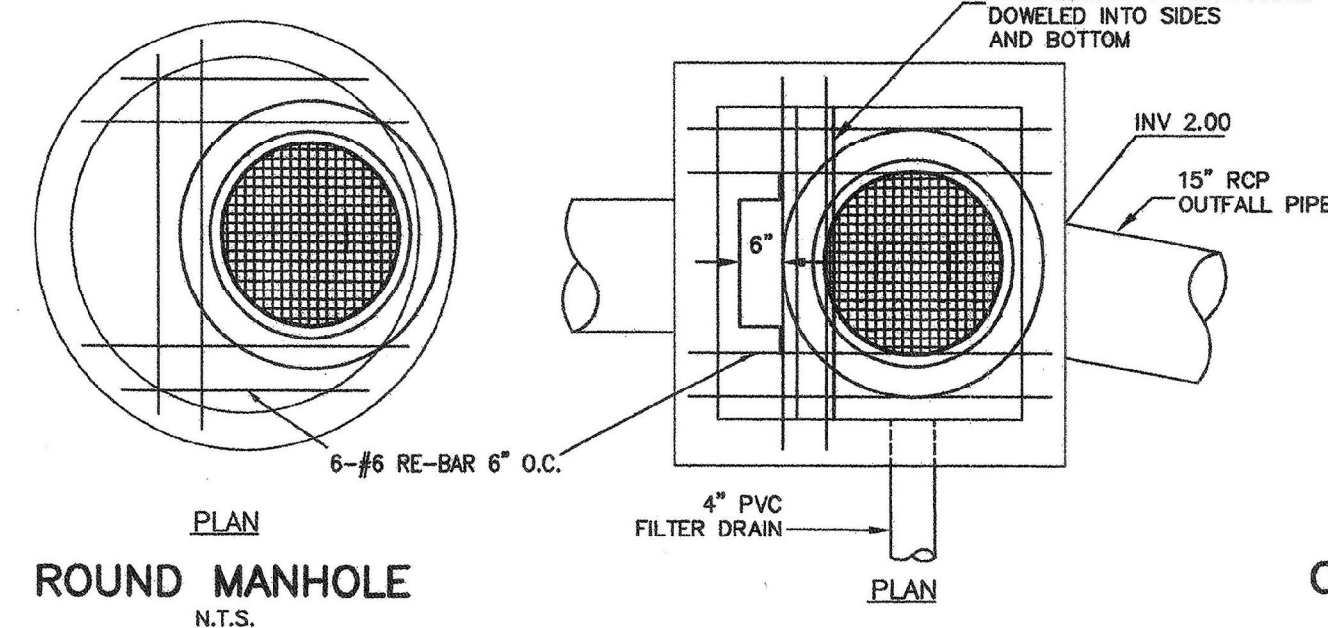
**UNDERDRAIN DETAIL**  
SCALE: 1" = 1'



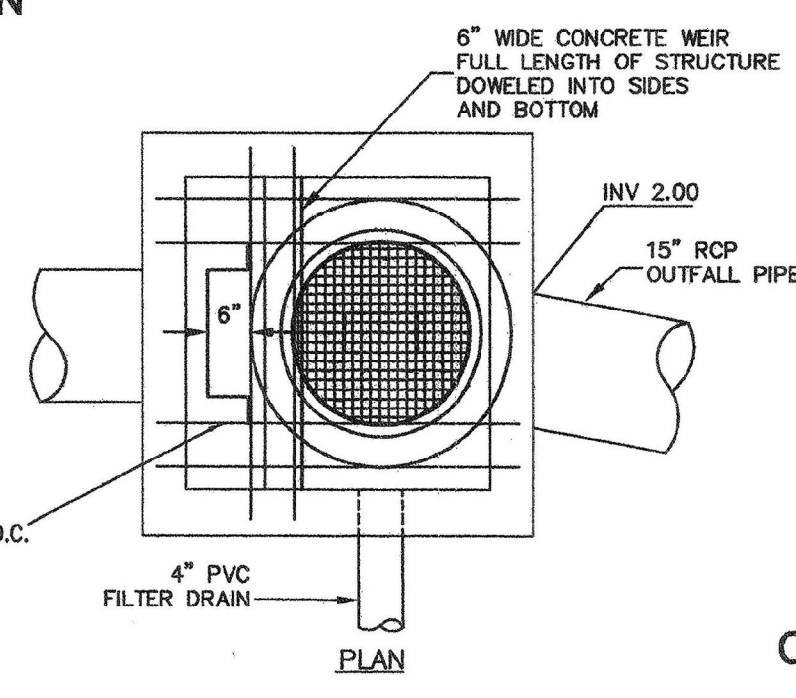
**SECTION  
N.T.S.**



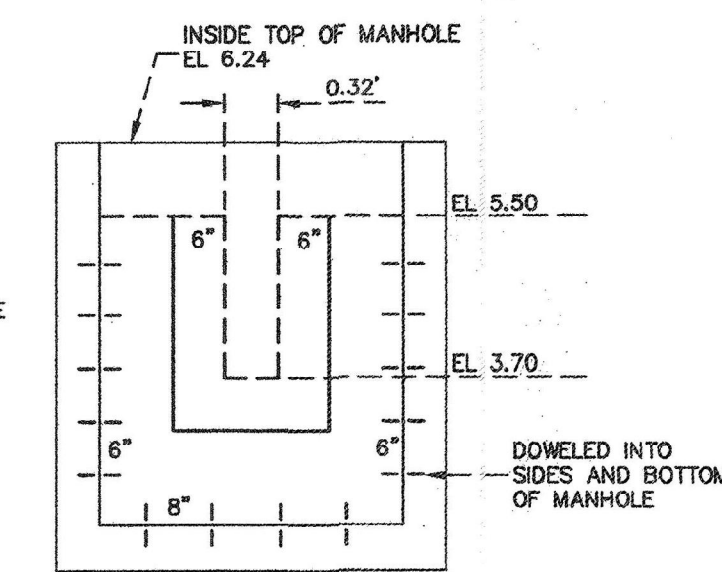
**MANHOLE RING AND COVER  
(TYPICAL)**



**ROUND MANHOLE  
N.T.S.**



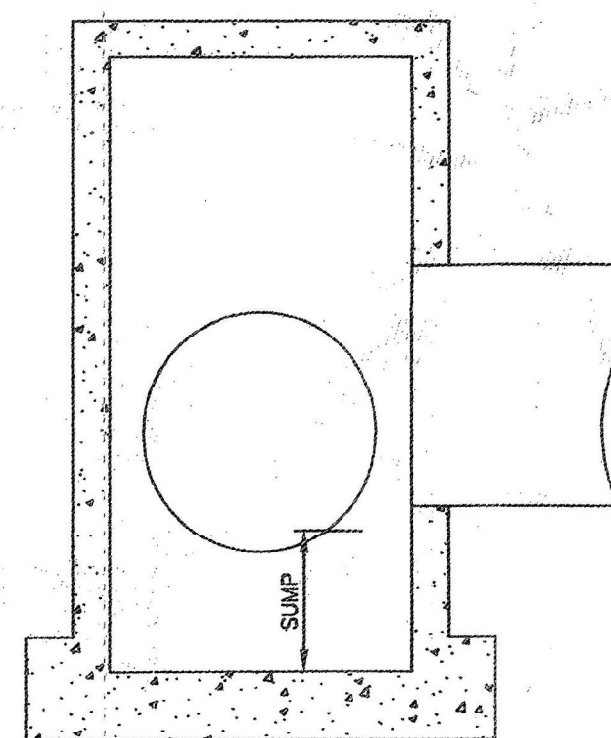
**SQUARE MANHOLE  
N.T.S.**



**CROSS SECTION AT WEIR  
N.T.S.**

- NOTES:**
1. MANUFACTURED PER FDOT INDEX 200, SUPPLEMENTAL INDEX 201.
  2. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 P.S.I. @ 28 DAYS.
  3. ALL EXPOSED EDGES SHALL BE CHAMFERED.
  4. ALL REINFORCING HAS A MINIMUM 2\"/>

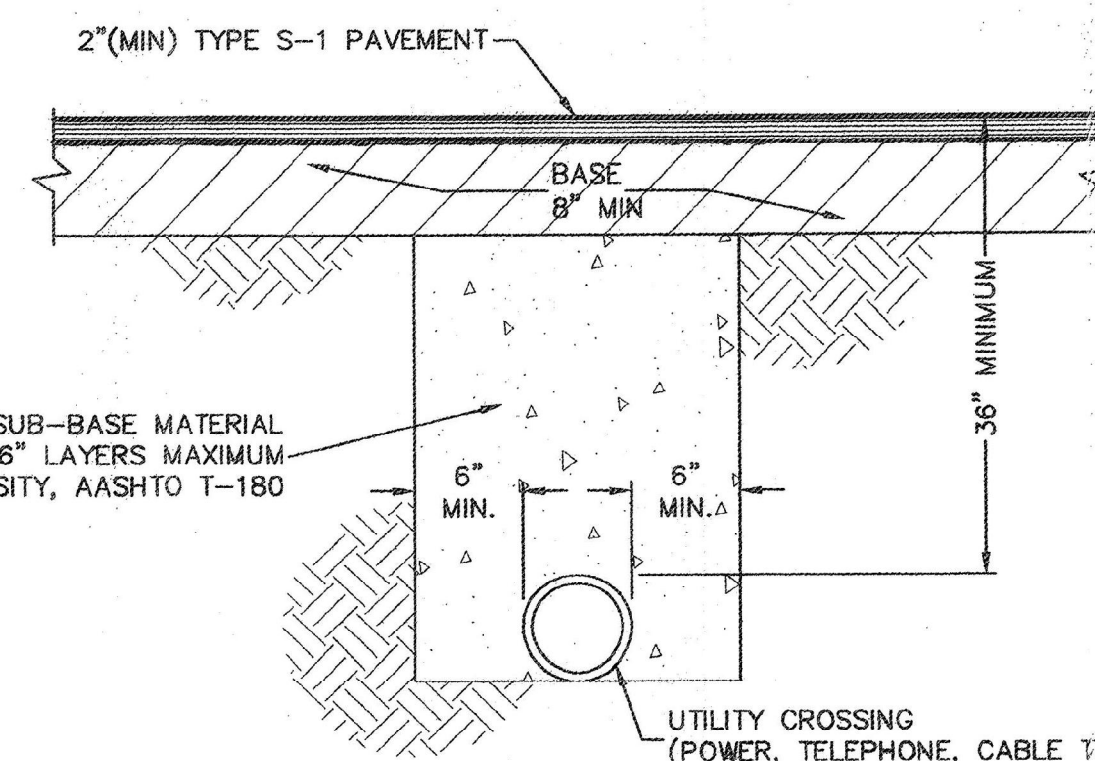
**STORM MANHOLE DETAIL  
CONTROL STRUCTURE**



**ACCESS MANHOLE**  
SCALE: N.T.S.

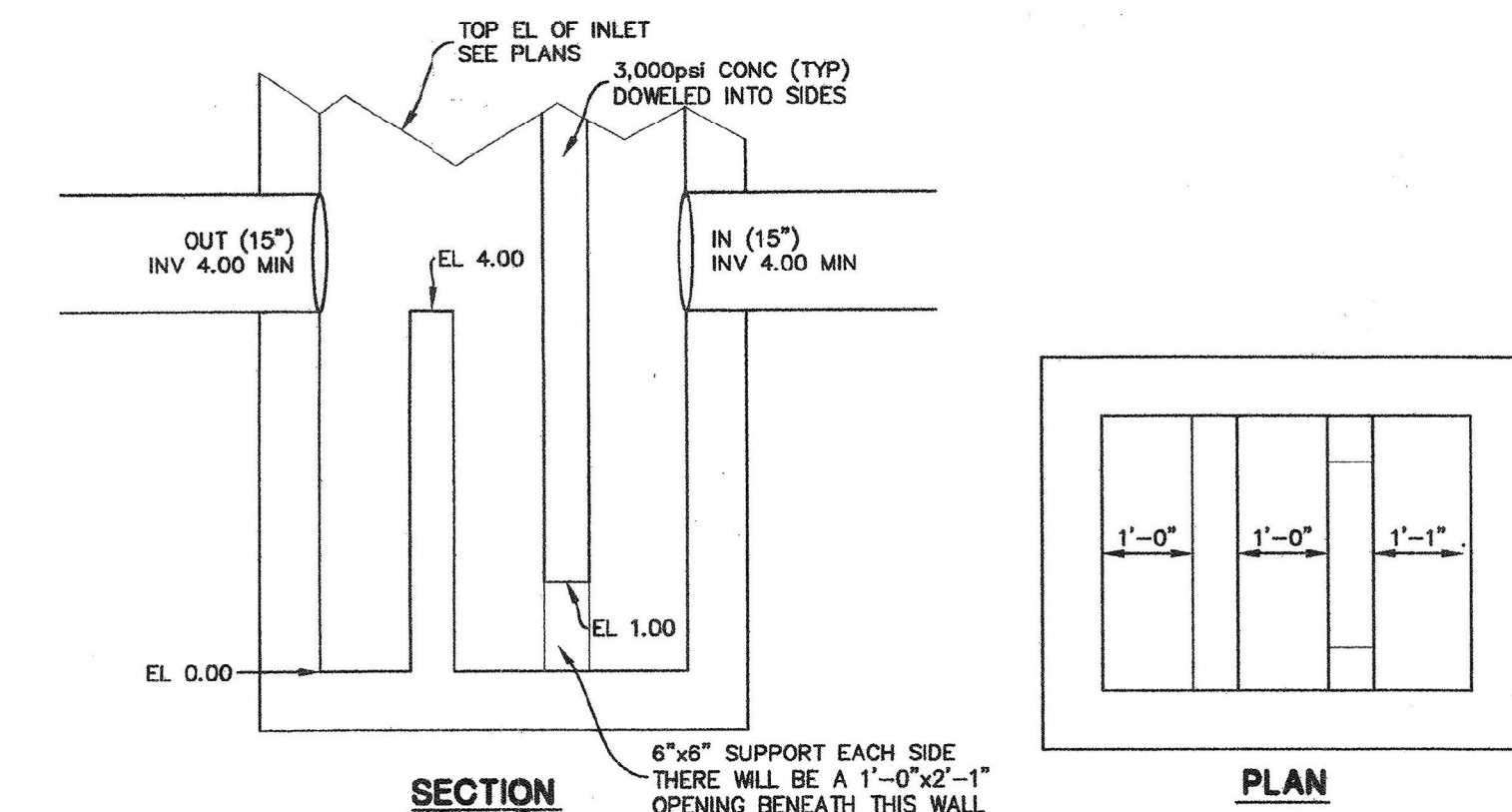
**INSPECTION AND MAINTENANCE PLAN:**

1. EVERY SIX MONTHS, LOOK INSIDE THE MANHOLE(S) AND CATCH BASINS TO DETERMINE IF ANY SEDIMENTATION HAS ACCUMULATED.
2. SKIM OFF OILS AND FLOATABLES
3. USING A MEASURING ROD, MEASURE THE DEPTH OF THE SEDIMENT. IF GREATER THAN 6 INCHES, VACUUM OR MANUALLY REMOVE SEDIMENT. DISPOSE IN AN APPROVED LAND FILL.
4. SHOULD THE PIPES REQUIRE CLEANING DUE TO DEPOSITS OR SEDIMENT USE A COMBINATION JET VAC / VACUUM CLEANING VEHICLE.

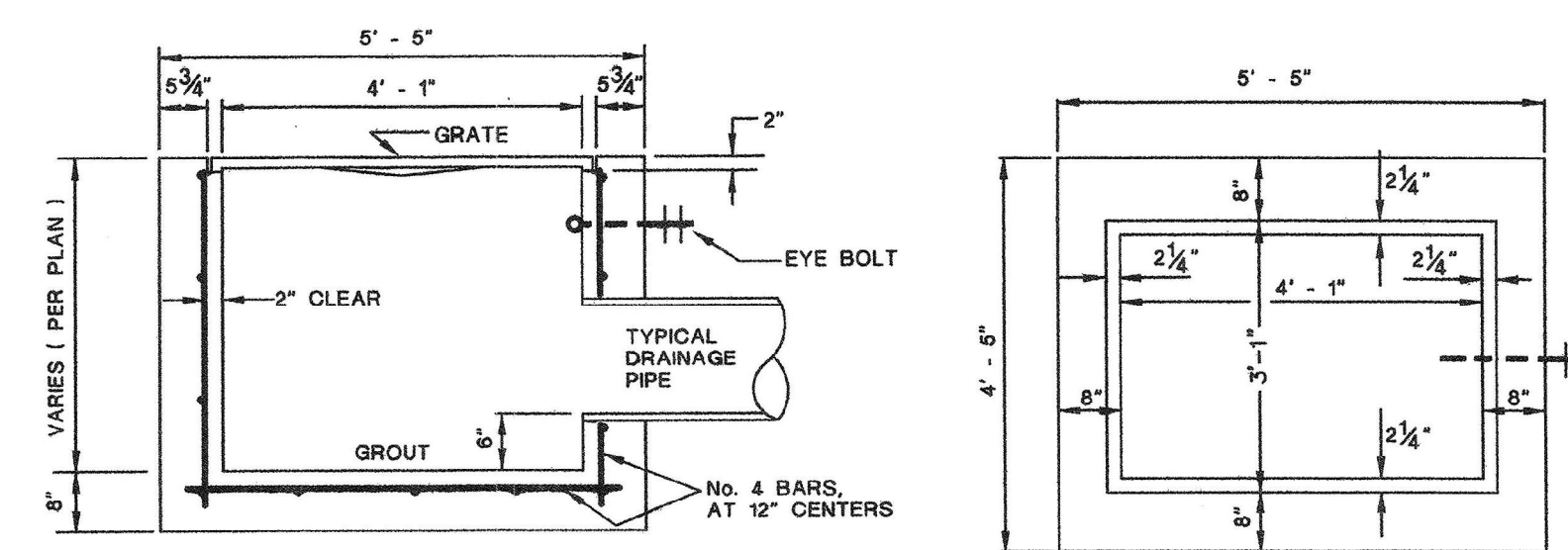


**UTILITY CROSSING DETAIL  
N.T.S.**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH SARASOTA COUNTY DETAILS



**FDOT TYPE \"D\" SEDIMENT INLET**  
SCALE: 1\"/>



**SECTION**

**PLAN**

1. INSTALL CONSTRUCTION FABRIC UNDER EACH GRATE IN ALL INLETS TO PREVENT SAND AND DEBRIS FROM ENTERING SYSTEM.
2. CONCRETE TO BE 4000 PSI AT 28 DAYS
3. INSTALL MORTAR BENCH TO INVERT.
4. INVERT SHALL BE POLURED TO FIT PIPE(S).

**FDOT TYPE \"D\" INLET  
N.T.S.**

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Sarasota, FL 34233  
Engineering Business Authorization No. EB-0019

**MISCELLANEOUS DETAILS**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMiami TRAIL**  
SECTION 1 TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

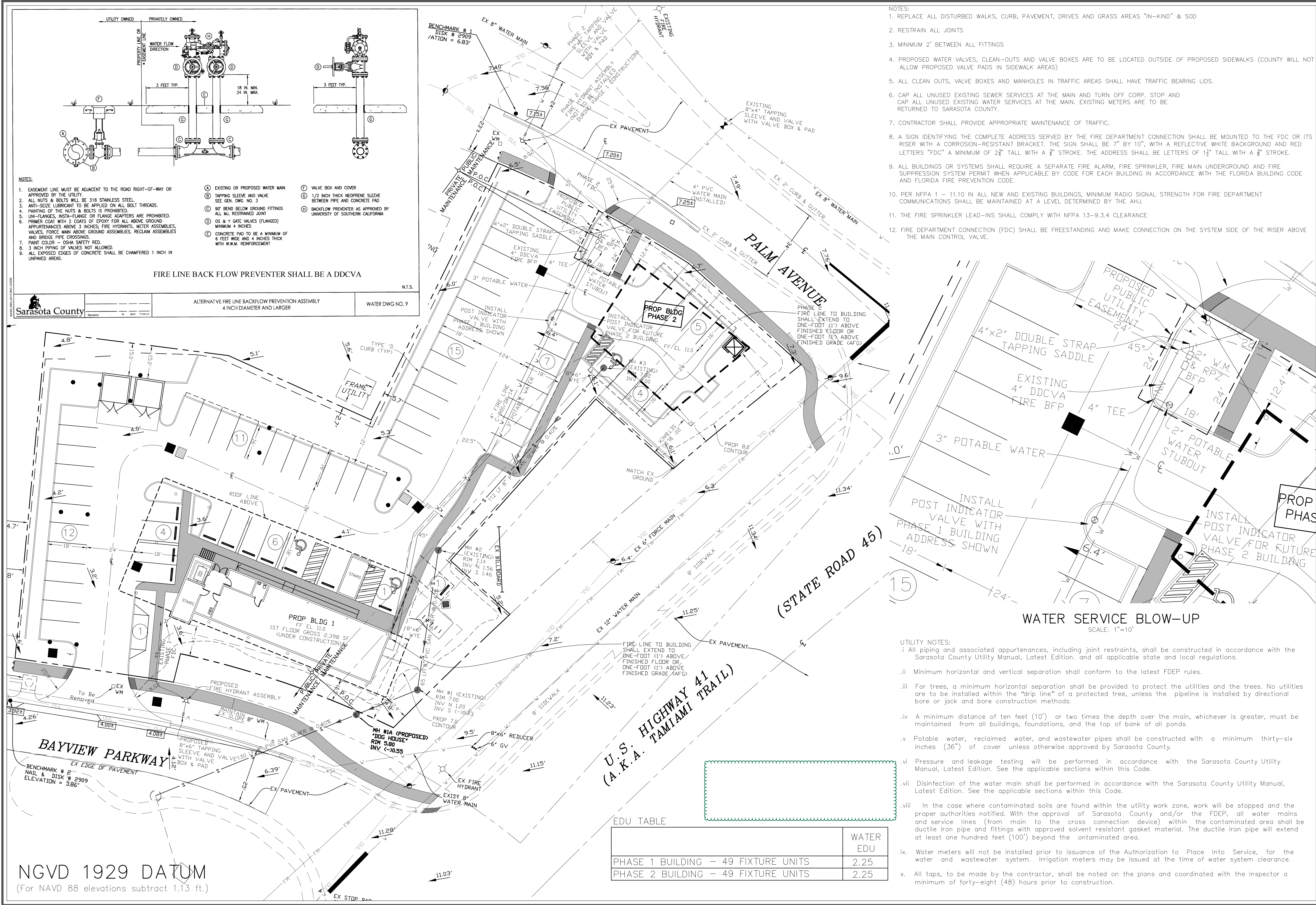
LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 30899  
Date:

Revisions:	Description	Revised Per	Comments
Date:	4/6/23		
Job #	2022113		
Dwg #	D-17346		
Date:	8/31/2022		
Drawn by:	JSS		
Checked by:			

7

11





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**UTILITY PLAN**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMAMI TRAIL**  
SECTION 1 TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 10899  
Date:

**WATER SERVICE BLOW-UP**  
SCALE: 1"=10'

0 10' 20'

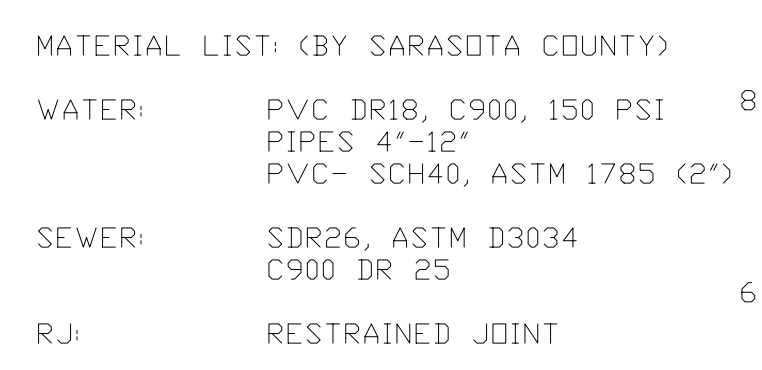
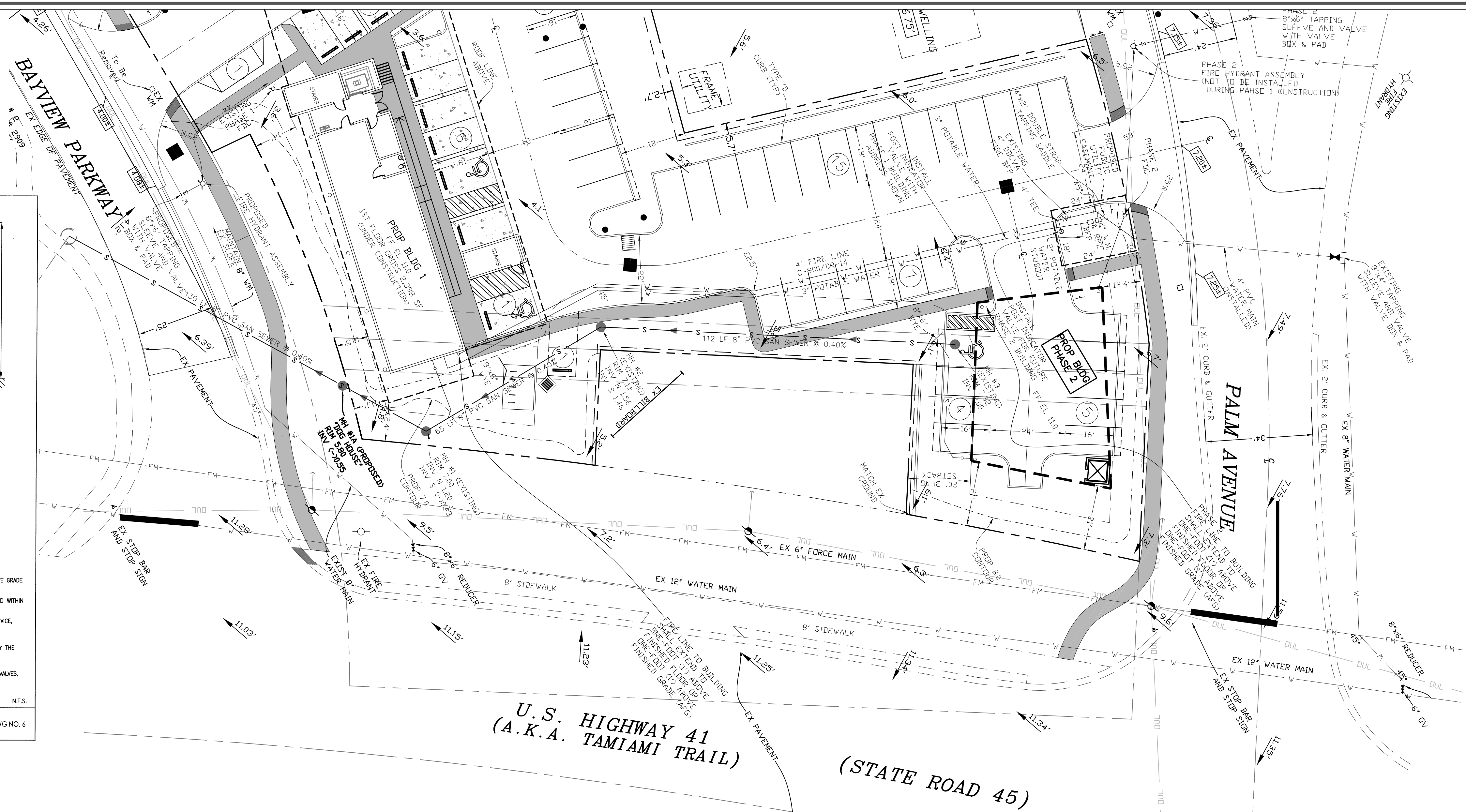
Scale: 1"=20' (Full Size)  
Scale: 1"=30' (Half Size)

Revisions:  
Date Description  
4/6/23 Revised Per County Comments  
8/6/24 Revised Per County Comments

Job # 2022113  
Dwg # D-17346  
Date: 8/31/2022  
Drawn by: JSS  
Checked by:

8  
11



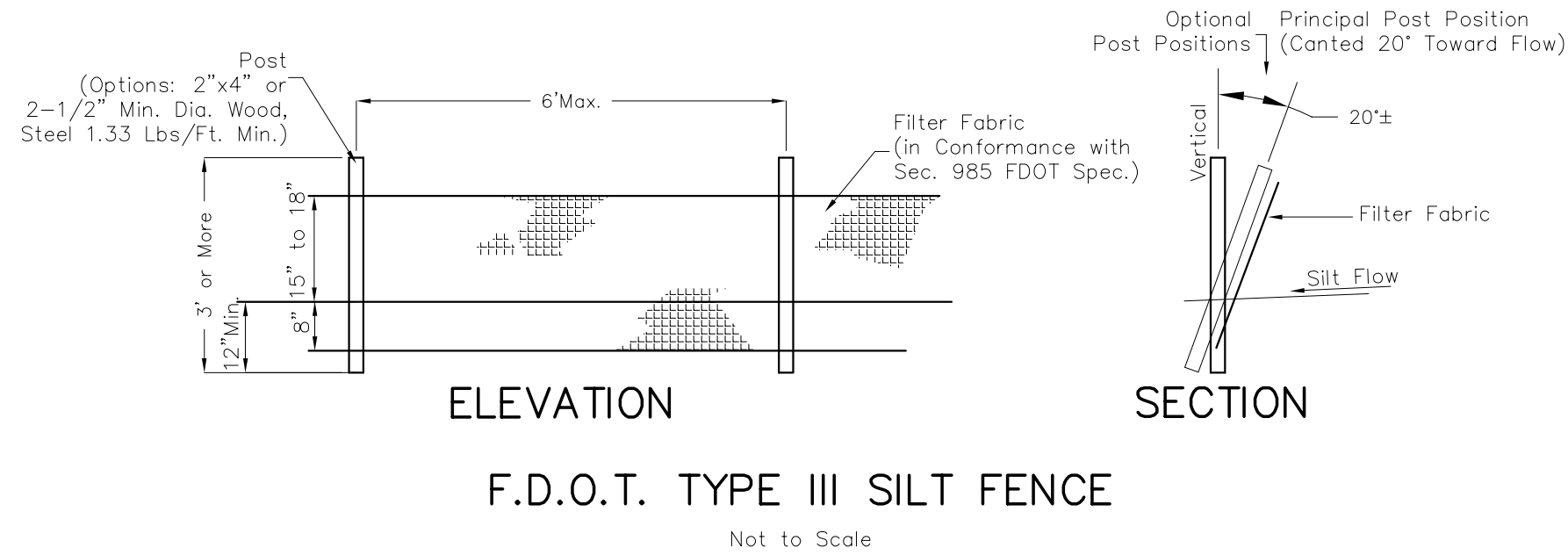
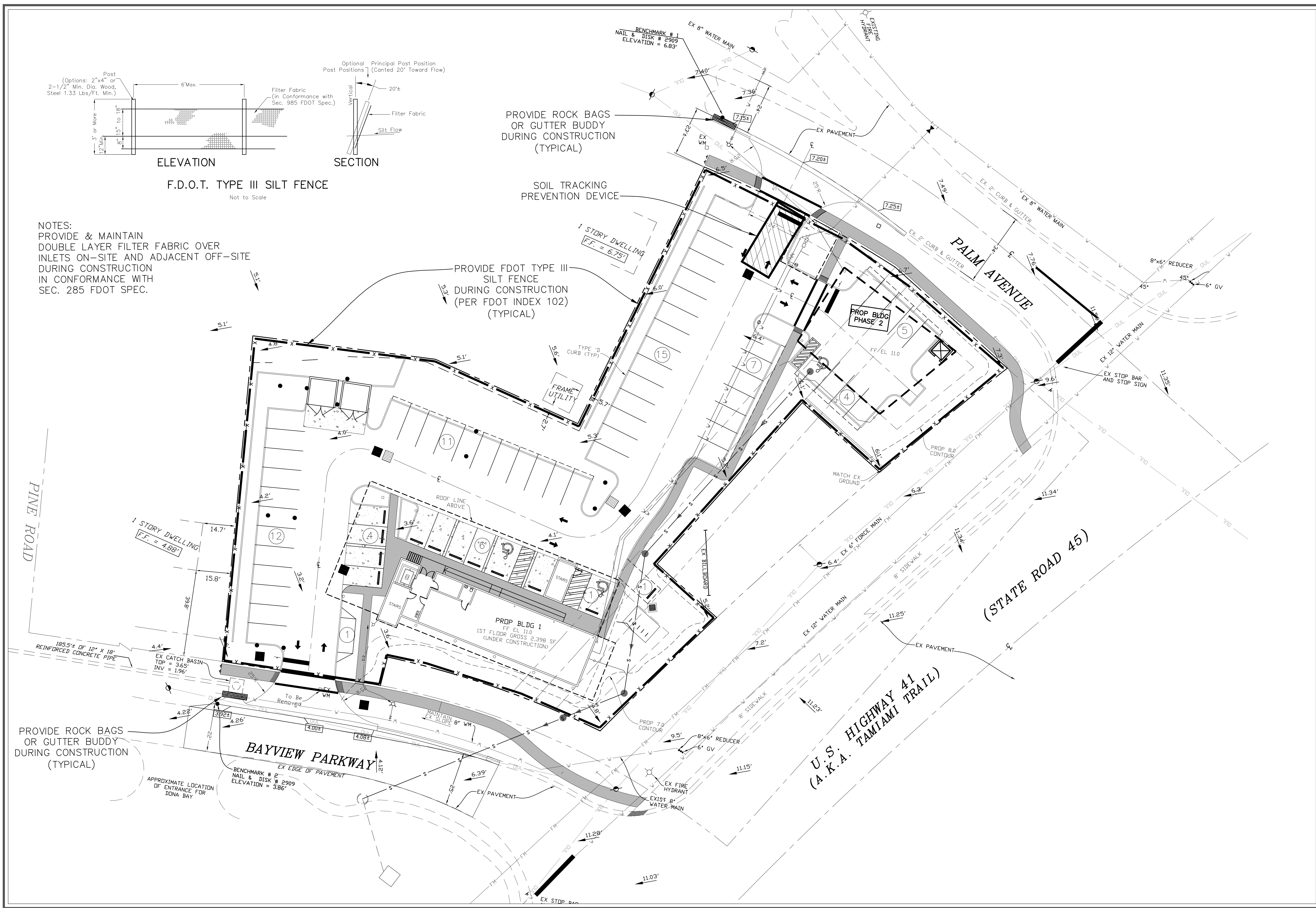


9
11









NOTES:  
PROVIDE & MAINTAIN  
DOUBLE LAYER FILTER FABRIC OVER  
INLETS ON-SITE AND ADJACENT OFF-SITE  
DURING CONSTRUCTION  
IN CONFORMANCE WITH  
SEC. 285 FDOT SPEC.

PROVIDE ROCK BAGS  
OR GUTTER BUDDY  
DURING CONSTRUCTION  
(TYPICAL)

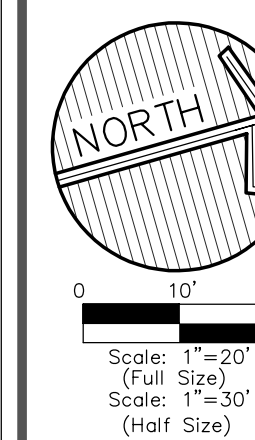
SOIL TRACKING  
PREVENTION DEVICE

PROVIDE FDOT TYPE III  
SILT FENCE  
DURING CONSTRUCTION  
(PER FDOT INDEX 102)  
(TYPICAL)

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**EROSION CONTROL PLAN**  
**NOKOMIS OFFICE PARK**  
**498 SOUTH TAMAMI TRAIL**  
SECTION 1, TOWNSHIP 39 SOUTH, RANGE 18 EAST  
Sarasota County, Florida

LAWRENCE R. WEBER  
FLORIDA LICENSE NO. PE 10899  
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11

11