

GENERAL INFORMATION

NAME OF DEVELOPMENT : SAWGRASS EAST

DRAWINGS FOR: MIXED OCCUPANCY WAREHOUSE BUILDING
LOCATION OF DEVELOPMENT: CORAL SPRINGS, FLORIDA
PERMITTING AGENCY: CORAL SPRINGS, FLORIDA

PROJECT SPECIFIC CODE SUMMARY

1. PRIMARY OCCUPANCY : CLASSIFICATION STORAGE - GROUP S-1
2. SECONDARY OCCUPANCY : CLASSIFICATION BUSINESS - GROUP B
3. TYPE OF CONSTRUCTION : TYPE II - B, UNSPRINKLERED
4. BUILDING AREA : 16,240 SF

REFERENCE CODES

ALL BUILDING CONSTRUCTION DESCRIBED WITHIN THESE DRAWINGS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST BROWARD COUNTY AMENDMENTS AND CORAL SPRINGS CODES AND ORDINANCES WHICH INCLUDE ALL APPENDICES AND AMENDMENTS TO THE FOLLOWING CODES:

FBC, FLORIDA BUILDING CODE: BUILDING - 7TH EDITION (2020)
FPC, FLORIDA BUILDING CODE: PLUMBING - 7TH EDITION (2020)
FMC, FLORIDA BUILDING CODE: MECHANICAL - 7TH EDITION (2020)
FFGC, FLORIDA BUILDING CODE: FUEL GAS - 7TH EDITION (2020)
N.F.P. 1
N.F.P.A. 101 LIFE SAFETY CODE
FLORIDA FIRE PREVENTION CODE 7TH ED. w/ Broward County amendments & Coral Springs municipal codes
FBCEC, FBC: ENERGY CONSERVATION - 7TH EDITION (2020)
FAC, FLORIDA BUILDING CODE: ACCESSIBILITY - 7TH EDITION (2020)
NEC, NATIONAL ELECTRICAL CODE - 2017

DEFERRED SUBMITTALS

PER FBC 107.3.4, IT IS REQUESTED THAT THE ITEMS LISTED BELOW ARE TO BE SUBMITTED POST PERMIT APPLICATION. DEFERRED ITEMS WILL BE SUBMITTED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SPECIFICATION SECTION	PRODUCT
075423	SINGLE PLY ROOFING
081113	HOLLOW METAL DOORS / FRAMES
084313	ALUMINUM STOREFRONT
081116	ALUMINUM ENTRANCE DOORS
055133	STEEL ACCESS LADDER
052000	STEEL JOISTS ENGINEERING
230000	AC CONDENSERS / STANDS

MATERIAL INDEX

	EARTH		WOOD ROUGH
	GRAVEL		WOOD FINISH
	LT. WT. CONCRETE		GYPSUM BOARD SMALL SCALE
	CONCRETE		RIGID INSULATION
	CONCRETE BLOCK		BATT INSULATION
	BRICK		GLASS SMALL SCALE
	METAL		VAPOR BARRIER
	PLYWOOD SMALL SCALE		
	PLYWOOD LARGE SCALE		

SYMBOL INDEX

	PROPERTY LINE		DOOR NO.
	FINISH CONTOUR		WINDOW NO.
	EXISTING CONTOUR		WALL TYPE
	TOP OF CURB		ROOM TITLE
	TOP OF PARAPET		ROOM NO.
	TOP OF WALL		FIR/WALL/CLG FIN
	FINISHING ELEVATION		CEILING HT
	EXISTING ELEVATION		
	ELEVATION TARGET		
	BUILDING SECTION NO. / DRWG NO.		
	WALL SECTION NO. / DRWG NO.		
	DETAIL NO. / DRWG NO.		

WAREHOUSE / OFFICE BUILDING FOR:

SAWGRASS EAST BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

ARCHITECTURAL

MWA ARCHITECTURE. L.L.C.

1701 WEST HILLSBORO BLVD.
SUITE 308
DEERFIELD BEACH, FLORIDA 33442
(561) 750-4111

STRUCTURAL

C & A ENGINEERS, INC.

9240 SW 72 STREET
SUITE 100
MIAMI, FLORIDA 33173
(786) 953-7599

M.E.P.

FRANYIE ENGINEERS, INC.

10610 N.W. 27 STREET
DORAL, FLORIDA 33172
(305) 592-1360

A-00 COVER SHEET
A-01 MASTER SITE PLAN
A-01.1 PARTIAL SITE PLAN
A-01.2 BUILDING DATA
A-02 BUILDING PLAN
A-03 TYPICAL BAY (OPTIONAL)
A-04 TYPICAL OFFICES
A-05 ROOF PLAN
A-06 ELEVATIONS
A-07 SECTIONS
A-08 SECTIONS
A-09 SECTIONS
A-10 DETAILS
A-10.1 DETAILS
A-11 SCHEDULES

S-1 STRUCTURAL FLOOR & FOUNDATION PLANS
S-2 ROOF FRAMING PLAN
S-3 STRUCTURAL WALL SECTIONS
S-4 STRUCTURAL WALL SECTIONS
S-5 STRUCTURAL NOTES, SCHEDULES & DETAILS

P1 PLUMBING SITE PLAN
P2 PLUMBING ROOF AND FLOOR PLANS
P3 TYPICAL PLUMBING PLAN ENLARGEMENTS
P4 PLUMBING ISOMETRICS

M1 MECHANICAL ROOF AND FLOOR PLANS
M2 MECHANICAL OFFICE PLAN ENLARGEMENTS
M3 MECHANICAL NOTES AND DETAILS

E1 ELECTRICAL SITE PLAN AND PHOTOMETRICS
E2 ELECTRICAL ROOF PLAN AND FLOOR PLAN
E3 POWER PLAN & LIGHTING PLAN
E4 ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES

ABBREVIATIONS

		ABBREVIATIONS											
& L @	And Angle at	C	E	E				P	S	U			
	Center line	CAB. Cabinet	E.A. East	E.E. Each				PD. Planter Drain	S. South	UNF. Unfinished			
	Diameter or Round	C.B. Catch Basin	E.E. Each End	E.F. Each Face	G			PRCST. Precast	S.C. Solid Core	U.O.N. Unless Otherwise Noted			
	Perpendicular	CEM. Cement	E.S. Each Side	E.W. Each Way	GA. Gauge	LAB. Laboratory		PL. Plate	S.C.D. Seat Cover Dispenser	UR. Urinal			
#	Round or Number	CTR. Center	E.J. Expansion Joint	EL. Elevation	GALV. Galvanized	LAM. Laminate		PLAM. Plastic Laminate	SCHED. Schedule				
(E)	Existing	CTRS. Centers	E.L. Elevation	ELC. Electrical	G.B. Grab Bar	LAV. Lavatory		PLAS. Plaster	S.D. Soap Dispenser	V			
		C / C Center to Center	ER. Ceramic	ELEV. Elevator	GL. Glass	LKR. Locker		PLYWD. Plywood	SECT. Section				
A		C.I. Cast Iron	ELEC. Electrical	ELEV. Elevator	GND. Ground	LT. Light		PR. Pair	SH. Shelf	VERT. Vertical			
		CLG. Ceiling	EMER. Emergency	ENCL. Enclosure	GR. Grade			PT. Point	SHR. Shower	VEST. Vestibule			
		CLKG. Caulking	EMER. Emergency	ENCL. Enclosure	GYR. Gypsum			PTD. Paper Towel Dispenser	SHT. Sheet				
A.B. Anchor Bolt (s)		CLD. Closet	ENCL. Enclosure	E.P. Electrical Panelboard	H			PTD/R. Combination Paper Towel Dispenser & Receptacle	SIM. Similar	W			
ABV. Above		CLR. Clear	EQ. Equal	E.P. Electrical Panelboard	H			PS.F. Pounds per Square Foot	SL. Slope				
A.C.I. American Concrete Institute		COL. Column	EQ. SP. Equal Space (s)(ing)	E.Q. Equipment	H.B. Hose Bibb	MAX. Maximum		PS.I. Pounds per Square Inch	S.N.D. Sanitary Napkin Dispenser	W. West			
ACOUS. Acoustical		CONC. Concrete	EQPT. Equipment	E.W.C. Electric Water Cooler	H.C. Hollow Core	MC. Medicine Cabinet		PTN. Partition	S.N.R. Sanitary Napkin Receptacle	W/ With			
A.D. Area Drain		C.M. Concrete Masonry	EXST. Existing	EXPO. Exposed	HDWD. Handwood	MECH. Mechanical		Q. Quarry Tile	SP. Space	W.C. Water Closet			
ADJ. Adjustable		C.M.U. Concrete Masonry Unit	EXP. Expansion	EXT. Exterior	HDWE. Hardware	MEMB. Membrane			SPEC. Specification	WD. Wood			
AGGR. Aggregate		CONN. Connection	EXP. Expansion		H.M. Hollow Metal	MET. Metal			SQ. Square	W.F. Wall Footing			
AL. Aluminum		CONSTR. Construction			HORIZ. Horizontal	MFR. Manufacturer			SST. Stainless Steel	W/O Without			
ALT. Alternate		C.J. Control Joint			HR. Hour	MH. Manhole			S.SK. Service Sink	WP. Waterproof			
APPROX. Approximate		CONT. Continuous			HGT. Height	MIN. Minimum			STA. Station	W.P. Working Point			
ARCH. Architect(ural)		CORR. Corridor			I	MIR. Mirror			STD. Standard	W.SCT. Wainscot			
ASB. Asbestos		CTSK. Countersunk				MISC. Miscellaneous			STL. Steel	WT. Weight			
ASPH. Asphalt		CNTR. Counter				M.O. Masonry Opening			STOR. Storage	W.W.F. Welded Wire Fabric			
						MTD. Mounted			STR. Strength				
						MUL. Mullion			STR.L. Structural				
									SUSP. Suspended				
									SYM. Symmetrical				
B		D											
		DBL. Double											
BLW. Below		DEPT. Department											
BD. Board		D.F. Drinking Fountain											
BITUM. Bituminous		DET. Detail											
BLDG. Building		DIA. Diameter											
BLK. Block		DIM. Dimension											
BLKG. Blocking		DISP. Dispenser											
BM. Beam		DN. Down											
BOT. Bottom		D.O. Door Opening											
BRG. Bearing		DWR. Door											
BRK. Brick		DS. Drawer											
B.S. Both Sides		D.SP. Dry Standpipe											
		DWG. Drawing											
		DWL. Dowel											

WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST
BUILDING 'F'

JOB #: 23040
SCALE: AS NOTED
DATE: 10.13.2023
BID DATE:

DRAWN BY: BB
CHECKED BY: RW
ARCHITECTURE
PLAN TYPE
SHEET NUMBER
A0.01

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THIS SET OF PLANS SHALL BE DISTRIBUTED AS COMPLETE SETS OF DRAWINGS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. WRITTEN FIGURES INDICATING DIMENSIONS SHALL TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.

MARK	DATE
1.9.24	permit comments

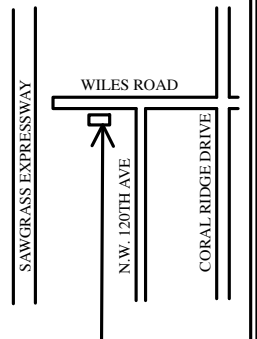
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MWA ARCHITECTURE, LLC
ARCHITECTURE / PLANNING

CONSULTANT

MIDTOWN CAPITAL PARTNERS, L.L.C.
175 SW 7TH ST
SUITE 2112
MIAMI, FL 33130

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL



GENERAL NOTES	
1. THESE DRAWINGS ARE THE PROPERTY OF MWA ARCHITECTURE L.L.C. AND SHALL NOT BE USED, REPRODUCED, OR ALTERED IN ANY WAY WITHOUT THE PRIOR EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. ANY CHANGES, DELETIONS OR ADDITIONS TO THESE DRAWINGS WITHOUT THE ARCHITECT'S CONSENT IS STRICTLY PROHIBITED.	19. ALL DEMOLITION SHALL BE COORDINATED WITH THE OWNER PRIOR TO PERFORMING THE WORK.
2. ANY AND ALL ITEMS REQUIRED TO FURNISH A COMPLETE CONSTRUCTION, BUT NOT SPECIFICALLY SHOWN OR SPECIFIED ON THE DRAWINGS SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE TO THE FLORIDA BUILDING CODE AND LOCAL ORDINANCES AND IN GOOD WORKSMANLIKE MANNER.	19. ALL NEW MATERIALS/EQUIPMENT SHALL HAVE U.L. (UNDERWRITER'S LABORATORY) APPROVED LABEL AS ACCEPTED BY LOCAL AUTHORITY.
3. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE WORK.	20. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE UTILITY COMPANIES TO ASSURE THAT IT COMPLIES WITH THEIR REQUIREMENTS.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING BUILDING UTILITIES OR WORK NOT SPECIFICALLY SHOWN OR SPECIFIED ON THESE DRAWINGS.	21. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL CODES HAVING JURISDICTION AND WITH ALL REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE USED.
5. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED BUILDING PERMITS, INSURANCES, LICENSES, TAXES, ETC. REQUIRED TO PERFORM THE WORK OUTLINED IN THE DRAWINGS.	22. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED OR DEVIATIONS FROM THE APPROVED PLANS REQUIRED BEFORE PROCEEDING WITH THE WORK INVOLVED. COMMENCEMENT OF THE WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS.
6. THE CONTRACTOR SHALL COORDINATE AND SUPERVISE ALL THE WORK PERFORMED BY HIS FORCES AND BY SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND VERIFICATION WITH OTHER TRADES TO ASSURE COMPLIANCE WITH THE APPROVED DRAWINGS.	23. IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS TO THE TRUE MEANING OF ANY PART OF THESE CONSTRUCTION DRAWINGS, BIDDER MUST REQUEST THE INFORMATION IN WRITING FROM THE ARCHITECT IMMEDIATELY.
7. THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PRIOR TO COMMENCING THE WORK.	24. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
8. THE CONTRACTOR SHALL COORDINATE ALL PARKING, STORAGE, TRASH REMOVAL, ETC. WITH THE OWNER OR BUILDING MANAGER.	25. ANY SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO FABRICATION OR PURCHASING.
9. ABBREVIATIONS NOTED IN THE DRAWINGS OR SPECIFICATIONS ARE THOSE COMMONLY USED. THE ARCHITECT WILL DEFINE ANY ABBREVIATION QUESTIONED UPON REQUEST.	26. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERING, BRACING, SHORING, FIRE PREVENTION AND OTHER EQUIPMENT NECESSARY TO PROTECT THE SAFETY AND SECURITY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.	27. ALL MATERIALS SHALL HAVE A MINIMUM CLASS "C" FLAME SPREAD RATINGS.
11. THE PLANS ARE NOT TO BE SCALED. THE PLANS AND DIAGRAMS SHOW RELATIVE LOCATIONS AND ACTUAL EXISTING LOCATIONS MAY VARY IN THE FIELD.	28. PROVIDE ONE TYPE ABC RATED FIRE EXTINGUISHER PER EVERY 3000 SQUARE FEET OR FRACTION THEREOF OF BUILDING AREA.
12. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING UTILITIES AS TO THEIR COMPLIANCE WITH THE SOUTH FLORIDA BUILDING CODE AND OTHER APPLICABLE CODES AND NOTIFY THE ARCHITECT OF ANY NON-CONFORMING ITEMS FOUND.	29. ALL WALLS SHALL RECEIVE ONE COAT OF PRIMER PRIOR TO RECEIVING TWO COATS OF INTERIOR OR EXTERIOR LATEX PAINT. COLOR AS SELECTED BY OWNER. (BENJAMIN MOORE.)
13. SECTIONS AND DETAILS SHOWN TYPICAL ON THE PLANS MAY NOT BE SPECIFICALLY NOTED AT EACH APPLICABLE LOCATION. HOWEVER, THESE DETAILS MAY BE APPLICABLE OR MAY BE REQUIRED IN MORE THAN ONE LOCATION.	30. CONTRACTOR SHALL COORDINATE WITH OWNER ALL NEW CABINETRY AND MILLWORK SHOWN ON DRAWINGS.
14. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ALL EQUIPMENT MANUALS AND WARRANTIES.	31. ALL NEW DRYWALL SHALL BE SMOOTH FINISH UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIALS AND LABOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER AND WILL AT HIS OWN COST REPAIR OR REPLACE ALL WORK OR DAMAGES CAUSED BY THE WORK WHICH BECOMES DEFECTIVE DURING THE TERM OF THE GUARANTEE. THE TERM OF THE GUARANTEE AND OTHER SPECIFIC REQUIREMENTS MAY BE MODIFIED OR EXTENDED BY THE OWNER/CONTRACTOR AGREEMENT	32. ALL DOOR AND WINDOW FRAMES SHALL BE CAULKED AROUND ENTIRE PERIMETER.
16. WHERE DISSIMILAR METALS COME IN CONTACT, THE CONTRACTOR SHALL PROVIDE PROPER INSULATION TO PREVENT GALVANIC OR ELECTROLYTIC ACTION AS WELL AS VIBRATION OR NOISE TRANSMISSION.	33. ALL NEW GLASS SHALL BE GREEN TINTED CAT II SAFETY GLASS ON ALUMINUM FRAMES, UNLESS OTHERWISE NOTED.
	34. PROVIDE 2 X 4 BLOCKING AT PERIMETER OF ALL DOOR AND WINDOW OPENINGS.
	35. ALL VINYL BASEBOARDS SHALL BE SET FLUSH WITH WALL.
	36. ALL PRE-MANUFACTURED ITEMS THAT ARE COMPONENTS OF THESE IMPROVEMENTS SHALL COMPLY WITH LOCAL PRODUCT CONTROL APPROVAL, IF APPLICABLE.
	37. INTERIOR IMPROVEMENTS SHALL COMPLY WITH FLORIDA BUILDING CODE.
	38. SITE CONTRACTOR SHALL VERIFY ALL EXISTING SUB-SOIL CONDITIONS AND SHALL FOLLOW SOILS REPORT BY SOILS ENGINEER.
	39. CONTRACTOR SHALL MATCH EXISTING FINISHES, DESIGN, & SITE CONDITIONS FOR BUILDING "F" IN ORDER TO MAINTAIN SAME FINISHES AS PHASE I .

BUILDING DATA	
OCCUPANCY	S1 (ORDINARY HAZARD) B (BUSINESS)
TYPE OF CONSTRUCTION	TYPE III (B) - UNSPRINKLERED
MAXIMUM HEIGHT ALLOWED	55'
ALLOWABLE NUMBER OF STORIES	2
BUILDING AREA	16,240 SQ. FT.
AREA ALLOWED (TABLE 503)	17,500 S.F.
FIRE RESISTANT REQUIREMENT- TABLE 601	
STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES)	0 HOUR
BEARING WALLS	
EXTERIOR (AS PER TABLE 602-10 x 20)	≤ 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR
CODES UNDER EFFECT	FLORIDA BUILDING CODE 2020 - 7TH EDITION FLORIDA FIRE PREVENTION CODE NFPA 101 2020 (SEVENTH EDITION)

HANDICAP ACCESSIBILITY NOTE	
THE DESIGN OF SPACES DEPICTED IN THESE DRAWINGS COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 - 7TH EDITION.	

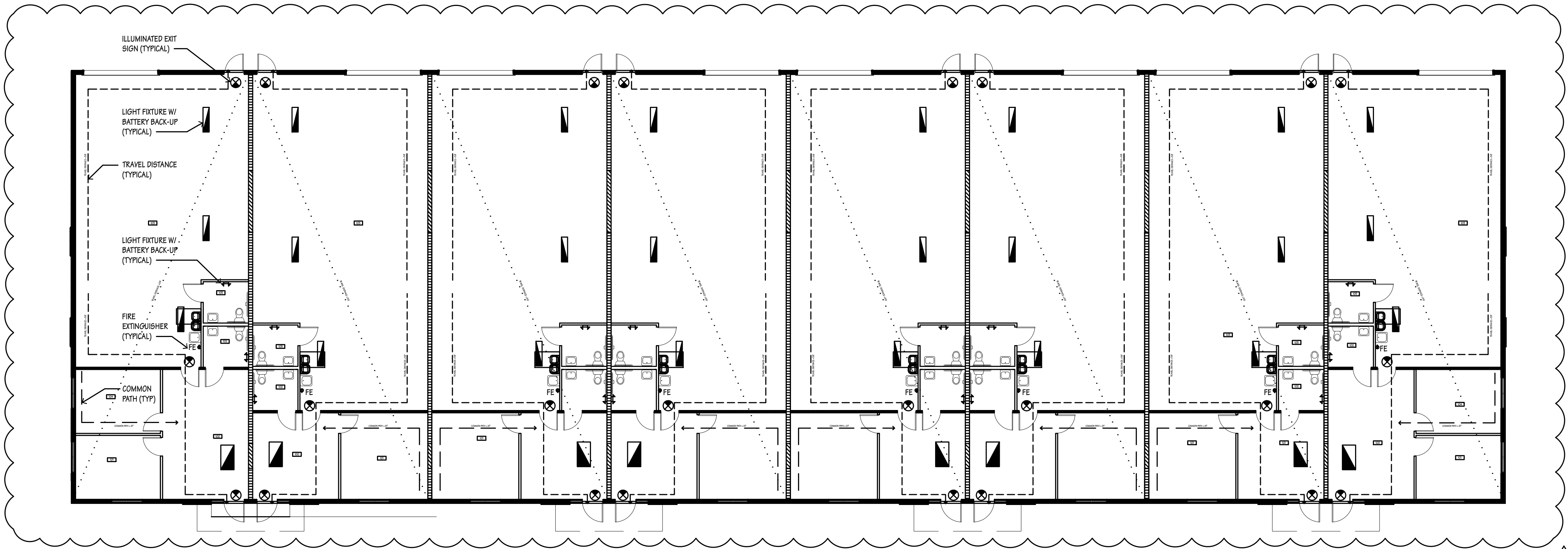
TERMITE PROTECTION NOTE	
ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER FBC 1916.1.7 A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPT. BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".	

MINIMUM INTERIOR FINISH CLASSIFICATION						
OCCUPANCY	UNSPRINKLERED			SPRINKLERED		
	EXIT		OTHER SPACES	EXIT		OTHER SPACES
	EXITS	ACCESS		EXITS	ACCESS	
B	B	B	C	C	C	C
S	C	C	C	C	C	C

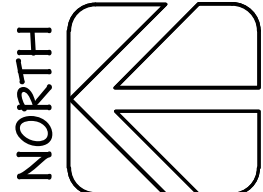
'D' UNIT LIFE SAFETY CALC'S (END UNITS)			
OFFICE AREA		633 SF @ 150 SF P/P = 5 PEOPLE	
WAREHOUSE AREA		1,286 SF @ 200 SF P/P = 7 PEOPLE	
RESTROOMS		111 SF	
TOTAL OCCUPANT CONTENT (BASED ON TABLE 7.3.1.2 OF N.F.P.A. 101)		12 PEOPLE	
LIFE SAFETY CODE:			
BASED ON NFPA 101 - LIFE SAFETY CODE & FBC 2020 (7th ED.)			
DESCRIPTION:		REQUIRED:	PROVIDED:
OCCUPANCY (BUSINESS & STORAGE)			
MINIMUM DISTANCE = 1/2 OF DIAGONAL		75' / 2 =37'-6"	68'-0"
MEANS OF EGRESS	COMMON PATH LIMIT	75'-0"	27'-0"
	DEAD-END LIMIT	20'-0"	N/A
	TRAVEL DISTANCE	200'-0"	59'-0"
REQ'D # OF MEANS OF EGRESS:		2	2
EGRESS WIDTH: REQ. 2" PER PERSON @ 12 PEOPLE		2'4"	6'4"
STAIR WIDTH:		44 IN.	N/A
MIN. CORRIDOR WIDTH:		44 IN.	N/A
MIN. CLEAR OPENING:		32 IN.	32 IN.

FIRE EXTINGUISHER NOTES	
PROVIDE FIRE EXTINGUISHERS WITH A MINIMUM OF 2A10BC. PROVIDE ONE (1) FOR EACH 2500 SQ. FT. MOUNT WITH HANDLE BETWEEN 3 AND 5 FEET FROM THE FLOOR IN LOCATIONS SHOWN ON SHEET A-2.1.	
TRAVEL DISTANCE TO FE. NOT TO EXCEED 75 FT. PER N.F.P.A. 10-6.2/6.3/6.4/6.5 AND N.F.P.A. 10-6.1.3.8.1	
SEE LIFE SAFETY PLAN FOR LOCATIONS	
HAZARD CLASSIFICATION	
PROJECT IS DESIGNATED AS ORDINARY HAZARD	
6.2.2 CLASSIFICATION OF HAZARD OF CONTENTS. **6.2.2.1* GENERAL ** THE HAZARD OF CONTENTS OF ANY BUILDING OR STRUCTURE SHALL BE CLASSIFIED AS LOW, ORDINARY, OR HIGH IN ACCORDANCE WITH 6.2.2.2, 6.2.2.3, AND 6.2.2.4 *	

'E' UNIT LIFE SAFETY CALC'S (MIDDLE UNITS)			
OFFICE AREA		430 SF @ 150 SF P/P = 3 PEOPLE	
WAREHOUSE AREA		1,286 SF @ 200 SF P/P = 7 PEOPLE	
RESTROOMS		111 SF	
TOTAL OCCUPANT CONTENT (BASED ON TABLE 7.3.1.2 OF N.F.P.A. 101)		10 PEOPLE	
LIFE SAFETY CODE:			
BASED ON NFPA 101 - LIFE SAFETY CODE & FBC 2020 (7th ED.)			
DESCRIPTION:		REQUIRED:	PROVIDED:
OCCUPANCY (BUSINESS & STORAGE)			
MINIMUM DISTANCE = 1/2 OF DIAGONAL		75' / 2 =37'-6"	68'-0"
MEANS OF EGRESS	COMMON PATH LIMIT	75'-0"	27'-0"
	DEAD-END LIMIT	20'-0"	N/A
	TRAVEL DISTANCE	200'-0"	59'-0"
REQ'D # OF MEANS OF EGRESS:		2	2
EGRESS WIDTH: REQ. 2" PER PERSON @ 12 PEOPLE		2'4"	6'4"
STAIR WIDTH:		44 IN.	N/A
MIN. KORRIDOR WIDTH:		44 IN.	N/A
MIN. CLEAR OPENING:		32 IN.	32 IN.



LIFE SAFETY PLAN 3/32"



AWAKE EAST TOWNWAY
WILKS ROAD
N.W. 12TH AVE.
CORAL BLVD (R/W)

SUBJECT SITE
KEY PLAN

MARK
DATE
1.9.24 permit comments

1701 W. Hillsboro Blvd. Ste 308
Deerfield Beach, Florida 33442
O: 561-750-4111
F: 561-750-5298

MWA ARCHITECTURE, LLC
ARCHITECTURE / PLANNING

CONSULTANT

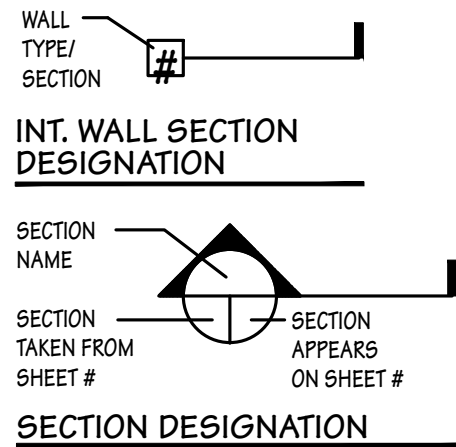
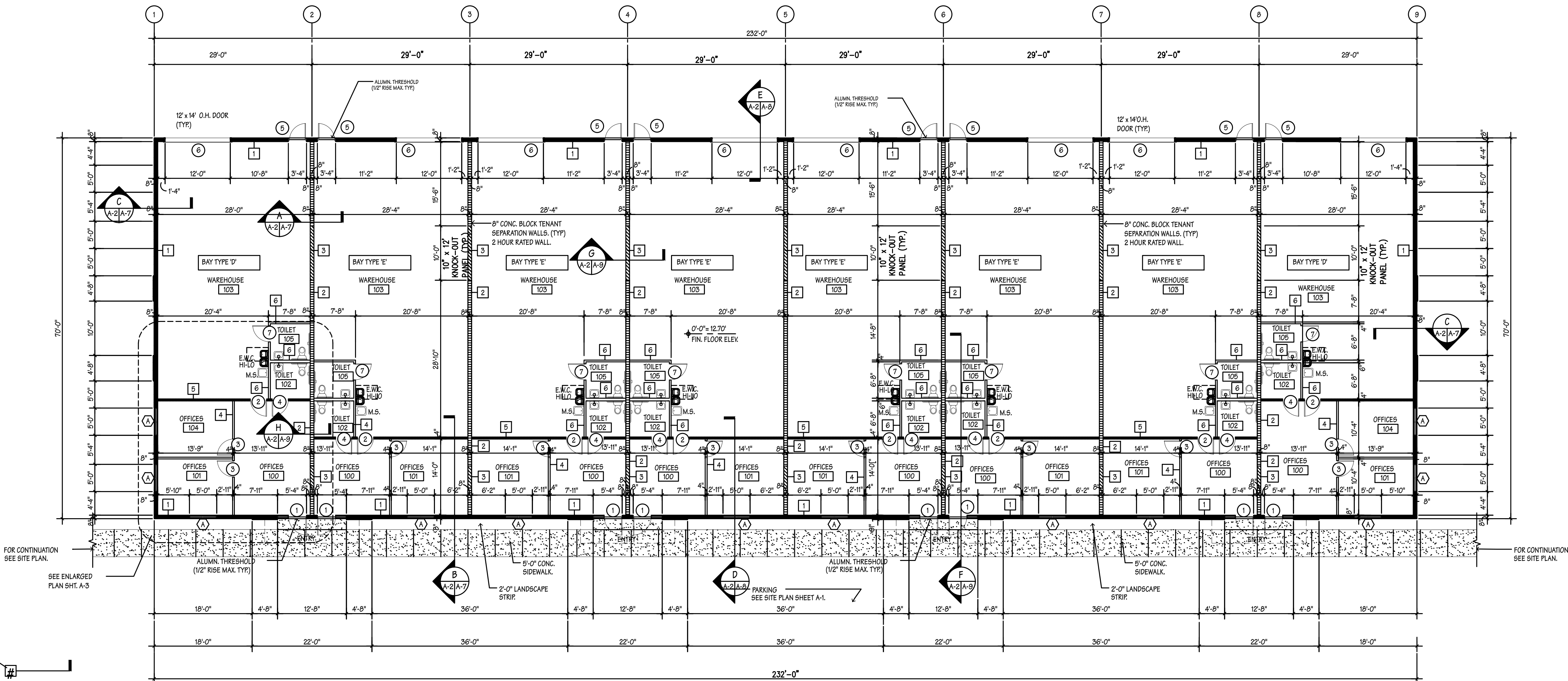
WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST
BUILDING "F"
4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

JOB #: 23040
SCALE: AS NOTED
DATE: 10.13.2023
BID DATE:

DRAWN BY: BB
CHECKED BY: RW
ARCHITECTURE
PLAN TYPE
SHEET NUMBER
A-1.2

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Building Plan 3/32"

Buildings 'F'

0'-0" = 12.70' (FIN. FLOOR ELEVATION ABOVE M.S.L.)

TYP ALL BUILDING

NORTH

BUILDING AREA BREAKDOWN	
GROSS BUILDING AREA	16,240 S.F. (GROSS AREA)
BAY TYPE 'D'	29'x70' = 2,030 S.F. x 2 BAYS = 4,060 S.F. (GROSS AREA)
BAY TYPE 'E'	29'x70' = 2,030 S.F. x 6 BAYS = 12,180 S.F. (GROSS AREA)
OFFICE S.F. BREAKDOWN PER BAY (GROSS AREAS)	
BAY TYPE 'D': (BAY AREA = 2,030 S.F.)	
OFFICE AREA = 679.5 S.F. (INCLUDING RESTROOM)	
WAREHOUSE AREA = 1,350.5 S.F.	
BAY TYPE 'E': (BAY AREA = 2,030 S.F.)	
OFFICE AREA = 486 S.F. (INCLUDING RESTROOM)	
WAREHOUSE AREA = 1,544 S.F.	
TOTAL OFFICE AREA INCLUDING RESTROOM = 679.5 x 2 BAYS = 1,359 S.F. + 486 x 6 BAYS = 2,916 S.F.	
TOTAL OFFICE AREA = 4,275 S.F.	
GROSS BUILDING AREA = 16,240 S.F.	
4,275 S.F. / 16,240 S.F. = 26.4% (LESS THAN 30% OFFICE AREA PERMITTED)	

HANDICAP ACCESSIBILITY NOTE

THE DESIGN OF SPACES DEPICTED IN THESE DRAWINGS COMPLIES WITH THE ACCESSIBILITY REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 - 7TH EDITION.

BUILDING SHALL INCLUDE AN ACCESSIBLE ROUTE FOR THE PUBLIC FROM ACCESSIBLE PARKING SPACES TO ENTRY DOORS AND INTO THE BUILDING. ALL PUBLIC AREAS ARE ACCESSIBLE AND HAVE NO LEVEL CHANGES GREATER THAN 1/2" EXCEPT AS PROVIDED BY RAMPS.

- INTERIOR NOTES:**
- ALL DRYWALL FINISH SHALL BE SMOOTH UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL USE MOISTURE RESISTANT BOARD IN RESTROOM FIXTURE WALL.
 - PROVIDE WOOD BACKING OR PLYWOOD BACKING BEHIND ALL RESTROOM ACCESSORIES.
 - MOUNTING HEIGHT FOR ALL WALL MOUNTED ACCESSORIES IN RESTROOMS SHALL COMPLY WITH HANDICAP REQUIREMENTS.
 - ALL INTERIOR WALLS SHALL RECEIVE TWO COATS OF INTERIOR LATEX PAINT/COLOR TO BE SELECTED BY OWNER.
 - PROVIDE R-19 BATT INSULATION ABOVE DRYWALL CEILING AND R-11 AT OFFICE-WAREHOUSE PARTITION.
 - CONTRACTOR SHALL PROVIDE 2 X 4 WOOD BLOCKING AROUND PERIMETER OF ALL INTERIOR DOORS. PROVIDE DOUBLE PLATES ABOVE HEADERS OF ALL OPENINGS GREATER THAN 4'-0" IN WIDTH.
 - ALL HARDWARE SHALL COMPLY WITH FLORIDA BUILDING CODE.

WALL LEGEND					
TYPE	SECTION	DESCRIPTION	FIRE RATING	UL NUMBER	REMARKS
1		CONCRETE TILT-UP PANELS. SUBMIT SHOP DRAWINGS.	N/A	N/A	PROVIDE 1/2" DRYWALL OVER DOUBLE 1 X 2 FT. FURRING STRIPS @ 24" O.C. AT OFFICE AREAS PROVIDE R-4.2 FOIL INSULATION (TYPICAL @ OFFICE AREA ONLY) PROVIDE TWO COATS OF PAINT FINISH WITHIN WHSE AREA. EXTEND INSULATION TO UNDERSIDE OF HOLLOW CORE PANELS.
2		8" MASONRY WALL W/ 1/2" DRYWALL FINISH OVER DOUBLE 1 X 2 FT. FURRING @ 24" O.C. (R-4.2 FOIL INSULATION) ON OFFICE SIDE TENANT SEPARATION WALL (EXPOSED BLOCK AT WAREHOUSE)	TWO HR.	UL# U905	ALL MASONRY TENANT SEPARATION WALLS SHALL RECEIVE TWO COATS OF PAINT FINISH (WHITE)
3		10'-0" WIDE X 12'-0" HIGH OR 4'-0" WIDE X 7'-0" HIGH MASONRY KNOCK-OUT PANEL.	TWO HR.	UL# U905	WALL SHALL RECEIVE TWO COATS OF PAINT FINISH.
4		NON-RATED PARTITION CONSISTING OF 1/2" DRYWALL BOTH SIDES OVER 3 5/8" CHANNEL-SHAPED STUDS @ 24" O/C	N/A	N/A	USE 20 GAUGE STUDS @ BATHROOM WALLS & R-11 BATT INSULATION (EXTEND WALL BETWEEN OFFICES 6" ABOVE CEILING TILES).
5		DRYWALL PARTITION CONSISTING OF 3 5/8" METAL STUDS (20 GAUGE) @ 16" O.C. W/ 5/8" TYPE 'X' DRYWALL BOTH SIDES. (PAINT FINISH).	ONE HR.	UL # 495	PROVIDE R-11 FIBERGLASS INSULATION AND TERMINATE INSULATION @ 6" ABOVE CEILING. TERMINATE PARTITION AT UNDERSIDE OF HOLLOW CORE ROOF PANELS.
6		NON-RATED PARTITION CONSISTING OF 1/2" MOISTURE RESISTANT BOARD ON BATHROOM SIDE & 1/2" DRYWALL FINISH ON WHSE SIDE OVER 3 5/8" OR 6" (20 GAUGE) METAL STUDS @ 24" O/C	N/A	N/A	EXTEND WALL UP TO +8'-6" ABOVE FINISH FLOOR (PAINT FINISH WITH EPOXY PAINT WITHIN BATHROOMS).

NOTE:

- ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST TERMITES AS PER 1816.1.7 F.B.C.
- LEVEL CHANGE AT ALL DOORS SHALL NOT EXCEED 1/2" AS PER 11-4.13 F.B.C.
- ALL GLAZING ON EXTERIOR DOORS AND SIDELITES SHALL BE IMPACT GLASS.
- DIFFERENCE IN FLOOR LEVEL BETWEEN OPPOSITE SIDES OF EGRESS DOORS MUST HAVE A MAXIMUM OF 1/2" HEIGHT.

OCCUPANT CONTENT (PER BAY)	
(BAY TYPE 'D')	
OFFICE AREA	679 S.F. @ 1/100 S.F. 7 PERSONS
WAREHOUSE AREA	1,350 S.F. @ 1/500 S.F. 3 PERSONS
TOTAL OCCUPANT CONTENT	10 PERSONS
PLUMBING FIXTURES REQUIREMENTS (TABLE 403.1)	
UNISEX	WATER CLOSET 10 PERSONS @ 1/50 1 WATER CLOSET LAVATORY 10 PERSONS @ 1/50 1 LAVATORY
DRINKING FOUNTAINS	10 PERSONS @ 1/100 PERSONS 1 DRINKING FOUNTAIN
MOP SINK	1 MOP SINK
PLUMBING FIXTURES PROVIDED	
2 UNISEX BATHROOMS	2 WATER CLOSET 2 LAVATORY
DRINKING FOUNTAINS	1 DRINKING FOUNTAIN PROVIDED
MOP SINK	1 MOP SINK PROVIDED

OCCUPANT CONTENT (PER BAY)	
(BAY TYPE 'E')	
OFFICE AREA	486 S.F. @ 1/100 S.F. 5 PERSONS
WAREHOUSE AREA	1,544 S.F. @ 1/500 S.F. 4 PERSONS
TOTAL OCCUPANT CONTENT	9 PERSONS
PLUMBING FIXTURES REQUIREMENTS (TABLE 403.1)	
UNISEX	WATER CLOSET 9 PERSONS @ 1/50 1 WATER CLOSET LAVATORY 9 PERSONS @ 1/50 1 LAVATORY
DRINKING FOUNTAINS	9 PERSONS @ 1/100 PERSONS 1 DRINKING FOUNTAIN
MOP SINK	1 MOP SINK
PLUMBING FIXTURES PROVIDED	
2 UNISEX BATHROOMS	2 WATER CLOSET 2 LAVATORY
DRINKING FOUNTAINS	1 DRINKING FOUNTAIN PROVIDED
MOP SINK	1 MOP SINK PROVIDED

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SCALE: AS NOTED
DATE: 10.13.2023
BID DATE:

DRAWN BY: BB
CHECKED BY: RW
ARCHITECTURE
PLAN TYPE
SHEET NUMBER

A-2

SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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JOB #: 23040
SCALE: AS NOTED
DATE: 10.13.2023
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PLAN TYPE
SHEET NUMBER

A-2

SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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SHEET NUMBER

A-2

SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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A-2

SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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A-2

SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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A-2

SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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JOB #: 23040
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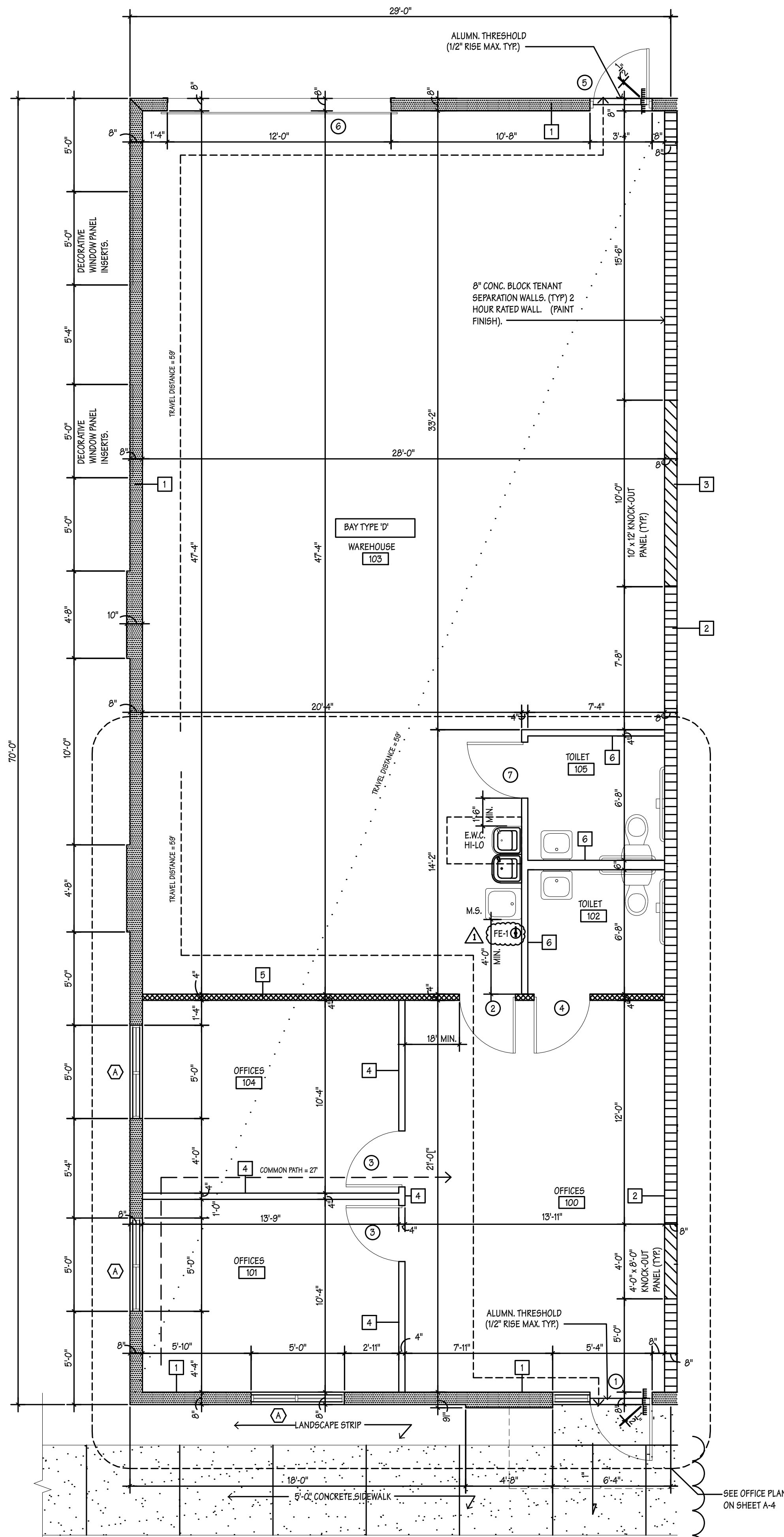
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ARCHITECTURE
PLAN TYPE
SHEET NUMBER

A-2

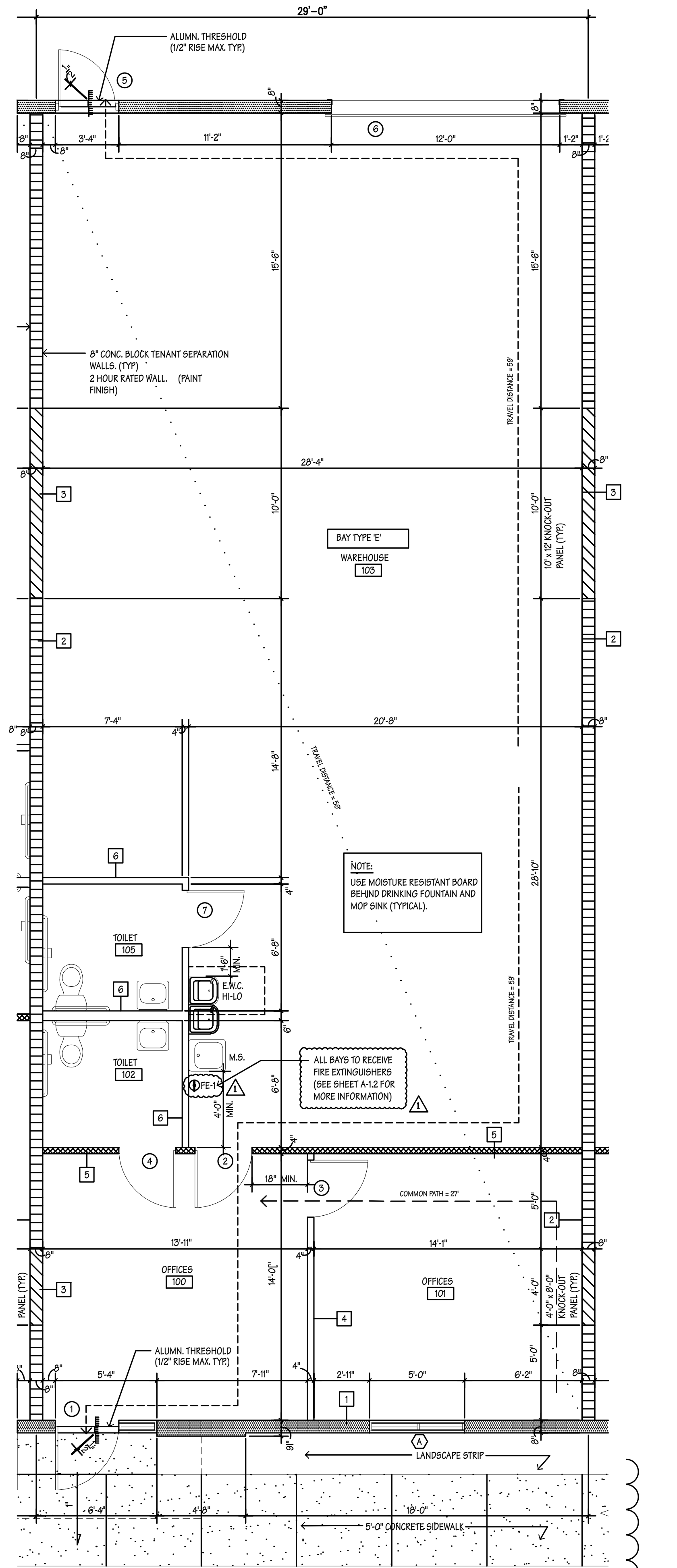
SAWGRASS EAST
BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

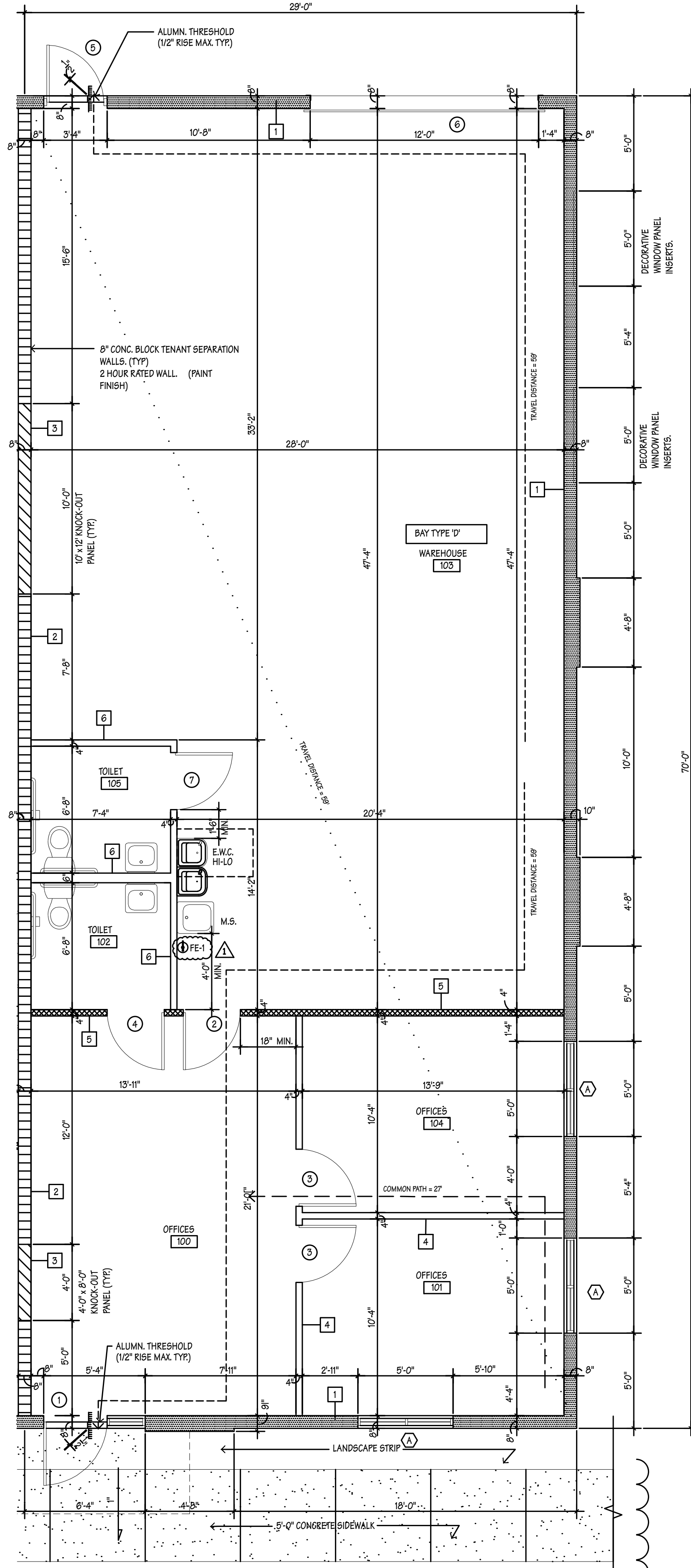
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Typical Bay End Condition 1/4"
End Condition (North side)



Typical Bay 1/4"
Interior Condition



Typical Bay End Condition 1/4"
End Condition (South side)

WILES ROAD

NEW ENTRANCE

CORAL BRIDGE DRIVE

KEY PLAN

SUBJECT SITE

MARK	DATE
▲	1.9.24 permit comments
▲	
▲	
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MWA ARCHITECTURE, LLC

ARCHITECTURE / PLANNING

CONSULTANT

MIDTOWN CAPITAL PARTNERS, L.L.C.

175 SW 7TH ST SUITE 2112 MIAMI, FL 33130

WAREHOUSE / OFFICE BUILDING FOR:

SAWGRASS EAST BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

JOB #:

23040

SCALE

A5 NOTED

DATE

10.13.2023

BID DATE

DRAWN BY

BB

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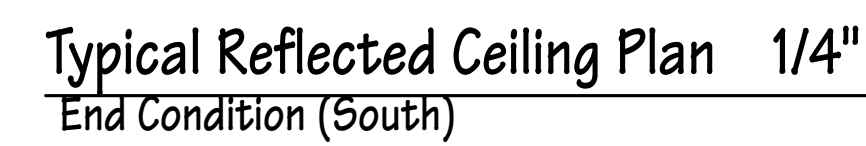
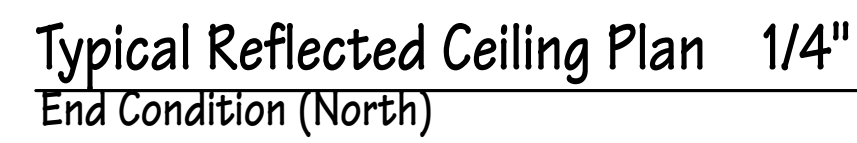
RW

ARCHITECTURE

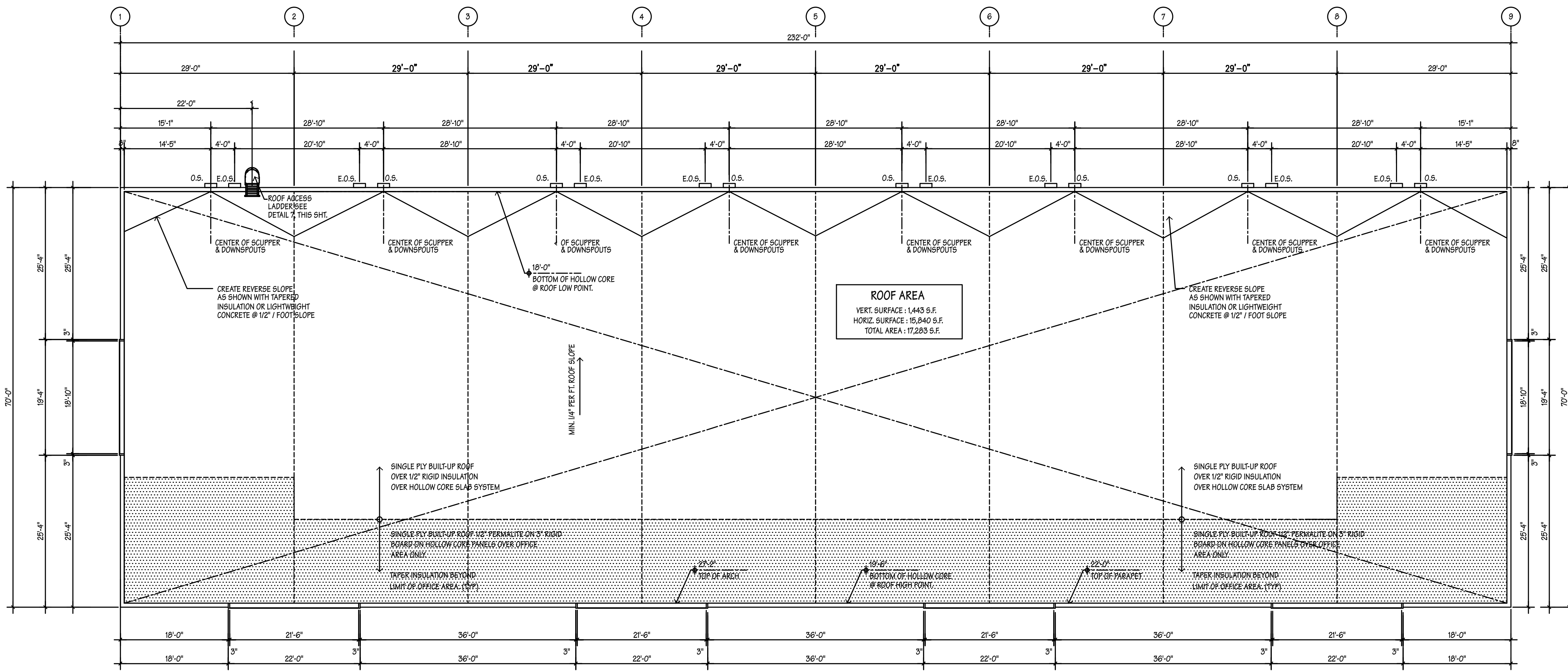
PLAN TYPE

SHEET NUMBER

A-3



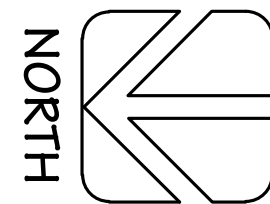
- NOTE:**
SEE WALL LEGEND FOR WALL
TYPES DESIGNATED ON THIS
PLAN ON SHT A-2 (TYP).



ROOF NOTES:

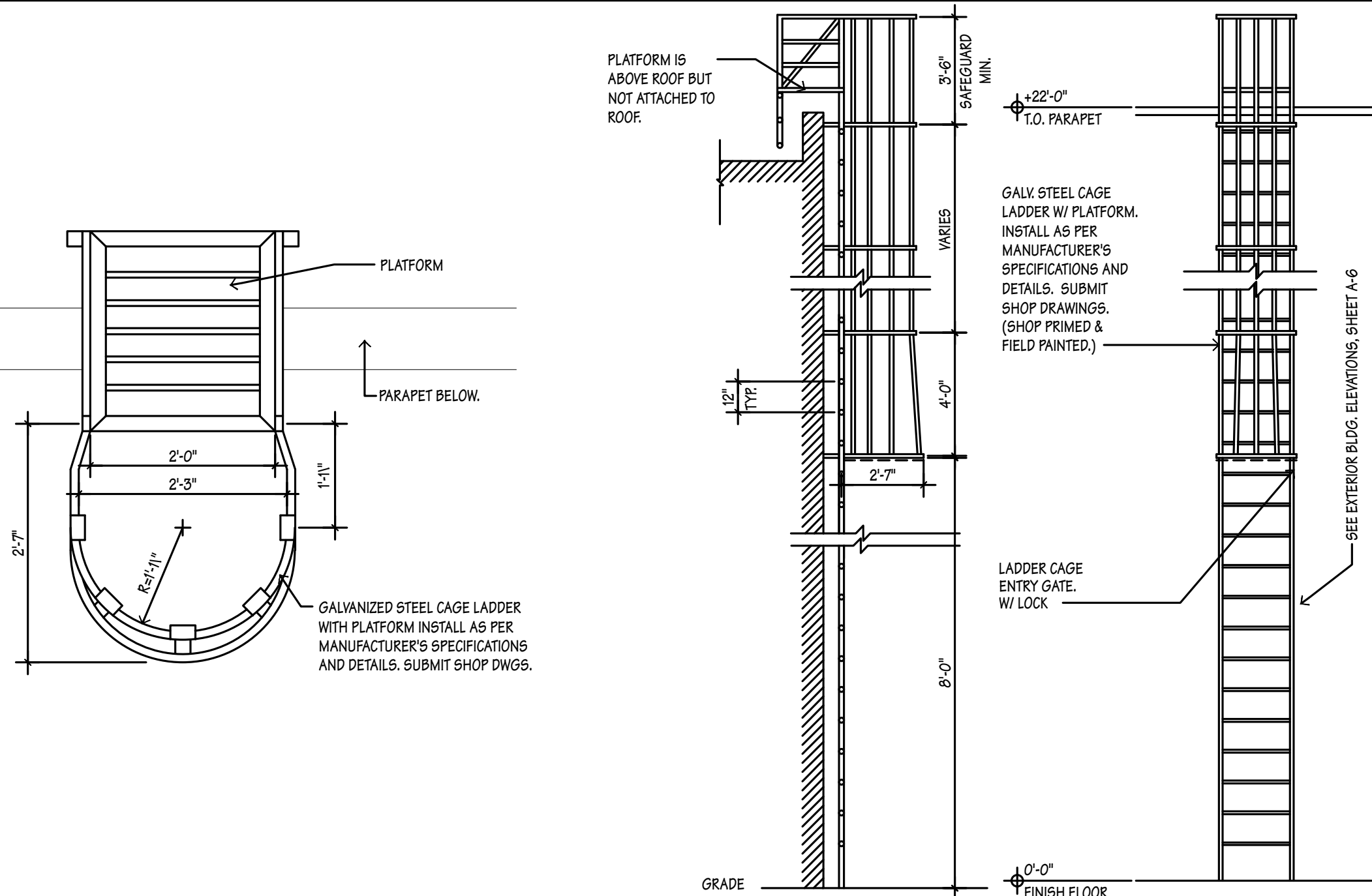
1. PROVIDE SPLASH BLOCKS FOR ALL DOWNSPOUTS.
2. CONTRACTOR MAY EXTEND ROOF MEMBRANE UP TO UNDERSIDE OF GALVANIZED CAP FLASHING ON PARAPET WALLS NOT EXCEEDING 3'-0" IN HEIGHT ABOVE ROOF DECK. PARAPET WALLS EXCEEDING 3'-0" SHALL RECEIVE A CONTINUOUS REGLET FLASHING.
3. CONTRACTOR SHALL PROPERLY FLASH & SEAL PERIMETER OF ALL OVERFLOW AND EMERGENCY OVERFLOW SCUPPERS.
4. LOCATIONS AND QUANTITY OF SCUPPERS ARE AS SHOWN ON ARCHITECTURAL ROOF PLAN. SIZE OF DOWNSPOUTS ARE SHOWN ON MECHANICAL PLANS.
5. ALL ROOF MOUNTED EQUIPMENT SHALL BE MOUNTED ON CURBS. ALL OTHER ROOF PENETRATIONS SHALL BE PROVIDED WITH PITCH PANS.
6. SINGLE PLY ROOF INSTALLATION SHALL BE DONE BY A QUALIFIED ROOFING CONTRACTOR.
7. ROOFS CONSIST OF:
ROOF AREA ABOVE WAREHOUSE
SINGLE PLY FULLY ADHERED ROOF MEMBRANE ON 3" RIGID BOARD OVER 1/2" RIGID INSULATION ON HOLLOW CORE PANELS OVER OFFICE AREA ONLY.
ROOF AREA ABOVE WAREHOUSE
SINGLE PLY FULLY ADHERED ROOF MEMBRANE ON 1/2" RIGID INSULATION ON HOLLOW CORE PANELS.

Roof Plan 3/32"

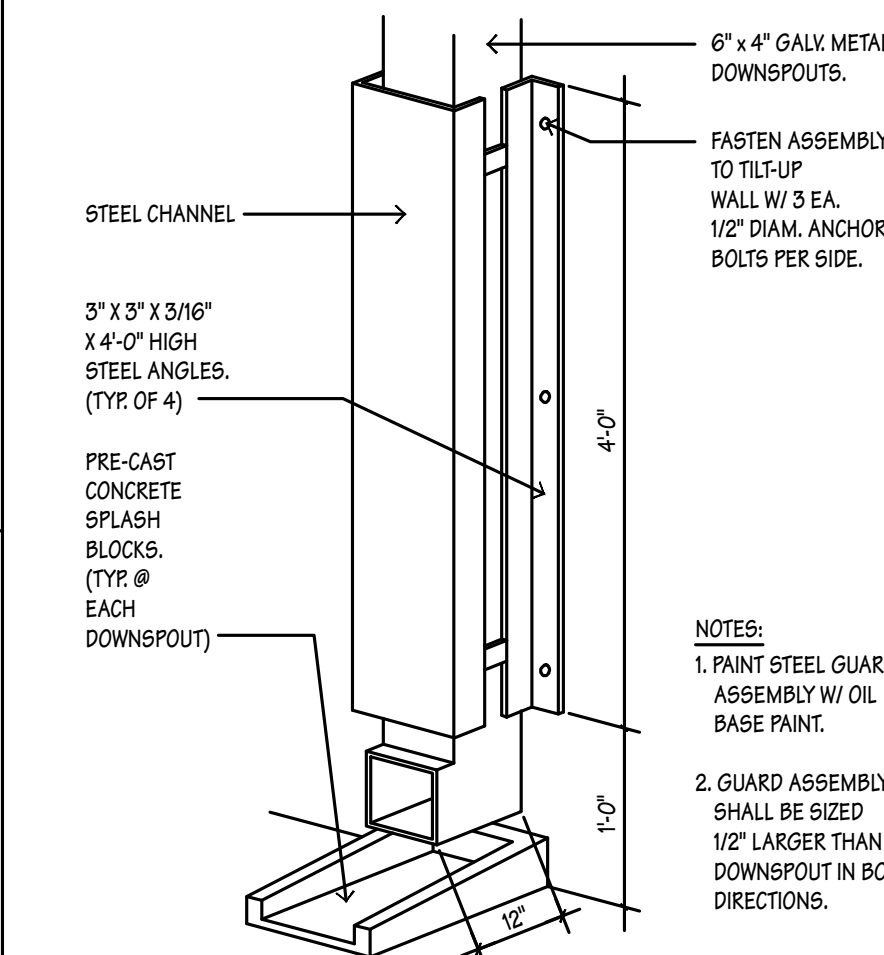


F.B.C. 1514.4.2

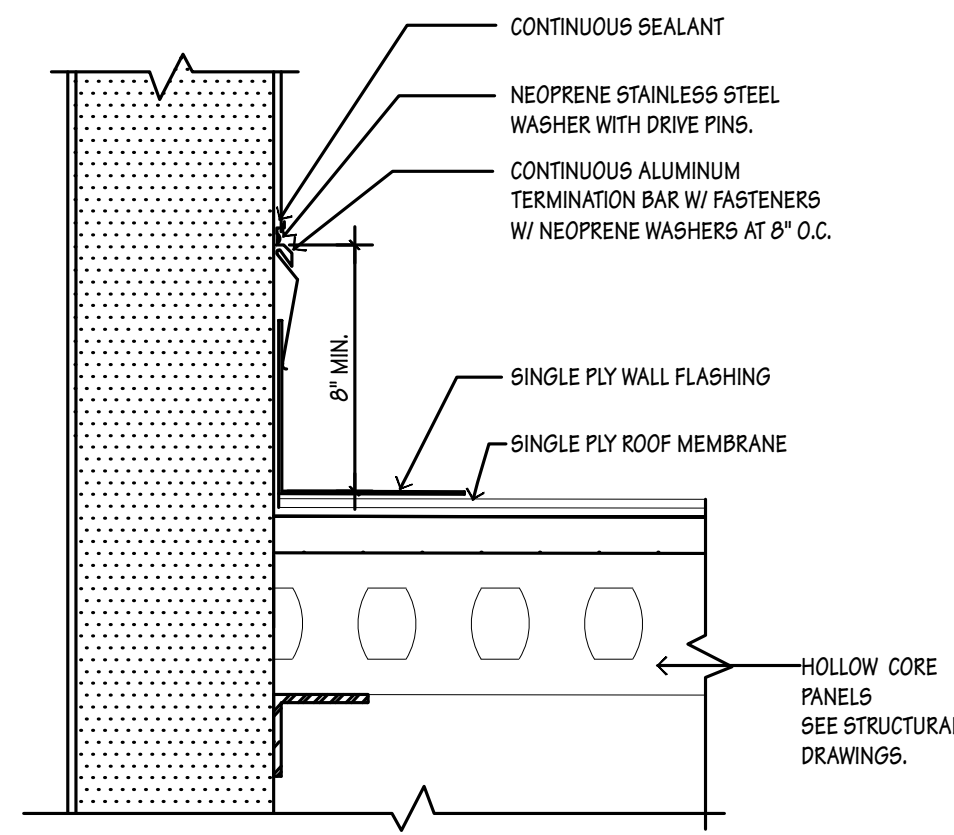
OVERFLOW DRAINS AND SCUPPERS, WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS OR OVERFLOW SCUPPERS SIZED IN ACCORDANCE WITH FLORIDA BUILDING CODE, PLUMBING SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2 INCHES (51 MM) OR MORE THAN 4 INCHES (102 MM) ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE, EXCLUDING SUMPS. OVERFLOW SCUPPERS SHALL BE A MINIMUM OF 4 INCHES (102 MM) IN ANY DIMENSION AND SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS, CONDUCTORS OR DOWNSPOUTS. OVERFLOW DRAINS AND SCUPPERS SHALL ALSO COMPLY WITH THE FLORIDA BUILDING CODE, PLUMBING AND SECTION 1817 OF THIS CODE.



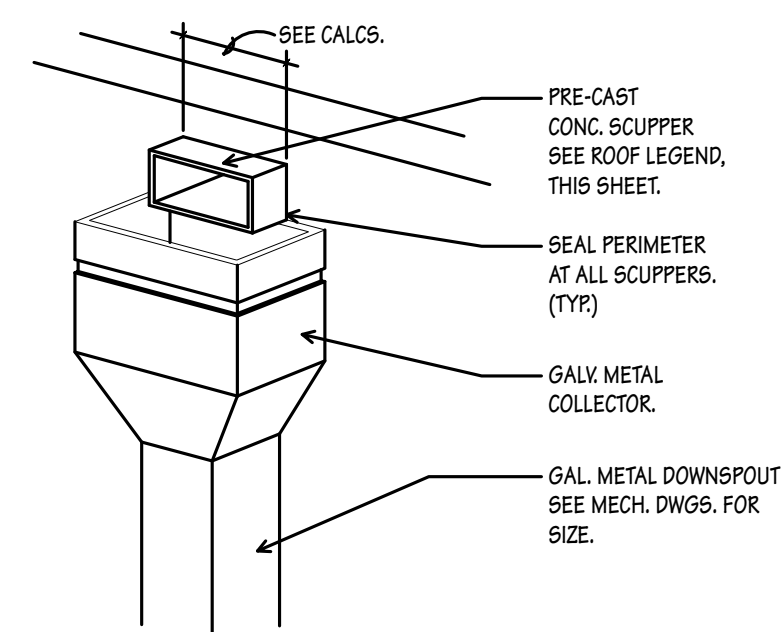
Roof Access Ladder Plan N.T.S.



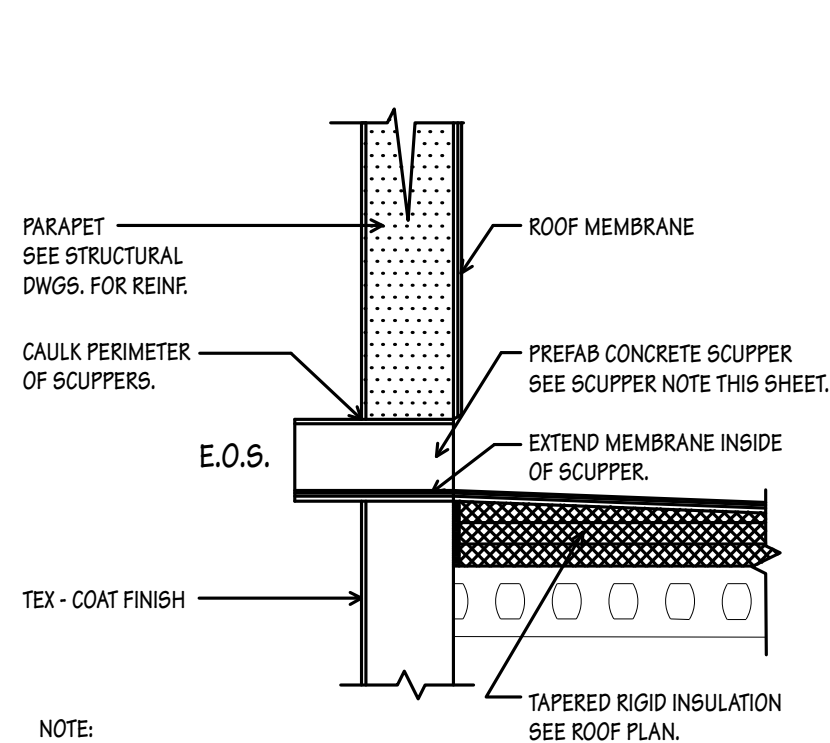
Downspout Guard Detail N.T.S.



Reglet Flashing Detail N.T.S.



Scupper & Downspout Detail N.T.S.

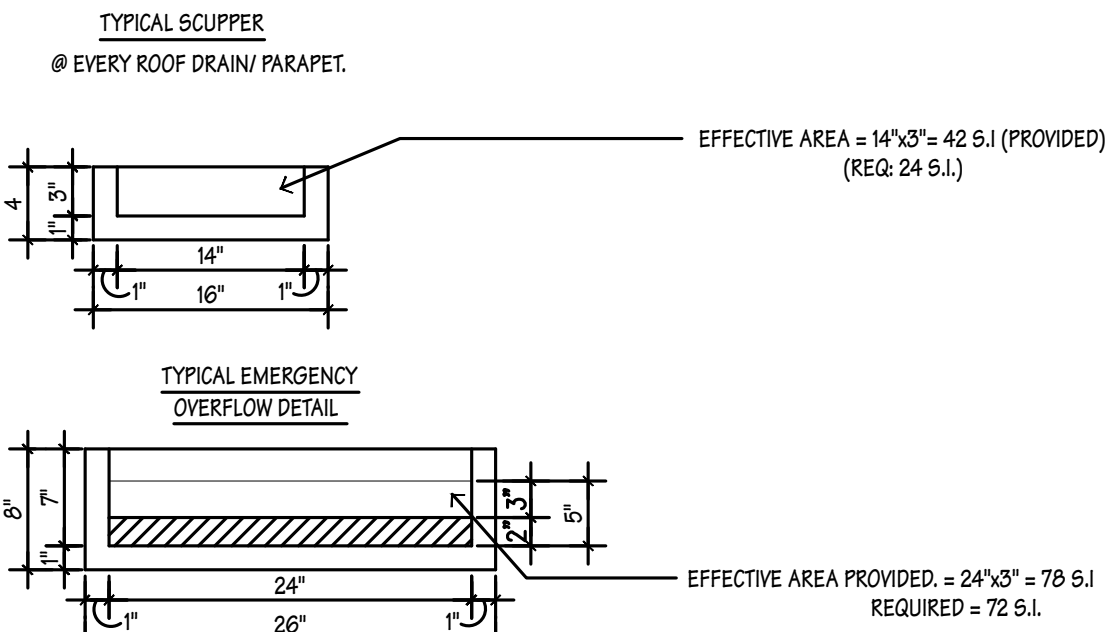


Emergency Overflow Scupper N.T.S.

Roof Drain/Overflow Scupper Calculations
BUILDING ROOF AREAS

ROOF AREA: 17,283 S.F. 6"x4" GALV. METAL DOWNSPOUT TYP.
ROOF DRAIN R/W.L. SIZE (PER F.B.C. TABLE T106.2)

ROOF DRAIN R/W.L. 6"x4" AREA = 24 S.I.
OVERFLOW SCUPPER AREA REQUIRED: 3x 24 S.I. = 72 S.I.



NOTE:
BASE OF EMERGENCY OVERFLOW SCUPPER MUST BE PLACED AT A MIN OF 2" AND A MAX OF 4" ABOVE THE ROOF SURFACE

ROOF LEGEND

- E.O.S. 26 WIDE x 16" LONG x 8" HIGH PRECAST CONCRETE EMERGENCY OVERFLOW ROOF SCUPPERS, MODEL "C" AS MANUF. BY DENMARK ART STONE CO. OR APPROVED EQUAL.
- O.S. 16" WIDE x 16" LONG x 8" PRECAST CONCRETE OVERFLOW ROOF SCUPPERS, MODEL "C" AS MANUF. BY DENMARK ART STONE CO. OR APPROVED EQUAL.

NOTE:
BASE OF EMERGENCY OVERFLOW SCUPPER (E.O.S.) SHALL BE SET A MIN. OF 2" MAX OF 4" ABOVE THE LOW POINT OF THE ROOF.

NOTE:
ROOF SYSTEM IS DESIGNED TO PREVENT THE ACCUMULATION OF MORE THAN FIVE (5) INCHES OF WATER ON ANY PORTION OF THE ROOF.

THIS SET OF PLANS SHALL BE DISTRIBUTED AS COMPLETE SETS OF DRAWINGS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. WRITTEN FIGURES INDICATING DIMENSIONS SHALL TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.

MARK DATE

MARK	DATE
1	
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4	
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6	
7	
8	
9	

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F: 561-750-5298

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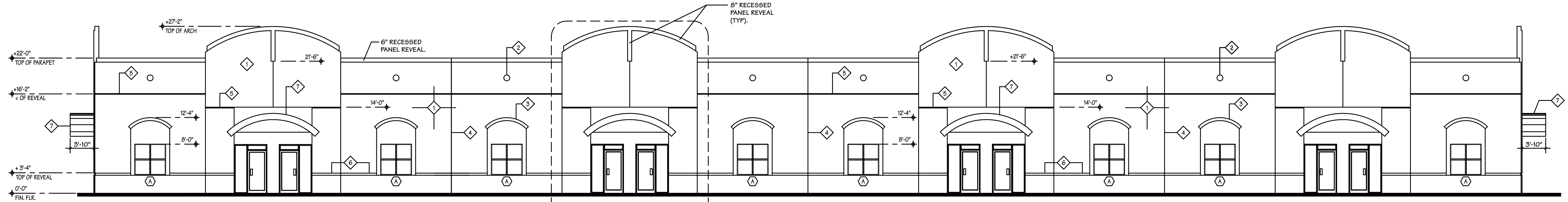
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175 SW 7TH ST SUITE 2112 MIAMI, FL 33130

WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST BUILDING 'F'
4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

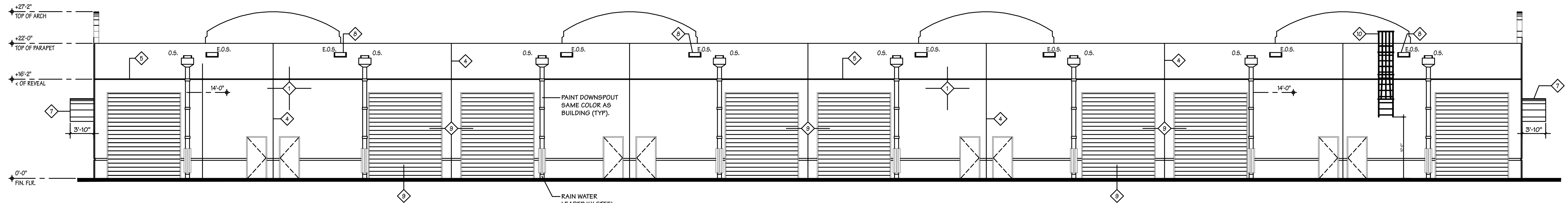
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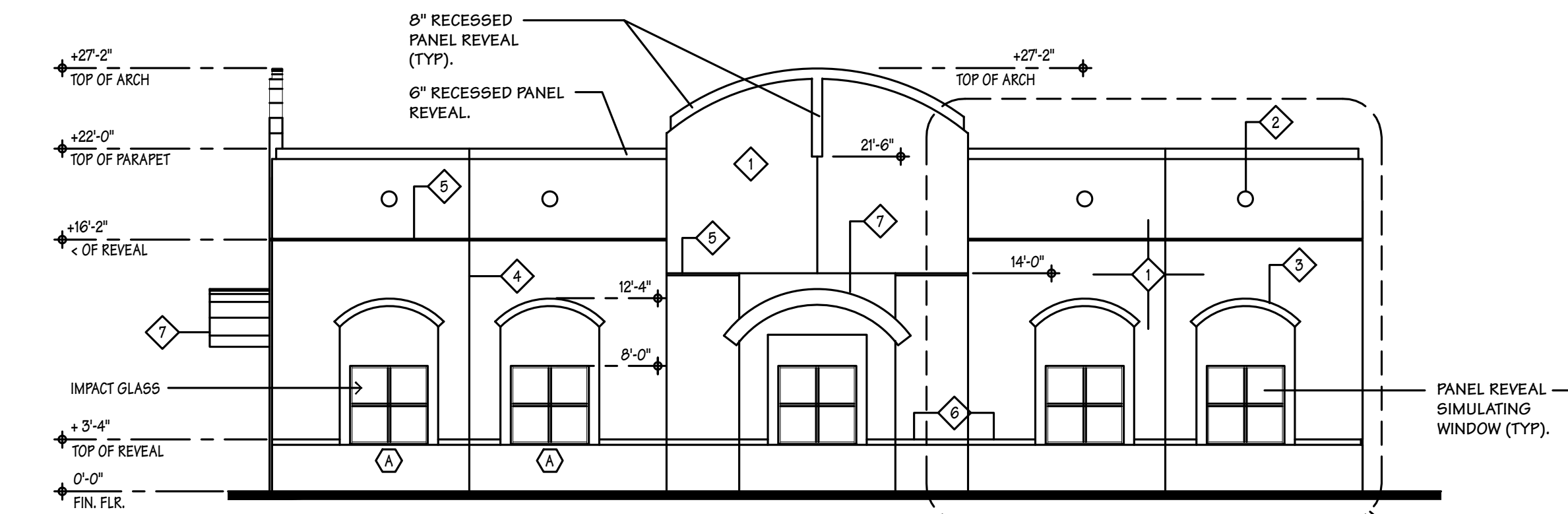
A-5



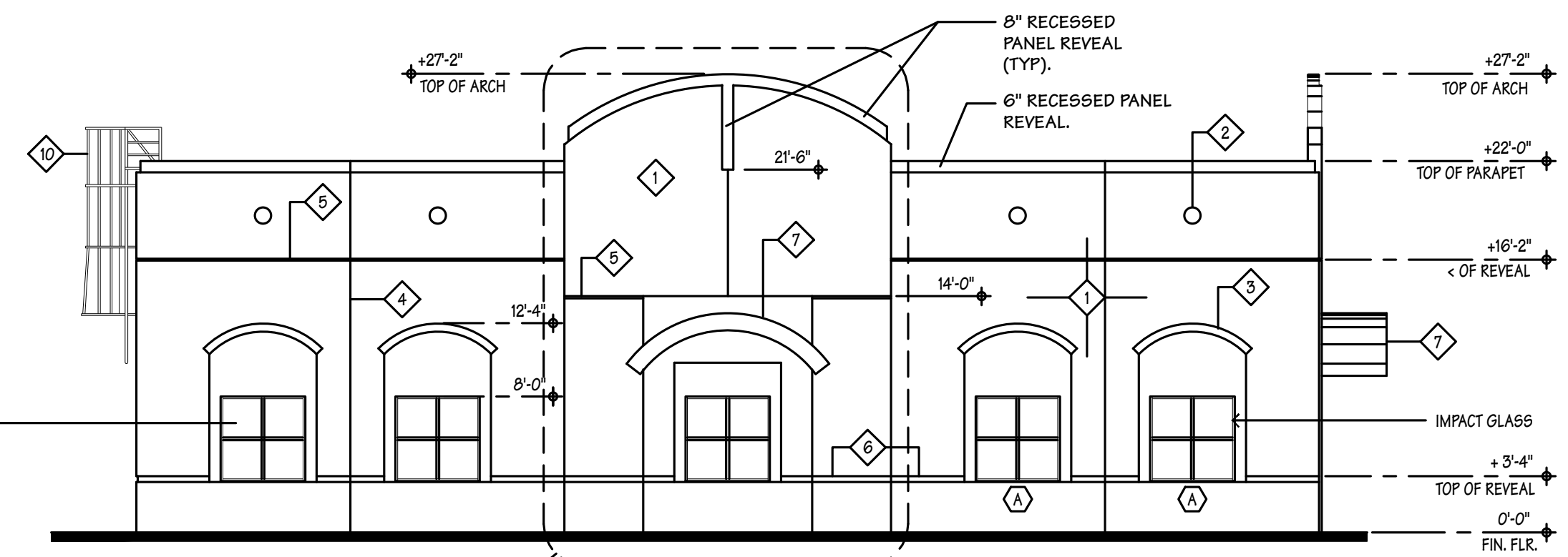
Front (West) Elevation 1/8"



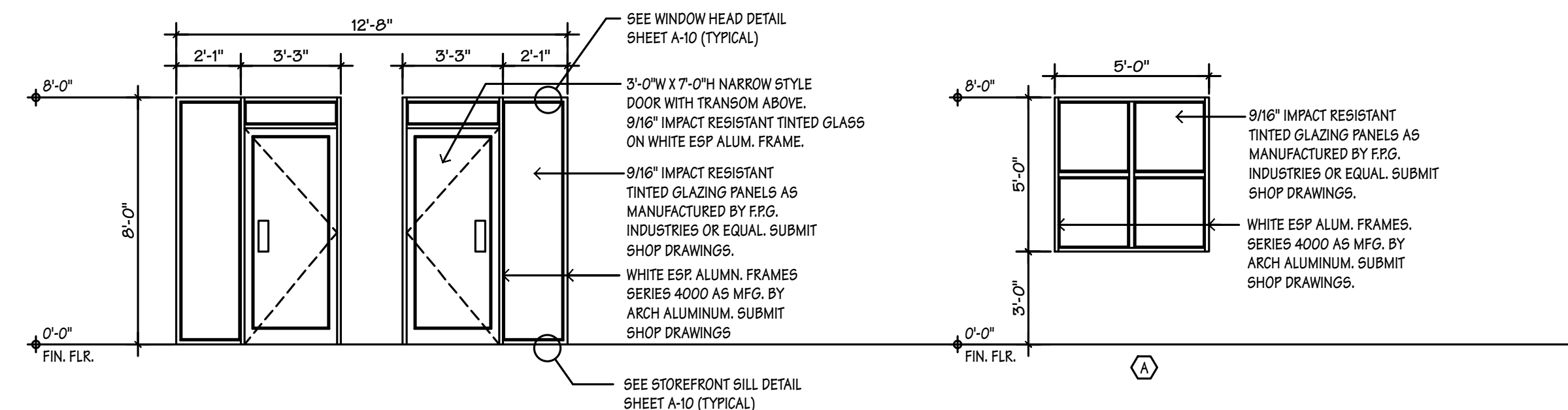
Rear (East) Elevation 1/8"



Left (South) Side Elevation 1/8"



Right (North) Side Elevation 1/8"



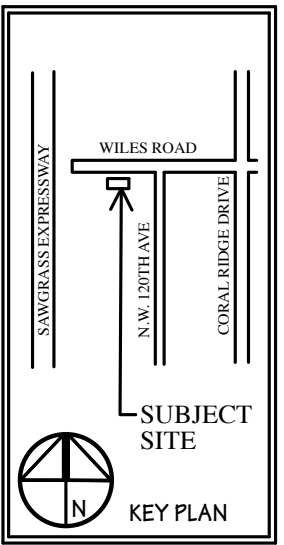
Window Elevations 1/4"

KEYED CONSTRUCTION NOTES

- 1 CONCRETE TILT-UP PANELS WITH TEX-COTE FINISH.
- 2 12" - 3/4" RECESSED PANEL MOTIFF. SEE DETAIL 15, SHEET A-10
- 3 PANEL INSERT W/ ACCENT COLOR TO MATCH PHASE I
- 4 1" PANEL JOINT, (TYP. WHERE SHOWN) SEE DETAIL 2, SHEET A-10
- 5 PANEL REVEAL SEE DETAIL 3A, SHT A-10 (ALL REVEALS TO MATCH PHASE I BUILDINGS)
- 6 4" PANEL REVEAL SEE DETAIL 3B, SHT A-10 (ALL REVEALS TO MATCH PHASE I BUILDINGS)
- 7 CANVAS CANOPY (COLOR SELECTED BY OWNER)
- 8 EMERGENCY OVERFLOW SCUPPERS.
- 9 12" X 14" O.H. DOOR
- 10 ROOF ACCESS LADDER

NOTE:

REFER TO SHEET S-1 FOR WINDOW / DOOR WIND PRESSURES



MARK	DATE
▲	
▲	
▲	
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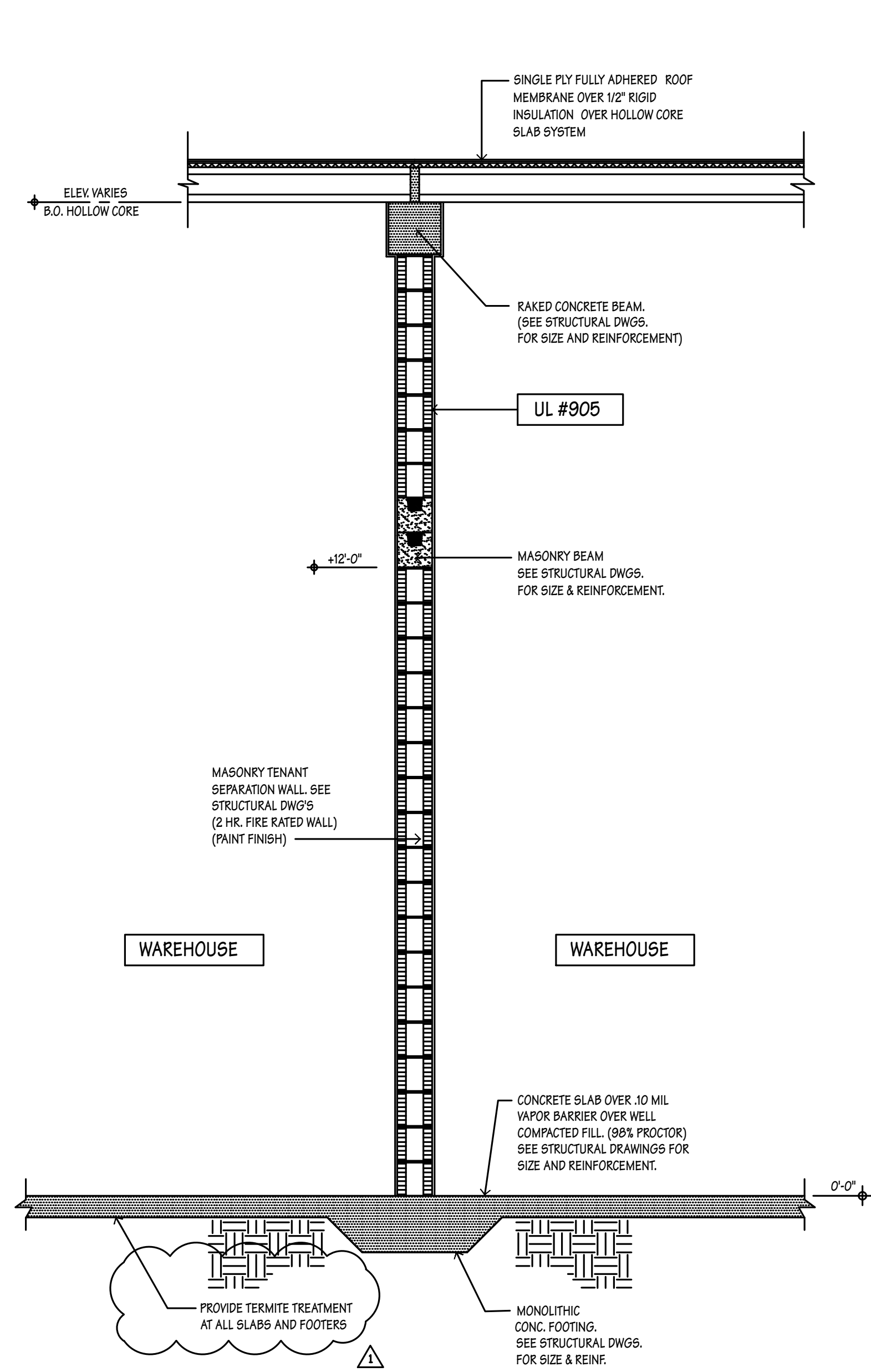
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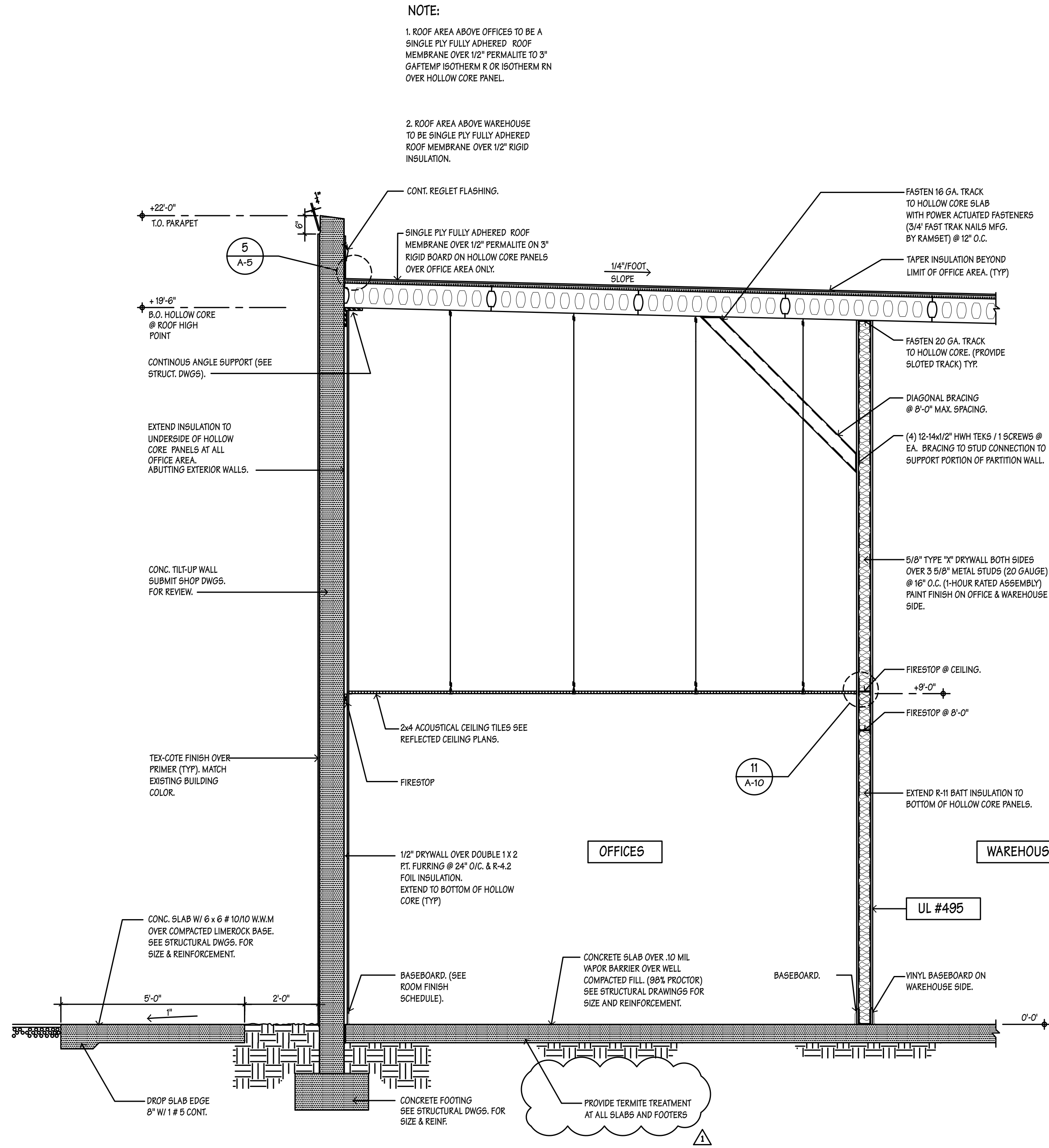
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MIAMI, FL 33130

**WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST
BUILDING 'F'**
4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

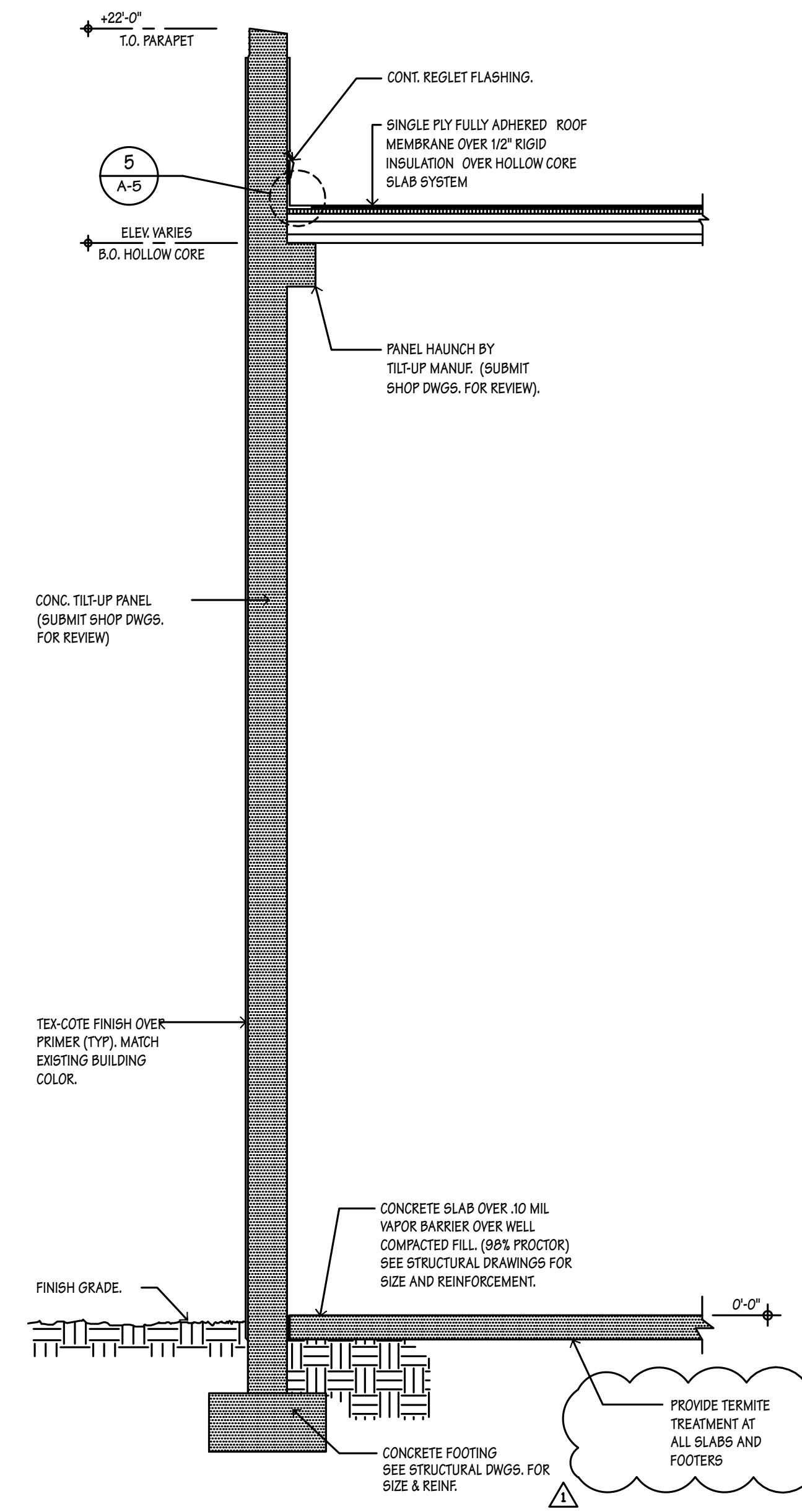
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ARCHITECTURE	
PLAN TYPE	
SHEET NUMBER	A-6



Section
1/2" A
A-2 A-7



Section
1/2" B
A-2 A-7



Section
1/2" C
A-2 A-7

NOTE:
1. ROOF AREA ABOVE OFFICES TO BE A SINGLE PLY FULLY ADHERED ROOF MEMBRANE OVER 1/2" PERMALITE TO 3" GAFTEMP ISOTHERM R OR ISOTHERM RN OVER HOLLOW CORE PANEL.
2. ROOF AREA ABOVE WAREHOUSE TO BE SINGLE PLY FULLY ADHERED ROOF MEMBRANE OVER 1/2" RIGID INSULATION.

WILLES ROAD
N.W. 120TH AVE
CORAL SPRING, FLORIDA

SUBJECT SITE

KEY PLAN

MARK	DATE
1	19.24 permit comments
2	
3	
4	
5	

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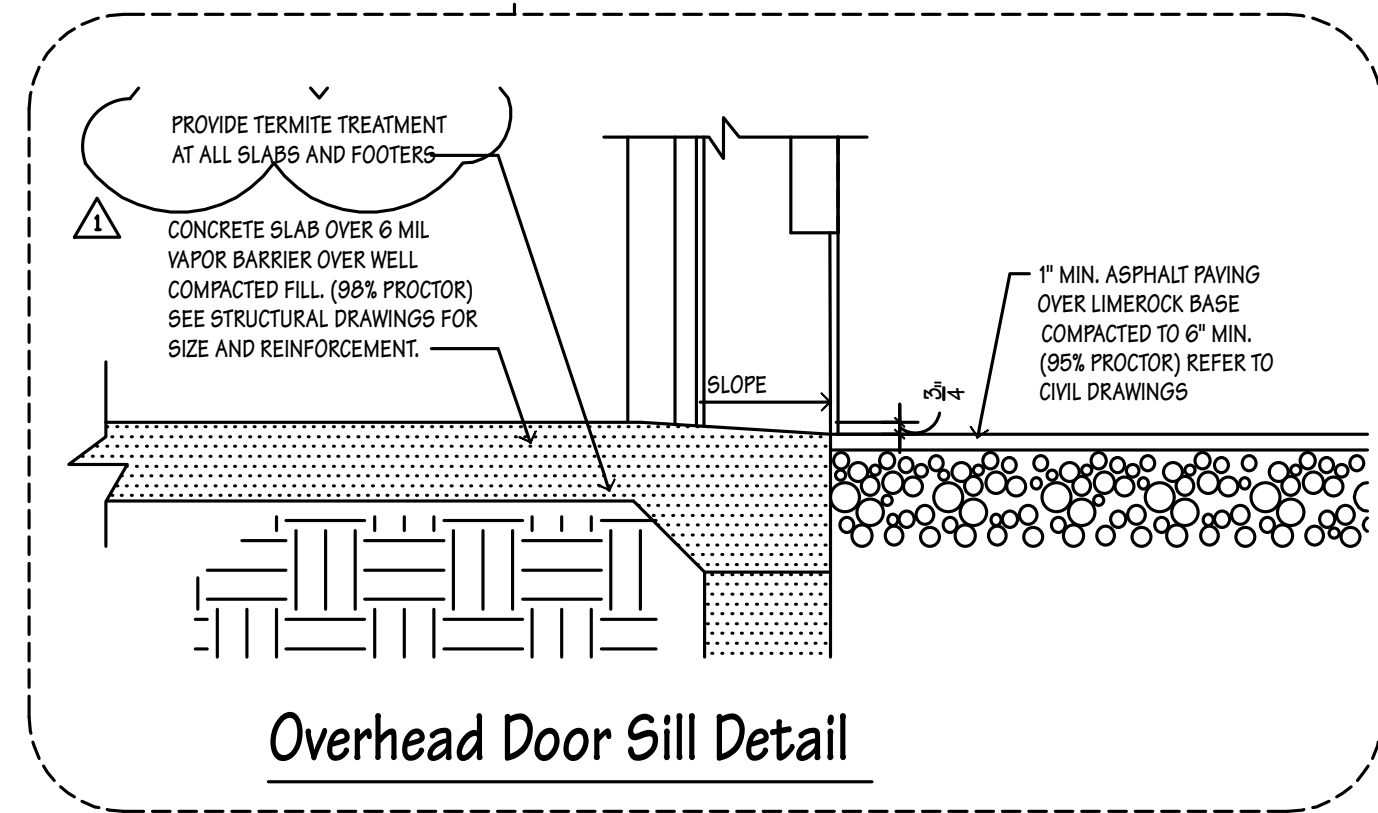
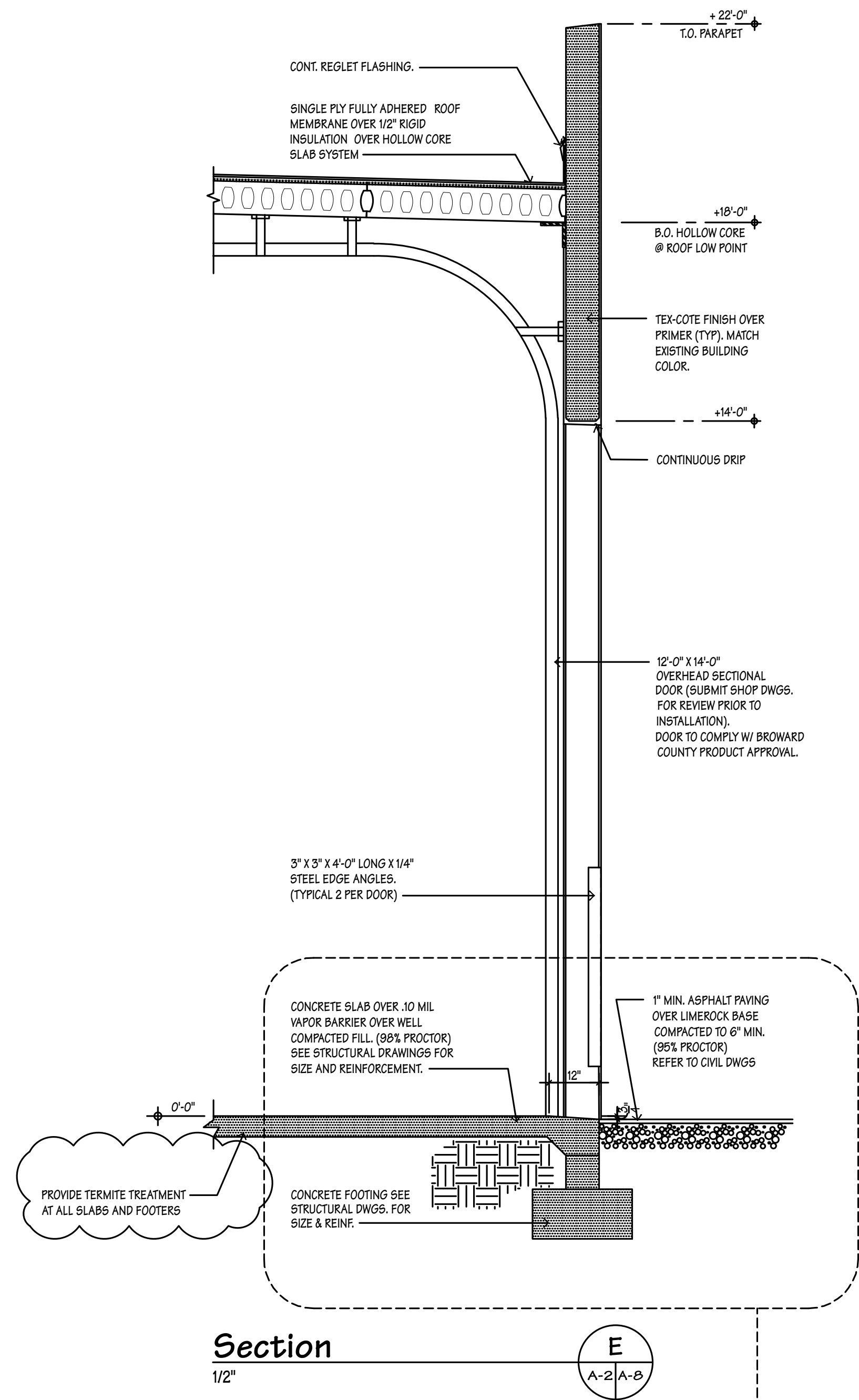
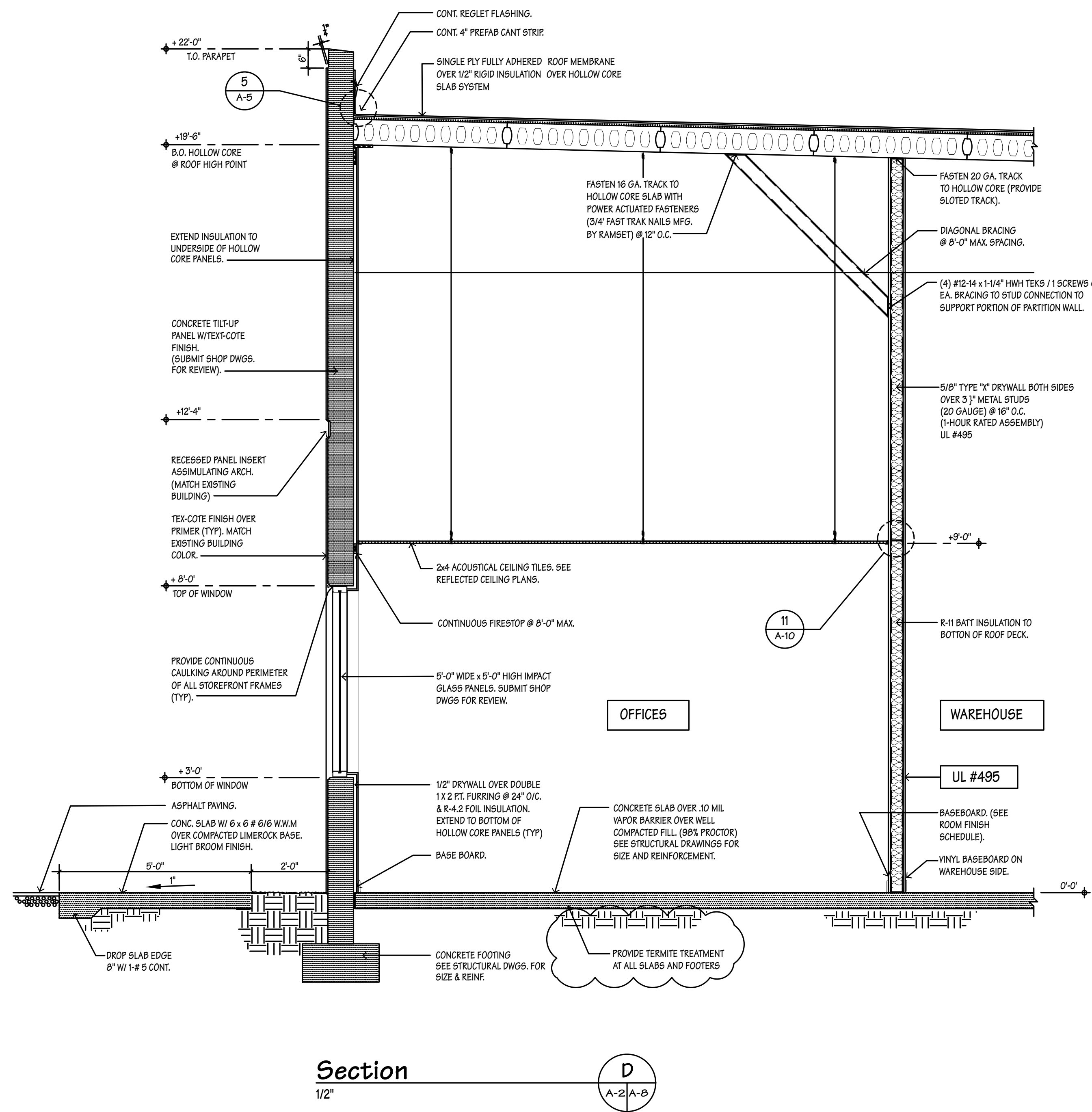
WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST BUILDING 'F'
4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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A-7

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WILKS ROAD

SUBJECT SITE

KEY PLAN

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MIDTOWN CAPITAL PARTNERS, L.L.C.

175 SW 7TH ST SUITE 2112 MIAMI, FL 33130

WAREHOUSE / OFFICE BUILDING FOR:

SAWGRASS EAST BUILDING 'F'

4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

JOB #:

23040

SCALE:

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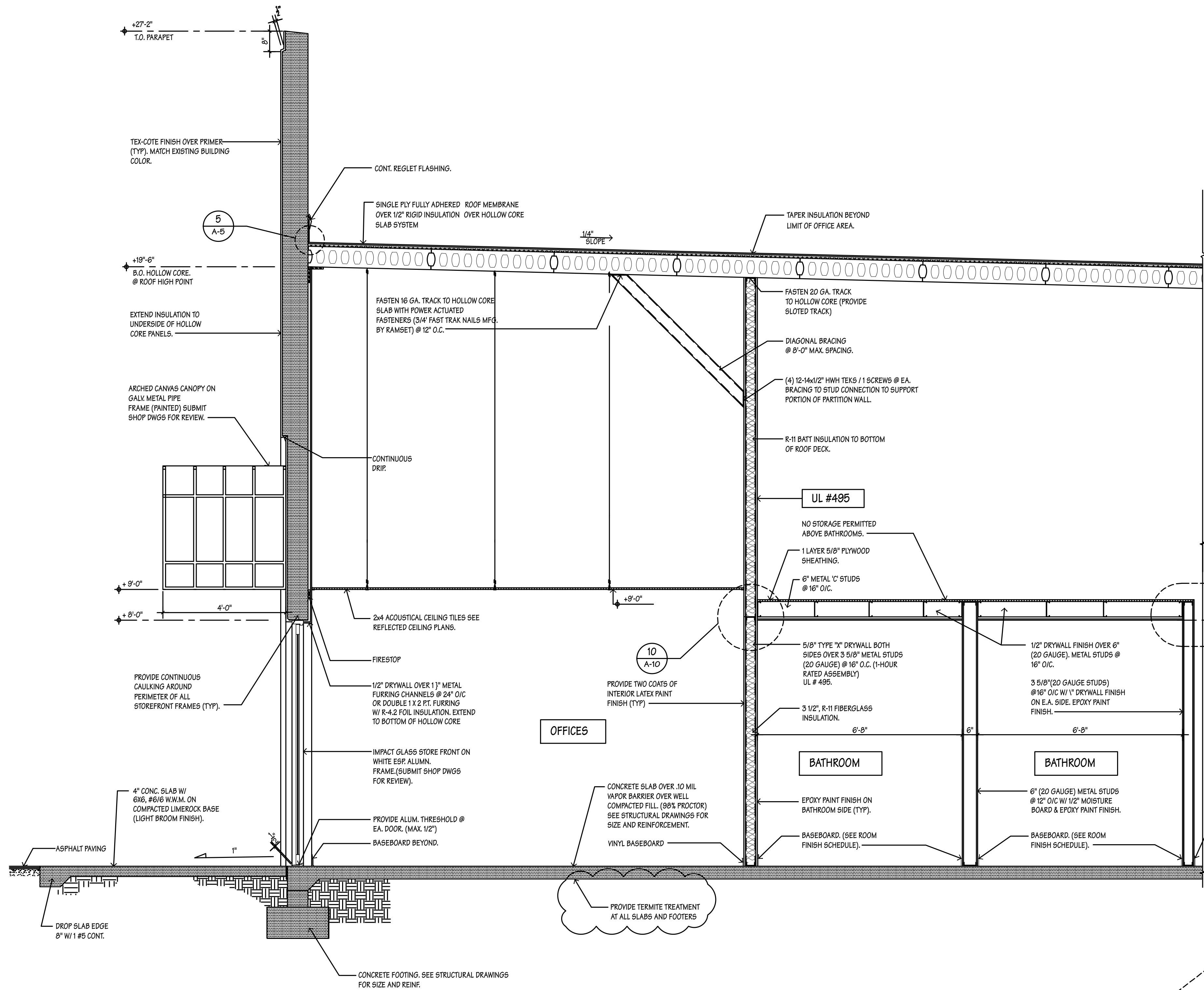
A-8

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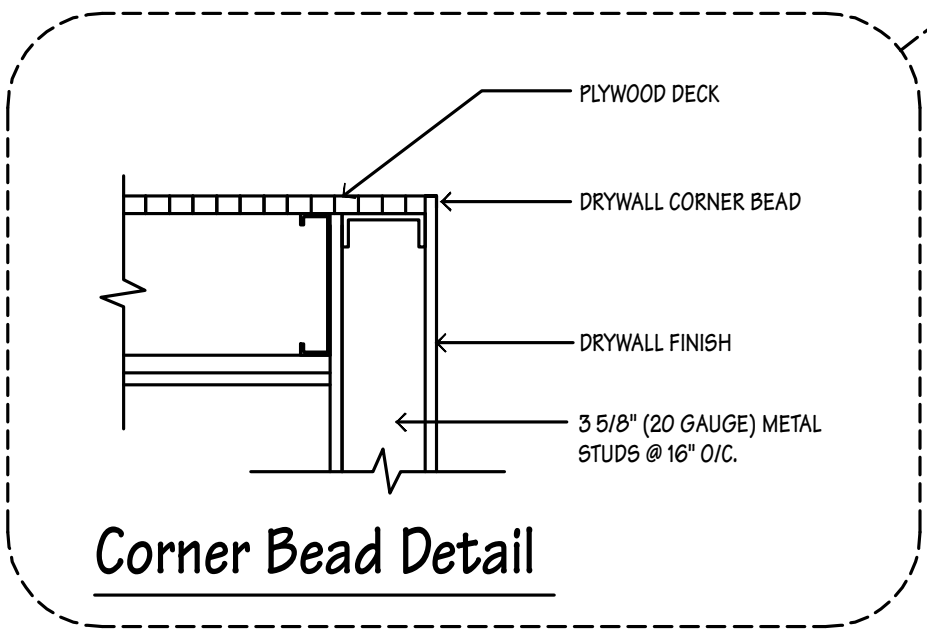
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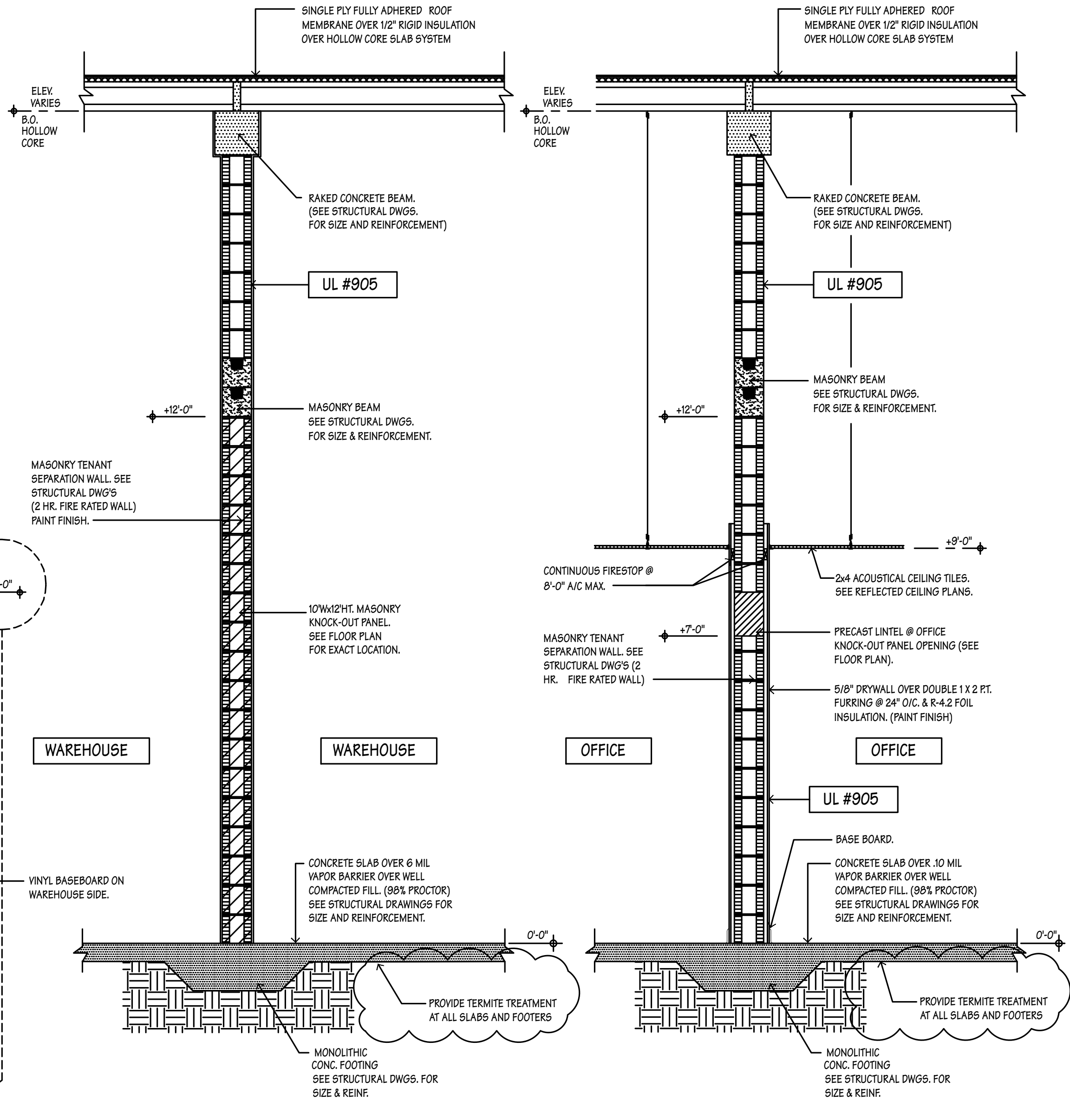
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Section
1/2"



Corner Bead Detail



Section
1/2"

Section
1/2"

WILES ROAD
1/4" = 20'-0" A-11
CONCRETE DRIVE
SUBJECT SITE
KEY PLAN

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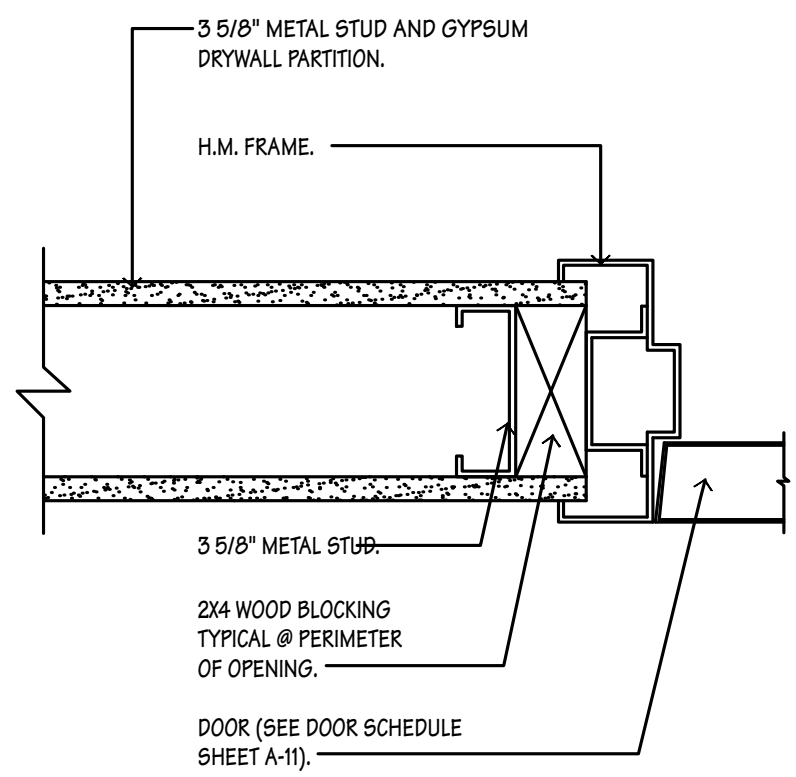
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MIAMI, FL 33130

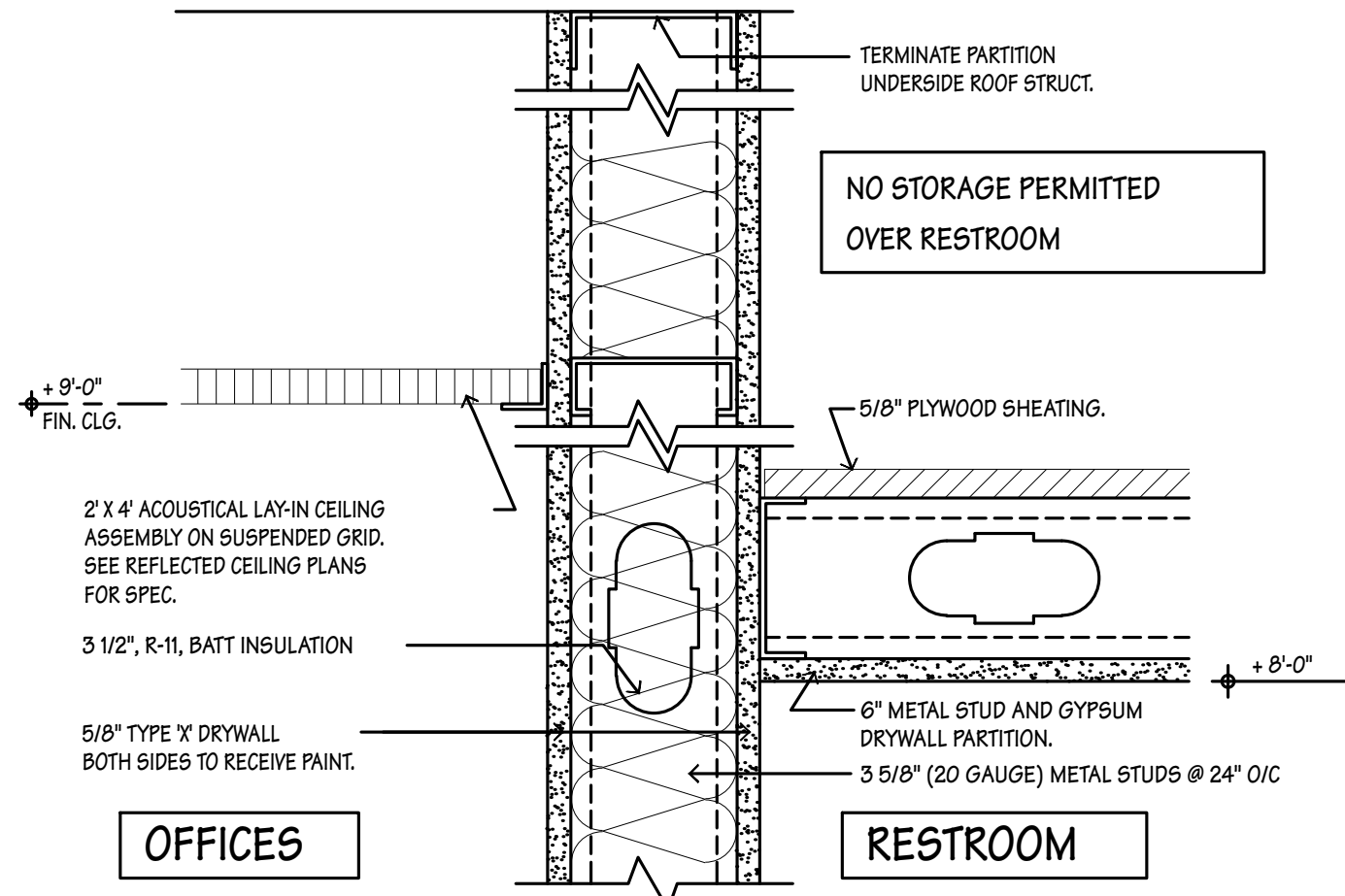
WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST BUILDING 'F'
4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

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SHEET NUMBER	A-9

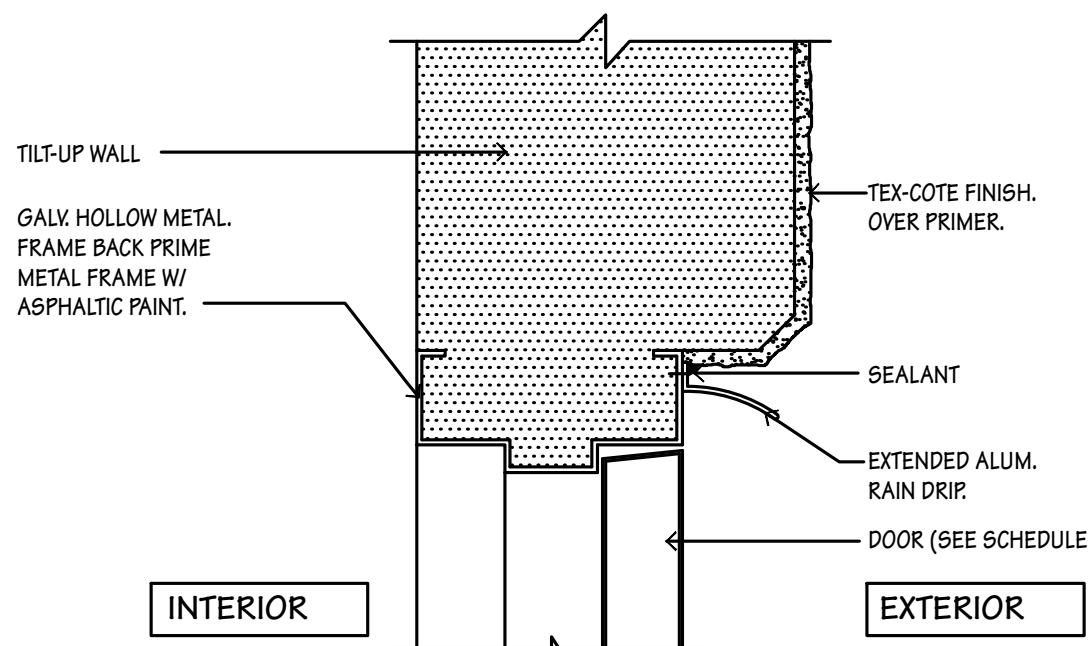
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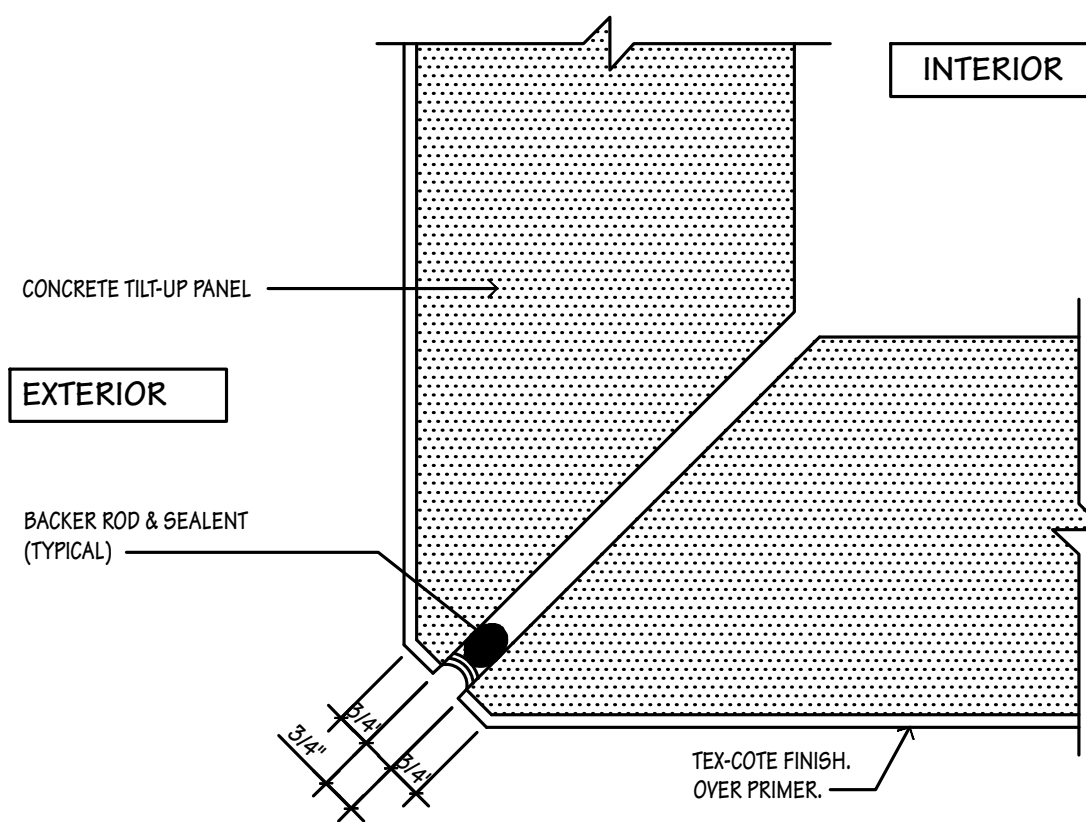
Interior Metal Frame Jamb Detail 3"



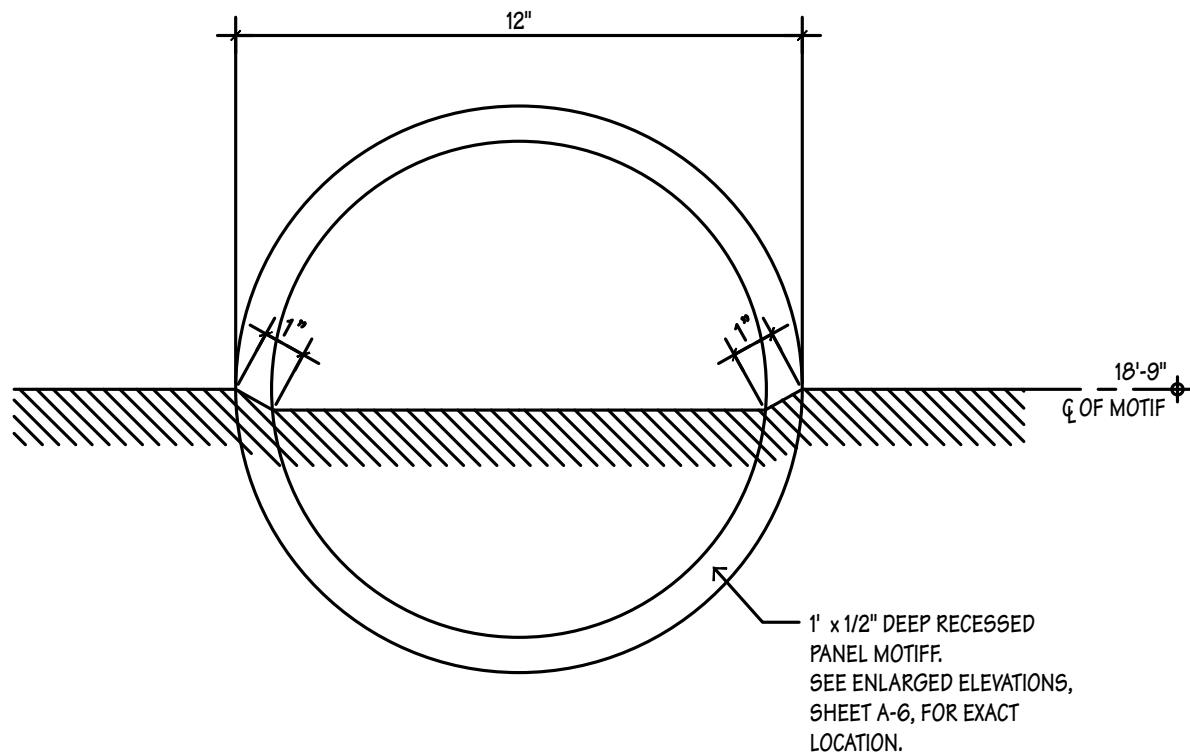
Partition at Ceiling 3"



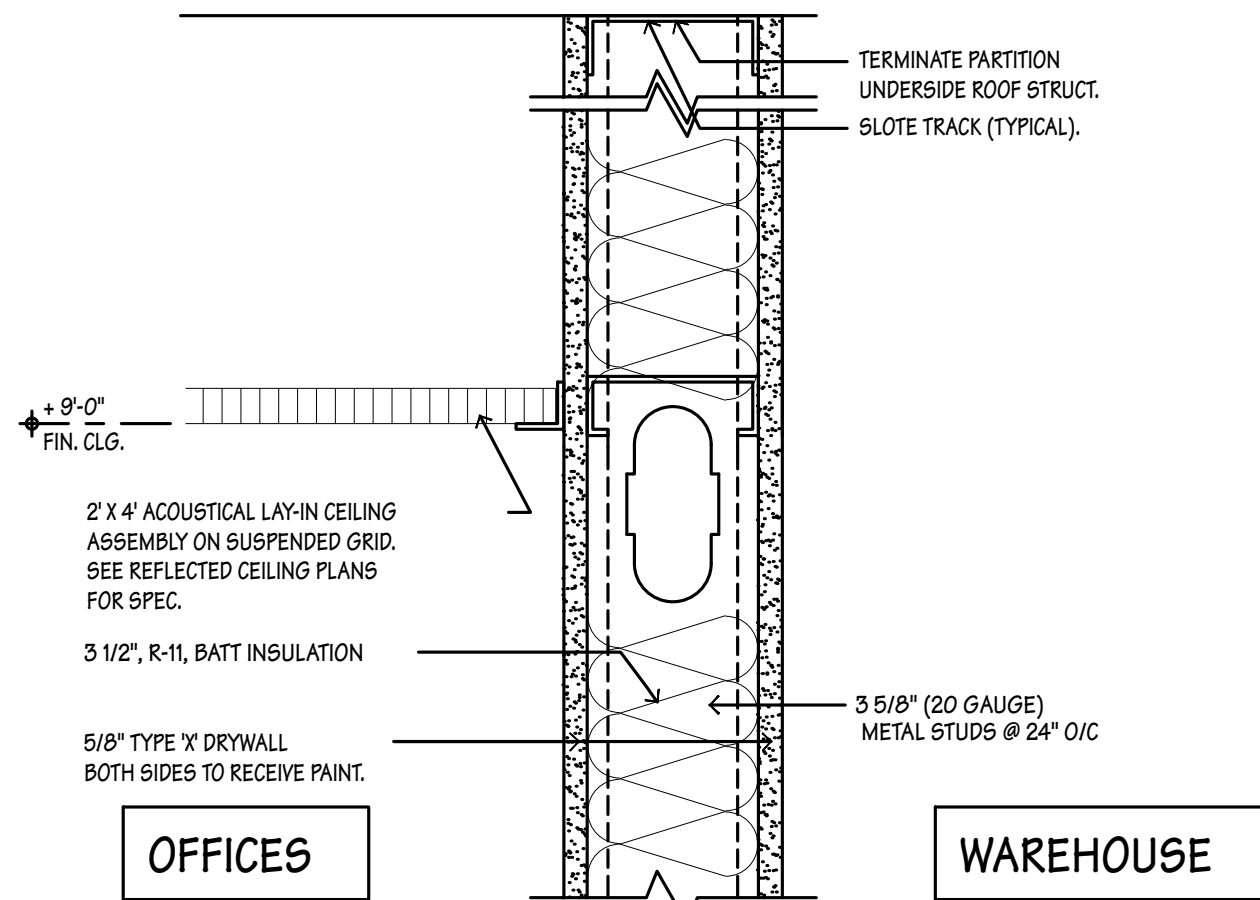
Exterior Metal Door Head Detail 3"



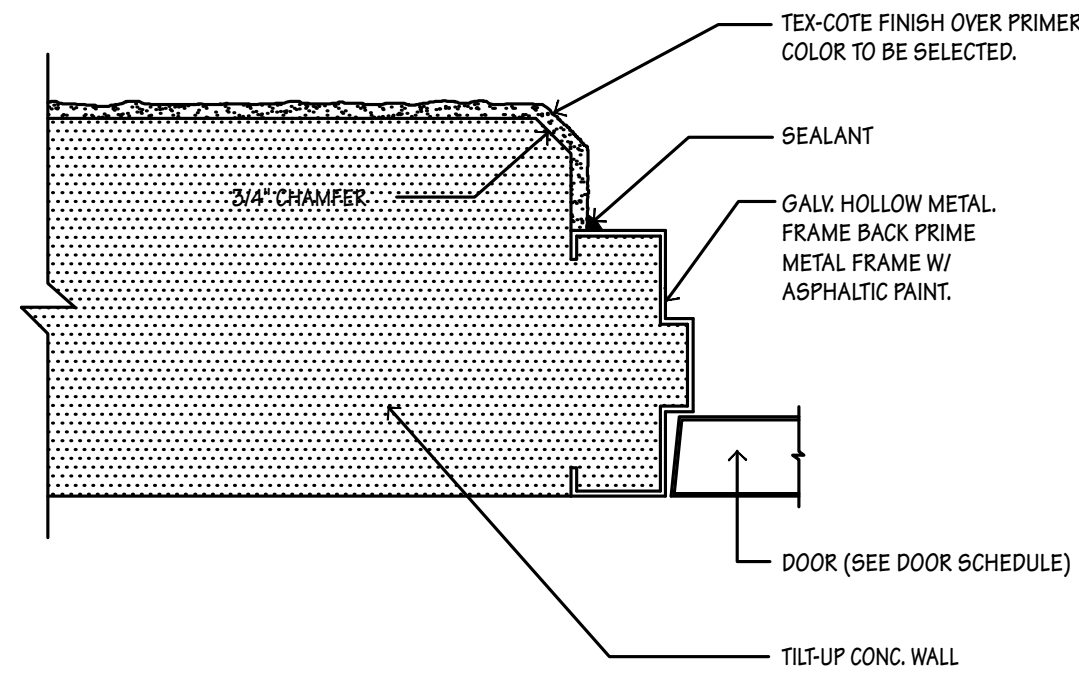
Typical Panel CornerJoint Detail 3"



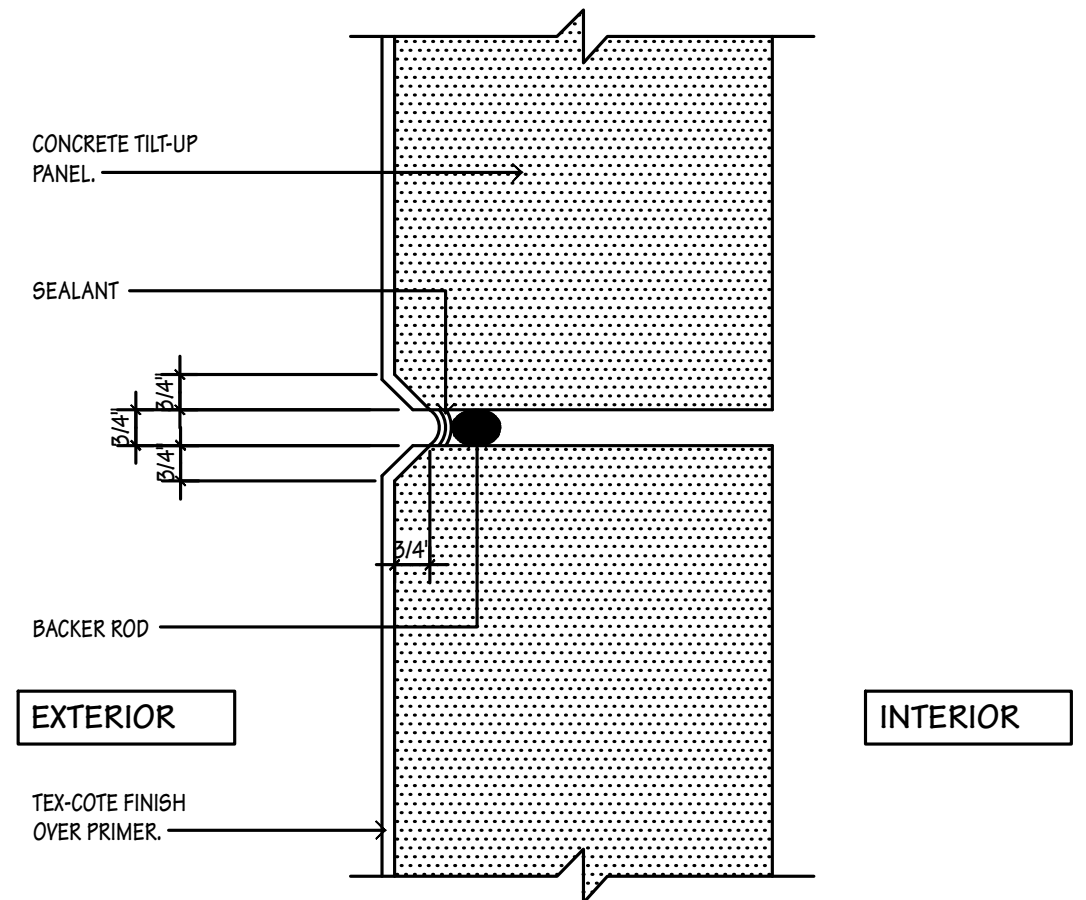
Recessed Panel Motiff Detail 3"



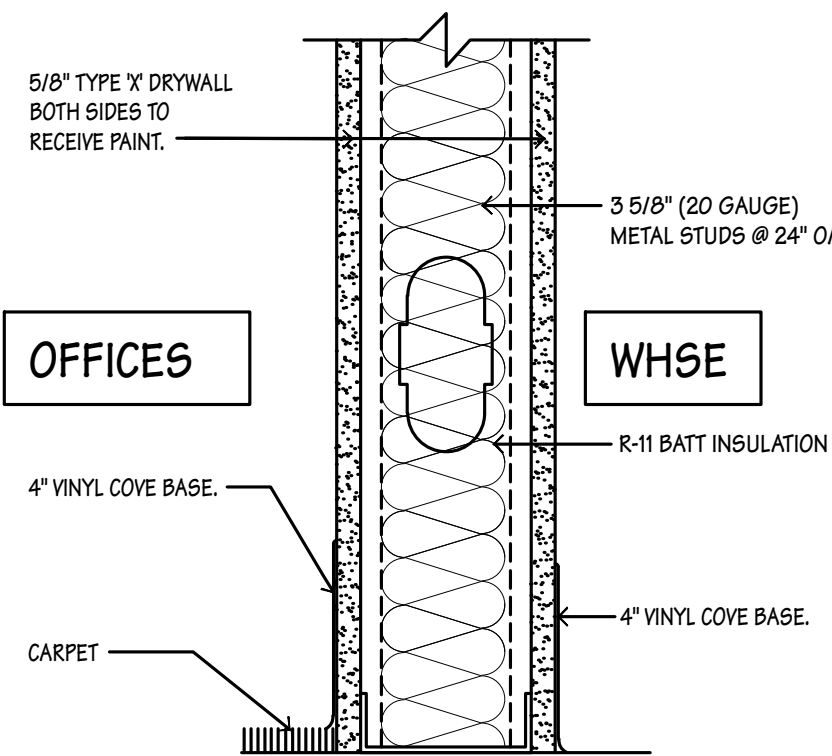
Partition at Ceiling 3"



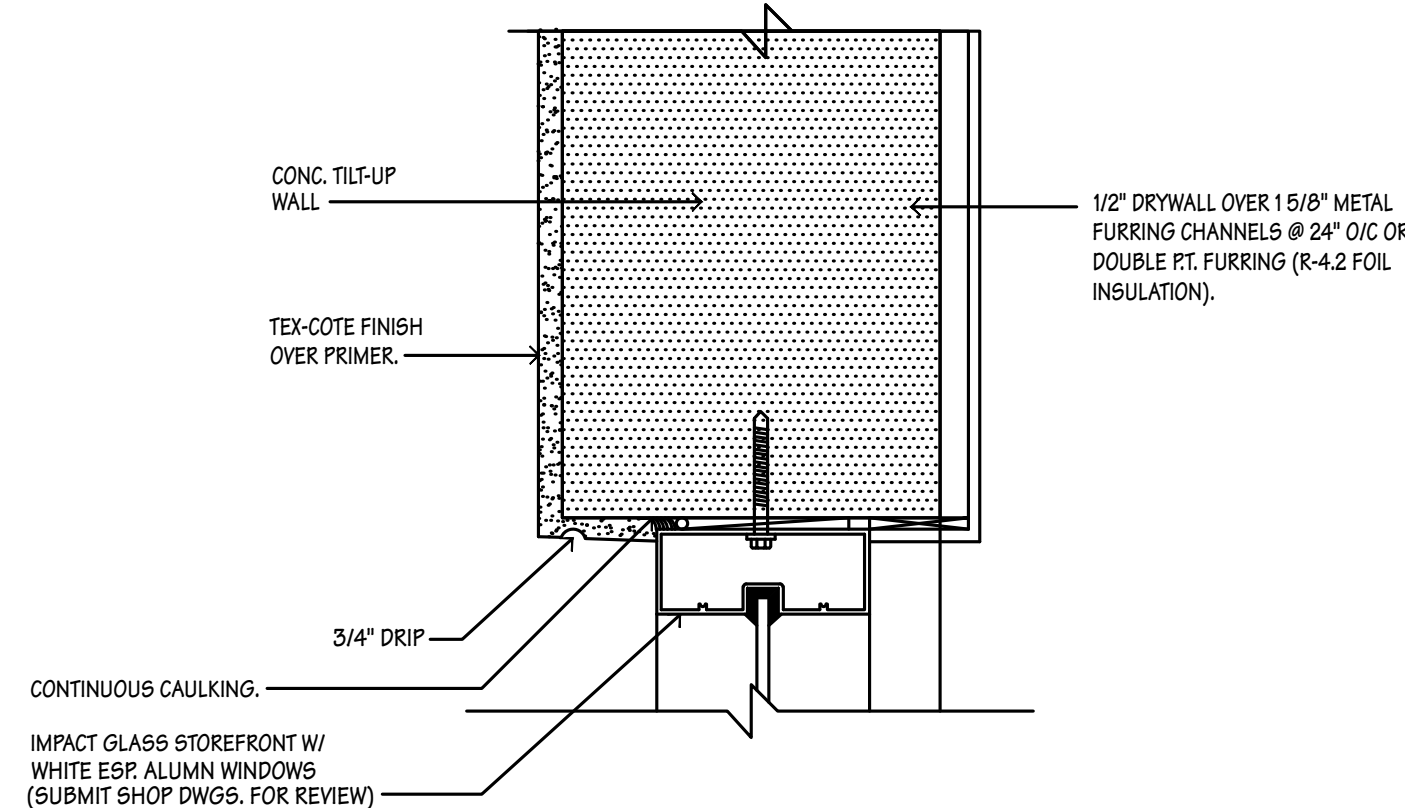
Exterior Metal Door Jamb Detail 3"



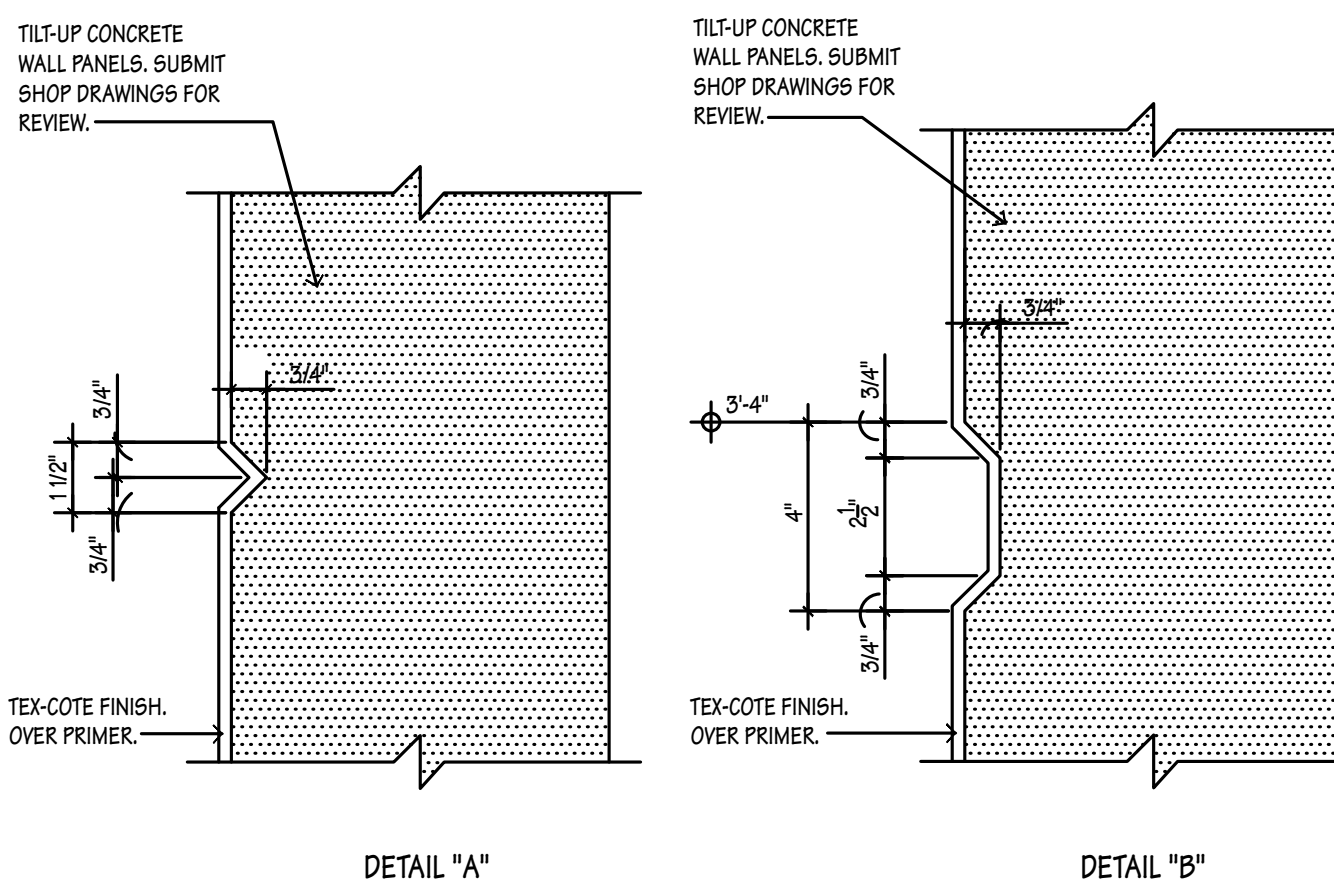
Typical Panel Joint Detail 3"



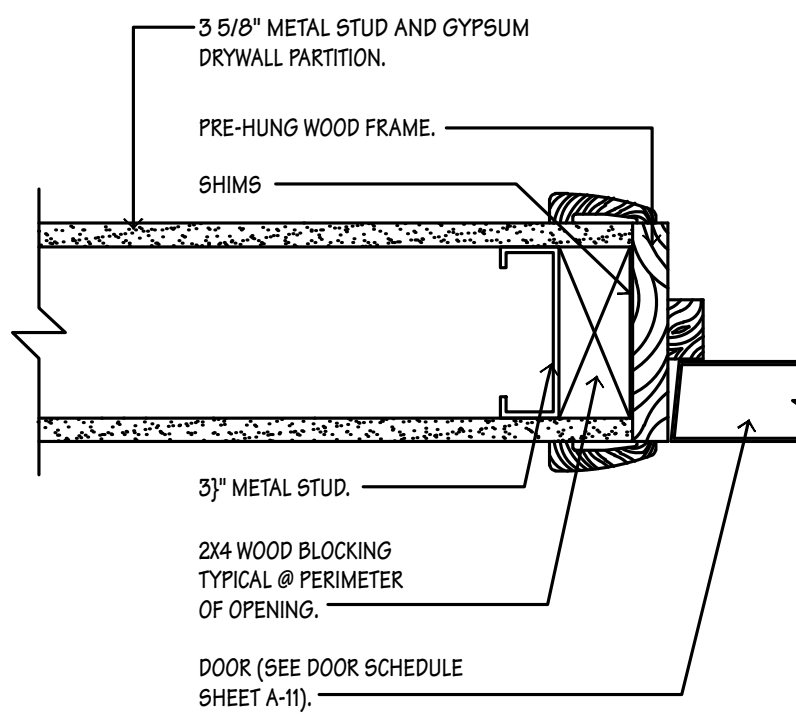
Partition at Base 3"



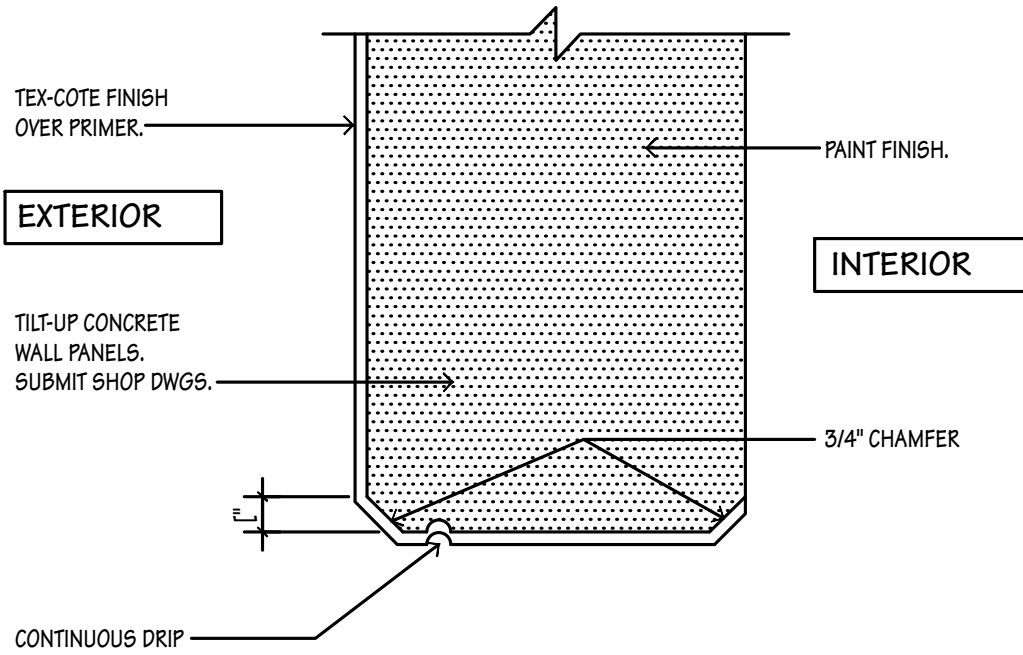
Window Head Detail 3"



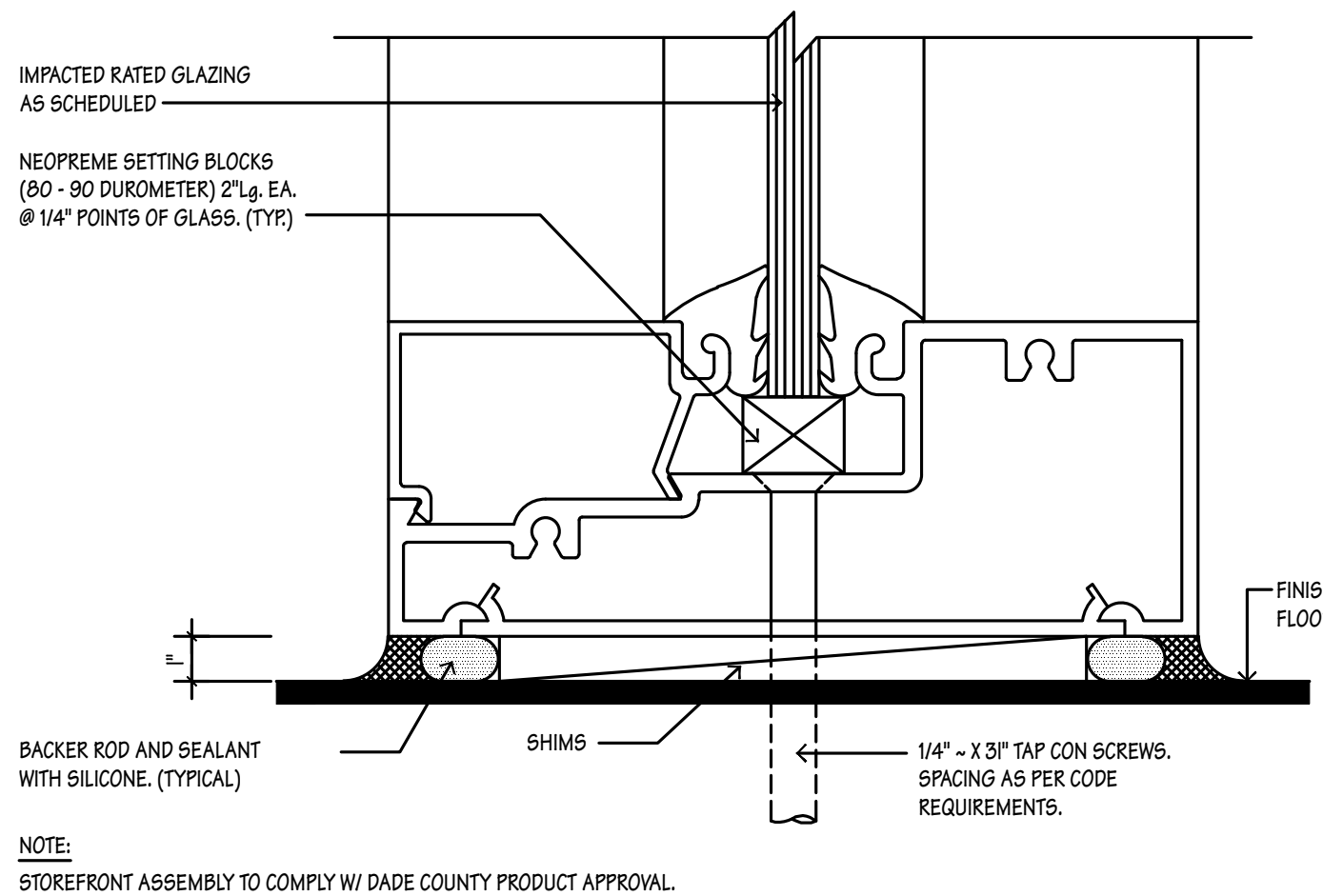
Panel Reveal Details 3"



Interior Wood Frame Jamb Detail 3"



Truck Door/Header Detail 3"



Storefront Sill Detail Full

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KEY PLAN

W. ES. ROAD
S.W. 120TH AVE.
CORAL RIDGE DRIV.

SUBJECT SITE

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O: 561-750-4111
F: 561-750-5298

MWA ARCHITECTURE, LLC
ARCHITECTURE / PLANNING

CONSULTANT

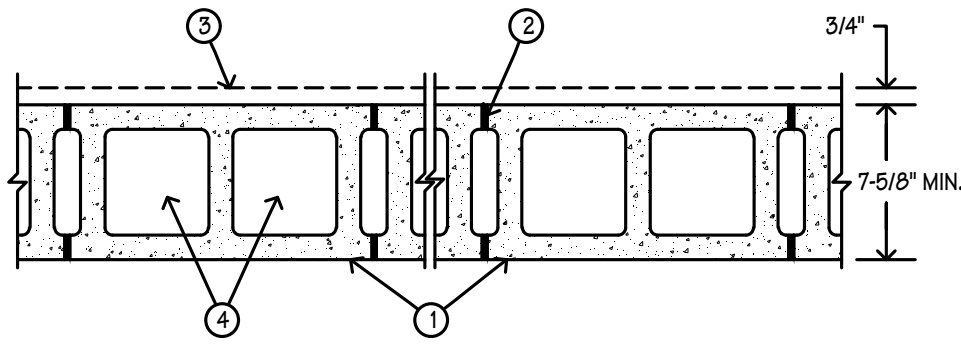
MIDTOWN CAPITAL PARTNERS, L.L.C.
175 SW 7TH ST
SUITE 2112
MIAMI, FL 33130

WAREHOUSE / OFFICE BUILDING FOR:
SAWGRASS EAST BUILDING 'F'
4400 N.W. 120TH AVENUE CORAL SPRINGS, FL

JOB #: 23040
SCALE: AS NOTED
DATE: 10.13.2023
BID DATE:

DRAWN BY: BB
CHECKED BY: RW
ARCHITECTURE
PLAN TYPE:
SHEET NUMBER

A-10



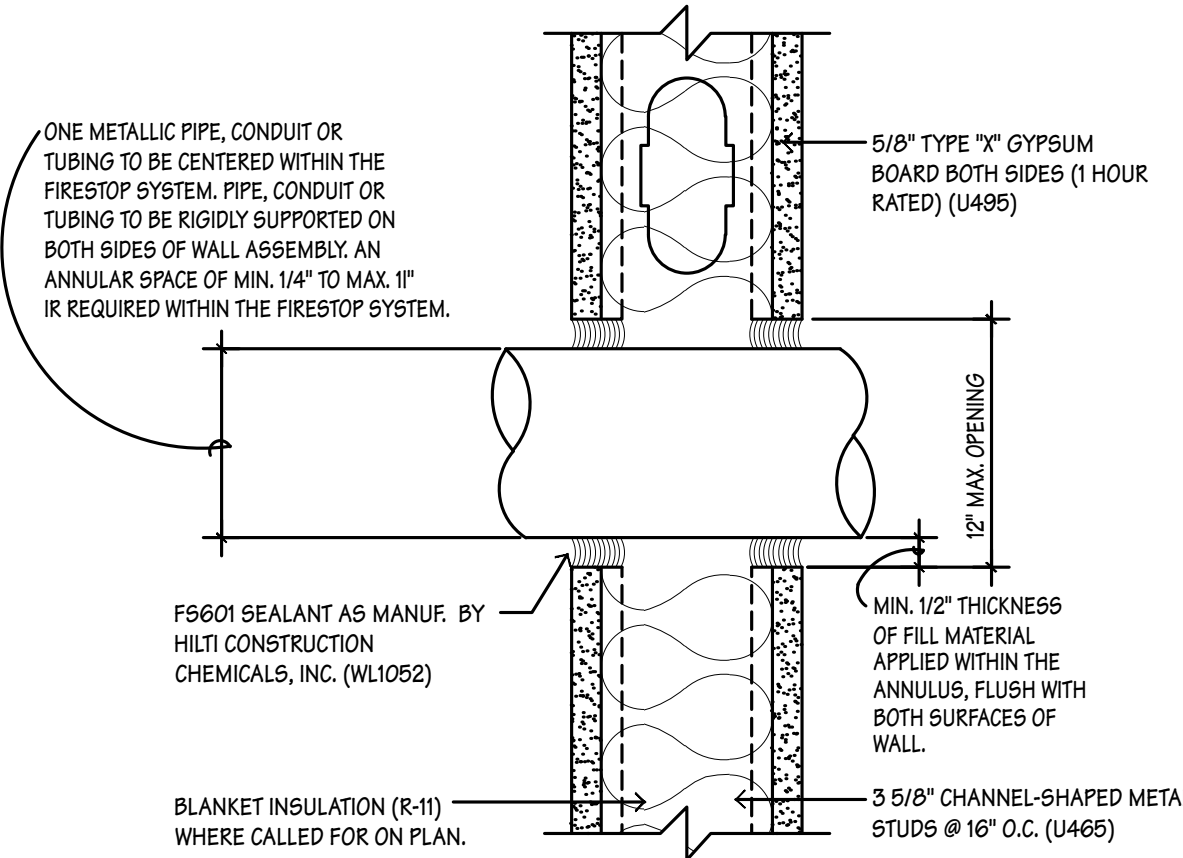
Design No. U905
Bearing Wall Rating -- 2 HR.
Nonbearing Wall Rating -- 2 HR

- Concrete Blocks* -- Various designs, Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers
- Mortar-- Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
- Portland Cement Stucco or Gypsum Plaster-- Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
- Loose Masonry Fill--If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
- Foamed Plastic* -- (Optional-Not Shown) --1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1). CELOTEX CORP. --Type Thermax

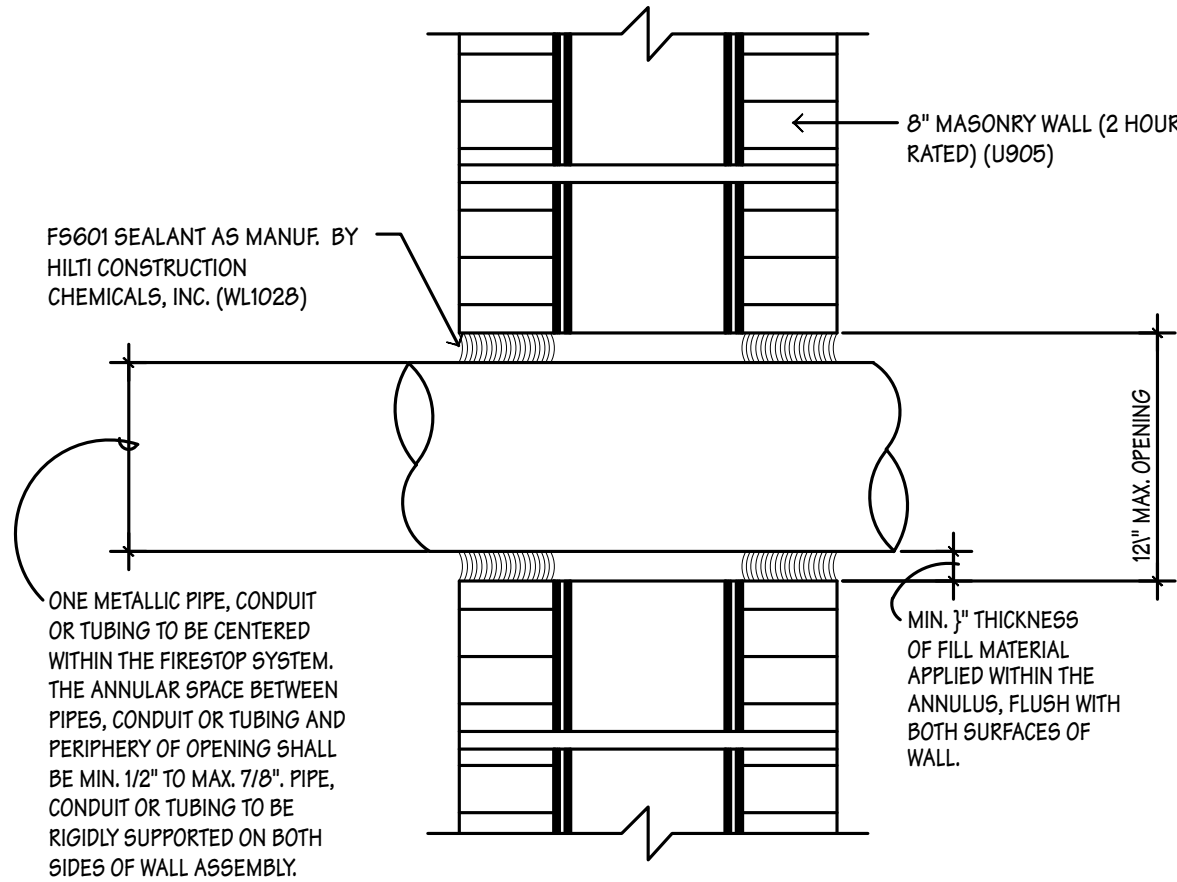
*Bearing the UL Classification Marking

I insulation add

UL #U905 Assembly Detail N.T.S.

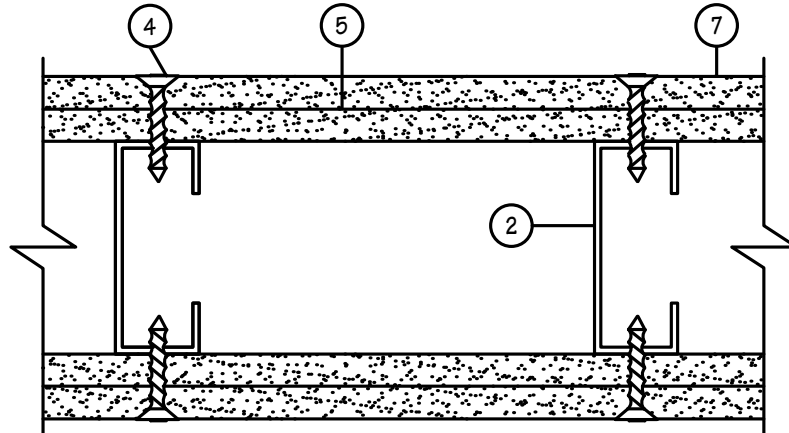


One Hour Fire Rated Wall Penetration (WL 1052) 3"



Two Hour Fire Rated Wall Penetration (WJ 1028) 3"

Design No. U495
Nonbearing Wall Rating -- 1 or 2 HR.
(See Items 5 and 7)



HORIZONTAL SECTION

- Floor and Ceiling Runners -- (Not Shown) -- Channel-shaped runners, 3-5/8 in. wide (min), 1-1/4 in. legs, formed from No. 25 MSG (min) galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
- Steel Studs-- Channel-shaped 3-5/8 in. wide (min), 1-1/4 in. legs, 3/8 in. folded back returns, formed from No. 25 MSG (min) galv steel, spaced 24 in. OCmax.
- Batts and Blankets* -- (Optional, not shown) -- Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (BZJZ) category for names of Classified companies.
- Screws-- Type 5 self-tapping screws, 1-1/4 or 2 in. long, (1 Hr) and 2-1/2 in. long (2).
- Building Units* --For 1 Hr Rating -- Nom 5/8 or 3/4 in. thick, 4 ft wide, faced gypsum wallboard panels with the faced side on the interior wall cavity. Panels attached to studs and floor and ceiling runners with screws spaced 8 in. OC along the edges of the panel and 12 in. OC in the field of the panel. Joints oriented vertically and staggered on opposite sides of the assembly.
GENERAL ELECTRIC CO
SILICONE PRODUCTS DIV--Type CoreGuard.
NATIONAL GYPSUM CO --Type Gold Bond Fire-Shield Type X
Hi-Impact Wallboard or Gold Bond Fire-Shield Type X Kai-Kore
Hi-Impact Plaster Base.
- Joint Tape and Compound -- (not shown) -- Vinyl, dry or premixed joint compound, applied in two coats to joints and screw heads; paper tape, 2 in. wide, embedded in first layer of compound over all joints.
- Wallboard, Gypsum for 2 Hr Rating -- any Classified 5/8 in. thick (minimum), 4 ft wide, wallboard applied over exterior face of Building Unit (Item 5). Wallboard to be applied vertically with joints staggered 24 in. from Building Unit (Item 5) and attached to studs and floor and ceiling runners with screws spaced 8 in. OC.
See Wallboard, Gypsum (CXN) Category for names of manufacturers.
*Bearing the UL Classification Marking

UL #U495 Assembly Detail N.T.S.

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1

2

3

KEY PLAN

SUBJECT SITE

WILES ROAD

ANDREWS AVENUE

N.W. 120TH AVE

CORAL SPRINGS

MARK

DATE

1

A-10.1

2

A-10.1

3

A-10.1

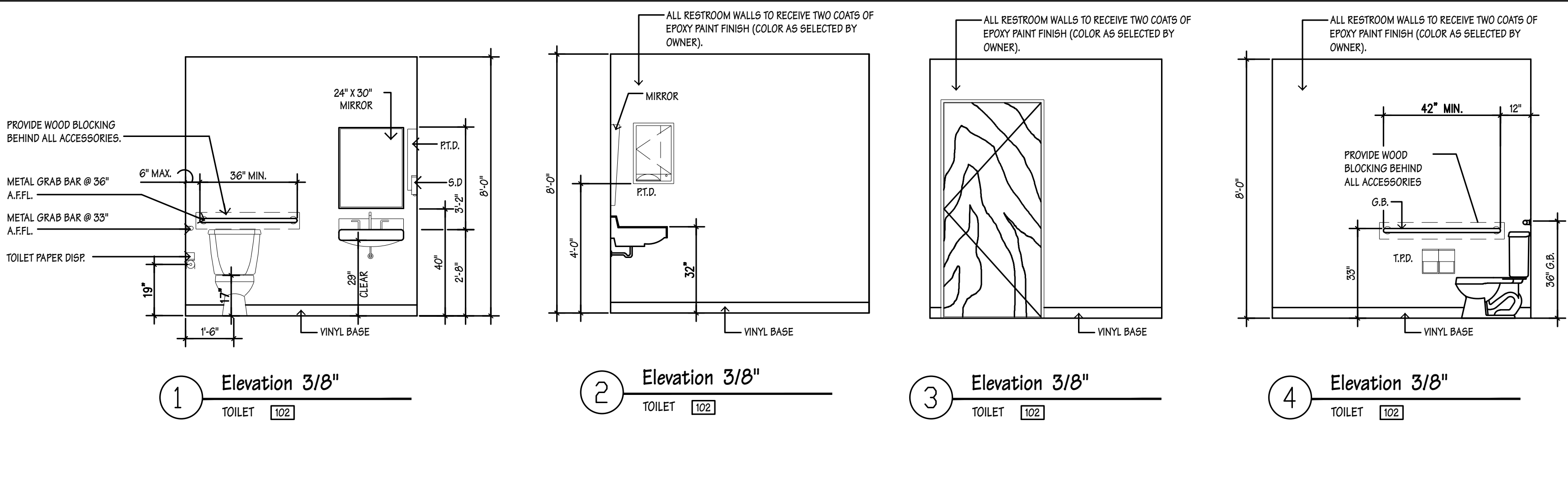
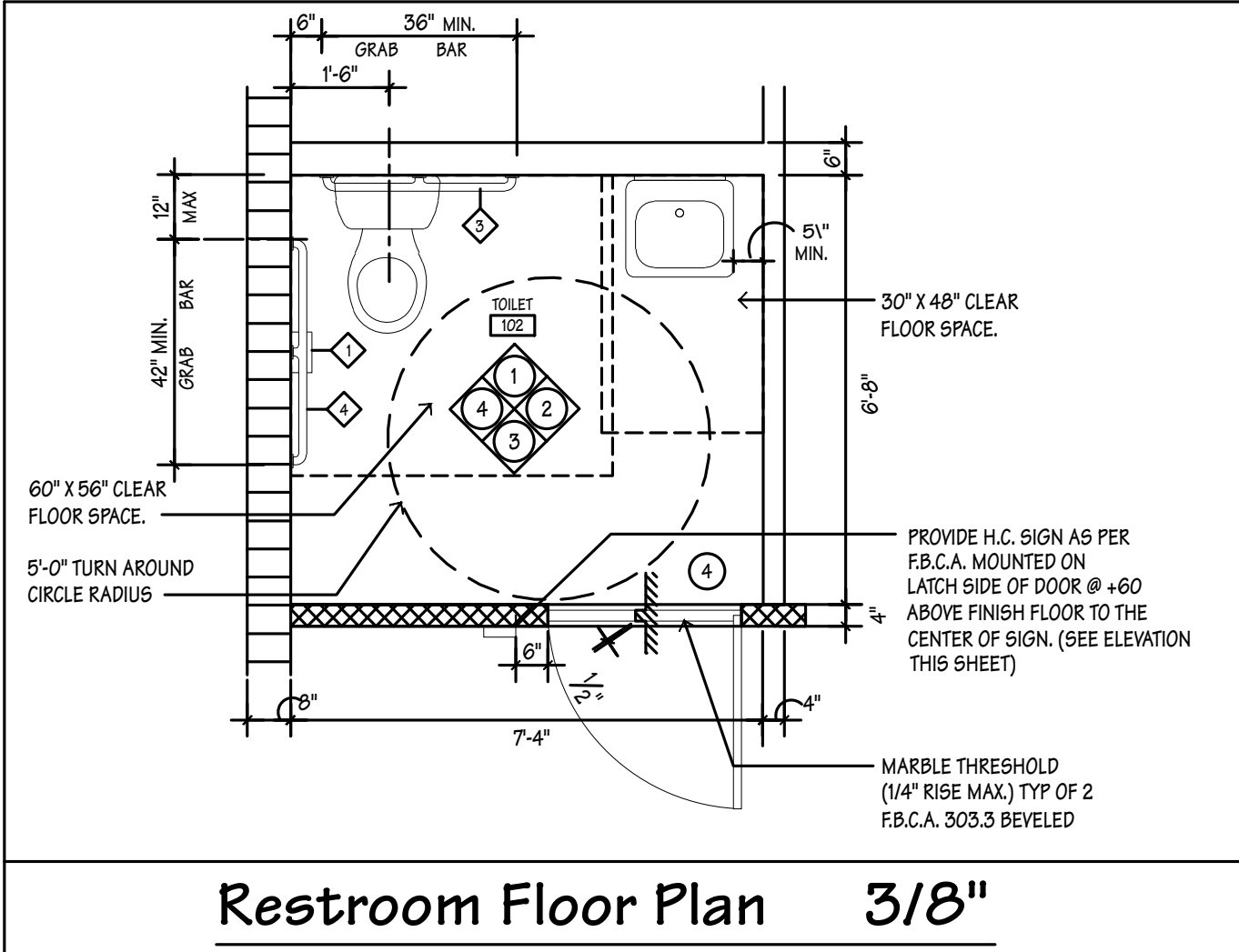
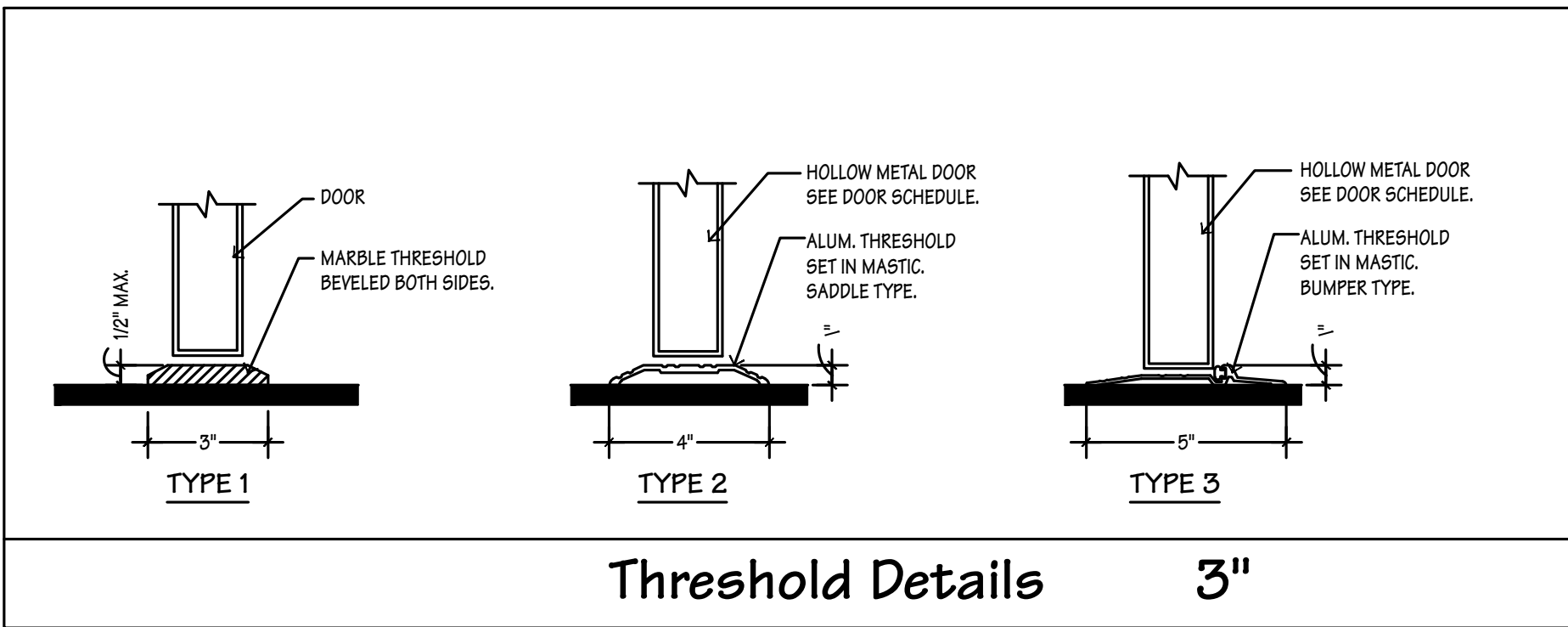
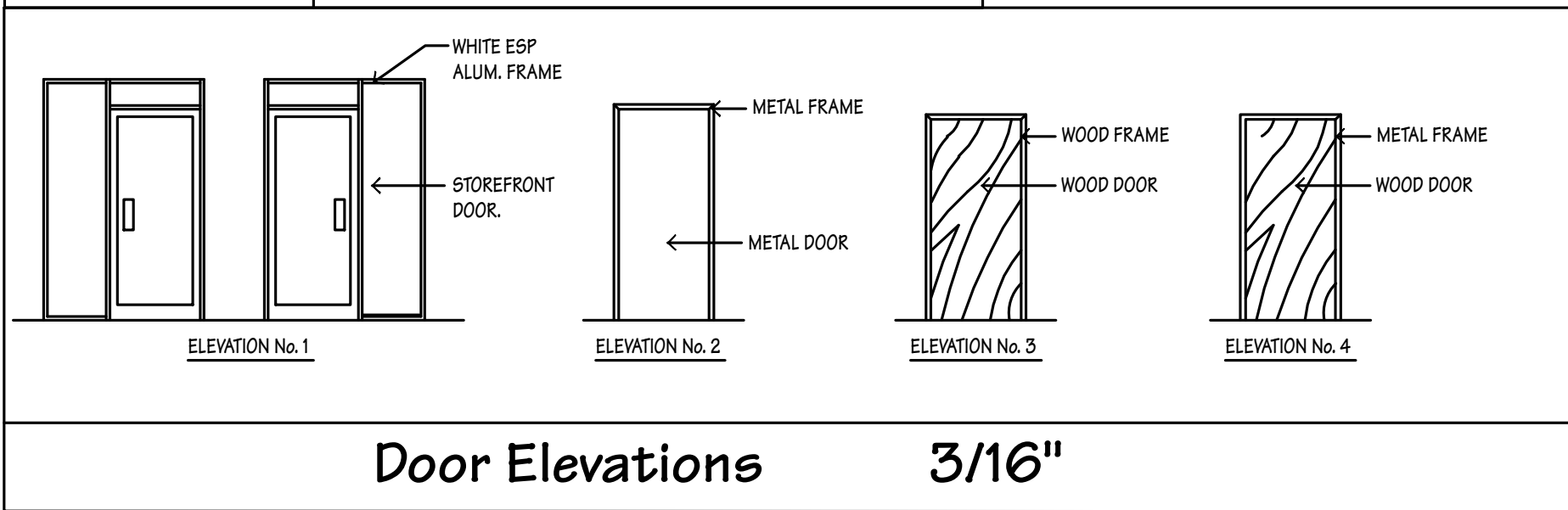
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ROOM FINISH SCHEDULE								
ROOM		FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	WAINSCOT	REMARKS
NUMBER	NAME							
100	OFFICE	EXPOSED CONCRETE	VINYL	DRYWALL	2x4 ACOUSTICAL	9'-0"	---	DRYWALL SURFACES SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF PAINT FINISH.
101	OFFICE	EXPOSED CONCRETE	VINYL	DRYWALL	2x4 ACOUSTICAL	9'-0"	---	DRYWALL SURFACES SHALL BE PRIMED PRIOR TO RECEIVING TWO COATS OF PAINT FINISH.
102	RESTROOM	VINYL TILE	VINYL	DRYWALL	DRYWALL	8'-0"	---	EPOXY PAINT ON WALLS (COLOR TO BE SELECTED BY OWNER)
103	WAREHOUSE	EXPOSED CONCRETE	---	EXPOSED	HOLLOW CORE PANEL	VARIES	---	
104	OFFICE	EXPOSED CONCRETE	VINYL	DRYWALL	2x4 ACOUSTICAL	9'-0"	---	
105	RESTROOM	VINYL TILE	VINYL	DRYWALL	DRYWALL	8'-0"	---	EPOXY PAINT ON WALLS (COLOR TO BE SELECTED BY OWNER)

DOOR SCHEDULE																
MARK	WIDTH	HEIGHT	THICKNESS	H.C.	S.C.	DOOR DESCRIPTION	MATERIAL	DOOR FINISH	FRAME	FRAME FINISH	THRESHOLD DETAIL	DOOR ELEVATION	LOCK			REMARKS
													KEY	PRIVACY	PASSAGE	
①	3'-0"	7'-0"	1 3/4"	—	—	STOREFRONT	GLASS/ALUMN.	WHITE ESP	ALUMN	WHITE ESP	3	1	/			DOOR TO COMPLY WITH N.O.A. OR FLORIDA PRODUCT APPROVAL (IMPACT GLASS)
②	3'-0"	6'-8"	13/4 "	—	/	SWING	WOOD	PAINT	METAL	PAINT	2	2	/			PROVIDE CLOSER (45 MINUTE RATED DOOR)
③	3'-0"	6'-8"	1 3/4"	—	/	SWING	WOOD	PAINT	METAL	PAINT	—	3	/			
④	3'-0"	6'-8"	1 3/4"	—	/	SWING	WOOD	PAINT	METAL	PAINT	1	4	/			PROVIDE CLOSER (45 MINUTE RATED DOOR)
⑤	3'-0"	6'-8"	1 3/4"	—	—	SWING	METAL	PAINT	METAL	PAINT	3	2	/			DOOR TO COMPLY WITH N.O.A. OR FLORIDA PRODUCT APPROVAL
⑥	12'-0"	14'-0"	-	—	—	O.H. DOOR	METAL	PAINT	METAL	PAINT	—	—	/			DOOR TO COMPLY WITH N.O.A. OR FLORIDA PRODUCT APPROVAL
⑦	3'-0"	6'-8"	1 3/4"	—	/	SWING	WOOD	PAINT	METAL	PAINT	1	3	/			PROVIDE DOOR CLOSER

* PROVIDE LOCK GUARDS ON STOREFRONT DOORS (TYP)

PLUMBING FIXTURE SCHEDULE		
FIXTURE	MANUFACTURER / MODEL	
WATER CLOSET (HANDICAP)	CADET EL	2998.010 (TANK TYPE)
HC LAVATORY (WALL MOUNT)	AMERICAN STANDARD	SFS-0321
LAVATORY FAUCET	AMERICAN STANDARD	MONTEREY-9501170
ELECTRIC WATER COOLER	ELKAY	EHF5A-9 STAINLESS STEEL (HANDICAP)
MOP SINK	ELM-MUSTEE	63 M



IF THIS DIMENSION IS LESS THAN 12", THEN THE 24" MIN. MUST BE CORRESPONDINGLY LONGER.

TO ACCOMMODATE A 24" BAR, THE REINFORCED AREA SHOULD BE 28" TO 32" LONG TO PROVIDE FULL SUPPORT FOR THE MOUNTING PLATES, SEE EXPLANATION BELOW

SPROUT OUTLET FOR STANDING PERSON SHALL BE 38" MINIMUM & 43" MAXIMUM ABOVE FIN FLR PER F.B.C.A. 602.7

NOTE: EQUIPMENT PERMITTED IN UNSHARED AREA

DRINKING FOUNTAIN SPOUT HEIGHT & KNEE CLEARANCE DETAIL 3/8"

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