

PREPARED BY  
**TURNER LAND SURVEYING**  
 1641 UNIT B HWY. 129 SOUTH  
 CLEVELAND, GEORGIA 30528  
 PHONE: 706-865-0010  
 GA. LS FIRM # 000982 (COA)

DESCRIPTIONS/OFFSETS TO P/L FOR POINTS (A) & (B) AS SHOWN HEREON

(A) = NORTHEAST CORNER GARAGE - LIES 3.2' SOUTH OF PROPERTY LINE  
 (B) = NORTHWEST CORNER GARAGE - LIES 2.3' SOUTH OF PROPERTY LINE

RETRACEMENT/RECONFIGURATION SURVEY PREPARED FOR

**ALEX JAKE ASUIT**

LOCATED IN  
 CITY OF CLEVELAND  
 LAND LOTS 38 & 59, 2nd LAND DISTRICT  
 WHITE COUNTY, GEORGIA  
 DATE: DECEMBER 2, 2025 SCALE: 1" = 100'  
 JOB NO. 750A-25 FB - 37/35

THIS BLOCK RESERVED FOR THE CLERK  
 OF SUPERIOR COURT

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 60,385 FEET AND AN ANGULAR ERROR OF 0°00'02" PER ANGLE AND WAS ADJUSTED BY LEAST SQUARES.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 847,947 FEET.

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA PER FEMA MAP # 13311C0182D, EFFECTIVE ON: 1/5/2018.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS WAS A TOPCON GTS 235W.

DATES OF FIELD SURVEY: 11/14/2025, 11/18/2025 & 11/19/2025.

**DEED REFERENCES:**

- 1) DEED BOOK 716, PAGE 403, WHITE CO., GA. RECORDS.
- 2) DEED BOOK 927, PAGE 39, WHITE CO., GA. RECORDS.

**PLAT REFERENCES:**

- 1) PLAT BOOK 50, PAGE 188, WHITE CO., GA. RECORDS.
- 2) PLAT BOOK 32, PAGE 13, WHITE CO., GA. RECORDS.
- 3) PLAT BOOK 1, PAGE 83, WHITE CO., GA. RECORDS.

OWNER OF RECORD: ALEX JAKE ASUIT

REFERENCE TAX PARCEL # 047B 017A, WHITE COUNTY, GA.

**LEGEND:**

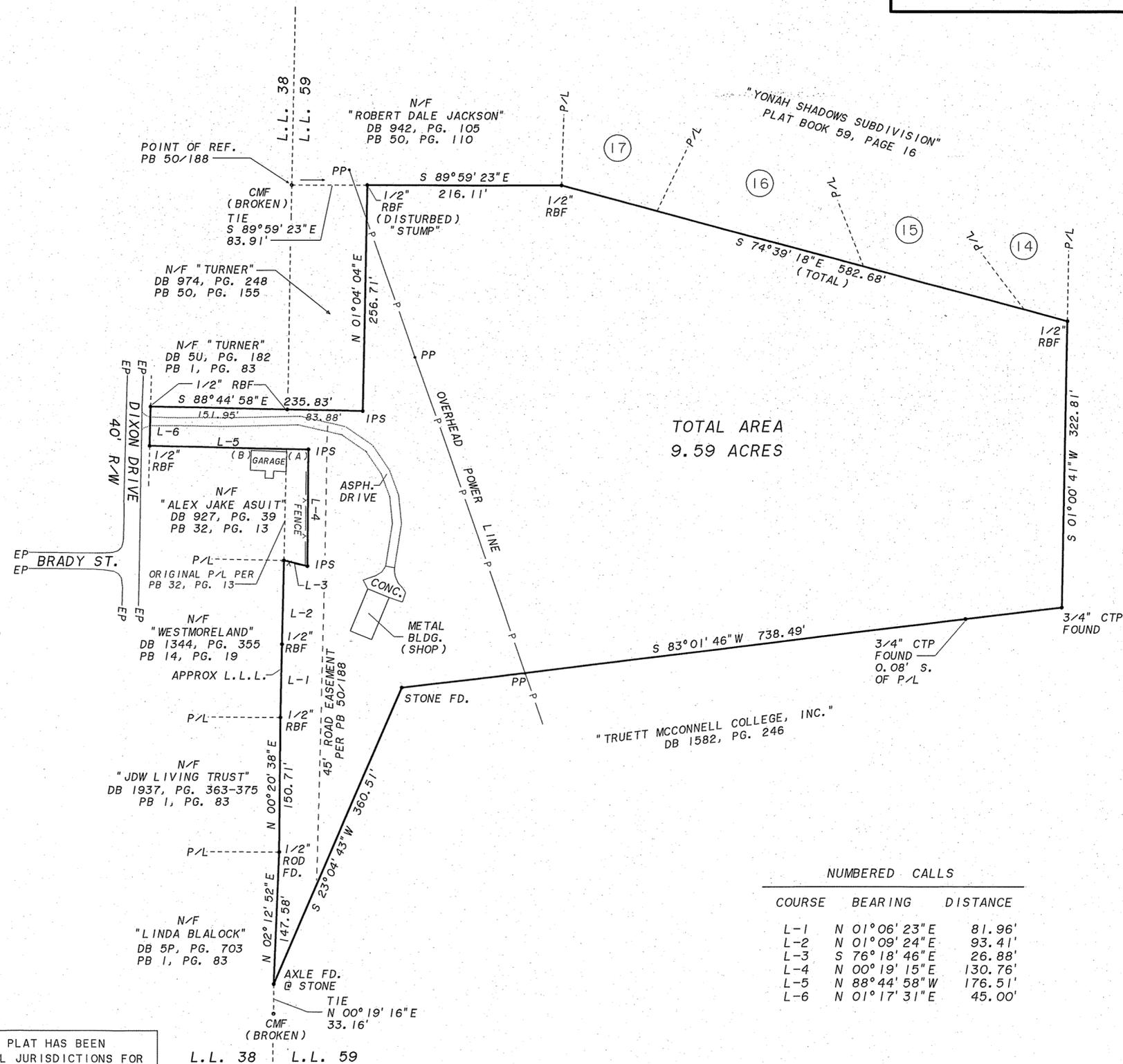
- IPS - IRON PIN SET (1/2" CAPPED REBAR) "RPLS 2927"
- IPF - IRON PIN FOUND
- RBF - REBAR FOUND
- CMF - CONCRETE MONUMENT FOUND
- L.L.L. - LAND LOT LINE
- L.L. - LAND LOT
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- C/L - CENTERLINE
- INT. - INTERSECTION
- EP - EDGE PAVEMENT
- PP - POWER POLE
- CTP - CRIMPED TOP PIPE
- DB - DEED BOOK
- PB - PLAT BOOK
- PS - PLAT SLIDE

**SURVEYORS CERTIFICATION**

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

*Mark B. Turner*  
 MARK B. TURNER, GA. RLS # 2927

12/3/2025  
 DATE



TOTAL AREA  
 9.59 ACRES

**NUMBERED CALLS**

COURSE	BEARING	DISTANCE
L-1	N 01°06'23"E	81.96'
L-2	N 01°09'24"E	93.41'
L-3	S 76°18'46"E	26.88'
L-4	N 00°19'15"E	130.76'
L-5	N 88°44'58"W	176.51'
L-6	N 01°17'31"E	45.00'

