

MODERN COMMERCIAL SPACES FOR SALE IN DENVER'S THRIVING HUB



## PRIME RETAIL & MEDICAL OFFICE OPPORTUNITY!

NATURAL BALANCE - 2950-2954 HAVANA STREET, DENVER, CO 80238



**FOR SALE \$2,650,000**

Suite 200, 5261 South Quebec Street  
Greenwood Village, Colorado 80111



*PRESENTED BY:*

**PHIL KUBAT**  
Principal & Managing Broker  
office: (720) 909-8557  
cell: (303) 981-1936  
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CO - ER100016698, TX - 759206

**G. BASEL FLEISCHLI**  
Listing Agent  
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The calculations and data presented are deemed to be accurate, but not guaranteed. They are intended for the purpose of illustrative projections and analysis. The information provided is not intended to replace or serve as substitute for any legal, accounting, investment, real estate, tax or other professional advice, consultation or service. The user of this software should consult with a professional in the respective legal, accounting, tax or other professional area before making any decisions.

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# SECTION I

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## Property Summary



# PROPERTY SUMMARY

Natural Balance  
2950-2954 Havana Street | Denver, CO 80238



## Property Summary

Asking Price:	\$2,650,000
Total SF:	4,882
Lot Size:	0.56 Acres
Lease Rate:	\$35/SF
Tenancy:	Multi
Parking Spaces:	18
Year Built:	2017
Zoning:	C-MU-20

## Property Overview

For Sale at \$2,650,000, these commercial spaces located at 2950-2954 Havana Street, built in 2017, features a mix of retail and medical office space, providing great opportunities for various business types. The modern medical office was designed to keep patients' comfort in mind and serves as a valuable asset for healthcare providers. The retail space offers high visibility in a modern contemporary building with ample patio space. The building has a functional layout that can accommodate different tenant needs, and parking availability for both customers and employees.

## Location Overview

Located in the Denver Metro Area, the property benefits from significant traffic flow due to their proximity to major thoroughfares such as M.L.K. Jr Blvd. and Havana Street. Anchored by a major grocery retailer and the Eastbridge Town Center, the area has a diverse mix of residential and commercial developments, making the commercial spaces accessible to a broad customer base.

# SECTION II

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## Photos



# PROPERTY PHOTOS

Natural Balance  
2950-2954 Havana Street | Denver, CO 80238



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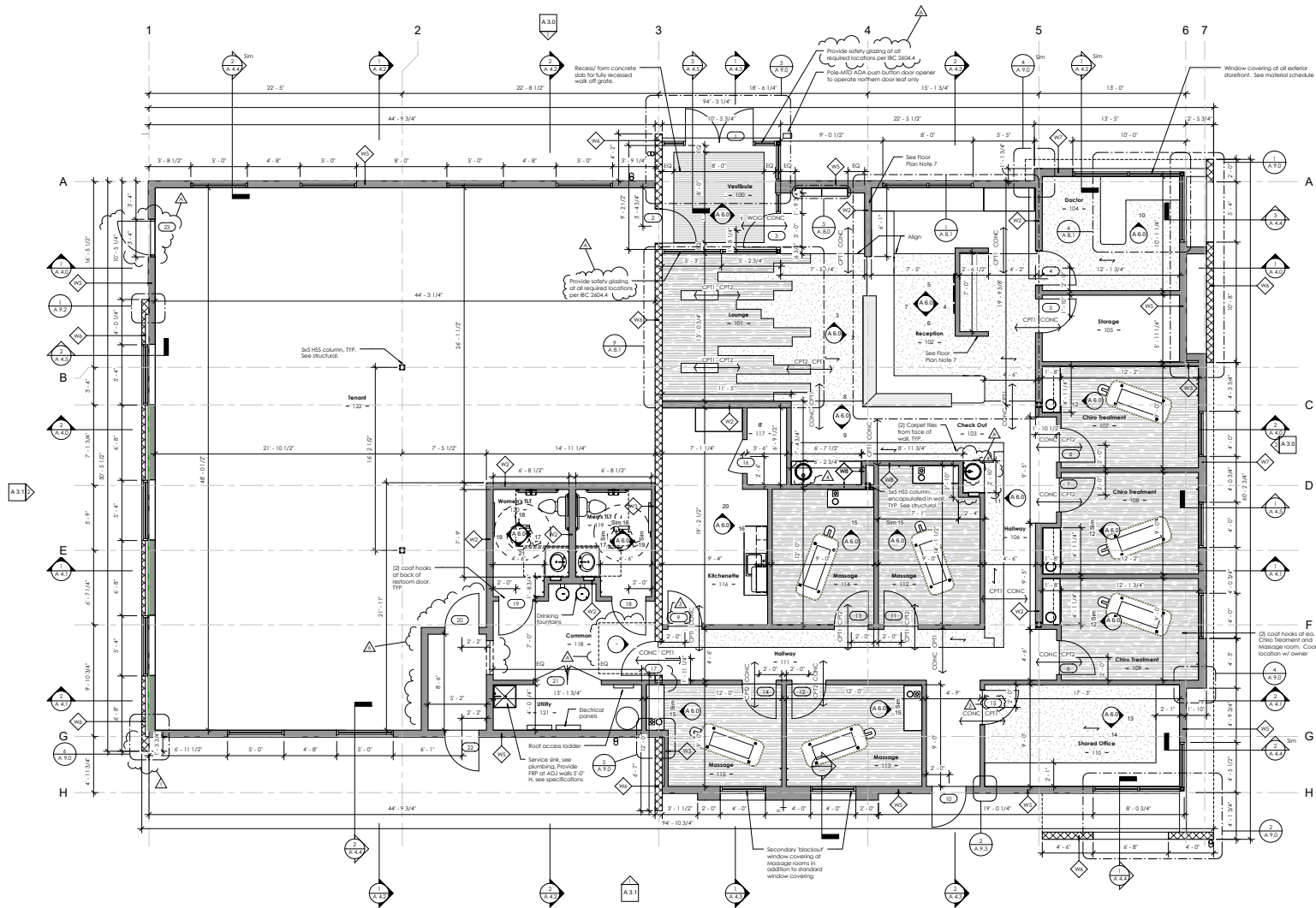


# SECTION III

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## Floorplan & Siteplan





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3/7/2017 11:52:56AM

**Floor Plan**  
1/4" = 1'-0"

**Floor Type**

Note:  
Field verify suitability of existing floor, provide all requirements (subfloor, leveling, etc.) for complete install as recommended by product material manufacturer specifications. Refer to Isoplan for pattern direction.

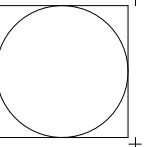
	Concrete (CONC)		Carpet (CPT1)
	Walk Off Grate (WOG)		Carpet (CPT2)

- Floor Plan Notes**
- Note 1: Confirm conduit requirements with Information Technology (IT) Vendor prior to GWB installation.
  - Note 2: Provide brake metal (wall end cap) at all locations where interior walls align with exterior.
  - Note 3: Provide exhaust fans at Utility if and all TL rooms. Refer to Mechanical drawings.
  - Note 4: Confirm power for exterior signage. Provide as necessary.
  - Note 5: Provide Window Coverings (WNC) of all exterior windows. Provide 'back out' version of message rooms. See Materials Schedule.
  - Note 6: Level 4 or level 5 wall finish at all GWB walls. See point plan notes for locations.
  - Note 7: Provide in-wall support as necessary for lateral stability of free-standing walls.



Natural Balance Integrative Health

2950 & 2954 Havana St.  
Denver, CO 80238



REVISIONS		
#	Date	Description
A	19 August 2016	3RD Comments
1	23 August 2016	FEI Owner Changes
3	30 January 2017	AS 3
4	27 February 2017	AS 4
6	07 March 2017	AS 6

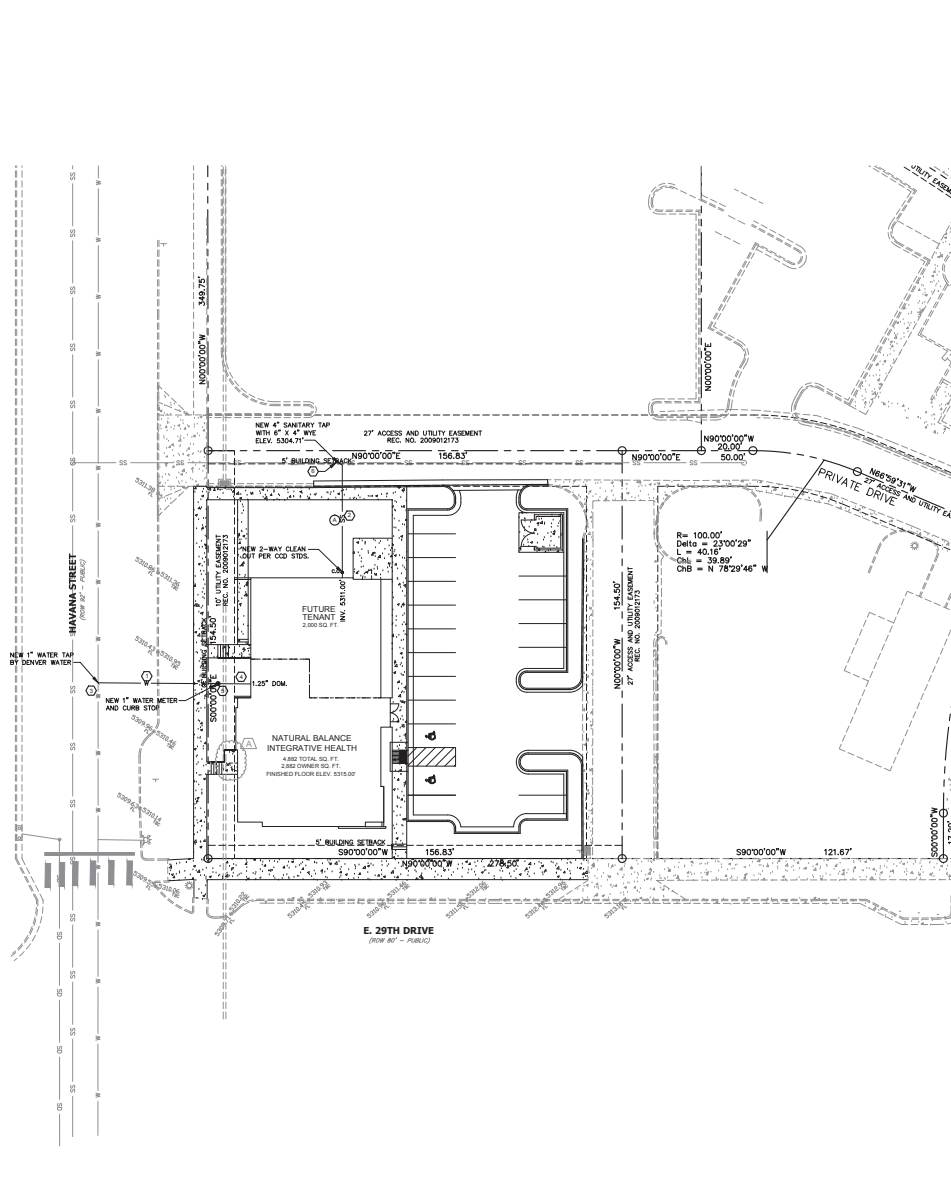
DATE: 20 July 2014  
PROJECT NO: 15272.0  
DRAWN BY: EM / AV  
ISSUED FOR: Construction

Floor Plan  
**A 2.0**

# SITEPLAN

Natural Balance

2950-2954 Havana Street | Denver, CO 80238



### GENERAL NOTES

1. Public Works, Wastewater Management Division's Standard Details and Technical Specifications for Sanitary & Storm Sewers apply to this work. Public Works, Wastewater Management Division's Standard Details (Drawings), most recent edition, shall be used as a minimum. The technical specifications are available from D.S. Site Engineering. Both sets must be in possession of the contractor at the pre-construction conference and must remain on the job site at all times during construction.
2. The standard details can be viewed at: <http://www.denvergov.org/Files/195/195166/Utility/Standard%20Details%202009010000.pdf>
3. Contractor shall conform to all federal, state and local health and safety rules and regulations.
4. One set of the approved sewer construction drawings must be on-site at all times of construction.
5. All sewer pipes shall be installed with Class B Bedding as a minimum.
6. Any modifications, adjustments, construction or reconstruction of Public Works, Wastewater Division facilities must be inspected by a PW Construction Engineering Inspector. Please schedule an appointment at 303-446-3722 a minimum of 48 hours in advance of the work to schedule an inspector.
7. Pipe material, fittings, trenching, bedding, connections, and sewer installation must be inspected by a PW Construction Engineering Inspector prior to any trench backfill. Please schedule an appointment at 303-446-3722 a minimum of 48 hours in advance of the work to schedule an inspector. Monitoring of the project by PW shall be for the purpose of assuring general compliance with the approved plans, standards, details, and specifications as well as the Public & Regulatory Storm and Sanitary inspections shall not take the place of construction inspection and materials testing, which is the owner's responsibility.
8. Sanitary sewer pipes shall be PVC and conform to ASTM D3034 SDR 35 for sizes 8 inches to 15 inches in diameter (solid wall), ASTM F795 for 18 inches (solid wall), ASTM D279 for sizes 18 to 36 inches (solid wall), ASTM F897 for sizes 18 to 36 inches (PVC profile walls), ASTM F794 for sizes 48 to 60 inches (profile walls), or ASTM F1863 for sizes 18 to 60 inches (closed profile gravity pipe).
9. Any questions regarding storm or sanitary facilities that arise during construction should be brought to the attention of PW Construction Engineering at 303-446-3722.
10. Backfill in public right of way must meet the requirements of Denver Public Works Department. A Street Cut Permit and inspection of a backfill and pavement repair by Public Works is required for all work in the public right of way. The contractor and/or developer is advised to contact Construction Engineering ROW Inspector at 303-446-3688 or PWRS at 303-446-3759 to obtain information regarding fees and procedures for obtaining the required permits. Contractor must obtain a street cut permit and notify the district inspector at (303) 446-3688, 48-hours prior to start of job. Compaction testing is required.
11. Access must be maintained for all sewer manholes during construction. Any design changes to new or existing public storm or sanitary sewer must include permanent access to the public storm and sanitary sewer manholes and could require roll-over curbs, commercial drive, reinforced concrete sidewalks, other ramps or concrete pad. Minimum access to each manhole is a 20' wide lane from the nearest public right of way, centered at the manhole including a 10' radius around the manhole and 2.0' vertical clearance.
12. The connection of a new sanitary/storm sewer to an existing manhole may require manhole reconstruction at the discretion of the PW Construction Engineering Inspector or the PW Construction Engineering engineer.
13. Changes in the elevation of an existing brick manhole may require the use of a pre-cast concrete manhole or manhole reconstruction at the discretion of the PW Construction Engineering Inspector and/or PW Construction Engineering engineer.
14. Changes in elevation or modification to existing inlets may require reconstruction at the discretion of the PW Construction Engineering Inspector or Engineer.
15. The contractor shall be aware that when debris is dropped into public manholes and other public structures, the contractor is immediately remove this to eliminate the possibility of property damage due to the debris causing backup into private properties. If it is determined that debris caused a backup, the contractor shall be held responsible for damages.
16. The contractor shall make sure that all manholes and other structures are built to finished grade.
17. No trees shall be planted within any sewer easement or within ten (10) feet of any public manhole, pipes or inlets.
18. "As-Built" electronic submittal or prints are to be submitted to Development Services at completion of the project. "As-Built" drawings are to be reproducible copies (or originals) of the approved Construction Drawings. Any field changes are to be noted. The drawings shall contain the following information: The "As-Built" electronic submittal or prints are to be signed, dated and stamped by a Colorado Registered Engineer.
19. As-Built field notes, from which the As-Built drawings are prepared, are to be provided and stamped/signed and dated by the Colorado Registered Professional Land Surveyor. These notes will include the stationing of any building sewer stubs installed.
20. Upon completion of site grading and sewer construction, the owner or developer shall be responsible for furnishing Development Services with a Certificate of Inspection prepared by the Colorado Registered Engineer who performed or supervised construction inspection, certifying that:
  - a) A construction inspector was on the job site at all times sewer or drainage facility work was performed.
  - b) All storm and sanitary sewer facilities, site grading, detention pond grading and outlet works (if any) were constructed in compliance with plans and Public Works specifications approved by the Department of Public Works
  - c) The As-Built drawings included accurately depict the final installation of the storm drainage and/or sewer system.This certification shall be required for all storm and sanitary sewer facilities in addition to any inspections made by the division or the Department of Public Works.
21. Denver Water Department Note  
All persons and entities involved in this project shall have the responsibility to take whatever steps necessary to protect all water facilities. If any water facility cannot be adequately protected, then said water facilities shall be relocated or removed in accordance with Denver Water Department requirements.

### KEYED NOTES

1. 2" DOMESTIC WATER SERVICE: CONTRACTOR TO VERIFY REQUIREMENTS OF LOCAL CODES, UTILITY COMPANIES AND GOVERNING OFFICIALS. PIPING SHALL BE 2" TYPE "Y" COPES WITH ELDER SCHEDULE. WALLS IN BASE BED ALL VALVES, PIPING STRUCTURES, ETC. THAT WILL BE REQUIRED.
2. 4" PVC SANITARY SEWER SERVICE LINE: PIPE MATERIALS, JOINTS AND INSTALLATION TO CONFORM WITH CITY AND COUNTY OF DENVER REQUIREMENTS: SEE PLAN FOR LENGTH AND SLOPE. PROVIDE CLEARANCES AS INDICATED BY C.O. AND IN ACCORDANCE WITH CITY AND COUNTY OF DENVER DETAIL ON SHEET C3.1.
3. DOMESTIC WATER SERVICE TO BE CONNECTED TO EXISTING 1" WATER MAIN USING TAPPING SADDLE AND CORPORATION STOP. SEE DENVER WATER DETAIL SHEET 54 ON SHEET C3.
4. 1.0" WATER METER IN ACCORDANCE WITH DENVER WATER DETAIL SHEETS 53 AND 57 ON SHEET C3.1.
5. SANITARY SEWER SERVICE TO BE CONNECTED TO EXISTING 8" SANITARY CONCRETE MAIN USING TAPPING SADDLE. SEE CITY AND COUNTY OF DENVER DETAIL ON SHEET C3.1.

### SANITARY SEWER PIPE SCHEDULE

- 43.6 LINEAR FEET OF 4" SCHEDULE 40 PVC PIPE 14.4% SLOPE

JOE ARCHITECT

1422 Gregory Street, Suite 101  
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720.766.2288 | 720.766.2004  
www.joearchitect.com

Competitive Edge Engineering

Professional Services  
1100 Lincoln Avenue, Suite 1000  
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Natural Balance Integrative Health

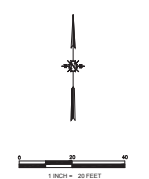
2950-J4 Havana Street  
Denver, CO 80238

REVISIONS		
#	Date	Description
A	8/19/16	Revision A

DATE:	7/20/16
PROJECT NO:	2016-01
DRAWN BY:	BLG
ISSUED FOR:	Construction

Utility Plan

C3



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# SECTION IV

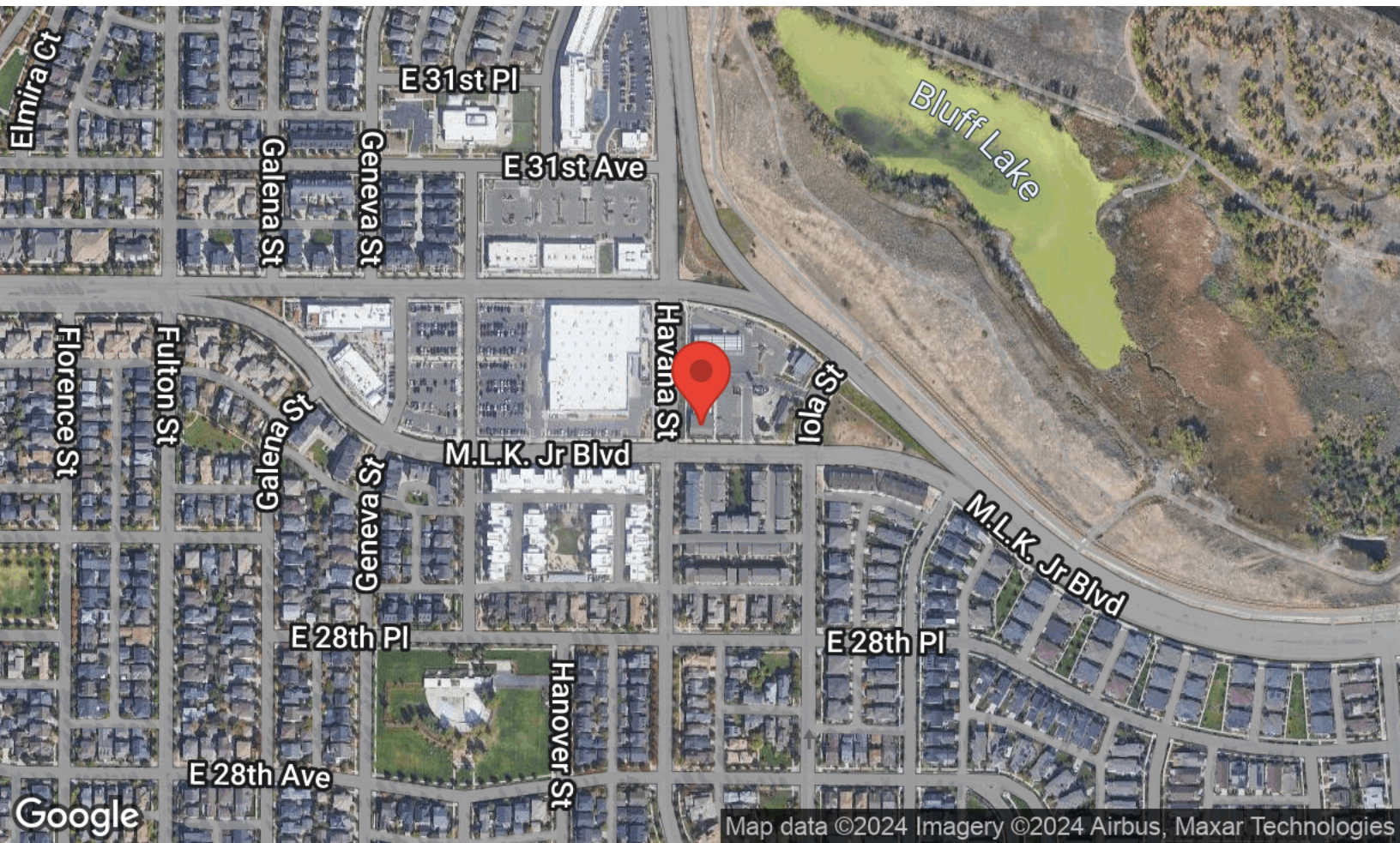
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## Maps / Demographics



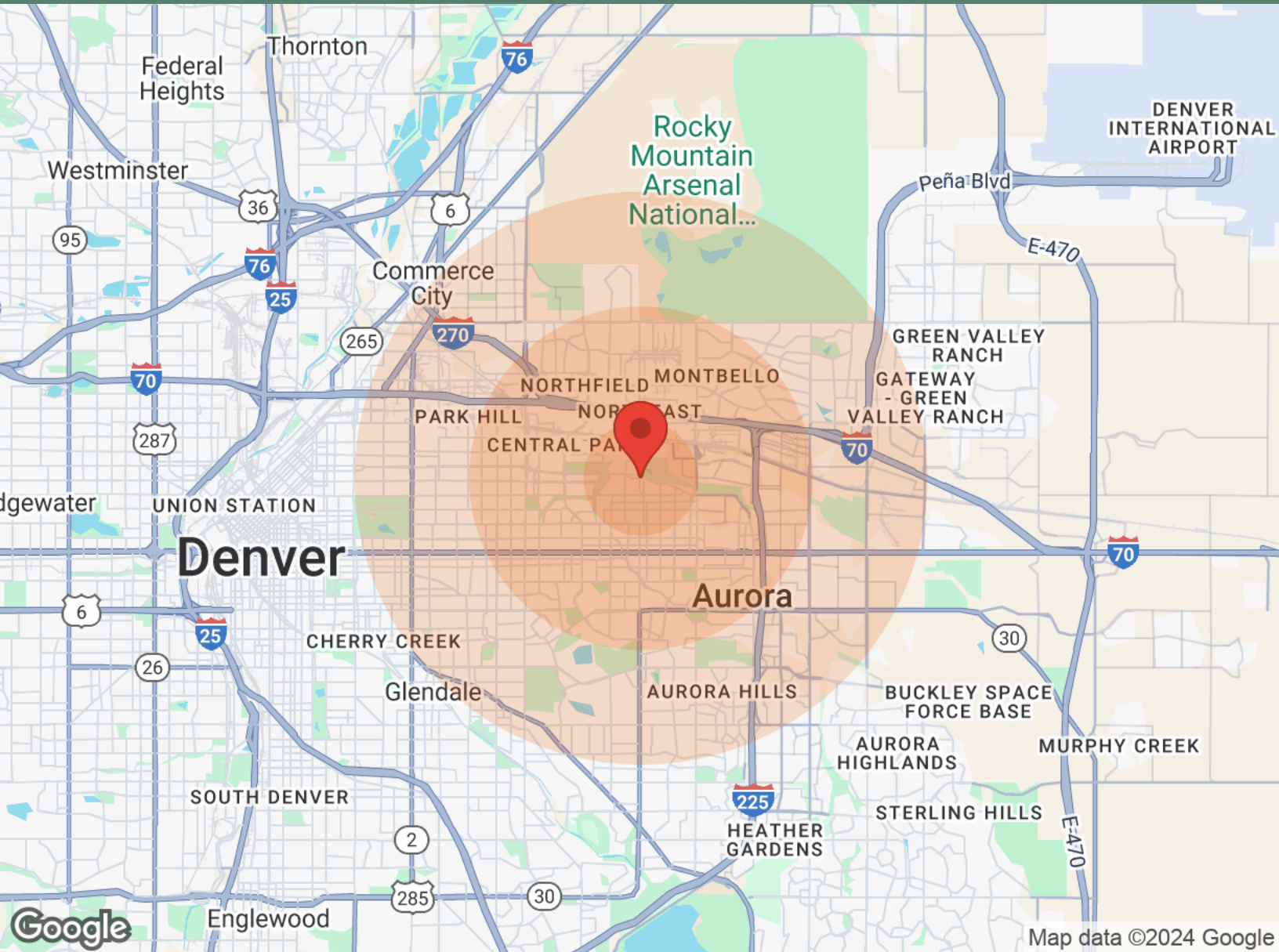
# LOCATION MAPS

Natural Balance  
2950-2954 Havana Street | Denver, CO 80238



# DEMOGRAPHICS

Natural Balance  
2950-2954 Havana Street | Denver, CO 80238



Population	1 Mile	3 Miles	5 Miles
Male	4,081	70,103	163,293
Female	4,373	69,546	167,363
Total Population	8,454	139,649	330,656
Age	1 Mile	3 Miles	5 Miles
Ages 0-14	2,490	36,253	79,095
Ages 15-24	1,266	19,866	43,084
Ages 25-54	3,535	56,166	133,838
Ages 55-64	697	13,253	34,301
Ages 65+	466	14,111	40,338
Race	1 Mile	3 Miles	5 Miles
White	4,056	74,223	190,986
Black	1,089	25,729	56,977
Am In/AK Nat	52	636	1,347
Hawaiian	13	108	259
Hispanic	5,890	66,633	135,101
Multi-Racial	6,354	71,098	147,708

Income	1 Mile	3 Miles	5 Miles
Median	\$41,209	\$37,326	\$41,547
< \$15,000	628	8,893	22,229
\$15,000-\$24,999	460	6,875	16,282
\$25,000-\$34,999	281	5,646	15,455
\$35,000-\$49,999	411	6,686	19,598
\$50,000-\$74,999	543	7,209	20,815
\$75,000-\$99,999	133	3,759	11,456
\$100,000-\$149,999	90	3,691	10,266
\$150,000-\$199,999	21	1,599	4,152
> \$200,000	N/A	1,612	4,906

Housing	1 Mile	3 Miles	5 Miles
Total Units	2,875	50,333	137,966
Occupied	2,623	46,220	126,935
Owner Occupied	1,370	23,534	63,475
Renter Occupied	1,253	22,686	63,460
Vacant	252	4,113	11,031



The printed portions of this form, except differentiated additions, have been approved by the Colorado Real Estate Commission. (DD25-5-09) (Mandatory 7-09)

**DIFFERENT BROKERAGE RELATIONSHIPS ARE AVAILABLE WHICH INCLUDE SELLER AGENCY, BUYER AGENCY OR TRANSACTION-BROKERAGE.**

**BROKERAGE DISCLOSURE TO BUYER  
DEFINITIONS OF WORKING RELATIONSHIPS**

For purposes of this document, seller also means "landlord" (which includes sublandlord) and buyer also means "tenant" (which includes subtenant).

**Seller's Agent:** A seller's agent works solely on behalf of the seller to promote the interests of the seller with the utmost good faith, loyalty and fidelity. The agent negotiates on behalf of and acts as an advocate for the seller. The seller's agent must disclose to potential buyers all adverse material facts actually known by the seller's agent about the property. A separate written listing agreement is required which sets forth the duties and obligations of the broker and the seller.

**Buyer's Agent:** A buyer's agent works solely on behalf of the buyer to promote the interests of the buyer with the utmost good faith, loyalty and fidelity. The agent negotiates on behalf of and acts as an advocate for the buyer. The buyer's agent must disclose to potential sellers all adverse material facts actually known by the buyer's agent, including the buyer's financial ability to perform the terms of the transaction and, if a residential property, whether the buyer intends to occupy the property. A separate written buyer agency agreement is required which sets forth the duties and obligations of the broker and the buyer.

**Transaction-Broker:** A transaction-broker assists the buyer or seller or both throughout a real estate transaction by performing terms of any written or oral agreement, fully informing the parties, presenting all offers and assisting the parties with any contracts, including the closing of the transaction, without being an agent or advocate for any of the parties. A transaction-broker must use reasonable skill and care in the performance of any oral or written agreement, and must make the same disclosures as agents about all adverse material facts actually known by the transaction-broker concerning a property or a buyer's financial ability to perform the terms of a transaction and, if a residential property, whether the buyer intends to occupy the property. No written agreement is required.

**Customer:** A customer is a party to a real estate transaction with whom the broker has no brokerage relationship because such party has not engaged or employed the broker, either as the party's agent or as the party's transaction-broker.

**RELATIONSHIP BETWEEN BROKER AND BUYER**

Broker and Buyer referenced below have NOT entered into a buyer agency agreement. The working relationship specified below is for a specific property described as: **ATTACHED BROCHURE**

Buyer understands that Buyer is not liable for Broker's acts or omissions that have not been approved, directed, or ratified by Buyer.

**CHECK ONE BOX ONLY:**

Multiple-Person Firm. Broker, referenced below, is designated by Brokerage Firm to serve as Broker. If more than one individual is so designated, then references in this document to Broker shall include all persons so designated, including substitute or additional brokers. The brokerage relationship exists only with Broker and does not extend to the employing broker, Brokerage Firm or to any other brokers employed or engaged by Brokerage Firm who are not so designated.

One-Person Firm. If Broker is a real estate brokerage firm with only one licensed natural person, then any references to Broker or Brokerage Firm mean both the licensed natural person and brokerage firm who shall serve as Broker.

**CHECK ONE BOX ONLY:**

Customer. Broker is the  seller's agent  seller's transaction-broker and Buyer is a customer. Broker intends to perform the following list of tasks:  Show a property  Prepare and Convey written offers, counteroffers and agreements to amend or extend the contract. Broker is not the agent or transaction-broker of Buyer.

Customer for Broker's Listings – Transaction-Brokerage for Other Properties. When Broker is the seller's agent or seller's transaction-broker, Buyer is a customer. When Broker is not the seller's agent or seller's transaction-broker, Broker is a transaction-broker assisting Buyer in the transaction. Broker is not the agent of Buyer.

Transaction-Brokerage Only. Broker is a transaction-broker assisting the Buyer in the transaction. Broker is not the agent of Buyer. Buyer consents to Broker's disclosure of Buyer's confidential information to the supervising broker or designee for the purpose of proper supervision, provided such supervising broker or designee does not further disclose such information without consent of Buyer, or use such information to the detriment of Buyer.

**DISCLOSURE OF SETTLEMENT SERVICE COSTS.** Buyer acknowledges that costs, quality, and extent of service vary between different settlement service providers (e.g., attorneys, lenders, inspectors and title companies).

**THIS IS NOT A CONTRACT. IT IS BROKER'S DISCLOSURE OF BROKER'S WORKING RELATIONSHIP.**

Buyer must contact local law enforcement officials regarding obtaining such information.

**BUYER ACKNOWLEDGMENT:**

Buyer acknowledges receipt of this document.

\_\_\_\_\_  
Buyer/Tenant

\_\_\_\_\_  
Buyer/Tenant

**BROKER ACKNOWLEDGMENT:**

Broker provided (Buyer/Tenant) with this document and retained a copy for Broker's records.

Brokerage Firm's Name: Transworld Commercial Real Estate, LLC



\_\_\_\_\_  
Broker