

Town of Arlington

5854 Airline Road
PO Box 507
Arlington, TN 38002



P: 901.867.2620
F: 901.867.2638

November 24, 2021

Wesley Wooldridge, Renaissance Group
Via email: wwooldridge@rgropu.biz
Jeff Hale, Complete Lighting
Via email: jhale@completelighting.com

RE: **COMPLETE LIGHTING** (Lot 2 Commander Bus. Park) – PC Site Plan - Preliminary Comments

Staff reviewed the October 29 application for a new industrial building at the above location. Attached is a list of comments & revisions require to place it on the next PC Agenda.

1. Site Plan:

- a. Gravel is only permitted for storage of non-motorized items in the Industrial zone. Any areas that will have vehicle traffic is required to be a solid, dust-free surface of some type (concrete, asphalt, pavers).
- b. Identify where the site's MLGW transformer is proposed to be located.
- c. Note adjacent uses on the Existing Conditions and/or Site Plan – given the impact of an adjacent residential use. In addition, indicating the adjacent building on Lot 1, as a paved driveway in a shared easement that straddles the property lines, would also allow comprehensive review.
- d. Ground signs must be a minimum of 10-feet from the public ROW and located so they do not block visibility at driveways. As such, the proposed monument sign may need to be relocated.
- e. While max height in M-1 is 50 feet, what is the anticipated building height?
- f. Does the applicant intend for up to 27 employees on-site? Note a number or range on the Site Data table alongside 'Parking Provided'.

2. Additional fire comments are attached regarding fire protection, as the building will have to be sprinklered.
3. Additional red-line engineering comments are attached.

Revised plans should be received no later than 2pm on Wednesday, Dec. 8 for placement on the December PC Agenda. Please submit **five (5) hard copies** and **one (1) electronic** copy on USB of revised plans for resubmittal. Please let us know if you have any questions or need assistance.

Jeremy Credeur
Town Planner

**BOARD OF
MAYOR &
ALDERMEN**

Mike Wissman
Mayor

Harry McKee
Vice Mayor

Larry Harmon
Alderman

Russell Wiseman
Alderman

Jeff McKee
Alderman

Oscar Brooks
Alderman

Jeremy Biggs
Alderman



Plans Review Comments

Date: 11/23/2021

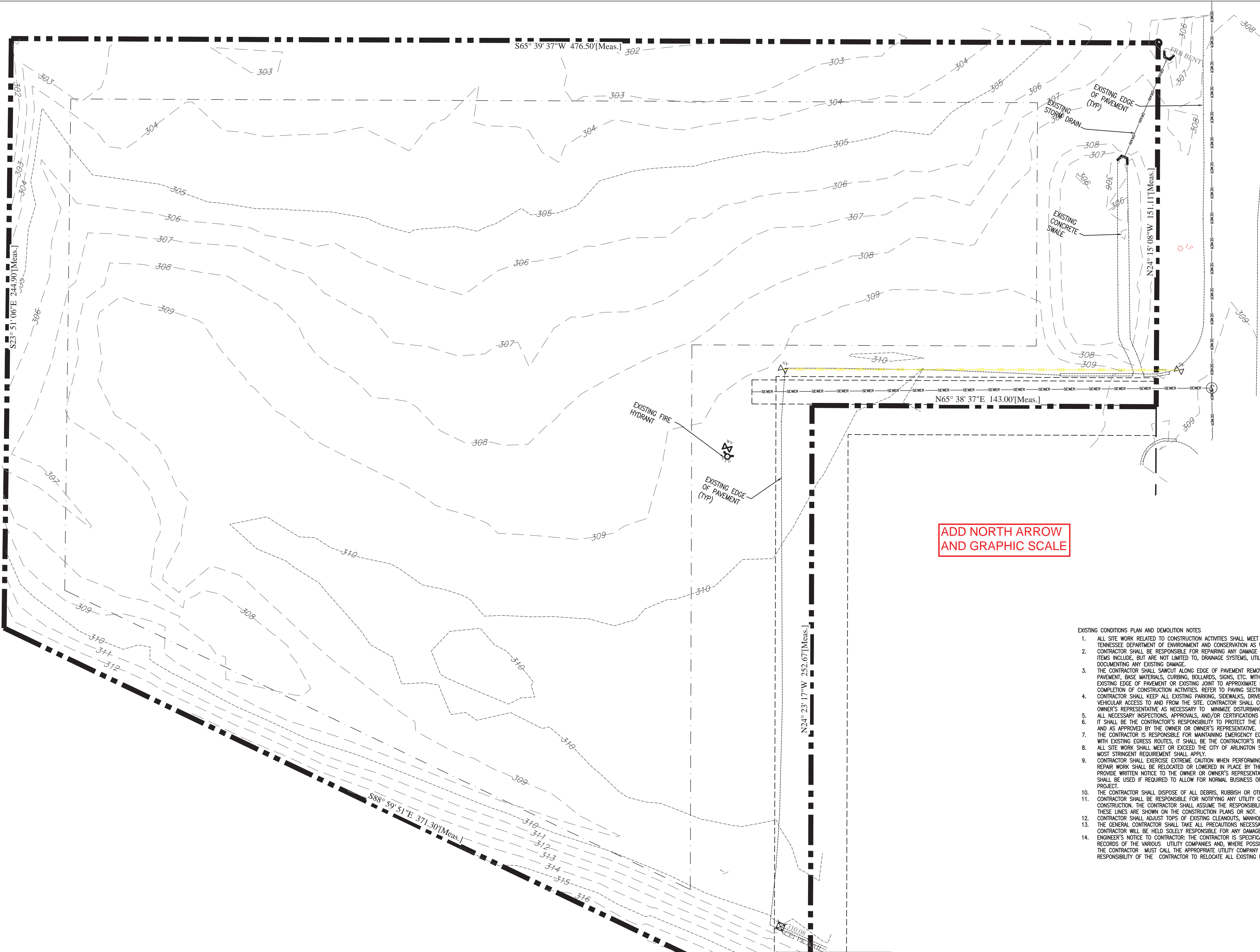
Project Name: Complete Lighting Initial Comments

Reviewed By: S. Berryhill, J. McMillen

-
1. The existing fire hydrant is assumed to be on the property of the owner so therefore can be allowed as one of the required number(s) of fire hydrants. If it is private, it cannot be counted as an allowable fire hydrant to meet code requirements.
 2. 12,000 sq. ft. type IIB construction requires a fire flow of 2,250 GPM. With the allowed reduction of 30% for sprinkled buildings, the required fire flow becomes 1,575 GPM.
 3. Provide calculations as to available fire flow to the structure.
 4. Fire flow can not be less than 1500 GPM.
 5. Provide diagram to indicate storage areas. Storage must allow for minimum of 26' of clear drive lane for fire apparatus.
 6. FDC (fire department connection) shall be a 5" Stortz connection with a 30 degree turndown with height no greater than 48" from finished grade.
 7. Move FDC (fire department connection) to island where proposed additional fire hydrant will be added. Coordinate location with fire department to prevent vehicle damage and separation distance from FDC and hydrant.
 8. Gravel parking lot shall be of such design to allow for all year round sustainable, all weather driving surface capable of supporting weight of fire apparatus.
 9. Site plan indicates loading dock being used from remote roll up doors. This would suggest that semi-trailers to be parked there. Are there overhangs proposed around the structure? What are there dimension? (Not shown on plans.)
 10. Emergency Responder Radio Coverage must be provided.



VICINITY MAP



ENGINEERING
COMMENTS
11/23/21

- EXISTING CONDITIONS PLAN AND DEMOLITION NOTES
1. ALL SITE WORK RELATED TO CONSTRUCTION ACTIVITIES SHALL MEET OR EXCEED THE TOWN OF ARLINGTON, SHELBY COUNTY, STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION AND TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION AS WELL AS ANY OTHER AUTHORITIES HAVING JURISDICTION WITHIN THE BOUNDS OF THE CONSTRUCTION PROJECT.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER DEMOLITION AND CONSTRUCTION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, ETC. REPAIRS SHALL EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY EXISTING DAMAGE.
 3. THE CONTRACTOR SHALL SAWCUT ALONG EDGE OF PAVEMENT REMOVAL LIMITS TO ENSURE CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW PAVING SECTIONS. CONTRACTOR TO REMOVE ALL PAVEMENT, BASE MATERIALS, CURBING, BOLLARDS, SIGNS, ETC. WITHIN SAWCUT LIMITS OF CONSTRUCTION ACTIVITIES, WHERE APPLICABLE. EXISTING CONCRETE PAVEMENT SHALL BE REMOVED TO EXISTING EDGE OF PAVEMENT OR EXISTING JOINT TO APPROXIMATE LIMITS SHOWN. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN OLD AND NEW SURFACES THROUGHOUT AND UPON COMPLETION OF CONSTRUCTION ACTIVITIES. REFER TO PAVING SECTION FOR ADDITIONAL INFORMATION.
 4. CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITHIN THE PROXIMITY OF THE EXISTING CONSTRUCTION SITE WITH THE SITE OWNER'S REPRESENTATIVE AS NECESSARY TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO THE SITE AND ADJACENT PROPERTY BUSINESS OPERATIONS.
 5. ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE FINAL CERTIFICATION OF SERVICES.
 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC AT ALL TIMES, FENCING, BARRICADES, ENCLOSURES, BARRELS, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER, AND AS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EMERGENCY EGRESS ROUTES FROM THE EXISTING BUILDING AND SITE AT ALL TIMES. IN AREAS WHERE CONSTRUCTION ACTIVITIES CONFLICT WITH EXISTING EGRESS ROUTES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALTERNATE ROUTES OR TEMPORARY PATHS AS NEEDED TO MEET LOCAL AND STATE CODE.
 8. ALL SITE WORK SHALL MEET OR EXCEED THE CITY OF ARLINGTON SITE WORK SPECIFICATIONS. WHERE CONFLICTS WITH REQUIREMENTS OR UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
 9. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED REPAIR WORK SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE OWNER OR OWNER'S REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL BUSINESS OPERATIONS. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PROJECT.
 10. THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS, RUBBISH OR OTHER MATERIALS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF THEIR ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT. CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
 12. CONTRACTOR SHALL ADJUST TOPS OF EXISTING CLEANOUTS, MANHOLES, VALVES, ETC. THAT ARE TO REMAIN TO MATCH FINAL GRADE.
 13. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 14. ENGINEER'S NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



| ITEM NO. | REVISION DESCRIPTION OF CHANGE | APPROVAL DATE |
|----------|--------------------------------|---------------|
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Temporary Benchmark (T.B.M.): TDOT Survey monument #79-205-14 at the intersection of Airline Rd. and I-40 off-ramp. ELEV: 315.15

This property is not located within a Special Flood Hazard Area (sfha) subject to inundation by the 1 percent annual chance flood as determined by FEMA, and shown on Firm Map #47157C 0220 G, dated February 6, 2013, 100 year flood elev. 284 - 290± (Holl Creek)

**COMPLETE LIGHTING on LOT 2 of
COMMANDER BUSINESS PARK**
DEVELOPER: COMPLETE LIGHTING AND SIGN SERVICE

RENAISSANCE GROUP, INC.
9700 VILLAGE CIRCLE, SUITE 100
LAKELAND, TN 38002
(901) 332-5535 VOICE (901) 332-5534 FAX

SHEET 1 OF 1

DEPARTMENT OF ENGINEERING

EXISTING CONDITIONS & DEMOLITION PLAN

ARLINGTON, TENNESSEE

FROM: _____ TO: _____

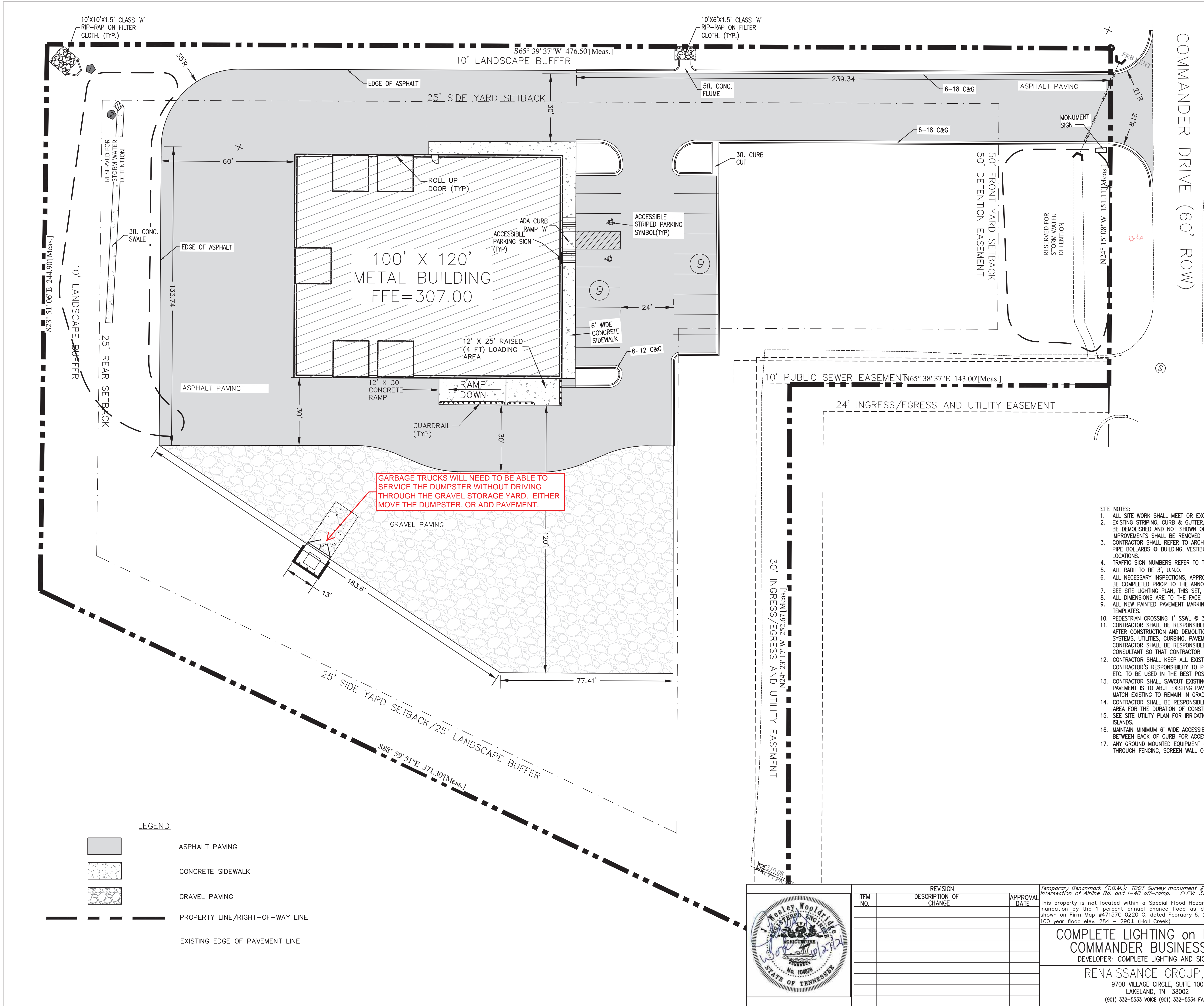
SURVEY: AERIAL TRACE DATE: 10/13/2021 BOOK: _____

DESIGN: MGR DATE: 10/13/2021 CKD: MGR DATE: 10/13/2021 SCALE: 1"=20'

REVIEWED _____

TOWN ENGINEER _____ DATE _____

C1.0

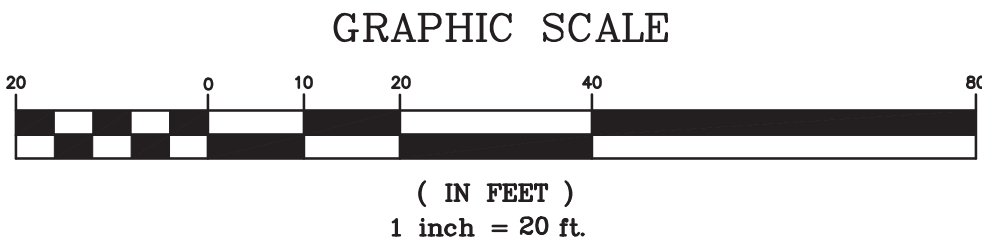


VICINITY MAP

| SITE DATA | |
|---|-------------------------------|
| LOT AREA: | 130,158 S.F. (2.988 AC) |
| GROSS BLDG. AREA: | 12,000 S.F. |
| EX. ZONING: | M-1 LIGHT INDUSTRIAL DISTRICT |
| CONSTRUCTION TYPE: | II-B |
| GREEN SPACE REQUIRED: | 20.00% |
| GREEN SPACE PROVIDED: | 50.65% (65,548 S.F.) |
| MIN. PARKING REQ.: 1 SPACE FOR EACH 1.5 EMPLOYEES | |
| MAX. PARKING REQ.: 1 SPACE FOR EACH EMPLOYEE | |
| PARKING PROVIDED: | |
| HANDICAP ACCESSIBLE SPACES: | 2 |
| STANDARD SPACES: | 16 |
| TOTAL | 18 |
| MAX. BLDG. HEIGHT | 50 FT |
| FRONT S/B | 50 FT |
| SIDE S/B | 25 FT |
| REAR S/B | 25 FT |
| F.A.R. (FLOOR AREA RATIO) | 0.093 |

TOTAL = TVF X DBH X NO. OF TREES = DU
TOTAL REQUIRED = TOTAL ACREAGE X 20 = 2.99 X 20 =59.80
60 TREES REQUIRED.

- SITE NOTES:
- ALL SITE WORK SHALL MEET OR EXCEED THE TOWN OF ARLINGTON SITE SPECIFIC SPECIFICATIONS.
 - EXISTING STRIPING, CURB & GUTTER, PAVEMENT, & ANY OTHER ITEMS THAT CONFLICT WITH IMPROVEMENTS SHOWN TO BE DEMOLISHED AND NOT SHOWN ON THIS PLAN FOR CLARITY. EXISTING STRIPING THAT CONFLICTS WITH IMPROVEMENTS SHALL BE REMOVED BY ABRASIVE BLASTING.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL & MEP PLANS FOR EXACT LOCATION AND DIMENSIONS OF BUILDING, PIPE BOLLARDS @ BUILDING, VESTIBULES, PEDESTRIAN AND VEHICULAR ENTRY LOCATIONS AND UTILITY ENTRY LOCATIONS.
 - TRAFFIC SIGN NUMBERS REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - ALL RADII TO BE 3', U.N.O.
 - ALL NECESSARY INSPECTIONS, APPROVALS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
 - SEE SITE LIGHTING PLAN, THIS SET, FOR SITE LIGHTING FIXTURE TYPE & LOCATION HEIGHTS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB OR CENTERLINE OF STRIPE, U.N.O.
 - ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
 - PEDESTRIAN CROSSING 1' SSWL @ 3' O.C. @ 90'. SEE DETAIL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING ANY EXISTING DAMAGES AND NOTIFYING CIVIL ENGINEERING CONSULTANT SO THAT CONTRACTOR IS NOT HELD RESPONSIBLE FOR REPAIRING SAID DAMAGES.
 - CONTRACTOR SHALL KEEP ALL EXISTING PUBLIC ROADWAYS/PARKING AREAS/SIDEWALKS, DRIVES, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC AT ALL TIMES. FENCING, BARRICADES, ENCLOSURES, BARRELS, ETC. TO BE USED IN THE BEST POSSIBLE MANNER.
 - CONTRACTOR SHALL SAWCUT EXISTING ASPHALT/CONCRETE TO REMAIN TO ALLOW A CLEAN, STRAIGHT JOINT WHERE NEW PAVEMENT IS TO ADJUT EXISTING PAVEMENT OR CURBING TO REMAIN. ELEVATION OF NEW PAVEMENT & CURBING TO MATCH EXISTING TO REMAIN IN GRADE, TYPE & ALIGNMENT WHERE THE TWO MEET.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONSTRUCTION JOB TRAILER AND TEMPORARY STAGING/STORAGE AREA FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
 - SEE SITE UTILITY PLAN FOR IRRIGATION SLEEVE CONDUIT SIZE & LOCATION FOR IRRIGATION SLEEVES BETWEEN CURBED ISLANDS.
 - MAINTAIN MINIMUM 6' WIDE ACCESSIBLE WALKING PATH FROM ACCESSIBLE PARKING SPACES AS SHOWN. SIDEWALK WIDTH BETWEEN BACK OF CURB FOR ACCESSIBLE WALKING PATH AND BUILDING SHALL VARY WITH BUILDING FACADE.
 - ANY GROUND MOUNTED EQUIPMENT (I.E. TRANSFORMERS, IRRIGATION METERS, AC UNITS, ETC.) REQUIRE SCREENING THROUGH FENCING, SCREEN WALL OR LANDSCAPING.



- LEGEND
- ASPHALT PAVING
 - CONCRETE SIDEWALK
 - GRAVEL PAVING
 - PROPERTY LINE/RIGHT-OF-WAY LINE
 - EXISTING EDGE OF PAVEMENT LINE

| | | | | |
|--|-----------------------|----------|--|--------------|
| | REVISION | APPROVAL | Temporary Benchmark (T.B.M.): TDOT Survey monument #79-205-14 at the intersection of Airline Rd. and I-40 off-ramp. ELEV: 315.15 This property is not located within a Special Flood Hazard Area (SFHA) subject to inundation by the 1 percent annual chance flood as determined by FEMA, and shown on Firm Map #47157C 0220 G, dated February 6, 2013. 100 year flood elev. 284 - 290 ft. (Hill Creek). | SHEET 1 OF 1 |
| | DESCRIPTION OF CHANGE | DATE | | |
| COMPLETE LIGHTING on LOT 2 of COMMANDER BUSINESS PARK DEVELOPER: COMPLETE LIGHTING AND SIGN SERVICE | | | DEPARTMENT OF ENGINEERING | |
| RENAISSANCE GROUP, INC. 9700 VILLAGE CIRCLE, SUITE 100 LAKELAND, TN 38002 (901) 332-5533 VOICE (901) 332-5534 FAX | | | ARLINGTON, TENNESSEE | |
| | | | FROM: _____ TO: _____ | |
| | | | SURVEY: AERIAL TRACE DATE: 10/13/2021 BOOK: _____ | |
| | | | DESIGN: MGR DATE: 10/13/2021 CKD: MGR DATE: 10/13/2021 SCALE: 1"=20' | |
| | | | REVIEWED _____ | |
| | | | TOWN ENGINEER _____ DATE _____ | |

C1.0

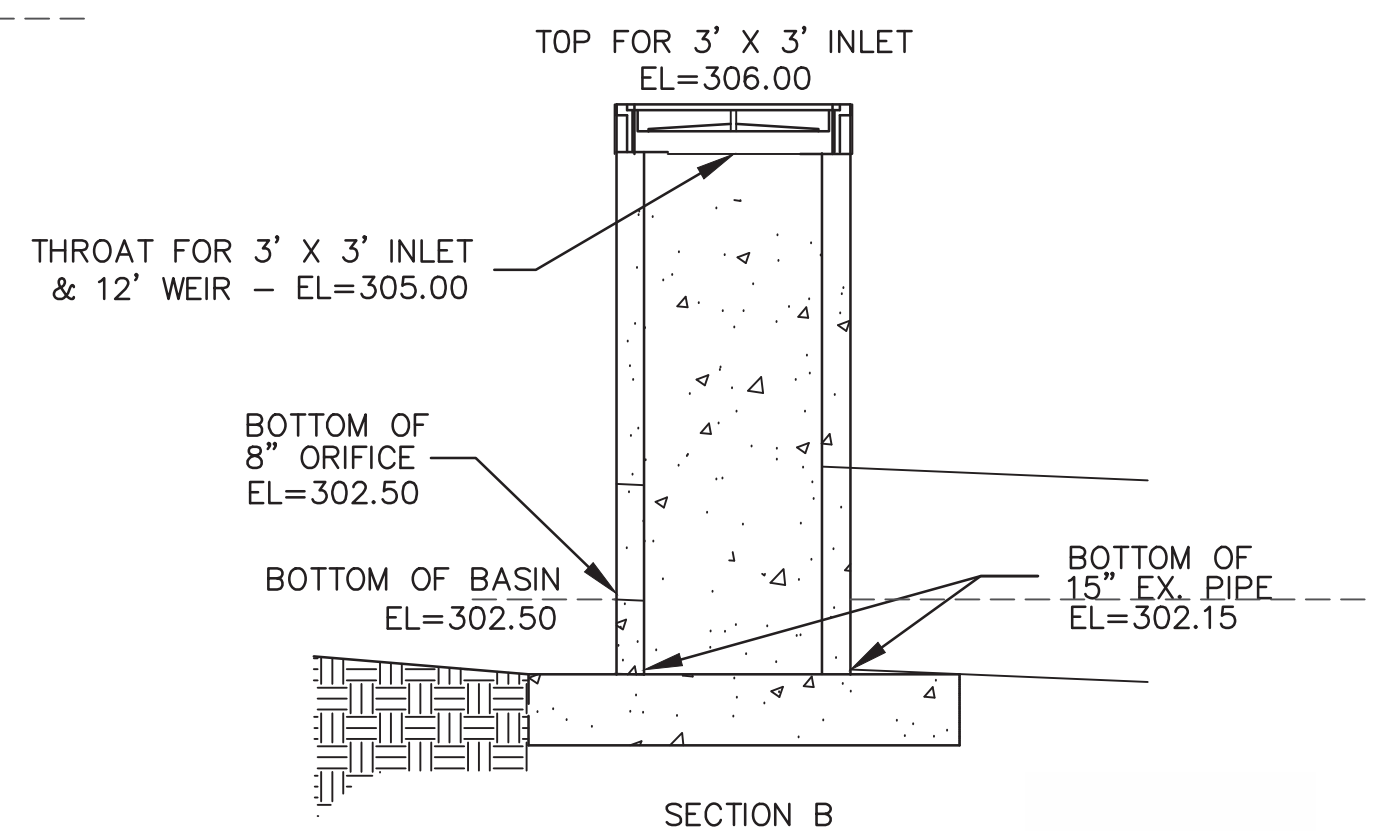


Diagram illustrating the dimensions and flow direction for an Outlet Headwall. The structure is shown in cross-section, with flow direction indicated by an arrow labeled "DIRECTION OF" pointing towards the structure. Key dimensions include:

- Top Width:** 4D (MIN) UNLESS SPECIFIED OTHERWISE ON GRADING OR SWPPP PLAN
- Top Slope:** 2.5' (horizontal) to 1' (vertical)
- Bottom Width:** D (2.5' MIN)
- Bottom Slope:** 2.5' (horizontal) to 1' (vertical)
- Height:** 6' (vertical)

The structure is labeled **OUTLET HEADWALL**.

A technical diagram of a flow control device. It features a horizontal inlet pipe on the left with a wavy line representing flow. An arrow points to the right with the text "DIRECTION OF FLOW". The pipe enters a larger chamber with a thick, dark, tapered wall. The wall thickness is labeled as "D (2.5' MIN)" at the top and "2.5'" at the bottom. The chamber has a tapered outlet on the right. The distance from the inlet to the outlet is labeled "1.5D" at the top and "1.5D" at the bottom. The chamber is filled with a pattern of circles representing aggregate material.

PLAN

ELEVATION

CROSS SECTION

TABLE OF DIMENSION AND DIAMETERS

| | 15" | 18" | 21" | 24" | 30" | 36" | 42" | 48" | 54" | 60" | 66" | 72" |
|---|------------|------------|------------|------------|------------|------------|-------------|------------|------------|------------|-------------|------------|
| A | 1'-11 1/2" | 2'-2 1/4" | 2'-5 1/4" | 2'-8 1/2" | 3'-3" | 3'-9 1/2" | 4'-4" | 4'-10 1/2" | 5'-5" | 6'-0" | 6'-6 1/2" | 7'-1" |
| B | 1'-7 1/4" | 1'-10 1/2" | 2'-1 1/2" | 2'-5" | 3'-0" | 3'-7" | 4'-2" | 4'-9" | 5'-4" | 6'-0" | 6'-7" | 7'-2" |
| C | 1'-9 1/4" | 2'-0 1/2" | 2'-3 1/2" | 2'-7" | 3'-2" | 3'-9" | 4'-4" | 4'-10" | 5'-6" | 6'-2" | 6'-9" | 7'-4" |
| D | 3'-1 1/4" | 3'-4 1/2" | 3'-7 1/2" | 3'-11" | 4'-6" | 5'-1" | 5'-8" | 6'-3" | 6'-10" | 7'-6" | 8'-1" | 8'-8" |
| E | 2'-7 1/4" | 2'-10 1/2" | 3'-1 1/4" | 3'-5 1/4" | 4'-0 1/4" | 4'-10 1/4" | 5'-2 1/4" | 5'-9 1/4" | 6'-4 1/4" | 7'-0 1/4" | 7'-7 1/4" | 8'-2 1/4" |
| F | 4'-10 1/4" | 5'-5 1/4" | 6'-0 1/4" | 6'-5 1/4" | 7'-1 1/4" | 7'-6 1/4" | 8'-1 1/4" | 8'-6 1/4" | 9'-1 1/4" | 9'-6 1/4" | 10'-1 1/4" | 10'-6 1/4" |
| G | 7'-11 1/2" | 8'-9 1/4" | 9'-7 1/4" | 10'-6 1/4" | 12'-4 1/4" | 14'-2 1/4" | 16'-0 1/4" | 17'-8 1/4" | 19'-6 1/4" | 21'-4 1/4" | 23'-2 1/4" | 25'-0 1/4" |
| H | 5'-3 1/4" | 5'-11" | 6'-5 1/4" | 7'-1 1/4" | 8'-4 1/4" | 9'-7 1/4" | 10'-10 1/4" | 12'-1 1/4" | 13'-4 1/4" | 14'-7 1/4" | 15'-10 1/4" | 17'-2 1/4" |
| I | 3'-10 1/4" | 4'-6 1/4" | 4'-10 1/4" | 5'-2" | 5'-8 1/4" | 6'-4 1/4" | 6'-10 1/4" | 7'-6 1/4" | 8'-2 1/4" | 8'-8 1/4" | 9'-4 1/4" | 10'-0 1/4" |
| J | 3'-2 1/4" | 3'-1 1/4" | 3'-7" | 3'-11" | 4'-6" | 5'-1" | 5'-8" | 6'-3" | 6'-10" | 7'-6" | 8'-1" | 8'-8" |

WINGWALL

G1 & G2 BARS

NO. 4 REBARS

TOWN OF ARLINGTON
Public Works Standard Details

TYPE "D" HEADWALL
STANDARD DETAIL

DATE

APPR.

DWG. NO.

| GRA. | 15° | 18° | 21° | 24° | 30° | 36° | 42° | 48° | 54° | 60° | 66° | 72° |
|------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|-------|
| B | 1-1104 | 2-248 | 2-264 | 2-289 | 3-337 | 3-397 | 4-47 | 4-48 | 5-4 | 6-5 | 6-6 | 6-7 |
| B | 1-104 | 1-109 | 2-18 | 2-19 | 3-2 | 3-2 | 4-2 | 4-2 | 5-3 | 6-3 | 6-4 | 6-4 |
| E | 1-994 | 2-206 | 2-336 | 2-7 | 3-2 | 3-2 | 4-4 | 4-10 | 5-6 | 6-2 | 6-4 | 7-4 |
| H | 1-94 | 3-436 | 3-736 | 3-11 | 4-6 | 5-1 | 5-5 | 6-3 | 6-10 | 7-6 | 8-4 | 8-8 |
| J | 2-78 | 2-1096 | 3-148 | 3-536 | 4-1036 | 5-238 | 5-5936 | 6-436 | 7-3 | 7-36 | 8-26 | 8-26 |
| K | 4-1056 | 5-556 | 6-064 | 6-864 | 7-116 | 8-26 | 10-58 | 11-86 | 12-116 | 14-316 | 15-36 | 16-96 |
| N | 7-1110 | 8-916 | 9-716 | 10-636 | 12-48 | 14-236 | 16-108 | 17-106 | 19-816 | 21-696 | 23-36 | 25-56 |
| W | 5-336 | 5-84 | 6-576 | 7-148 | 8-46 | 9-716 | 10-108 | 12-16 | 13-48 | 14-856 | 15-136 | 17-26 |
| X | 3-104 | 4-48 | 4-1024 | 5-5 | 6-6 | 7-2 | 8-8 | 9-9 | 10-10 | 12-6 | 13-10 | 14-2 |
| Y | 3-26 | 7-16 | 8-104 | 8-104 | 10-84 | 12-64 | 14-8 | 16-26 | 18-10 | 20-104 | 21-13 | 23-8 |

TOWN OF ARLINGTON
Public Works Standard Details

TYPE "D" HEADWALL
STANDARD DETAIL



| |
|----------|
| DATE |
| APPR. |
| DWG. NO. |

SHEET _____ OF _____

DEPARTMENT OF ENGINEERING
GRADING & DRAINAGE DETAILS
ARLINGTON, TENNESSEE

FROM: _____ TO: _____
 SURVEY: AERIAL TRACE DATE: 10/13/2021 BOOK: _____
 DESIGN: MGR DATE: 10/13/2021 CKD: MGR DATE: 10/13/2021 SCALE: _____
 REVIEWED _____

TOWN ENGINEER DATE

C2.1

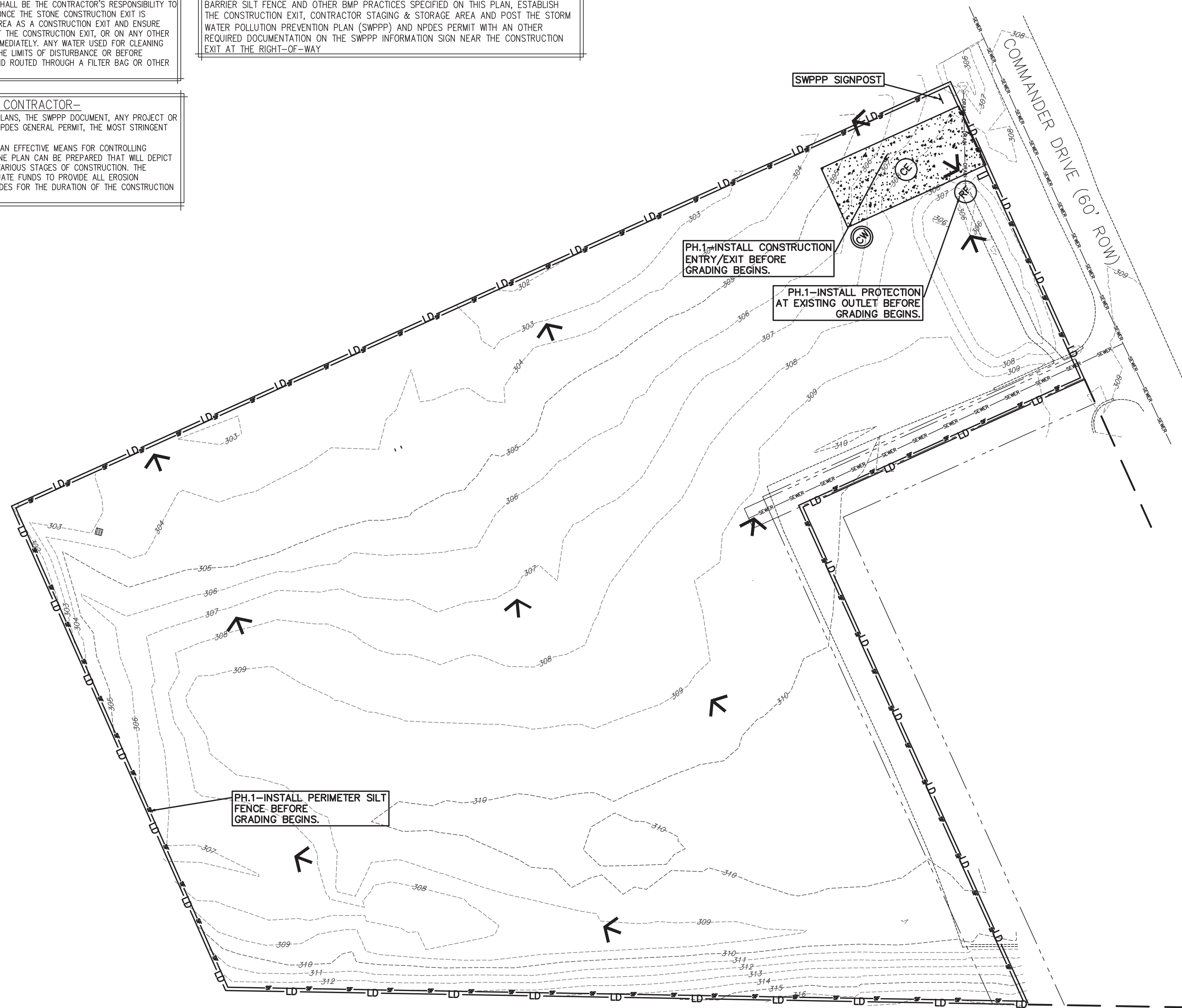
RGI JOB NO. 21091

-CAUTION NOTICE TO CONTRACTOR-

IN CASE OF CONFLICTS BETWEEN EROSION CONTROL PLANS, THE SWPPP DOCUMENT, ANY PROJECT OR MUNICIPAL SPECIFICATIONS AND THE ACTUAL STATE NPDES GENERAL PERMIT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

IF PROJECT IMPLEMENTATION OF THIS PLAN WILL PROVIDE AN EFFECTIVE MEANS FOR CONTROLLING EROSION, HOWEVER, IT IS ACKNOWLEDGED THAT NO ONE PLAN CAN BE PREPARED THAT WILL DEPICT ALL POSSIBLE CONTROL MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID ADEQUATE FUNDS TO PROVIDE ALL EROSION CONTROL MEASURES NECESSARY TO COMPLY WITH CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.

PHASE 1 EROSION CONTROL WILL PROTECT THE DOWN-SLOPE BOUNDARIES WITH SEDIMENT BARRIER SILT FENCE AND OTHER BMP PRACTICES SPECIFIED ON THIS PLAN, ESTABLISH THE CONSTRUCTION EXIT, CONTRACTOR STAGING & STORAGE AREA AND POST THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND NPDES PERMIT WITH AN OTHER REQUIRED DOCUMENTATION ON THE SWPPP INFORMATION SIGN NEAR THE CONSTRUCTION EXIT AT THE RIGHT-OF-WAY



NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS (AS APPLICABLE): TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC, IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

1. SEQUENCE SITE CLEARING, GRADING, BMP INSTALLATION AND ANY OTHER GROUND DISTURBING CONSTRUCTION RELATED ACTIVITIES TO MINIMIZE DISTURBED AREAS. CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON CONSTRUCTION DRAWINGS. CONTRACTOR SHALL NOT COMMENCE ANY GROUND DISTURBING ACTIVITIES UNTIL ALL NECESSARY BMP MEASURES ARE IN PLACE.
2. PERFORM CONSTRUCTION ACTIVITIES IN THOSE AREAS FIRST ESTABLISHED. INSTALL PERIMETER SILT FENCE PROTECTION ALONG PERIMETER OF GRADING LIMIT AS SHOWN ON GRADING & DRAINAGE PLAN PHASE I.
3. WITH PERIMETER SILT FENCE AND ANY OTHER APPLICABLE BMP MEASURES IN PLACE, BEGIN SITE CLEARING & DEMOLITION ACTIVITIES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PHASE I.
4. UPON COMPLETION OF CLEARING AND DEMOLITION ACTIVITIES ARE COMPLETE TO PHASE I LIMITS, INSTALL PROPOSED UNDERGROUND UTILITIES AND GRADING & DRAINAGE MODIFICATIONS PER PLANS, THEN COMMENCE INSTALLATION OF BUILDING FOUNDATION AND BUILDING INSTALLATION. NEW CURB & GUTTER, PAVEMENT AND SIDEWALKS IN ACCORDANCE WITH THE SITE IMPROVEMENT PLANS. DISPOSE OF ANY UNSUITABLE SOILS AND DEBRIS IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
5. PHASE I CONSTRUCTION ACTIVITIES MUST BE COMPLETE PRIOR TO COMMENCEMENT OF PHASE II CONSTRUCTION ACTIVITIES.
6. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IMMEDIATELY WHENEVER CLEARING, GRADING OR OTHER EARTH DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 DAYS. AND, AT THE END OF EACH CALENDAR MONTH, THE CONTRACTOR SHALL MAINTAIN TEMPORARY STABILIZATION AND BMP MEASURES SHALL REMAIN UNTIL THE TIME THAT CONSTRUCTION ACTIVITIES ARE READY TO RECOMMENCE IN THOSE AREAS, INCLUDING THE COMPLETION OF ANY FINAL GRADING, BUILDING PAD, PAVEMENT, CURBING OR FINAL STABILIZATION MEASURES.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

- LD — LIMITS OF DISTURBANCE
- SF — PERIMETER SILT FENCE
- WT — SILT WATTLE
- CW — CONCRETE WASHOUT
- RF — ROCK FILTER RING
- CE — STONE CONSTRUCTION EXIT

| | |
|---------------------------------------|------------|
| TOTAL DISTURBED AREA | 2.99 ACRES |
| TOTAL SITE AREA | 2.99 ACRES |
| IMPERVIOUS SURFACE AT COMPLETION | 1.43 ACRES |
| PERVIOUS/SEEDED AREA AT COMPLETION | 1.56 ACRES |
| TOTAL AREA | 2.99 ACRES |

COMPLETE LIGHTING
559 N. FRONT
MEMPHIS, TN 38105
(901) 237-2330



(IN FEET)

1 inch = 30 ft.

SHEET 1 OF 4

DEPARTMENT OF ENGINEERING

FROM: _____ TO: _____

SURVEY: AERIAL TRACE DATE: 10/13/2021 BOOK: _____

DESIGN: MGR DATE: 10/13/2021 CKD: MGR DATE: 10/13/2021 SCALE: 1"=30'
REVIEWED

TOWN ENGINEER _____ DATE _____

C3.0

INLET PROTECTION MEASURES MAY NOT BE SPECIFIED AT ALL LOCATIONS WITHIN THE VICINITY OF CONSTRUCTION ACTIVITIES, WHERE OVER EXCAVATION IS POSSIBLE, THOSE AREAS SHALL BE UTILIZED AS SEDIMENT TRAPS WHERE THE DISTURBED GRADE IS BENEATH THE SURROUNDING GRADES. WHEN NECESSARY, THE CONTRACTOR MAY UTILIZE ADDITIONAL BMP MEASURES, INCLUDING, BUT NOT LIMITED TO, SILT DICS ON PAVEMENT, SILT FENCE AND DANDY BAG PRODUCTS, AS NECESSARY TO ENSURE ADEQUATE EROSION AND SEDIMENTATION CONTROL IN THE UNLIKELY EVENT THAT A CONSTRUCTION AREA IS OVER EXCAVATED. ANY ACCUMULATED STORM WATER SHALL BE PUMPED OUT AND ROUTED THROUGH A FILTER BAG BEFORE DISCHARGING BEYOND THE PROJECT LIMITS OR ENTERING THE STORM DRAINAGE SYSTEM.

ALL GROUND AND SUBGRADE DISTURBING ACTIVITIES SHALL BE RESTRICTED TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THE EROSION CONTROL PLANS. NO GROUND OR SUBGRADE DISTURBANCES NOR STORAGE OF NEW, SALVAGED OR WASTE MATERIALS OR CHEMICALS SHALL OCCUR OR BE STORED BEYOND THE LIMITS SHOWN. IF SUCH DISTURBANCES OR STORAGE NEEDS ARE REQUIRED BEYOND THE LIMITS SHOWN, THE CONTRACTOR SHALL UPDATE THE NPDES PERMIT COVERAGE FOR THE SITE PRIOR TO INITIATING SUCH CONSTRUCTION ACTIVITIES.

[illegible]

Temporary Benchmark (T.B.M.): TDOT Survey monument #79-205-14 at the intersection of Airline Rd. and I-40 off-ramp. ELEV: 315.15

This property is not located within a Special Flood Hazard Area (sfha) subject inundation by the 1 percent annual chance flood as determined by FEMA. as shown on Firm Map #47157C 0220 G, dated February 6, 2013.

100 year flood elev. 284 - 290± (Hall Creek)

RENAISSANCE GROUP, INC.

9700 VILLAGE CIRCLE, SUITE 100
LAKELAND, TN 38002
(901) 332-5533 VOICE (901) 332-5534 FAX

-CAUTION NOTICE TO CONTRACTOR-

IN CASE OF CONFLICTS BETWEEN EROSION CONTROL PLANS, THE SWPPP DOCUMENT, ANY PROJECT OR MUNICIPAL SPECIFICATIONS AND THE ACTUAL STATE NPDES GENERAL PERMIT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.







FOR THE PURPOSES OF THIS PLAN WILL PROVIDE AN EFFECTIVE MEANS FOR CONTROLLING EROSION. HOWEVER, IT IS ACKNOWLEDGED THAT NO ONE PLAN CAN BE PREPARED THAT WILL DEPICT ALL POSSIBLE CONTROL MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BIDDING BID ADEQUATE FUNDS TO PROVIDE ALL EROSION CONTROL MEASURES NECESSARY TO COMPLY WITH CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.

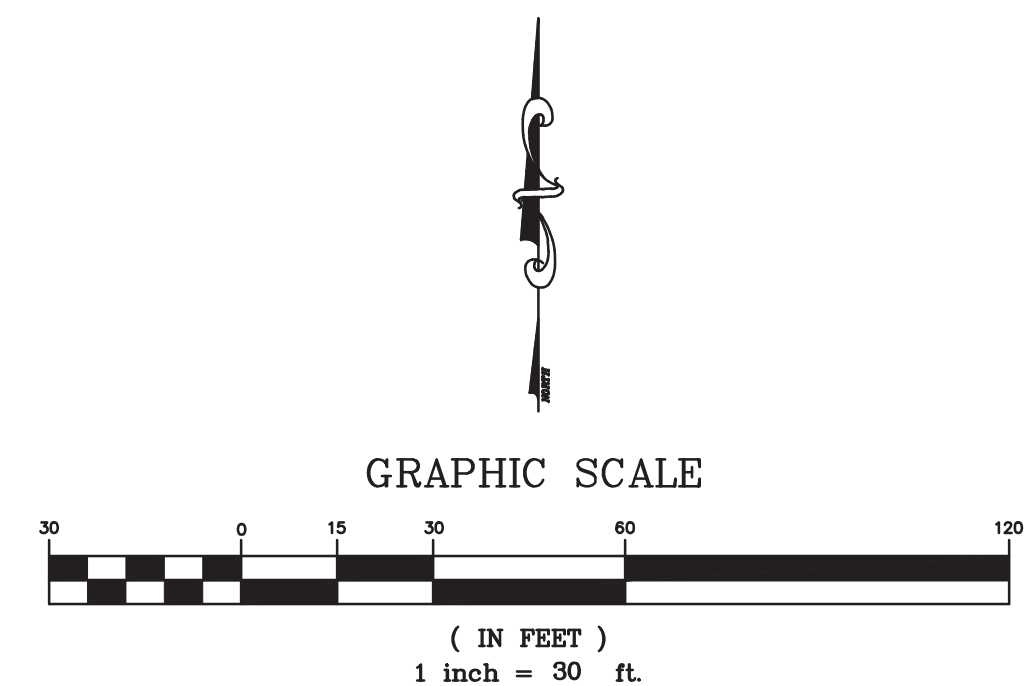


NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS (AS APPLICABLE): TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC, IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

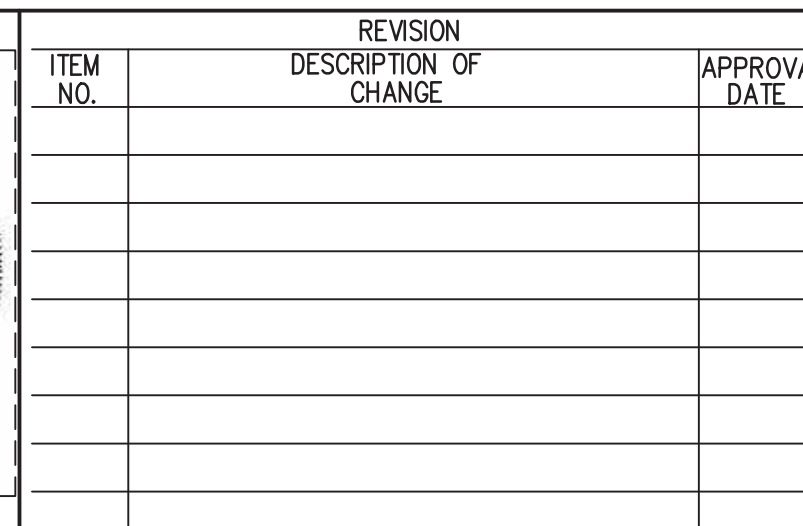
1. SEQUENCE SITE CLEARING, GRADING, BMP INSTALLATION AND ANY OTHER GROUND DISTURBING CONSTRUCTION RELATED ACTIVITIES TO MINIMIZE DISTURBED AREAS. CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON CONSTRUCTION DRAWINGS. CONTRACTOR SHALL NOT COMMENCE ANY GROUND DISTURBING ACTIVITIES UNTIL ALL NECESSARY BMP MEASURES ARE IN PLACE.
2. AFTER CONSTRUCTION EXIT AND STAGING AREAS ARE ESTABLISHED, INSTALL PERMETER SILT FENCE PROTECTION ALONG PERIMETER OF GRADING LIMITS SHOWN ON GRADING & DRAINAGE PLAN PHASE I.
3. WITH PERMETER SILT FENCE AND ANY OTHER APPLICABLE BMP MEASURES IN PLACE, BEGIN SITE CLEARING & DEMOLITION ACTIVITIES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PHASE I.
4. UPON COMPLETION OF CLEARING AND DEMOLITION ACTIVITIES ARE COMPLETE TO PHASE I LIMITS, INSTALL PROPOSED UNDERGROUND UTILITIES AND GRADING & DRAINAGE MODIFICATIONS PER PLANS, THEN COMMENCE INSTALLATION OF BUILDING FOOTING AND BUILDING PAD. CURBING OF DRIVE CURB & GUTTER, PAVEMENT AND SIDEWALKS IN ACCORDANCE WITH SITE IMPROVEMENT PLANS, DISPOSE OF ANY UNSUITABLE SOILS AND DEBRIS IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
5. PHASE I CONSTRUCTION ACTIVITIES MUST BE COMPLETE PRIOR TO COMMENCEMENT OF PHASE II CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IMMEDIATELY WHENEVER CLEARING, GRADING OR OTHER EARTH DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS, AND MUST BE STABILIZED WITHIN 15 CALENDAR DAYS. TEMPORARY STABILIZATION AND BMP MEASURES SHALL REMAIN UNTIL THE TIME THAT CONSTRUCTION ACTIVITIES ARE READY TO RECOMMENCE IN THOSE AREAS, INCLUDING THE COMPLETION OF ANY FINAL GRADING, BUILDING PAD, PAVEMENT, CURBING OR FINAL STABILIZATION MEASURES.

LEGEND

| | |
|--|---------------------------|
|  LD | - LIMITS OF DISTURBANCE |
|  SF | - PERIMETER SILT FENCE |
|  WT | - SILT WATTLE |
|  CW | - CONCRETE WASHOUT |
|  RF | - ROCK FILTER RING |
|  CE | - STONE CONSTRUCTION EXIT |



SHEET 2 OF 4



9700 VILLAGE CIRCLE, SUITE 100
LAKELAND, TN 38002
(901) 332-5533 VOICE (901) 332-5534 FAX

TOWN ENGINEER _____ DATE _____

INLET PROTECTION MEASURES MAY NOT BE SPECIFIED AT ALL LOCATIONS WITHIN THE VICINITY OF CONSTRUCTION ACTIVITIES. WHERE OVER EXCAVATION IS POSSIBLE, THOSE AREAS SHALL BE UTILIZED AS SEDIMENT TRAPS WHERE THE DISTURBED GRADE IS BENEATH THE SURROUNDING GRADES. WHEN NECESSARY, THE CONTRACTOR MAY UTILIZE ADDITIONAL BMP MEASURES, INCLUDING, BUT NOT LIMITED TO, SILT DIKE ON PAVEMENT, SILT FENCE AND DANDY BAG PROCEDURES, AS NECESSARY TO ENSURE ADEQUATE EROSION AND SEDIMENTATION CONTROL. IN THE UNLIKELY EVENT THAT A SIGNIFICANT RAINFALL EVENT OCCURS, ANY ACCUMULATED STORM WATER SHALL BE PUMPED OUT AND ROUTED THROUGH A FILTER BAG BEFORE DISCHARGING BEYOND THE PROJECT LIMITS OR ENTERING THE STORM DRAINAGE SYSTEM.

ALL GROUND AND SUBGRADE DISTURBING ACTIVITIES SHALL BE RESTRICTED TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THE EROSION CONTROL PLANS. NO GROUND OR SUBGRADE DISTURBANCES NOR STORAGE OF NEW, SALVAGED OR WASTE MATERIALS OR CHEMICALS SHALL OCCUR OR BE STORED BEYOND THE LIMITS SHOWN. IF SUCH DISTURBANCES OR STORAGE NEEDS ARE REQUIRED BEYOND THE LIMITS SHOWN, THE CONTRACTOR SHALL UPDATE THE NPDES PERMIT COVERAGE FOR THE SITE PRIOR TO INITIATING SUCH CONSTRUCTION ACTIVITIES.

EROSION & SEDIMENTATION CONTROL PLAN/SITE MAP,
SHEET 4 OF 5, MUST BE POSTED IN JOB TRAILER.

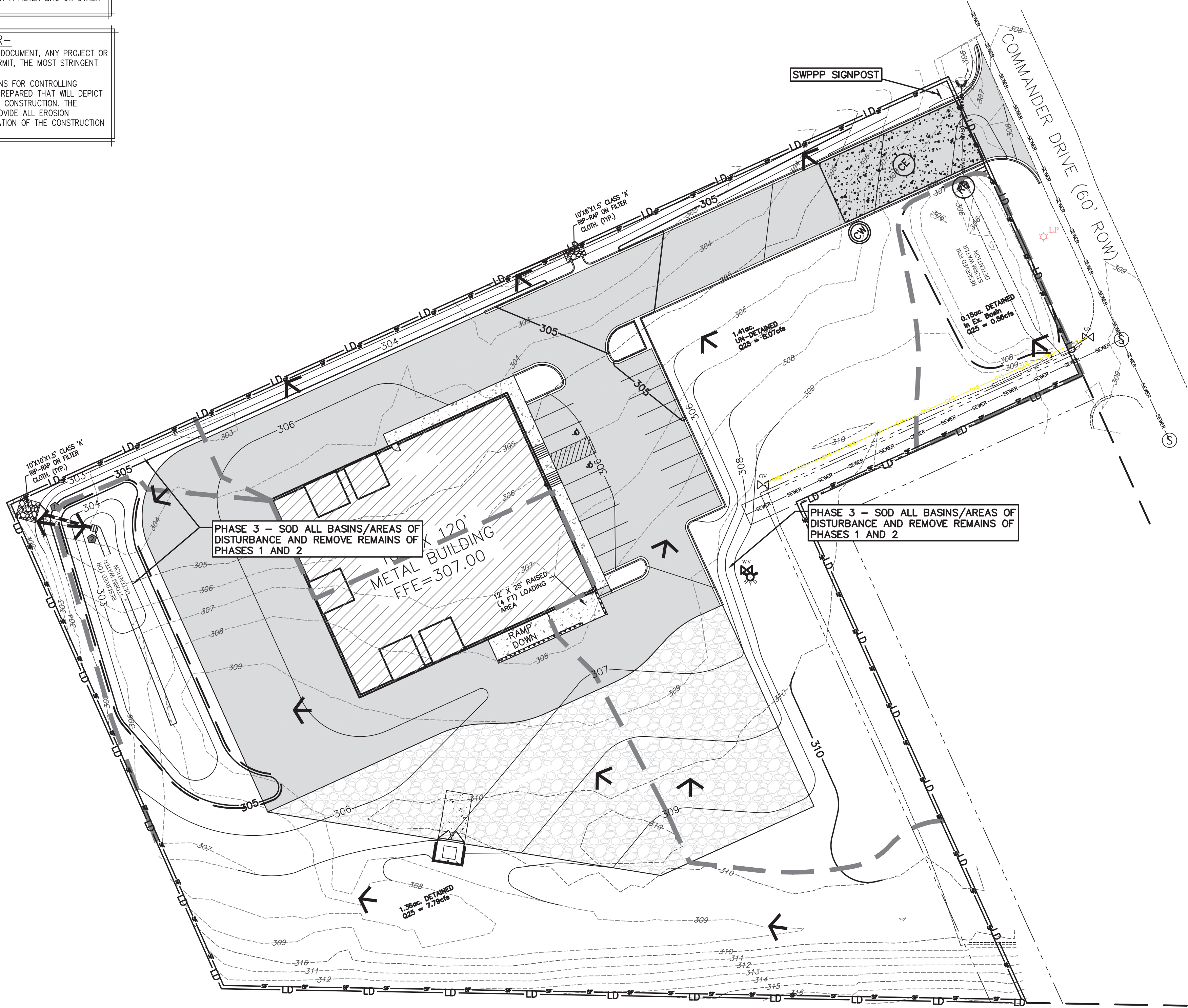
CONSTRUCTION EXIT NOTICE

THE STONE CONSTRUCTION EXIT FOR THIS SITE IS LOCATED AT THE NORTHEAST PORTION OF THE SITE CONNECTING TO AN EXISTING PAVED DRIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ONCE THE STONE CONSTRUCTION EXIT IS REMOVED, THE CONTRACTOR SHALL DESIGNATE AN AREA AS A CONSTRUCTION EXIT AND ENSURE ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE SHALL BE CLEANED IMMEDIATELY. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM AND ROUTED THROUGH A FILTER BAG OR OTHER FILTER MEDIAN BEFORE BEING DISCHARGED.

CAUTION NOTICE TO CONTRACTOR

IN CASE OF CONFLICTS BETWEEN EROSION CONTROL PLANS, THE SWPPP DOCUMENT, ANY PROJECT OR MUNICIPAL SPECIFICATIONS AND THE ACTUAL STATE NPDES GENERAL PERMIT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

IF PROPERLY IMPLEMENTED, THIS PLAN WILL PROVIDE AN EFFECTIVE MEANS FOR CONTROLLING EROSION. HOWEVER, IT IS ACKNOWLEDGED THAT NO ONE PLAN CAN BE PREPARED THAT WILL DEPICT ALL POSSIBLE CONTROL MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID ADEQUATE FUNDS TO PROVIDE ALL EROSION CONTROL MEASURES NECESSARY TO COMPLY WITH CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.



VICINITY MAP

BEST MANAGEMENT PRACTICES SEQUENCE

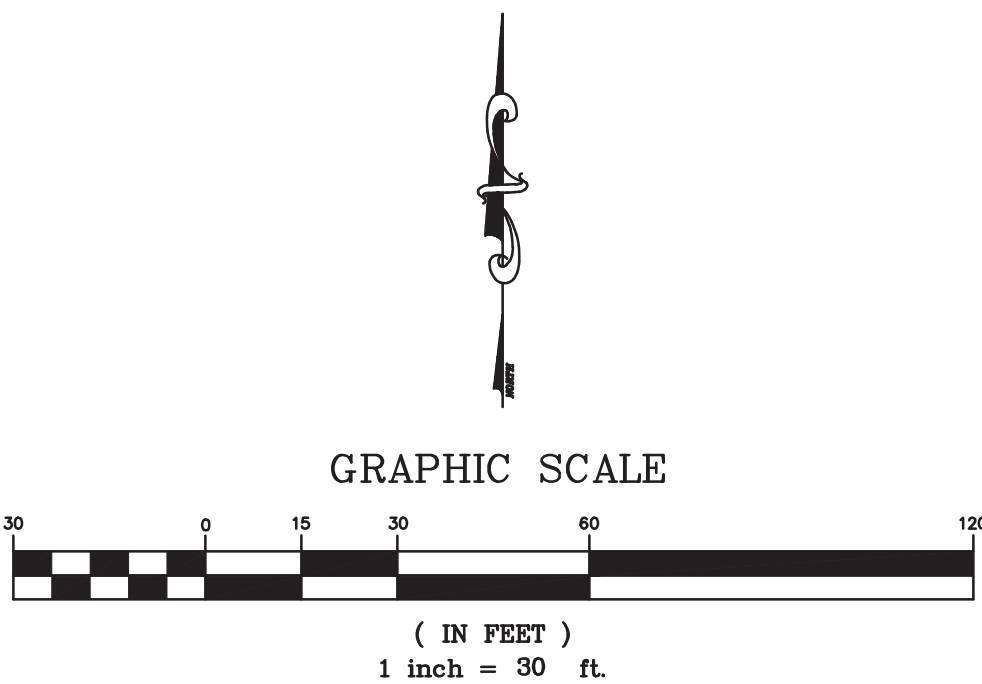
NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS (AS APPLICABLE): TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC, IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

EROSION CONTROL SEQUENCING -- PHASE I

- SEQUENCE SITE CLEARING, GRADING, BMP INSTALLATION AND ANY OTHER GROUND DISTURBING CONSTRUCTION RELATED ACTIVITIES TO MINIMIZE DISTURBED AREAS. CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON CONSTRUCTION DRAWINGS. CONTRACTOR SHALL NOT COMMENCE ANY GROUND DISTURBING ACTIVITIES UNTIL ALL NECESSARY BMP MEASURES ARE IN PLACE.
- ONCE CONSTRUCTION EXIT AND STAGING AREAS ARE ESTABLISHED, INSTALL PERIMETER SILT FENCE PROTECTION ALONG PERIMETER OF GRADING LIMITS AS SHOWN ON GRADING & DRAINAGE PLAN PHASE I.
- WITH PERIMETER SILT FENCE AND ANY OTHER APPLICABLE BMP MEASURES IN PLACE, BEGIN SITE CLEARING & DEMOLITION ACTIVITIES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PHASE I.
- UPON COMPLETION OF CLEARING AND DEMOLITION ACTIVITIES ARE COMPLETE TO PHASE I LIMITS, INSTALL PROPOSED UNDERGROUND UTILITIES AND GRADING & DRAINAGE MODIFICATIONS PER PLANS, THEN COMMENCE INSTALLATION OF BUILDING FOOTING AND BUILDING PAD AND INSTALLATION OF NEW CURB & GUTTER, PAVEMENT AND SIDEWALKS IN ACCORDANCE WITH SITE IMPROVEMENT PLANS. DISPOSE OF ANY UNSUITABLE SOILS AND DEBRIS IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- PHASE I CONSTRUCTION ACTIVITIES MUST BE COMPLETE PRIOR TO COMMENCEMENT OF PHASE II CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IMMEDIATELY WHENEVER CLEARING, GRADING OR OTHER EARTH DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS, AND MUST BE STABILIZED WITHIN 15 CALENDAR DAYS. TEMPORARY STABILIZATION AND BMP MEASURES SHALL REMAIN UNTIL THE TIME THAT CONSTRUCTION ACTIVITIES ARE READY TO RECOMMENCE IN THOSE AREAS, INCLUDING THE COMPLETION OF ANY FINAL GRADING, BUILDING PAD, PAVEMENT, CURBING OR FINAL STABILIZATION MEASURES.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

| LEGEND | |
|--------|-------------------------|
| LD | LIMITS OF DISTURBANCE |
| SF | PERIMETER SILT FENCE |
| WT | SILT WATTLE |
| CW | CONCRETE WASHOUT |
| RF | ROCK FILTER RING |
| CE | STONE CONSTRUCTION EXIT |



BMP NOTICE

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LIMITS OF DISTURBANCE

ALL GROUND AND SUBGRADE DISTURBING ACTIVITIES SHALL BE RESTRICTED TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THE EROSION CONTROL PLANS. NO GROUND OR SUBGRADE DISTURBANCES NOR STORAGE OF NEW, SALVAGED OR WASTE MATERIALS OR CHEMICALS SHALL OCCUR OR BE STORED BEYOND THE LIMITS SHOWN. IF SUCH DISTURBANCES OR STORAGE NEEDS ARE REQUIRED BEYOND THE LIMITS SHOWN, THE CONTRACTOR SHALL UPDATE THE NPDES PERMIT COVERAGE FOR THE SITE PRIOR TO INITIATING SUCH CONSTRUCTION ACTIVITIES.

TDEC NPDES TRACKING #TNR

| | | | | |
|--|--|--------------------------------|---------------|--|
| | ITEM NO. | REVISION DESCRIPTION OF CHANGE | APPROVAL DATE | Temporary Benchmark (T.B.M.): TDOT Survey monument #79-205-14 at the intersection of Airline Rd. and I-40 off-ramp. ELEV. 315.15 |
| | | | | This property is not located within a Special Flood Hazard Area (sfha) subject to inundation by the 1 percent annual chance flood as determined by FEMA, and shown on Firm Map #47157C 0220 G, dated February 6, 2013. 100 year flood elev. 284 - 290s (Hall Creek). |
| | COMPLETE LIGHTING on LOT 2 of COMMANDER BUSINESS PARK DEVELOPER: COMPLETE LIGHTING AND SIGN SERVICE | | | |
| | RENAISSANCE GROUP, INC. 9700 VILLAGE CIRCLE, SUITE 100 LAKELAND, TN 38002 (901) 332-5533 VOICE (901) 332-5534 FAX | | | |

| | |
|--------------------------------|---------------------------|
| SHEET 3 OF 4 | |
| DEPARTMENT OF ENGINEERING | |
| EROSION CONTROL PLAN PHASE III | |
| ARLINGTON, TENNESSEE | |
| FROM: _____ | TO: _____ |
| SURVEY: AERIAL TRACE | DATE: 10/13/2021 |
| DESIGN: MGR DATE: 10/13/2021 | CKD: MGR DATE: 10/13/2021 |
| REVIEWED | SCALE: 1"=30' |
| TOWN ENGINEER | DATE |

C3.2

SEE EROSION CONTROL SWPPP SHEET 6 OF 6, THIS SET, FOR GENERAL EROSION CONTROL NOTES, USGS QUAD MAP, SOIL MAP AND ADDITIONAL EROSION CONTROL MEASURES AND RESPONSIBILITIES.

RGI JOB NO. 21091



NOTE:
ALL S.S. CLEANOUTS IN PAVED AREAS
SHALL HAVE BRASS CAPS.

NOTE:
ALL UTILITY CUTS IN PUBLIC
RIGHT-OF-WAY SHALL BE BACKFILLED
COMPLETELY WITH CR-610 AT THE
END OF EACH DAY. THE USE OF
STEEL PLATES WILL NOT BE ALLOWED
UNLESS IT IS AN EMERGENCY
SITUATION THAT WARRANTS IMMEDIATE
COVERING.

1. A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWN OF ARLINGTON PUBLIC WORKS DIVISION AT (901) 967-4980.
2. ALL NEWLY CUT OR FILLED AREAS, LACKING ADEQUATE VEGETATION, SHALL BE SEED, MULCHED, FERTILIZED AND/OR SOODED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY. ALL OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING MCGRAW, SOUTH CENTRAL BELL, AND/OR TEXAS GAS COMPANY, CALL 1-800-351-1111. FOR SEWER LOCATIONS CALL ARLINGTON PUBLIC WORKS.
4. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
5. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D-698) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED SIX (6) INCHES OF COMPACTED THICKNESS.
6. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE TOWN OF ARLINGTON STANDARD CONSTRUCTION SPECIFICATIONS.
7. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
8. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE TOWN OF ARLINGTON ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
9. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
10. LOT DRAINAGE: FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGAIN AT LEAST 12-INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR IN THE CASE OF AN INTEGRAL SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT TWO PERCENT (2%) FOR AT LEAST EIGHT FEET FROM THE STRUCTURE.

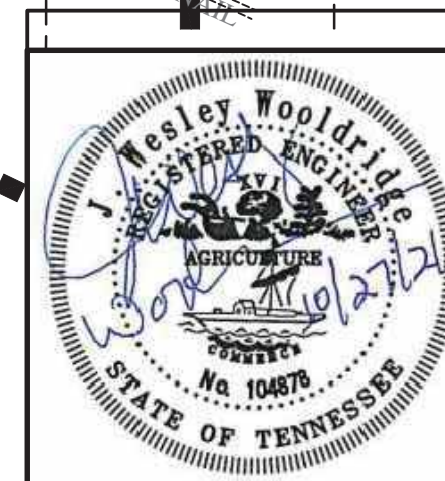
DEPARTMENT OF ENGINEERING

ARLINGTON, TENNESSEE

DESIGN: MGR DATE: 10/13/2021 CKD: MGR DATE: 10/13/2021 SCALE: 1"=20'
REVIEWED

TOWN ENGINEER _____ DATE _____

C4.0

[illegible]

Temporary Benchmark (T.B.M.): TDOT Survey monument #79-205-14 at the intersection of Airline Rd. and I-40 off-ramp. ELEV: 315.15

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100 year flood elev. 284 - 290± (Hall Creek)

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