

**ROOM FINISH AND MATERIAL SCHEDULE**

ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
			NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	
WAITING ROOM	F1	BI	NI	A	NI	A	CI	A	10'-0"
RECEPTION	F1	BI	NI	A	NI	A	CI	A	10'-0"
RECORDS	F1	BI	NI	A	NI	A	CI	A	10'-0"
FACIALS/MASSAGE	F2	BI	NI	A	NI	A	CI	A	10'-0"
BREAK ROOM	F2	BI	NI	A	NI	A	CI	A	10'-0"
RECOVERY ROOM	F2	BI	NI	A	NI	A	CI	A	10'-0"
TOILET	F2	BI	NI	A	NI	A	CI	A	10'-0"
PROCEDURE ROOM	F2	BI	NI	A	NI	A	CI	A	10'-0"
ENTRY	F2	BI	NI	A	NI	A	CI	A	10'-0"
HALL #1	F1	BI	NI	A	NI	A	CI	A	10'-0"
MECHANICAL ROOM	F2	BI	NI	A	NI	A	CI	A	10'-0"
STERILIZATION ROOM	F2	BI	NI	A	NI	A	CI	A	10'-0"
NURSE'S STATION	F2	BI	NI	A	NI	A	CI	A	10'-0"
DR. OFFICE	F1	BI	NI	A	NI	A	CI	A	10'-0"
PATIENT LOUNGE	F1	BI	NI	A	NI	A	CI	A	10'-0"
EXAM #1	F1	BI	NI	A	NI	A	CI	A	10'-0"
EXAM #2	F1	BI	NI	A	NI	A	CI	A	10'-0"
BUSINESS OFFICE	F1	BI	NI	A	NI	A	CI	A	10'-0"
HALL #2	F1	BI	NI	A	NI	A	CI	A	10'-0"

**MATERIALS:**

**FLOORS:**  
 F1 = COMMERCIAL CARPET AS SELECTED, 915/17D, ALLOWANCE, INSTALLED.  
 F2 = VINYL TILE AS SELECTED, INSTALLED BY ARMSTRONGS 'EXCELON' OR EQUAL.  
 F3 = 'MEDITEC' BY ARMSTRONGS SHEET VINYL WITH WELDED SEAMS.

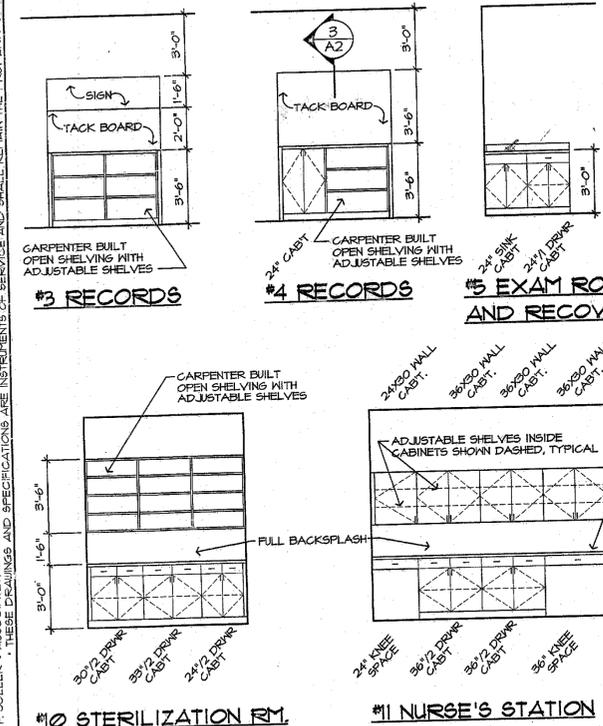
**BASE:**  
 B1 = 4" COVERED VINYL ROLL GOODS ONLY, PROVIDE PREMOLDED CORNERS.  
 B2 = 'MEDITEC' BY ARMSTRONGS SEE DETAIL THIS SHEET.

**CEILING:**  
 C1 = 5/8" CEILING BOARD, PAINTED, KNOCKDOWN FINISH (NO POPCORN).

**WALLS:**  
 NI = GYPSUM WALLBOARD (5/8" THICK) ON METAL STUDS/FIRING STRIPS.  
 NI2 = WR. GYPSUM WALLBOARD ON METAL STUDS/FIRING STRIPS, PROVIDE TEXTURE, AS SELECTED, SEE FINISHES.

**FINISHES:**  
 A = FLAT LATEX.  
 B = SEMI-GLOSS ALKYD ENAMEL.

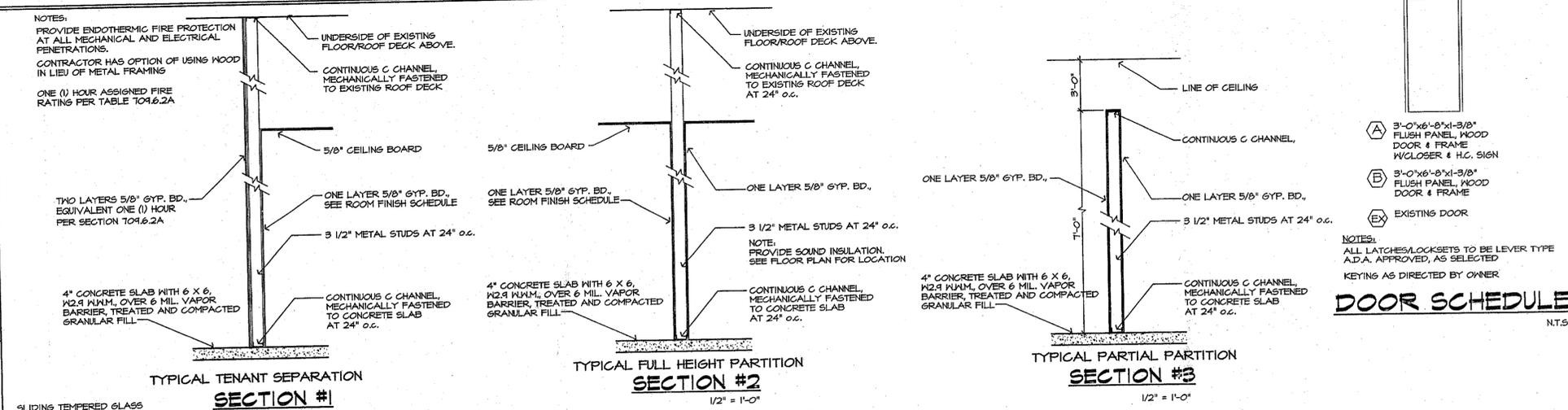
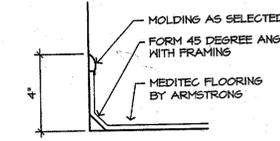
**REMARKS:**  
 1. PROVIDE VINYL EDGE STRIP BETWEEN CARPET AND DISSIMILAR MATERIAL.



**TOILET ACCESSORIES**

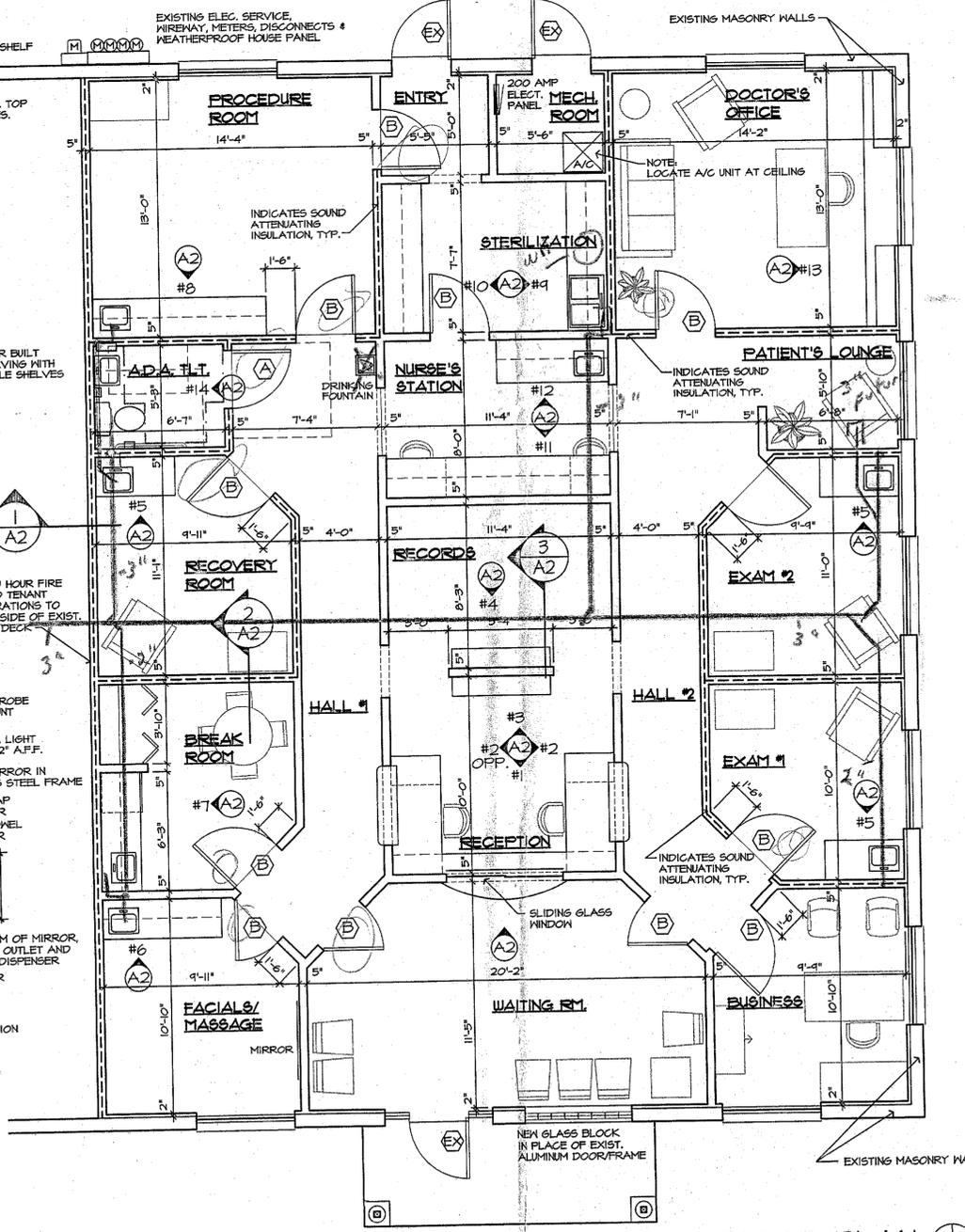
- (A) TOILET TISSUE DISPENSER (INSTALL AT MIN. 14" A.F.F. TO CENTER OF ROLL)
- (B) GRAB BAR AT WATER CLOSET (GRAB BARS TO BE 36" LONG ON WALL BEHIND W.C. AND 42" LONG AT WALL PERPENDICULAR TO W.C. (INSTALL AT 33" A.F.F. TO TOP OF GRAB BAR))
- (C) PAPER TOWEL DISPENSER (INSTALL AT MAX. 48" A.F.F. TO TOWEL)
- (D) FRAMED MIRRORS (INSTALL AT MAX. 40" A.F.F. TO BOTTOM OF MIRROR)
- (E) SOAP DISH

**BASE DETAIL**



**DOOR SCHEDULE**

NOTES:  
 ALL LATCHES/LOCKSETS TO BE LEVER TYPE A.D.A. APPROVED, AS SELECTED.  
 KEYING AS DIRECTED BY OWNER.



**FLOOR PLAN**

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FLOOR PLAN  
 ROOM FINISH  
 SCHEDULE,  
 DOOR SCHEDULE,  
 INT. ELEVATIONS  
 SHEET  
 A2  
 OF 3

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**CODE REVIEW AND ANALYSIS**

TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRESAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA.

BUILDING CODE: FLORIDA BUILDING CODE, BUILDING 2001  
 MECHANICAL CODE: FLORIDA BUILDING CODE, MECHANICAL 2001  
 PLUMBING CODE: FLORIDA BUILDING CODE, PLUMBING 2001  
 ELECTRICAL CODE: NFPA 70 - NEC 1999  
 ACCESSIBILITY CODE: FLORIDA BUILDING CODE, FACBC 2001  
 ENERGY CODE: FLORIDA BUILDING CODE, ENERGY EFFICIENCY, 2001  
 METHOD OF DESIGN PER FBC 1606 NOT APPLICABLE - EXISTING BUILDING

ASCE 7-98 PARTIALLY ENCLOSED WITH CHECKLIST  
 FULLY ENCLOSED 95TD 10-99  
 600.2 OTHER  
 BASIC WIND SPEED: 130 MPH, 3 SEC. GUST/10 MPH, FASTEST MILE  
 IMPORTANCE FACTOR: (TABLE 1606)  
 EXPOSURE: B (SECTION 1606.1.8)

INTERNAL PRESSURE COEFFICIENT:  
 N.A. 0.18 FOR ENCLOSED  
 N.A. 0.55 FOR PARTIALLY ENCLOSED  
 STRUCTURAL FORCES: (SECTION 1603 AND 1604)  
 FLOOR DESIGN: LIVE LOAD: 50 OFFICE/100 LOBBY p.s.f.  
 DEAD LOAD: 50 p.s.f.  
 ROOF DESIGN: LIVE LOAD: N.A.  
 DEAD LOAD: N.A.  
 WINDBORNE DEBRIS REGION: YES N.A. NO N.A.

PROTECTION OF OPENINGS:  
 N.A. STORM SHUTTER MFG.----- CERT. NO.-----  
 N.A. IMPACT RESISTANT GLASS MFG.-----  
 AREA TABULATIONS:  
 LIVING: N.A. s.f.  
 GARAGE: N.A. s.f.  
 LANAI: N.A. s.f.  
 ENTRY: N.A. s.f.  
 STORAGE: N.A. s.f.  
 OTHER: N.A. s.f.  
 TOTAL: 2510 s.f.

**I. PROJECT & PROJECT DESCRIPTION:**  
 PROJECT: INTERIOR TENANT COMPLETION  
 BUILDING LOCATION: 2430 UNIVERSITY PARKWAY  
 SARASOTA, FLORIDA  
 BUILDING DESCRIPTION: EXISTING ONE STORY MASONRY BEARING WALL IV PRE-ENGINEERED STEEL TRUSS FRAMING.

**II. PROJECT BUILDING CLASSIFICATION AS PERMITTED:**  
 OCCUPANCY CLASSIFICATION: B, BUSINESS  
 CONSTRUCTION TYPE: IV, UNSPRINKLERED/UNPROTECTED.  
 OCCUPANCY SEPARATION REQUIREMENTS: N.A.  
 MIN. MEANS OF EGRESS: ONE, PER SECTION 1020.1  
 FIRE RESISTANCE RATINGS: N.A.  
 FIRE PROTECTION OF STRUCTURAL MEMBERS: N.A.

**III. PROPOSED PROJECT CLASSIFICATION BY OCCUPANCY (CHAPTER 4):**  
 OCCUPANCY CLASSIFICATION: B, BUSINESS  
 HEIGHT AND AREA (TABLE 502): ALLOWABLE PROPOSED  
 BUILDING HEIGHT STORIES: 2 1  
 BUILDING HEIGHT FEET: 55' 15'-4"  
 BUILDING AREA MULTI-STORY: N.A. N.A.  
 BUILDING AREA ONE STORY ONLY: 17000 S.F. 2510 S.F.  
 OCCUPANCY SEPARATION REQUIREMENTS: (TABLE 104.1) ONE (1) HOUR  
 CONSTRUCTION TYPE: IV, UNSPRINKLERED/UNPROTECTED.

**IV. FIRE PROTECTION OF STRUCTURAL MEMBERS:**  
 CLASSIFICATION OF BUILDING CONSTRUCTION:  
 FIRE RESISTANCE RATINGS: TABLE 602, 5EBC(1)  
 ELEMENT MIN. REQ'D. PROVIDER TEST NO.  
 PARTY AND FIRE WALLS FOUR (4) HOUR NONE N/A  
 INTERIOR BEARING WALLS 0 EXISTING MASONRY N/A  
 INTERIOR NON-BEARING PARTITIONS SEE 104.1, 104.2, 105.1.2 & 105.2. N/A  
 COLUMNS 0 0 N/A  
 BEAMS, GIRDERS, TRUSSES AND ARCHES 0 0 N/A  
 FLOOR/CEILING CONSTRUCTION 0 0 N/A  
 ROOF/CEILING CONSTRUCTION 0 0 N/A  
 EXTERIOR BEARING WALLS (FRONT ELEVATION) 0'-3" THREE (3) HOUR ONE (1) HOUR N.A.  
 3' - 10' TWO (2) HOUR ONE (1) HOUR N.A.

**V. FLOOR OPENING PROTECTION (CHAPTER 7, TABLE 105.1.2):**  
 TABLE 105.1.2 COMPONENT MIN. REQ'D. PROVIDER  
 SHAFT ENCLOSURES (LESS THAN 4 STORIES) ONE (1) HOUR N/A  
 WALLS AND PARTITIONS  
 \* FIRE WALLS FOUR (4) HOUR N/A  
 \* OCCUPANCY SEPARATION (SEE 104.1) N/A  
 \* WITHIN TENANT SPACE 0 N/A  
 \* TENANT SPACE (SEE SECTION 104.3) 0 N/A  
 \* HORIZONTAL EXIT TWO (2) HOUR (SEE FOOTNOTES 4 & 5) N/A  
 \* EXIT ACCESS CORRIDORS (SEE 404.1.2) N/A  
 \* STAIR ENCLOSURES ONE (1) HOUR N/A  
 \* REFUSE & LAUNDRY CHUTES TWO (2) HOUR N/A  
 \* HAZARDOUS USE SEPARATIONS ONE (1) HOUR N/A  
 \* ASSEMBLY BUILDINGS (SEE FOOTNOTE 2) N/A  
 \* BATHROOMS/RESTROOMS (SEE FOOTNOTE 6) N/A

**VI. MEANS OF EGRESS (CHAPTER 10):**  
 OCCUPANT LOAD: 25  
 GROSS AREA: 2510 S.F.  
 OCCUPANT LOAD: 25  
 ARRANGEMENT AND NUMBER OF EXITS PROVIDED: 3  
 MINIMUM NUMBER OF EXITS REQUIRED: 1 (SECTION 1020.1)

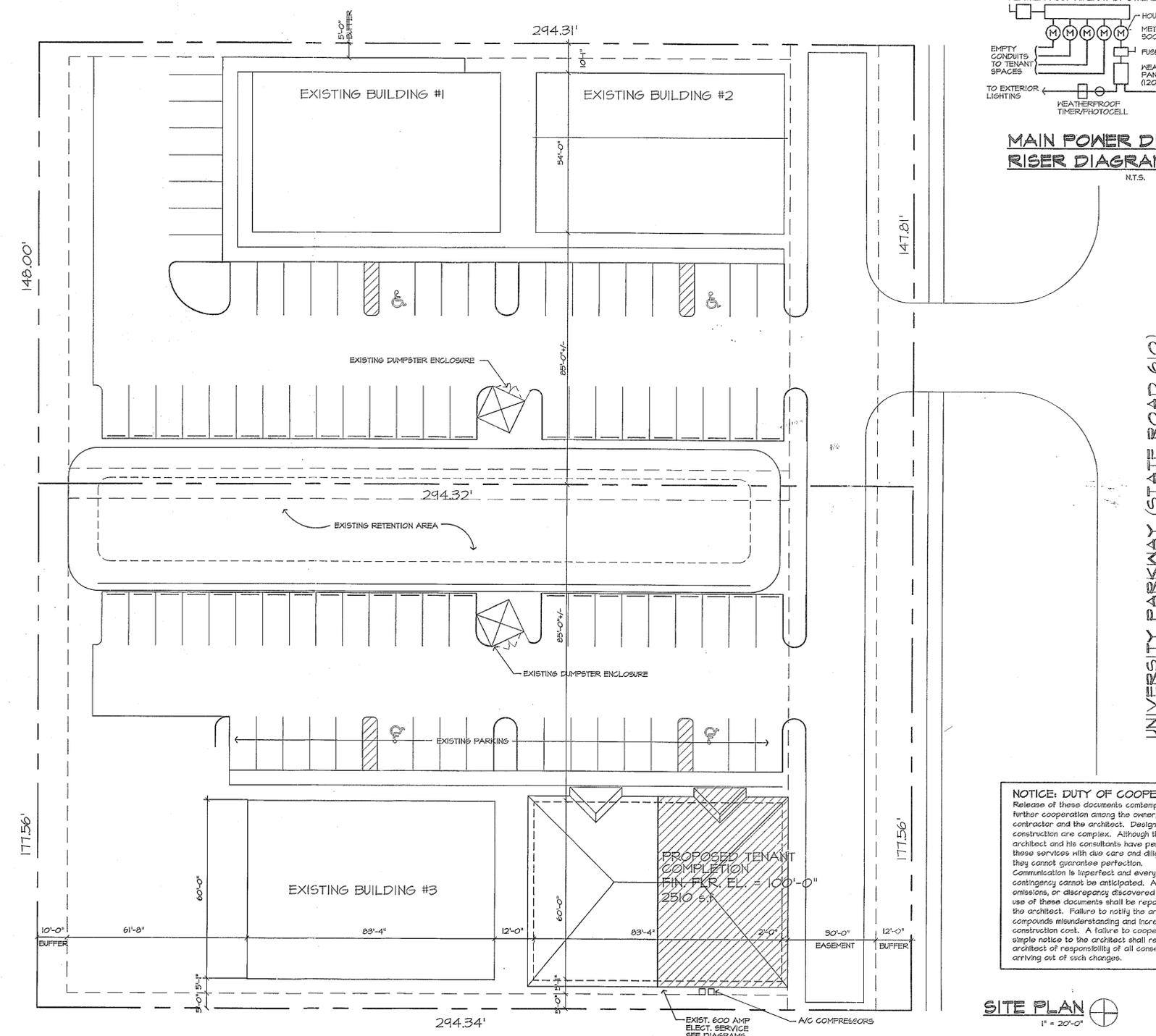
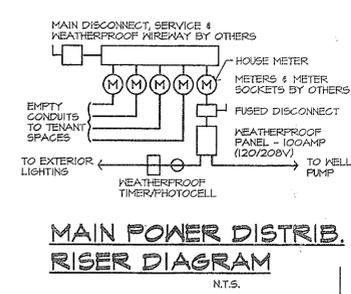
TABLE 1104, B, BUSINESS  
 ITEM REQUIRED PROVIDED  
 MAXIMUM DISTANCE TO EXIT:  
 \* UNSPRINKLERED 200' LESS THAN 200'  
 \* SPRINKLERED N/A N/A  
 MAXIMUM DEAD END CORRIDOR: 20' N/A  
 EGRESS WIDTH/PERSON SERVED: 0.37' 2.27'  
 MINIMUM CORRIDOR/ABLE WIDTH: 44" 52"  
 MINIMUM CLEAR EXIT OPENINGS: 52" 56"  
 MINIMUM STAIR WIDTH (IN): N/A 36"

**VII. PLUMBING:**  
 STANDARD PLUMBING CODE  
 MINIMUM FACILITIES AND OCCUPANT CONTENT (TABLE 403.1, STANDARD PLUMBING CODE)  
 IS BASED ON AN OCCUPANCY OF 25 (PER TABLE 1003.1, STANDARD BUILDING CODE).

WATER CLOSETS MIN. REQ'D. PROVIDER  
 MALE N/A N/A  
 FEMALE N/A N/A  
 LAVATORIES N/A N/A  
 MALE N/A N/A  
 FEMALE N/A N/A  
 DRINKING FOUNTAINS N/A N/A

**DRAWING INDEX**

A1	DRAWING INDEX, SITE PLAN CODE REVIEW AND ANALYSIS
A2	FLOOR PLAN, ROOM FINISH SCHEDULE, DOOR SCHEDULE & INTERIOR ELEVATIONS
A3	SPECIFICATIONS
E1	REFLECTED CEILING PLAN, POWER PLAN
P1	PLUMBING PLAN, RISER DIAGRAM



**NOTICE: DUTY OF COOPERATION**  
 Release of these documents contemplates further cooperation among the owner, the contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed these services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any errors, omissions, or discrepancy discovered by the use of these documents shall be reported to the architect. Failure to notify the architect compounds misunderstanding and increases construction cost. A failure to cooperate by simple notice to the architect shall relieve the architect of responsibility of all consequences arising out of such changes.

**SITE PLAN**  
 1" = 20'-0"

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FILE NO. MAGGIE SHEET  
 OF 3



GENERAL NOTES:

- ALL SUB-CONTRACTORS TO:
1) REQUEST INSPECTIONS FROM BUILDING DEPARTMENT AND OTHER AGENCIES AS REQUIRED, AT VARIOUS PHASES OF THE CONSTRUCTION IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND NOTIFY THE GENERAL CONTRACTOR OF ANY PENDING INSPECTIONS.
2) TAKE THEIR REFUSE, CARTONS, BOXES, ETC. TO A CONTAINER LOCATED ON THE SITE (EXCEPT THE EXCAVATOR). REMOVAL OF FULL CONTAINERS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DISPOSAL OF CONSTRUCTION AND DEMOLITION WASTE, AS WELL AS THE SORTING OF RECYCLABLES, WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
3) ACQUIRE AND MAINTAIN INSURANCE OF SUCH TYPES AND IN SUCH AMOUNTS AS ARE NECESSARY TO COVER HIS RESPONSIBILITY AND LIABILITY ON A PROJECT OF THE CHARACTER CONTAINED UNDER THIS CONTRACT. NO "SUB" SHALL COMMENCE WORK UNDER HIS CONTRACT UNTIL HE HAS RETAINED ALL INSURANCE REQUIRED AND SUCH INSURANCE HAS BEEN APPROVED BY THE OWNER. EACH AND EVERY CONTRACTOR SHALL MAINTAIN ALL INSURANCE FOR THE DURATION OF HIS CONTRACT. EACH AND EVERY CONTRACTOR SHALL SUBMIT TO THE OWNER A "CERTIFICATE OF INSURANCE" IN THE TYPE (BUT NOT LIMITED TO) AS FOLLOWS:
COMPREHENSIVE GENERAL LIABILITY, INCLUDING HOLD HARMLESS AGREEMENTS FOR THE OWNER AND ARCHITECT. PREMISES AND OPERATIONS LIABILITY. STATUTORY LIABILITY, INCLUDING WORKMAN'S COMPENSATION EMPLOYER'S LIABILITY AND DISABILITY BENEFITS. AMOUNTS TO BE DETERMINED BY THE OWNER.
4) PROVIDE "SHOP DRAWINGS" FOR ALL ITEMS NOT FABRICATED IN THE FIELD. ALL SUBMITTALS WILL BE SENT TO THE GENERAL CONTRACTOR FOR HIS APPROVAL PRIOR TO BEING REVIEWED BY THE ARCHITECT.
5) THE LATEST EDITION OF THE A.I.A. DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE CONSIDERED AS PART OF THIS CONTRACT DOCUMENT.
6) ALL STATE AND LOCAL CODES APPLY, HOWEVER, THE FOLLOWING SPECIFIC CODES AND REGULATIONS MUST BE STRICTLY FOLLOWED (SEE CODE ANALYSIS).
FLORIDA BUILDING CODE - CURRENT EDITION
7) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS FOR VARIATION IN THE MANUFACTURE, FABRICATION AND INSTALLATION OF INDIVIDUAL MATERIALS AND CONSTRUCTION COMPONENTS. REQUIRED CLEARANCES FOR FIELD ADJUSTMENT AND BUILDING MOVEMENT (SINGLE AND/OR ACCUMULATED) SHALL BE INCLUDED. MATERIALS AND WORKMANSHIP WILL BE AS DESCRIBED IN THE "HANDBOOK OF CONSTRUCTION TOLERANCES", BY DAVID KENT BALLAST, McGRAW-HILL, 1994.
8) ALL DIMENSIONS, OTHER THAN PURELY STRUCTURAL DIMENSIONS SHOWN ON THE FOUNDATION DRAWING, MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND ANY INCONSISTENCIES REPORTED IN WRITING TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. THESE DRAWINGS MUST NOT BE SCALED.
9) OPENINGS, TRENCHES, PITS, EQUIPMENT BASES AND MECHANICAL EQUIPMENT WHERE SHOWN ON THESE DRAWINGS, ARE INDICATED ONLY APPROXIMATELY AS TO SIZE AND LOCATION. REFER TO ARCHITECTURAL AND MECHANICAL AND ELECTRICAL SHOP DRAWINGS AND CUT SHEETS (AS APPLICABLE) FOR LOCATIONS, SIZES OF EQUIPMENT, OPENINGS, PITS, TRENCHES, BASES, SLEEVES, DEPRESSIONS, GROOVES AND CHAMFERS NOT INDICATED ON THESE DRAWINGS.
10) UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ALL SUCH MEASURES.
11) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING OR OTHER TEMPORARY SUPPORT TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

COORDINATION:

THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK WITH ALL TRADES AND SUBCONTRACTORS ON THE PROJECT AND ESTABLISH JOB RELATIONSHIPS AND PROCEDURES FREE OF UNNECESSARY DELAYS.

EACH TRADE, IN LAYING OUT THEIR WORK, SHALL COOPERATE WITH THE GENERAL CONTRACTOR SO AS TO AVOID ANY INTERFERENCE THAT MIGHT ARISE IF THIS WERE NOT DONE.

EACH TRADE IS RESPONSIBLE FOR OBSERVING THAT OTHER TRADES DO NOT MAKE THEIR INSTALLATION IN SUCH A WAY THAT HE WILL NOT BE ABLE TO INSTALL HIS WORK ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. ALL MATTERS OF DISAGREEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.

EACH TRADE SHALL REVIEW AND CHECK ALL DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT FOR INTERFERENCES AND CONFLICTS AND REQUIRED COORDINATION OF OTHER TRADES WITH THEIR WORK FOR BIDDING AND CONSTRUCTION PURPOSES.

THE GENERAL CONTRACTOR SHALL SUBMIT TO ANY TRADE REQUESTING THEM, ONE APPROVED SET OF MANUFACTURER'S "CUTS" OR SHOP DRAWINGS FOR ANY PORTION OF THE WORK, IF THEY ARE NEEDED BY THE TRADE TO PROPERLY INSTALL THEIR WORK.

EACH TRADE SHALL BE RESPONSIBLE FOR THE NUMBER, SIZE, LOCATION AND CHARACTER OF THE CHANGES, SLEEVES, RECESSES, FRAMED OPENINGS AND SUPPORTS REQUIRED FOR HIS WORK NOT OTHERWISE COVERED BY THE DRAWINGS AND SPECIFICATIONS.

HE SHALL GIVE ALL OTHER TRADES TIME AND PROPER NOTICE IN REGARD TO THEM AND SUPERINTEND THEIR INSTALLATION. ANY CHANGES REQUIRED, INCLUDING CUTTING AND PATCHING, BECAUSE OF THE FAILURE TO INCORPORATE ANY OF THE ABOVE ITEMS SHALL BE THE RESPONSIBILITY OF THE TRADE REQUIRING SAME.

ALL ITEMS DETAILED SUPPORT FOR, OR IN CONJUNCTION WITH, A SPECIFIC PIECE OF EQUIPMENT ARE BASED ON THE FIRST ITEM LISTED IN THE SPECIFICATIONS AND ANY CHANGE REQUIRED BECAUSE OF THE USE OF THEIR SPECIFIED ITEMS FOR ITEMS PROPOSED UNDER AN ALTERNATE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR FURNISHING THAT SPECIFIC PIECE OF EQUIPMENT.

EXCAVATING, BACKFILLING AND COMPACTION:

REMOVE AND HAUL FROM SITE ALL UNDESIRABLE MATERIAL. MATERIALS CLASSIFIED PER ASTM D2487 AS; M, CL, ML, MH, OH AND PT SHALL BE REMOVED FROM AREAS WHERE NEW CONCRETE WILL BE DEPOSITED, AS WELL AS ABANDONED FOUNDATIONS AND/OR BLACKTOP.

STOCKPILE ALL SUITABLE BACKFILL, STORE BLACK DIRT SEPARATELY.

INCLUDE ALL FINAL ROUGH GRADING, ADDITIONAL FILL AND/OR BACKFILL WILL BE BY OTHERS, SEE CONCRETE.

REMOVE SOFT SPOTS AND FOREIGN MATTER IN THE SUBGRADE UNDER SLABS ON GRADE.

FILL MATERIAL FOR SUB-BASE OF SLABS ON GRADE SHALL BE CLEAN TO SLIGHTLY FINE SAND, FREE OF ORGANIC MATTER, CLAY, COBBLES, TRASH, DEBRIS OR OTHER UNSUITABLE MATERIAL.

THE BUILDING AREAS (PLUS A MARGIN OF 5.0 FEET OUTSIDE BUILDING PERIMETER LINES) SHOULD BE CLEARED AND GRUBBED OF ALL SURFACE VEGETATION AND ORGANIC TOP SOILS.

THE CLEARED AND GRUBBED ELEVATIONS SHALL BE COMPACTED. EACH PASS SHOULD OVERLAP THE PRECEDING PASS BY AT LEAST 30%. SUFFICIENT PASSES SHOULD BE MADE OVER THE BUILDING AREA (PLUS THE 5.0 FOOT MARGIN) TO PRODUCE A DENSITY OF AT LEAST 98% OF STANDARD PROCTOR MAXIMUM DENSITY TO A DEPTH OF 15 FEET BELOW THE COMPACTED SURFACE. EXTREME CARE SHOULD BE USED WHEN VIBRATORY COMPACTION IS USED NEXT TO EXISTING STRUCTURES. A REGISTERED SOILS ENGINEER SHOULD BE PRESENT DURING INITIAL COMPACTION EFFORTS.

AFTER COMPACTION AND TESTING TO VERIFY THAT THE DESIRED COMPACTION HAS BEEN ACHIEVED AT THIS ELEVATION, FILL CONSISTING OF CLEAN FINE SANDS NOT CONTAINING MORE THAN 10% PASSING THE #200 SIEVE CAN BE PLACED IN LEVEL LIFTS NOT EXCEEDING 12 INCHES LOOSE AND COMPACTED WITH THE ABOVE-DESCRIBED EQUIPMENT. EACH LAYER MUST BE COMPACTED TO A MINIMUM OF 98% OF STANDARD PROCTOR MAXIMUM DENSITY.

FILL NECESSARY TO RAISE THE GRADE FROM THE TOP OF THE FOUNDATION ELEVATION TO FINISHED FLOOR SLAB SUBGRADE ELEVATION SHOULD ALSO CONSIST OF CLEAN FINE SANDS COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DENSITY.

IF FILL IS PLACED INSIDE PARTIALLY COMPLETED WALLS, EXTREME CARE SHOULD BE EXERCISED TO AVOID DAMAGE TO THESE WALLS.

CONCRETE:

MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 308-88" AND ACI 308-4R SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND CONCRETE CRAFTSMAN SERIES, SLABS ON GRADE.

ALL CONCRETE TO BE STONE AGGREGATE WITH AN ULTIMATE COMPRESSIVE STRENGTH OF 3,000 p.s.i. AT 28 DAYS AFTER CASTING MADE OF:
PORTLAND CEMENT, TYPE I (ASTM C150)
AGGREGATE, PER ASTM C89 (MAX SIZE 1")
ADMIXTURE, WATER-REDUCING TYPE COMPLYING WITH ASTM C494. WATER, POTABLE

READY MIX AS PER ASTM C94 UPON THE MIX DESIGN PREPARED BY THE MIXING PLANT AND APPROVED BY THE ARCHITECT. CONFORM BY COMPRESSION TESTS IN PLANT (6 CYLINDERS CRUSHED AFTER 1 DAY AND 3 CYLINDERS AFTER 28 DAYS) AND TESTED IN THE FIELD FOR SLUMP (ASTM C143) EVERY NEW POUR OR WHEN THERE IS INDICATING IS OBSERVED. FOR COMPRESSIVE STRENGTH (ASTM C39 AND ASTM C83) FOR EVERY 50 CUBIC YARDS OR NEW POUR IF LESS. EACH TEST REQUIRES SIX (6) SPECIMENS TO BE CURED AND CRUSHED AS DETERMINED BY THE ARCHITECT DURING CONSTRUCTION PERIOD.

ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60, F-60K, NEW BILLET DERIVED STEEL BARS. ALL WELDED WIRE FABRIC TO CONFORM TO ASTM A615 AND BE SUPPLIED IN FLAT SHEETS. BAR BENDING DETAILS TO CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES ACI 318".

ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A SAFE ALLOWABLE BEARING PRESSURE OF 3000 PSF. ALL SLABS ON GRADE SHALL BE A MINIMUM OF 4" THICK AND BE REINFORCED WITH 6x6, #10X10 FABRIC PLACED 1" FROM THE TOP OF THE SLAB. ALL SLABS SHALL REST ON A MINIMUM OF 6" COMPACTED SAND. SAW CUT CONTROL JOINTS NOT LESS THAN 20'-0" O.C. SURFACE OF FLOOR SLAB SHALL BE FINISHED SMOOTH WITH A STEEL TROWEL AND SPRAYED UNIFORMLY WITH CONCRETE HARDENING COMPOUND PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE ALL NECESSARY VAPOR BARRIERS, DOWELS AND ACCESSORIES AS WELL AS SOIL AND CONCRETE COMPACTION TESTS FROM AN INDEPENDENT TESTING SERVICE.

UNLESS NOTED OTHERWISE, PROVIDE SLABS ON GRADE, A 6 MIL POLYETHYLENE VAPOR BARRIER WITH A MINIMUM OF 6" TAPED LAPS, ON A MINIMUM 6" OF COMPACTED GRANULAR MATERIAL. COMPACTION OF FILL OR EXISTING MATERIAL SHALL ACHIEVE A MINIMUM OF 98% STANDARD PROCTOR DRY DENSITY.

GLASS AND GLAZING:

EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY AND BEAR AN AAMA OR NDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF ANSIAAMA/NDMDA 101/15. 2-4T.

TEMPERED GLASS SHALL BE PROVIDED IN THE FOLLOWING:
SHINGLES DOORS,
FIXED AND SLIDING PANELS OF SLIDING PATIO DOOR ASSEMBLIES IN DOORS AND WALLS OF ENCLOSURES FOR HOT TUBS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND OTHER SUCH FACILITIES WHERE SUCH GLAZING IS LOCATED 36 INCHES OR LESS (MEASURED HORIZONTALLY) FROM A STANDING OR WALKING SURFACE WITHIN THE ENCLOSURE AND WHERE THE BOTTOM EDGE OF THE EXPOSED GLAZING IS LESS THAN 60 INCHES (MEASURED VERTICALLY) ABOVE SUCH STANDING OR WALKING SURFACES.
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH RADIUS OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE;
ALL GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR;
ALL GLAZING IN A RAILING REGARDLESS OF THE HEIGHT ABOVE A WALKING SURFACE

INSULATION:

FURNISH AND INSTALL THE FOLLOWING MATERIAL(S) IN THE APPROPRIATE LOCATION(S):

- ATTIC SPACE: CELLULOSE (LOOSE BLOWN), R-30
EXTERIOR MASONRY WALLS: 3/4" FOIL BACKED, THERMAX HD BOARD, R-5.4
EXTERIOR FRAME WALLS (SEE TYPICAL WALL SECTIONS):
3 1/2" FOIL BACKED GLASS FIBER BATTS, R-11
6" FOIL BACKED GLASS FIBER BATTS, R-19
INTERIOR PARTITIONS: AS DETAILED AND/OR NOTED.
SOUND ATTENUATING BATTS: MEET STANDARD FRAMING WIDTHS

CARPENTRY:

FURNISH AND INSTALL ALL WOOD STUDS, FLATES, FURRING AND BLOCKING AS REQUIRED. INSTALL ALL HOLLOW METAL DOORS AND FRAMES. RECEIVE AND INSTALL ALL FINISH HARDWARE AND SPECIALTIES.

MEASUREMENTS SHALL BE BASED ON FIELD DIMENSIONS AND NOT FROM SCALE OF DRAWINGS.

ALL WOOD IN CONTACT WITH MASONRY OR GROUND OR EXPOSED TO WEATHER, SUCH AS SILLS, FLATES, POLES OR POSTS, OR EXPOSED TO WETTING (SOFFITS AND FASCIA) SHALL BE PRESURED IMPREGNATED IN ACCORDANCE WITH THE SPECIFICATIONS FOR TREATMENT OF KOPFER'S COMPANY, INC. WITH "MOLMAN COA" WOOD PRESERVATIVE AND SHALL BEAR THE TRADE-MARK "MOLMANIZED".

PLYWOOD SHALL BE EXTERIOR GRADE DFPA C PLUGGED OR BETTER.

WALL SHEATHING SHALL BE 5/8" C SHEATHING GRADE PLYWOOD OR BETTER. FOR ROOF SHEATHING, SEE GENERAL ROOF FRAMING NOTES.

WOOD CONSTRUCTION, CONNECTIONS AND NAILING REQUIREMENTS SHALL CONFORM TO THE "FLORIDA BUILDING CODE, 2001 EDITION", REFERENCE FASTENING TABLE 2506.1.

ALL WOOD FRAMING MATERIAL SHALL BE SURFACED DRY AND USED AT 18% MOISTURE CONTENT.

ALL LOAD BEARING WALL FRAMING SHALL BE NO. 2 GRADE SOUTHERN PINE.

ALL JOIST AND RAFTER FRAMING SHALL BE NO. 2 GRADE SOUTHERN PINE OR HEM-FIR.

BOLT HEADS SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16 INCH LARGER THAN THE BOLT DIAMETER. BOLTED CONNECTIONS SHALL BE SNUGGED TIGHT BUT NOT TO THE EXTENT OF CRUSHING THE WOOD UNDER WASHERS.

PREFABRICATED "MICRO-LAM" LUMBER HEADERS AND BEAMS SHALL BE AS MANUFACTURED BY "TRUSS JOIST McWILLIAM CORP", BOISE, IDAHO OR APPROVED EQUAL. DO NOT CUT OR NOTCH MICRO-LAM MATERIAL WITHOUT THE MANUFACTURER'S APPROVAL.

PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD DOWN ANCHORS AND OTHER ACCESSORIES SHALL BE AS MANUFACTURED BY "SIMPSON STRONG TIE COMPANY" OR EQUAL. INSTALL ALL ACCESSORIES AS PER THE MANUFACTURER'S REQUIREMENTS. ALL STEEL SHALL HAVE A MINIMUM THICKNESS OF 0.04 INCHES (PER ASTM A448, GRADE A) AND BE GALVANIZED (COATING 660)

PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF FLORIDA. TRUSS DESIGN WILL CONFORM TO SPEC. 207.2.4 AND INCLUDE LOAD LAYOUT IV VALUES. SEE ROOF FRAMING NOTES.

ALL DOORS INCLUDING THE FRAMES (FACTORY PREMATCHED FOR HARDWARE) SHALL COMPLY WITH THE FOLLOWING STANDARDS:

- STEEL: SD1 IIT AND ISD1 100, "MANUFACTURING TOLERANCES, STANDARD STEEL DOORS AND FRAMES" OF THE STEEL DOOR INSTITUTE, CLEVELAND, OHIO - 1918
FLUSH WOOD: NWDA 15, I-A, "ARCHITECTURAL WOOD FLUSH DOORS" OF THE NATIONAL WOOD WINDOW AND DOOR INSTITUTE, CLEVELAND, OH. - 1911
INSURANCE/WARRANTY DOCUMENTS, HOME OWNERS WARRANTY CORP. ARLINGTON, VA. - 1987
STILE AND RAIL: NWDA 15, 6-91, "WOOD STILE AND RAIL DOORS" OF THE NATIONAL WOOD WINDOW AND DOOR INSTITUTE, CLEVELAND, OH. - 1911
ALUMINUM: ANSIAAMA 101-88, "VOLUNTARY" SPECIFICATIONS FOR ALUMINUM PRIME WINDOWS AND SLIDING GLASS DOORS", OF THE AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION, DES PLAINES, IL. - 1989
REFER: DOOR SCHEDULE FOR TYPES AND SIZES. FLOOR PLANS FOR LOCATIONS AND FINISHES.

ALL DOORS AND WINDOWS SHALL BE SELECTED BY THE CONTRACTOR TO MATCH THE ARCHITECTURAL SPECIFICATIONS AND MEET THE WIND LOAD RESISTANCE FROM THE FLORIDA BUILDING CODE PER SCHEDULE, SEE EXTERIOR ELEVATIONS IF APPLICABLE

CONNECTION OF ALL DOORS AND WINDOWS TO PRIMARY STRUCTURE FRAMING SHALL BE AS INDICATED IN MANUFACTURER'S STANDARD ENGINEERING LITERATURE IN ORDER TO MEET THESE APPLIED WIND LOADS. CONTRACTOR SHALL SUBMIT TO BUILDING OFFICIALS AND ENGINEER OF RECORD, ALL STANDARD DETAILS AS PREPARED BY WINDOW OR DOOR MANUFACTURER.

PROVIDE ALL ROUGH HARDWARE TO COMPLETE ALL WORK IN THIS SECTION. PROVIDE \$1,000 ALLOWANCE TO FURNISH AND INSTALL COMMERCIAL GRADE HARDWARE.

CONTRACTOR TO PROVIDE HARDWARE SCHEDULE.

KEYING WILL BE BY THE DIRECTION OF THE OWNER.

DRYWALL:

OBTAIN GYPSUM BOARDS, TRIM ACCESSORIES, ADHESIVES, AND JOINT TREATMENT PRODUCTS FROM A SINGLE MANUFACTURER, OR FROM MANUFACTURERS RECOMMENDED BY THE PRIME MANUFACTURER OF THE GYPSUM BOARDS.

MATERIALS:
GYPSUM BOARD, 5/8" X 48" WIDTH (PROVIDE WATER RESISTANT BOARD IN WET AREAS).
JOINT TREATMENT: USG, DURABOND 140" JOINT COMPOUND AND PER-A-TAPE SYSTEM.
FASTENERS: POWER-DRIVEN USG BRAND SCREWS.
CORNER BEAD, #100 USG PERF-A-TAPE CORNER REINFORCING.
METAL TRIM, USG #200 SERIES AND AS REQUIRED.
CAULKING: CLEAR RESINUS COMPOUND, TREMCO/CAULKING COMPOUND AS MANUFACTURED BY TREMCO.
ADHESIVE: DURABOND 200 OR 500, AS APPLICABLE.

COMPLY WITH ANSI A42.4 AND ANSI A108.11 AS APPLICABLE TO THE TYPE OF SUBSTRATE AND DRYWALL SUPPORT SYSTEM INDICATED AND WITH THE GYPSUM ASSOCIATION GA-203 AND GA-216.

PAINTING:

THE PAINTING CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE WORK OF OTHERS PRIOR TO THE APPLICATION OF ANY PAINT OR FINISHING MATERIAL. COLOR MAY BE AFFORTIONED TO EACH ROOM AS FOLLOWS: A) WALL AND CEILING AREAS, INCLUDING TRIM, TOTAL OF THREE (3) COLORS.

PROVIDE AS A MINIMUM, ONE (1) PRIMER/SEALER COAT AND TWO (2) FINISH COATS.

MATERIALS, AS MANUFACTURED BY SHERWIN-WILLIAMS, FRATT AND LAMBERT OR GLIDDEN, LINGEED OIL, TURPENTINE, DRIERS, THINNERS, FILLERS, AND OTHER PREPARATION MATERIALS SHALL BE AS MANUFACTURED BY APPROVED PAINT MANUFACTURER. ARCHITECT WILL SUBMIT TO CONTRACTOR A SCHEDULE OF ALL FINAL COLORS TO BE USED FOR FINISH PAINTING.

MECHANICAL:

FURNISH AND INSTALL THE FOLLOWING IN STRICT COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES:

- COILS, COMPRESSORS AND HEAT STRIPS.
DUCTWORK, INSULATE SUPPLIES, FLEX-DUCT RUNS NOT TO EXCEED 14'.
THERMOSTATS.
GRILLES AND REGISTERS.
TOILET, KITCHEN AND LAUNDRY VENTS.
BALANCING DAMPERS.
ENERGY CALCULATIONS.

DUCT LAYOUT WILL BE BY H.V.A.C. CONTRACTOR. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BEFORE COMMENCING WORK.

FLEXIBLE DUCT SHALL BE SUPPORTED AT MANUFACTURER'S RECOMMENDED INTERVALS, BUT AT NO GREATER DISTANCE THAN TEN (10) FEET. MAXIMUM PERMISSIBLE SAG IS ONE-HALF (1/2) INCH PER FOOT SPACING BETWEEN SUPPORTS. A CONNECTION TO ANOTHER DUCT OR DUCT SYSTEM IS DEEMED A SUPPORT POINT.

BENDS SHALL BE MADE WITH NOT LESS THAN ONE (1) DUCT DIAMETER CENTERLINE RADIUS. DUCTS SHOULD NOT BE COMPRESSED.

MECHANICAL FASTENING - ALL JOINTS BETWEEN SECTIONS OF AIR DUCTS AND PLenums, BETWEEN INTERMEDIATE AND TERMINAL FITTINGS AND OTHER COMPONENTS OF THE AIR DISTRIBUTION SYSTEM, AND BETWEEN SECTIONS OF THESE COMPONENTS SHALL BE MECHANICALLY FASTENED TO SECURE THE SECTIONS INDEPENDENTLY OF THE CLOSURE SYSTEM.

MASTIC CLOSURES - MASTICS SHALL BE PLACED OVER THE ENTIRE JOINT BETWEEN THE MATED SURFACES. MASTICS SHALL NOT BE DILUTED. APPROVED MASTICS INCLUDE THE FOLLOWING: MASTIC OR MASTIC PLUS EMBEDDED FABRIC SYSTEMS THAT MEET THE PROVISIONS OF UL 181 THAT ARE RELEVANT TO THE DUCT TYPE TO WHICH THE MASTIC WILL BE APPLIED.

PRESSURE SENSITIVE TAPES - THAT MEET THE PROVISIONS OF UL 181 THAT ARE RELEVANT TO THE DUCT TYPE TO WHICH THE TAPE WILL BE APPLIED. THE PROVISIONS OF STANDARD UL 181A, PART I SHALL APPLY TO PRESSURE SENSITIVE TAPES APPLIED TO FIBROUS GLASS DUCTBOARD. TAPES WITH RUBBER BASE ADHESIVES SHALL NOT BE USED (I.E. BLACK OR GRAY DUCT TAPES).

NOTE: UL 181 STANDARD EQUALS; FLAME SPREAD 5, SMOKE DEVELOPMENT 0.

ELECTRICAL:

FURNISH AND INSTALL THE FOLLOWING IN STRICT COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES:

- TEMPORARY AND FINAL SERVICE HOOK-UPS.
METER SOCKET, PANELS AND DISCONNECTS.
CONDUITS AND WIRE.
EXHAUST FANS.
TELEPHONE OUTLETS.
RECEPTACLES, SWITCHES AND TRIM.
LIGHT FIXTURES, AS SELECTED.
FLOURESCENT TUBES AND LUMINAIRS.

OWNER AND/OR CONTRACTOR TO VERIFY LOCATION OF ALL ELECTRICAL OUTLETS, SWITCHED AND FIXTURES PRIOR TO ROUGH IN.

PROVIDE ONE #5 VERTICAL ELECTRICAL GROUND TO FOUNDATION STEEL.

VERIFY/LOCATE EXTERIOR LIGHTS AND SWITCHING

ALL ELECTRICAL OUTLETS TO BE 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

APPROVED SINGLE STATION OR MULTIPLE STATION SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72, CHAPTER 2, WITHIN EVERY DWELLING AND EVERY DWELLING UNIT. WHERE MORE THAN ONE DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL UNIT, THE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

SMOKE DETECTORS TO BE HARD WIRED INSIDE ALL BEDROOMS AND ONE WITHIN 8'-0" OUTSIDE BEDROOM

SMOKE DETECTOR TO BE AT ALL ENCLOSED STAIRWELLS

ALL EXTERIOR OUTLETS TO BE W-P-GFI

ALL KITCHEN COUNTER OUTLETS TO BE G.F.I.

SERVICE OUTLET TO BE LOCATED WITHIN 10'-0" OF A/C

ALL ELECTRICAL TO BE ABOVE FLOOD ELEVATION (EXCEPTION: ONE SWITCH AT 42" FOR EXIT LIGHT TO BE 6" PROTECTED)

PLUMBING:

FURNISH AND INSTALL THE FOLLOWING IN STRICT COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES:

- WASTE AND VENTS, INCLUDING CONDENSATE LINES.
HOT AND COLD WATER SUPPLIES, INCLUDING INSULATION.
TIE-INS TO SANITARY UTILITIES.
SHUTOFF VALVES AT EACH FIXTURE.
FAUCETS AND FITTINGS.
WATER HEATER.
VACUUM BREAKERS AND WATER HAMMER ARRESTORS.
FIXTURES, AS SELECTED, SEE SCHEDULE

CONSULTANTS:
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Table with columns: NO., DATE, ISSUE, BID/FERMIT SET. Row 1: 05/20/02, BID/FERMIT SET

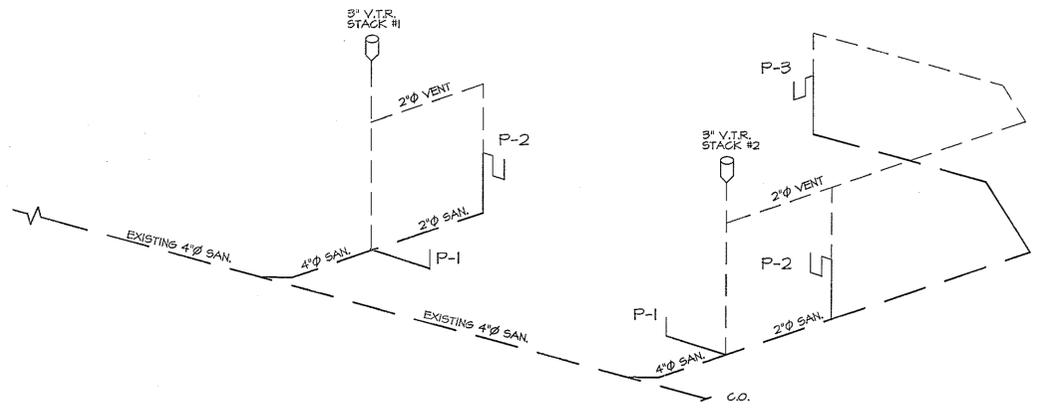
TENANT COMPLETION
WAGNER REALTY
2930 UNIVERSITY PARKWAY
SARASOTA, FLORIDA

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OF 3

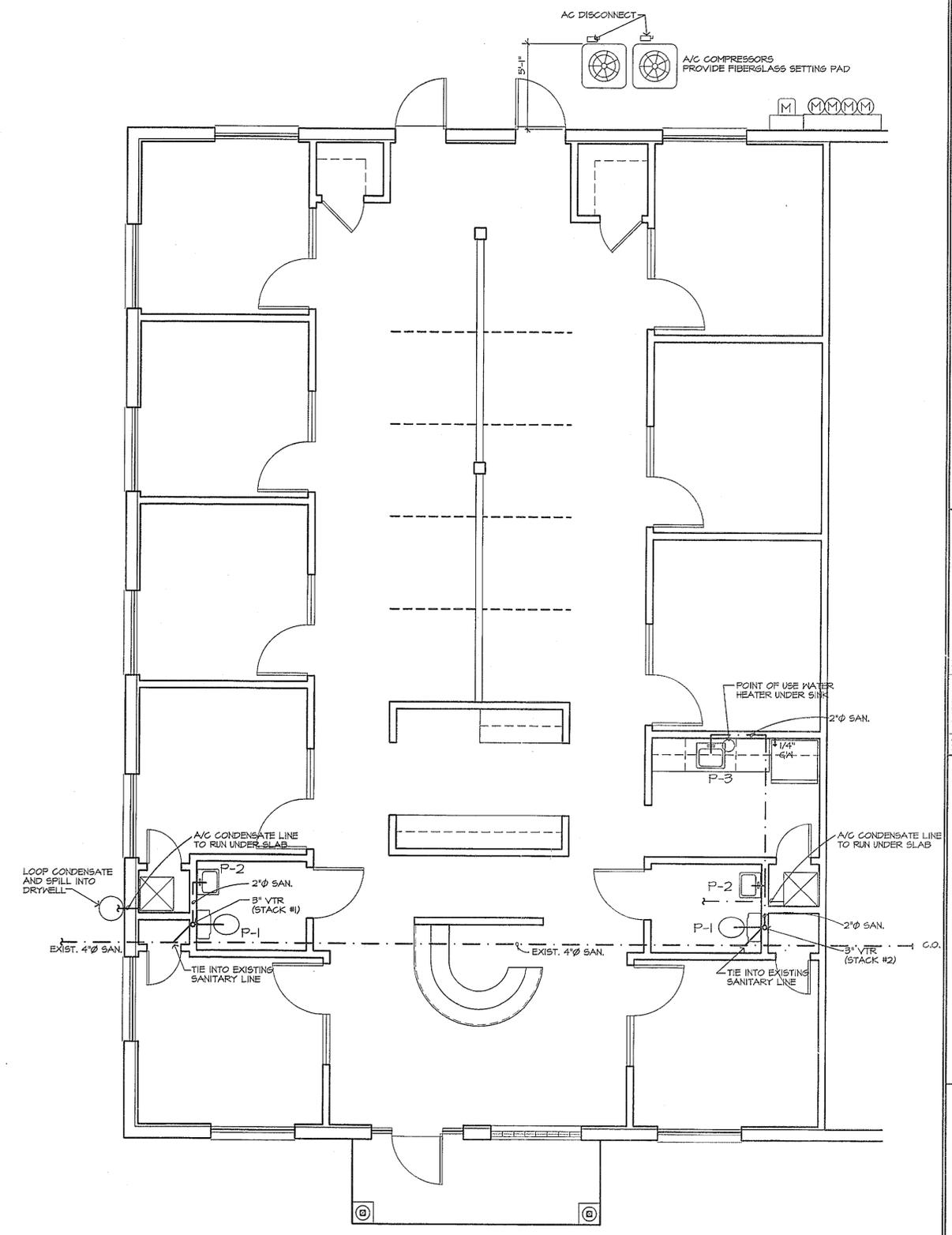
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**PLUMBING FIXTURE SCHEDULE:**

- P1 HANDICAPPED WATER CLOSET #2160.100 (1.6 GPF)  
ELONGATED BOWL WITH OLSONITE #45 OPEN FRONT SEAT
- P2 LAVATORY (H.C.) LUCERNE #0355.012 WITH  
#2305.251 FAUCET SET, POP-UP DRAIN
- P3 BREAK RM. SINK, ELKAY CR 25 X 21  
WITH CHICAGO 700 FAUCET



**WASTE AND VENT DIAGRAM**  
NTS



**PLUMBING PLAN**  
1/4" = 1'-0"

CONSULTANT(S):

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**TENANT COMPLETION  
WAGNER REALTY  
2930 UNIVERSITY  
PARKWAY  
SARASOTA, FLORIDA**

PLUMBING PLAN  
AND RISER  
DIAGRAM

FILE NO.  
WAGPL  
SHEET



**ELECTRICAL LEGEND**

⊕	SINGLE THROW SWITCH
⊕3	THREE-WAY SWITCH
⊕b	DIMMER SWITCH
⊕	DUPLEX RECEPTACLE
⊕	PHONE/DSL JACKS - CONTRACTOR TO PROVIDE BOX AND CONDUIT TO CEILING, WIRE FITTING BY TENANT
⊕ <sup>EF</sup>	EXHAUST FAN - SIZE AS PER MECH. DWGS.
⊕	FLUSH MOUNTED PANEL BOX (BOTTOM OF PANEL TO BE AT 42" A.F.F.)
⊕	DISCONNECT SWITCH PROVIDED BY M.C. & WIRED BY E.C. E.C. TO VERIFY APPLICABLE CODES.

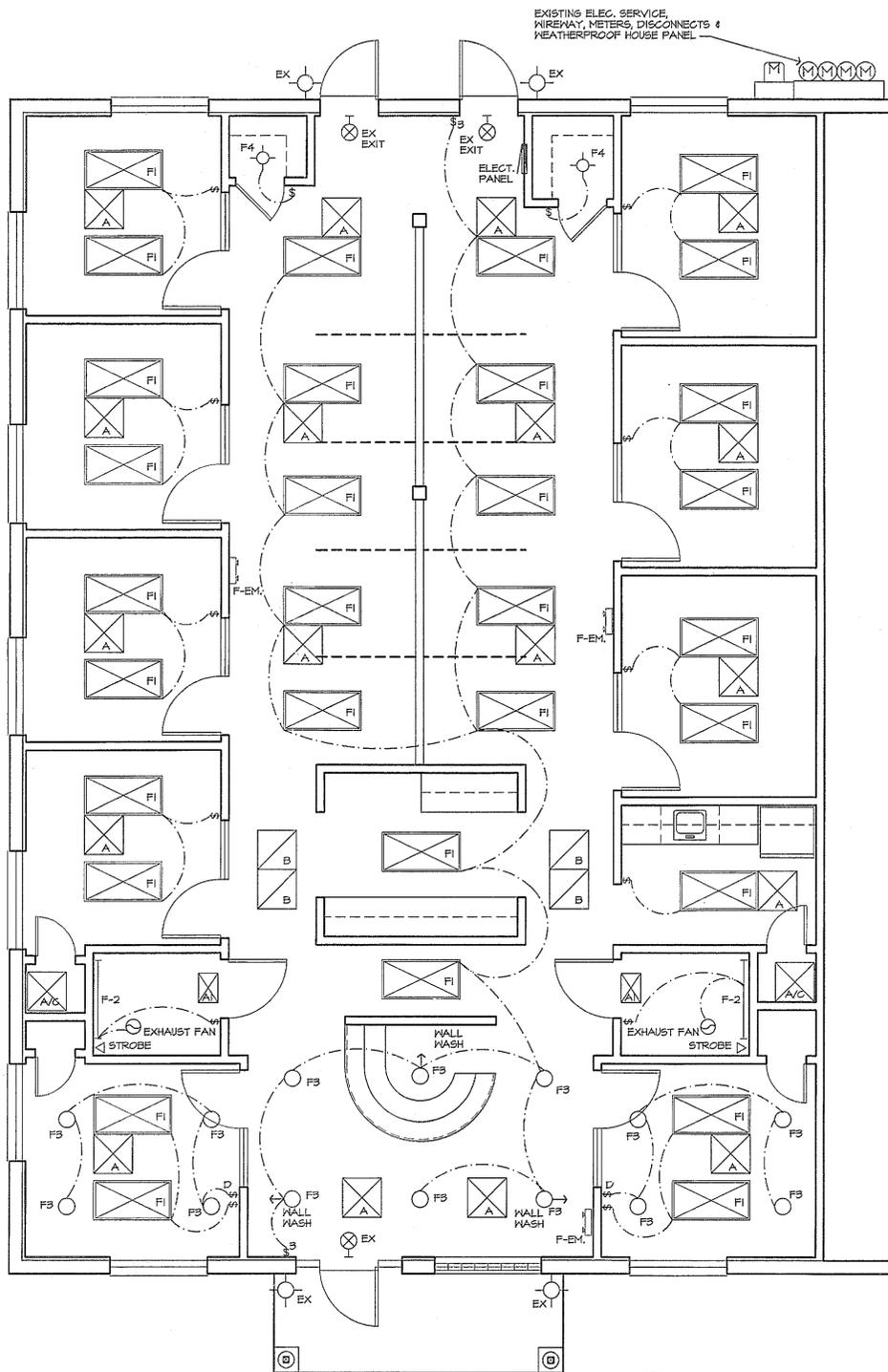
**LIGHTING FIXTURE SCHEDULE:**

- F-EM EMERGENCY LIGHTS, LITHONIA #SELM2, SELF CONTAINED EMERGENCY LIGHT WITH 1.2 WATT LAMPS, 90 MIN. CAP., AND 6 VOLT OPERATION
  - EX EXISTING FIXTURES
  - F-1 SURFACE MOUNTED FLUORESCENT (2' x 4'), AS SELECTED
  - F-2 1 x 4 FLUORESCENT, WALL MOUNTED 1/4 ACRYLIC LENS, AS SELECTED
  - F-3 RECESSED CANS, AS SELECTED
  - F-4 SURFACE MOUNTED LIGHT, AS SELECTED
- MOUNT ALL RECEPTACLES AND DEVICES AT STANDARD HEIGHT, UNLESS NOTED OTHERWISE ON THE DRAWING

**DIFFUSER SCHEDULE:**

- PROVIDE AND INSTALL THE FOLLOWING GRILLES, REGISTERS AND DIFFUSERS
- A CEILING DIFFUSER, ALL ALUMINUM WITH WHITE ENAMEL FINISH SQUARE SUPPLY AIR DIFFUSER WITH 4-WAY THROWN UNLESS NOTED OTHERWISE. 24" X 24" FULL FACE MODULE WITH 8" DIA. NECK SIZE UP TO 250 C.F.M., 10" NECK AT 251 TO 350 C.F.M. AND 12" NECK AT 351 TO 500 C.F.M.
  - A1 CEILING DIFFUSER, ALL ALUMINUM SQUARE SUPPLY AIR DIFFUSER, 8 X 4 SURFACE MOUNTED, ULTRA SAFE MODEL #SD4001-U-R NECK DIA. SAME AS ABOVE
  - B CEILING DIFFUSER, ALL ALUMINUM SQUARE LOWERED RETURN AIR REGISTER, BLADES AT 35 DEGREE DEFLECTION WITH 0.75" SPACING. PROVIDE WITH ADAPTERS.

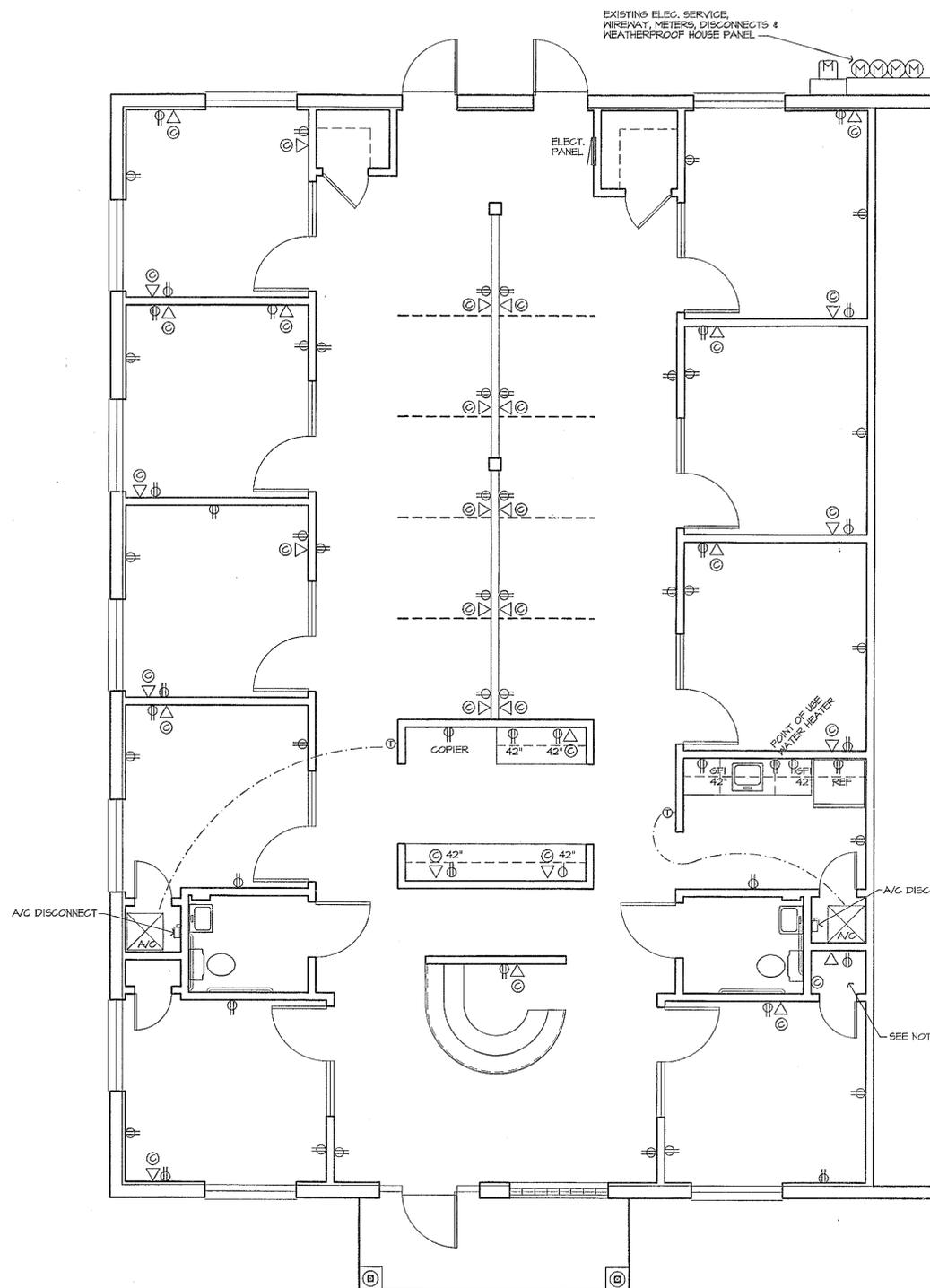
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**REFLECTED CEILING PLAN**

1/4" = 1'-0"

NOTE:  
UNDERCUT ALL DOORS 1"



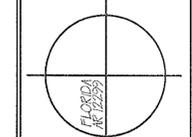
**POWER PLAN**

1/4" = 1'-0"

NOTES:

- E-1 PROVIDE TELEPHONE BOARD AND COMPUTER SERVER BOARD IN CONFERENCE ROOM #2 CLOSET
- E-2 PROVIDE TELEPHONE OUTLET, DEDICATED DUPLEX POWER SOURCE FOR SERVER IN CONFERENCE ROOM #2 CLOSET

CONSULTANT(S):



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**TENANT COMPLETION**  
**WAGNER REALTY**  
**2930 UNIVERSITY PARKWAY**  
**SARASOTA, FLORIDA**

**POWER PLAN**  
**REFLECTED**  
**CEILING PLAN**

FILE NO. MAGREF  
 SHEET  
 OF 1

**ROOM FINISH AND MATERIAL SCHEDULE**

ROOM NAME	WALLS				CEILING		REMARKS
	NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	
WAITING ROOM	F2	B2	NI	NI	CI	10'-0"	
RECEPTION	F2	B2	NI	NI	CI	10'-0"	
CONFERENCE ROOM #1	F1	BI	NI	NI	CI	10'-0"	
ADA TOILET #1	F1	BI	NI	NI	CI	10'-0"	
CLOSET #1	F1	BI	NI	NI	CI	10'-0"	
OFFICE #1	F1	BI	NI	NI	CI	10'-0"	
OFFICE #2	F1	BI	NI	NI	CI	10'-0"	
OFFICE #3	F1	BI	NI	NI	CI	10'-0"	
OFFICE #4	F1	BI	NI	NI	CI	10'-0"	
OFFICE #5	F1	BI	NI	NI	CI	10'-0"	
OFFICE #6	F1	BI	NI	NI	CI	10'-0"	
KITCHEN	F2	B2	NI	NI	CI	10'-0"	
ADA TOILET #2	F2	B2	NI	NI	CI	10'-0"	
CONFERENCE ROOM #2	F1	BI	NI	NI	CI	10'-0"	
COPY ROOM	F1	BI	NI	NI	CI	10'-0"	
GENERAL OFFICE	F1	BI	NI	NI	CI	10'-0"	
CLOSET #1	F1	BI	NI	NI	CI	10'-0"	
CLOSET #2	F1	BI	NI	NI	CI	10'-0"	

**MATERIALS:**

**FLOORS:**  
 F1 = COMMERCIAL CARPET, AS SELECTED, \$5/YD. ALLOWANCE, INSTALLED  
 F2 = CERAMIC TILE, AS SELECTED, \$5/\$.F. ALLOWANCE, INSTALLED

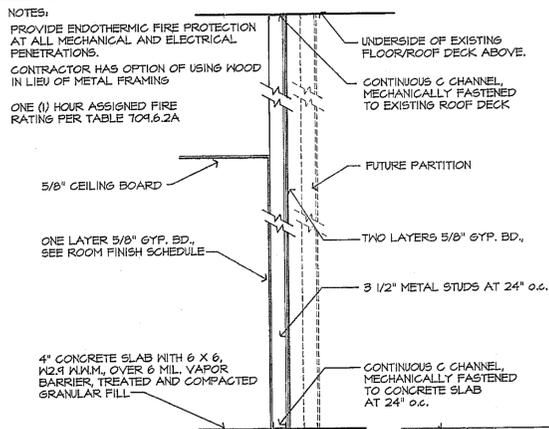
**BASES:**  
 B1 = 4" COVERED VINYL, ROLL GOODS ONLY. PROVIDE PREMOLDED CORNERS.  
 B2 = COVE CERAMIC TILE

**CEILING:**  
 C1 = 5/8" CEILING BOARD, PAINTED, KNOCKDOWN FINISH (NO POPCORN)

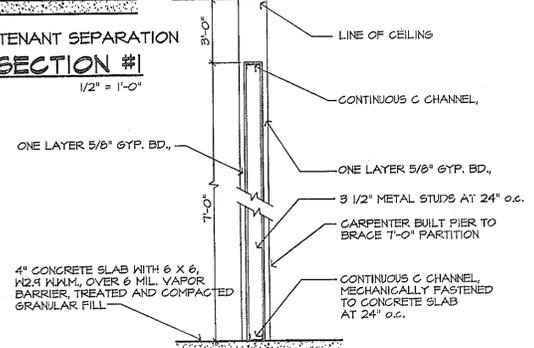
**WALLS:**  
 NI = 6YPSUM WALLBOARD (5/8" THICK) ON METAL STUDS/FIRING STRIPS.

**FINISHES:**  
 A = FLAT LATEX.  
 B = SEMI-GLOSS ALKYD ENAMEL.

**REMARKS:**  
 1. PROVIDE MARBLE EDGE AT CERAMIC TILE WHERE MATERIALS JOIN WITH DISSIMILAR SURFACES.



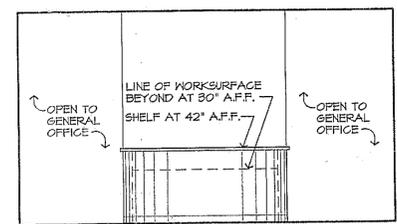
**TYPICAL TENANT SEPARATION SECTION #1**  
1/2" = 1'-0"



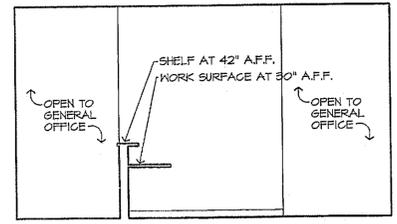
**TYPICAL FULL HEIGHT PARTITION SECTION #2**  
1/2" = 1'-0"



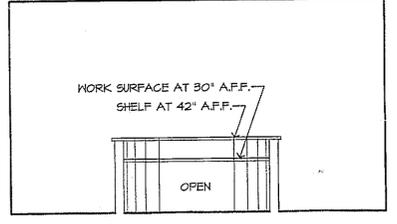
**TYPICAL PARTIAL PARTITION SECTION #3**  
1/2" = 1'-0"



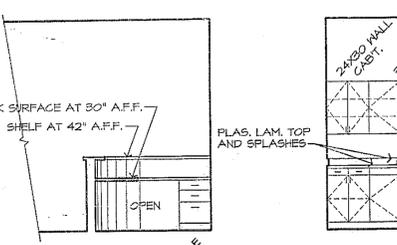
**#1 RECEPTION**



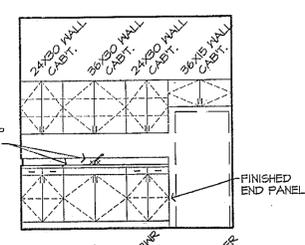
**#2 RECEPTION**



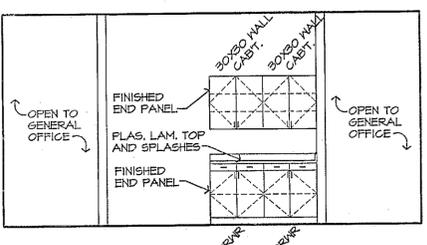
**#3 RECEPTION**



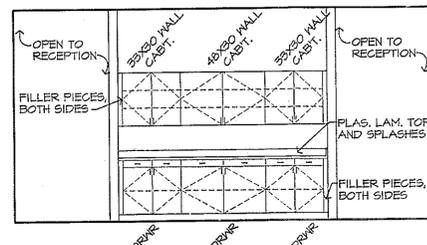
**#4 RECEPTION**



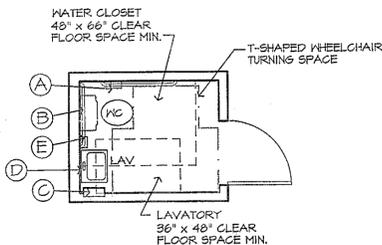
**#5 KITCHEN**



**#6 COPY ROOM**



**#7 COPY ROOM**

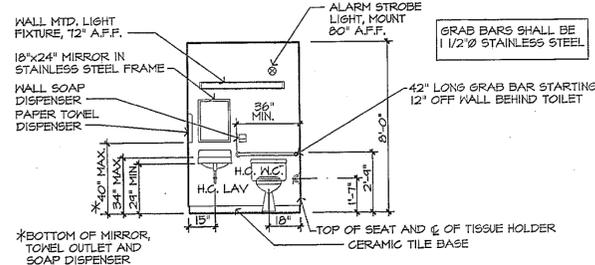


**ADA TOILET #1**

**ADA TOILET #2 OPPOSITE**

**TOILET ACCESSORIES**

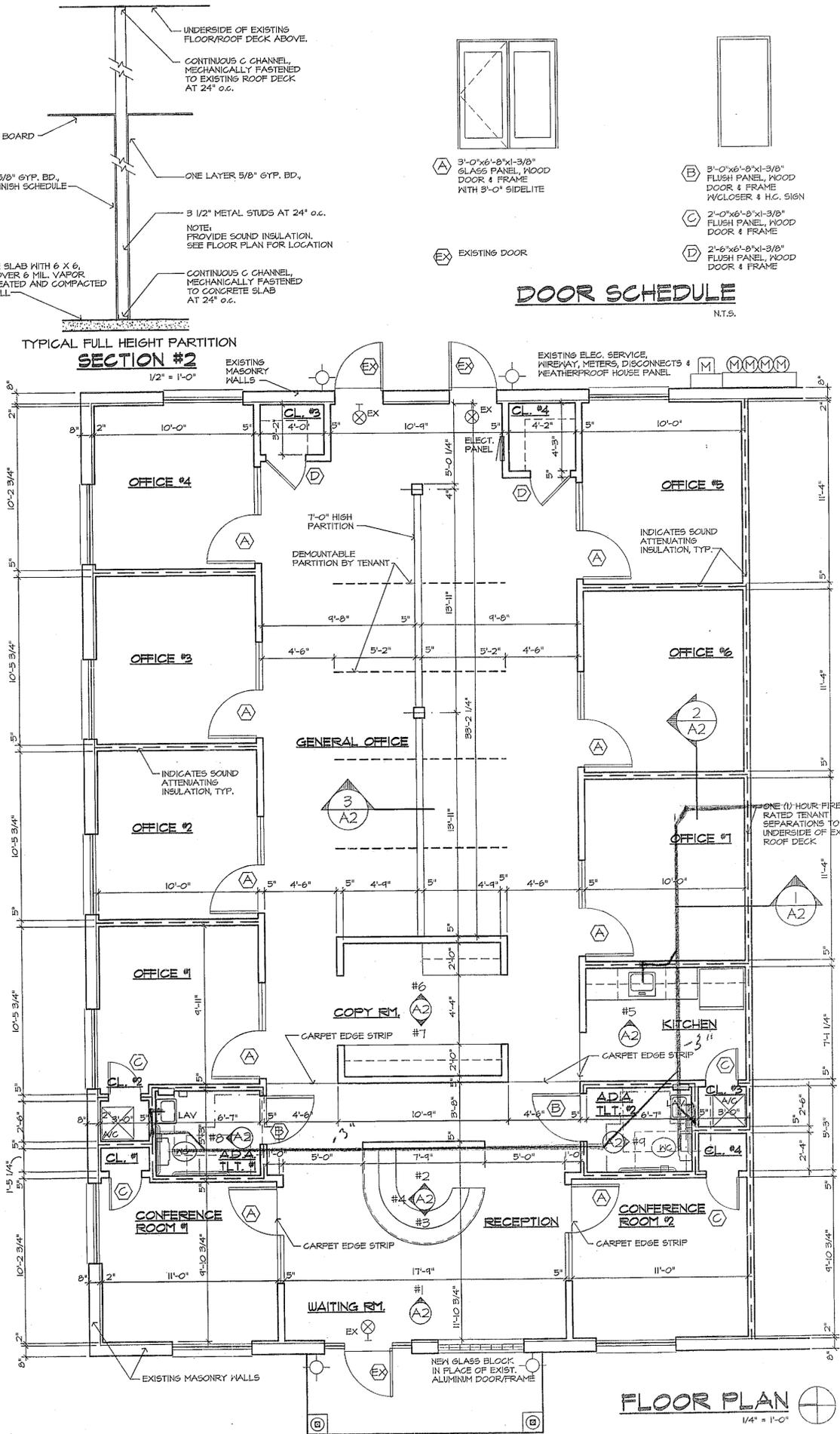
- (A) TOILET TISSUE DISPENSER (INSTALL AT MIN. 14" A.F.F. TO CENTER OF ROLL)
- (B) GRAB BAR AT WATER CLOSET (GRAB BARS TO BE 36" LONG ON WALL BEHIND W.C. AND 42" LONG AT WALL PERPENDICULAR TO W.C. (INSTALL AT 36" A.F.F. TO TOP OF GRAB BAR))
- (C) PAPER TOWEL DISPENSER (INSTALL AT MAX. 48" A.F.F. TO TOWEL)
- (D) FRAMED MIRRORS (INSTALL AT MAX. 40" A.F.F. TO BOTTOM OF MIRROR)
- (E) SOAP DISH



**NO. 8: ADA TOILET #1**  
**NO. 9: ADA TOILET #2 OPPOSITE**  
 SEE TOILET FLOOR PLANS BELOW FOR ADDITIONAL INFORMATION

**INTERIOR ELEVATIONS**

1/4" = 1'-0"



**FLOOR PLAN**  
1/4" = 1'-0"

**DOOR SCHEDULE**

- (A) 3'-0" x 6'-8" x 1-3/8" GLASS PANEL, WOOD DOOR & FRAME WITH 3'-0" SIDELITE
- (B) 3'-0" x 6'-8" x 1-3/8" FLUSH PANEL, WOOD DOOR & FRAME W/CLOSER & H.G. SIGN
- (C) 2'-0" x 6'-8" x 1-3/8" FLUSH PANEL, WOOD DOOR & FRAME
- (D) 2'-5" x 6'-8" x 1-3/8" FLUSH PANEL, WOOD DOOR & FRAME

N.T.S.

CONSULTANT(S):

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NO. DATE ISSUE  
 05/20/02 BID/FERMIT SET

**TENANT COMPLETION**  
**WASNER REALTY**  
**2930 UNIVERSITY PARKWAY**  
**SARASOTA, FLORIDA**

FLOOR PLAN, ROOM FINISH SCHEDULE, DOOR SCHEDULE, INT. ELEVATIONS

FILE NO. MAGLR SHEET A2 OF 3

2930 UNIVERSITY LAYOUT



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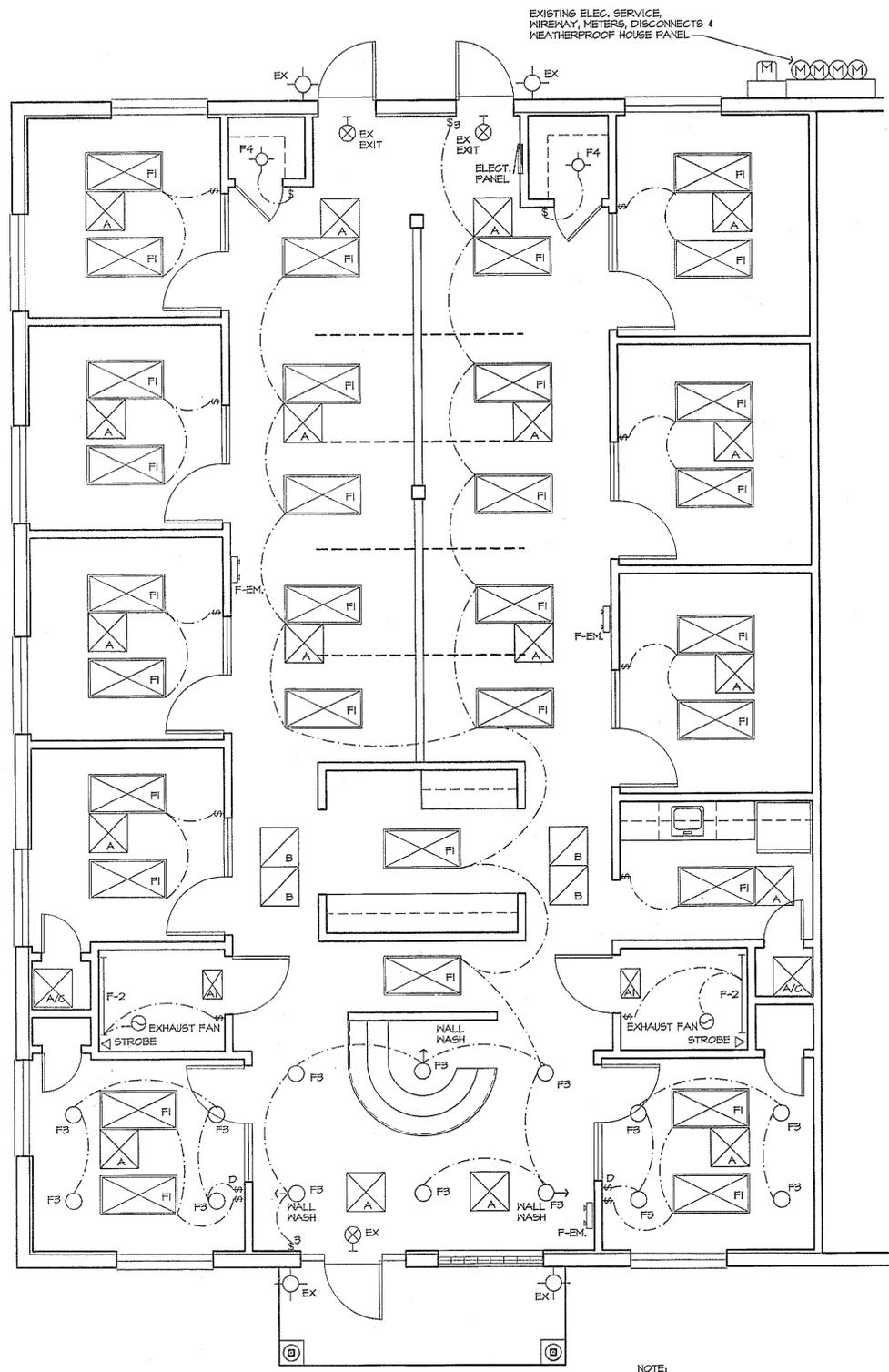
ELECTRICAL LEGEND	
⊕	SINGLE THROW SWITCH
⊕3	THREE-WAY SWITCH
⊕D	DIMMER SWITCH
⊕	DUPLEX RECEPTACLE
⊕	PHONE/DSL JACKS - CONTRACTOR TO PROVIDE BOX AND CONDUIT TO CEILING, WIRE FITTING BY TENANT
⊕F	EXHAUST FAN - SIZE AS PER MECH. DWGS.
⊕	FLUSH MOUNTED PANEL BOX (BOTTOM OF PANEL TO BE AT 42" A.F.F.)
⊕	DISCONNECT SWITCH PROVIDED BY M.C. & WIRED BY E.C. E.C. TO VERIFY APPLICABLE CODES.

**LIGHTING FIXTURE SCHEDULE:**

- F-EM EMERGENCY LIGHTS, LITHONIA #6ELM2, SELF CONTAINED EMERGENCY LIGHT WITH 1.2 WATT LAMPS, 90 MIN. CAP., AND 6 VOLT OPERATION
  - EX EXISTING FIXTURES
  - F-1 SURFACE MOUNTED FLUORESCENT (2' x 4'), AS SELECTED
  - F-2 1 x 4 FLUORESCENT, WALL MOUNTED W/ ACRYLIC LENS, AS SELECTED
  - F-3 RECESSED CANS, AS SELECTED
  - F-4 SURFACE MOUNTED LIGHT, AS SELECTED
- MOUNT ALL RECEPTACLES AND DEVICES AT STANDARD HEIGHT, UNLESS NOTED OTHERWISE ON THE DRAWING

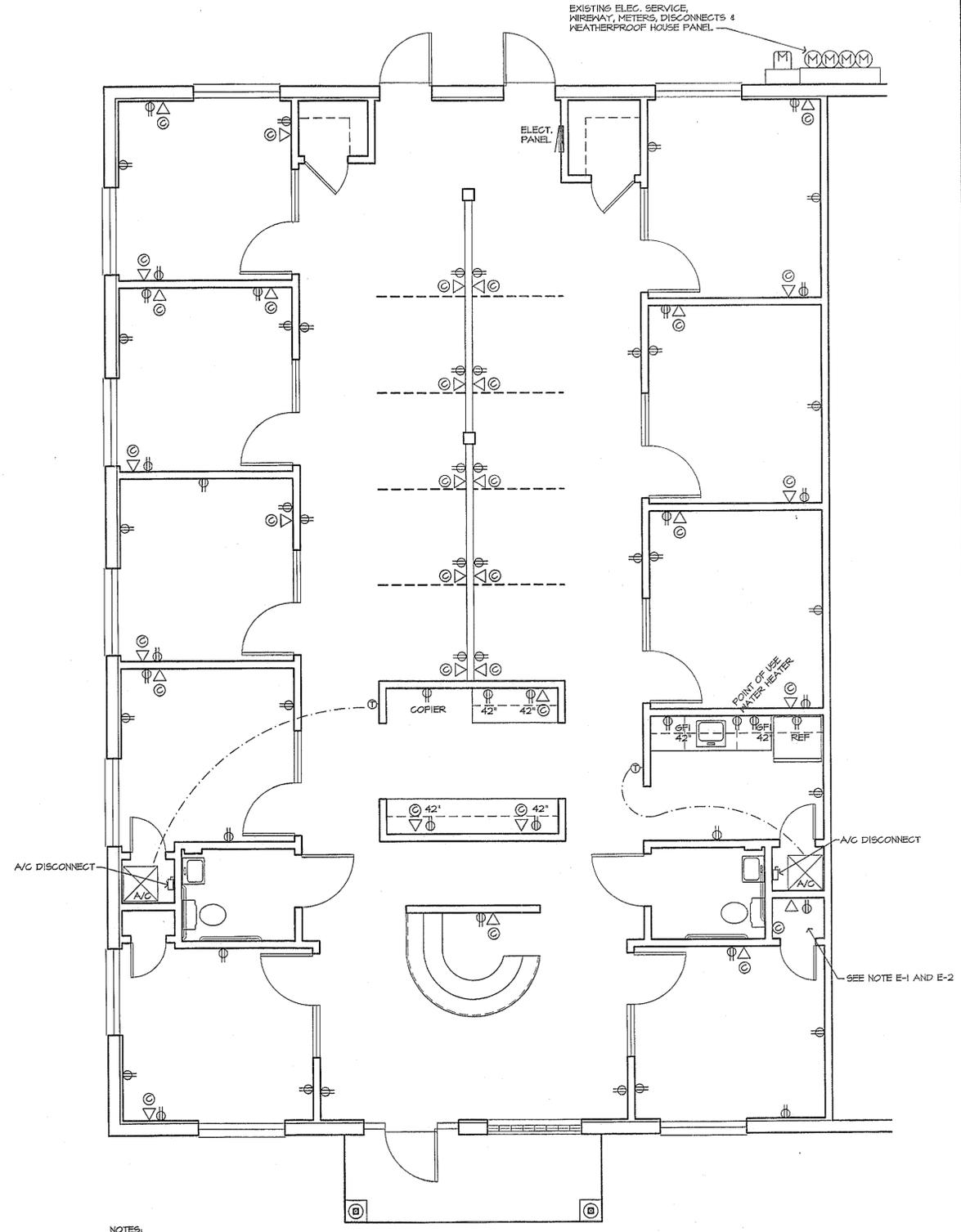
**DIFFUSER SCHEDULE:**

- PROVIDE AND INSTALL THE FOLLOWING GRILLES, REGISTERS AND DIFFUSERS
- A CEILING DIFFUSER: ALL ALUMINUM WITH WHITE ENAMEL FINISH SQUARE SUPPLY AIR DIFFUSER WITH 4-WAY THROW UNLESS NOTED OTHERWISE. 24" X 24" FULL FACE MODULE WITH 8" DIA. NECK SIZE UP TO 250 C.F.M., 10" NECK AT 251 TO 350 C.F.M. AND 12" NECK AT 351 TO 500 C.F.M.
  - A1 CEILING DIFFUSER: ALL ALUMINUM SQUARE SUPPLY AIR DIFFUSER, 8 X 4 SURFACE MOUNTED, ULTRA SAFE MODEL #SD4001-U-R NECK DIA. SAME AS ABOVE
  - B CEILING DIFFUSER: ALL ALUMINUM SQUARE LOWERED RETURN AIR REGISTER BLADES AT 35 DEGREE DEFLECTION WITH 0.75" SPACING. PROVIDE WITH ADAPTERS.



**REFLECTED CEILING PLAN**  
1/4" = 1'-0"

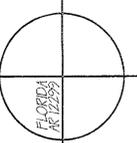
NOTE: UNDERCUT ALL DOORS 1"



**POWER PLAN**  
1/4" = 1'-0"

- NOTES:
- E-1 PROVIDE TELEPHONE BOARD AND COMPUTER SERVER BOARD IN CONFERENCE ROOM #2 CLOSET
  - E-2 PROVIDE TELEPHONE OUTLET, DEDICATED DUPLEX POWER SOURCE FOR SERVER IN CONFERENCE ROOM #2 CLOSET

CONSULTANT(S):

  
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**TENANT COMPLETION**  
**WAGNER REALTY**  
**2930 UNIVERSITY PARKWAY**  
**SARASOTA, FLORIDA**

**POWER PLAN**  
**REFLECTED**  
**CEILING PLAN**

FILE NO. MAGREF SHEET  
 OF 1





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PROJECT LOCATION:  
 EXISTING OFFICE BUILDING  
 2940 UNIVERSITY PKWY  
 SARASOTA, FLORIDA 34243

**UNIVERSITY PKWY OFFICE BUILDING  
 INTERIOR RENOVATION**  
 SARASOTA COUNTY, FLORIDA  
 CONSTRUCTION DOCUMENTS

FLORIDA ARCHITECT AR 99707



JANUARY 6, 2021

FLOOR PLAN AND  
 NOTES

2940/46 **A1.01**

**FLOOR PLAN WALL LEGEND**

- HATCHED AREAS NOT INCLUDED IN THE SCOPE OF ARCHITECTURAL WORK
- EXISTING CONSTRUCTION
- GWB ON METAL STUD FRAMING AT 16" O.C.
- WALL TYPE, SEE SHEET A0.02
- OPENING TYPE, SEE SHEET A0.02

**NOTES:**

1. SEE SHEET A1.21 FOR REFLECTED CEILING PLAN.
2. PROVIDE INTERIOR SIGNS (ACCESSIBLE IN TYPE AND LOCATION) EQUAL TO ASI SYSTEMS 390R SERIES 6" X 6" AT TOILET ROOMS, STORAGE, MECHANICAL, STAFF ONLY AREAS. INSTALL AT 5'-0" TO CENTER OF SIGN ON WALL ADJACENT TO LATCH SIDE. INSTALL SQUARE AND PLUMB.
3. PROVIDE TACTILE EXIT SIGNS ADJACENT TO ALL DOORS WITH EXIT SIGNS (SEE A0.10). INSTALL AT 5'-0" TO CENTER OF SIGN ON WALL ADJACENT TO LATCH SIDE. INSTALL SQUARE AND PLUMB.

**INTERIOR OPENING & HARDWARE SCHEDULE**

#	ROOM	DOOR TYPE	DOOR HARDWARE GROUP
208	BREAK ROOM	D1	GROUP 2
209	OFFICE	D1	GROUP 1
210	OFFICE	D1	GROUP 1
905	CLOSET	D1	GROUP 3
906	CLOSET	D1	GROUP 3

**INTERIOR DOOR HARDWARE NOTES:**

PROVIDE DOOR HARDWARE AS FOLLOWS:

GROUP 1: OFFICES  
 OFFICE FUNCTION

GROUP 2: PASSAGE  
 PASSSAFE FUNCTION

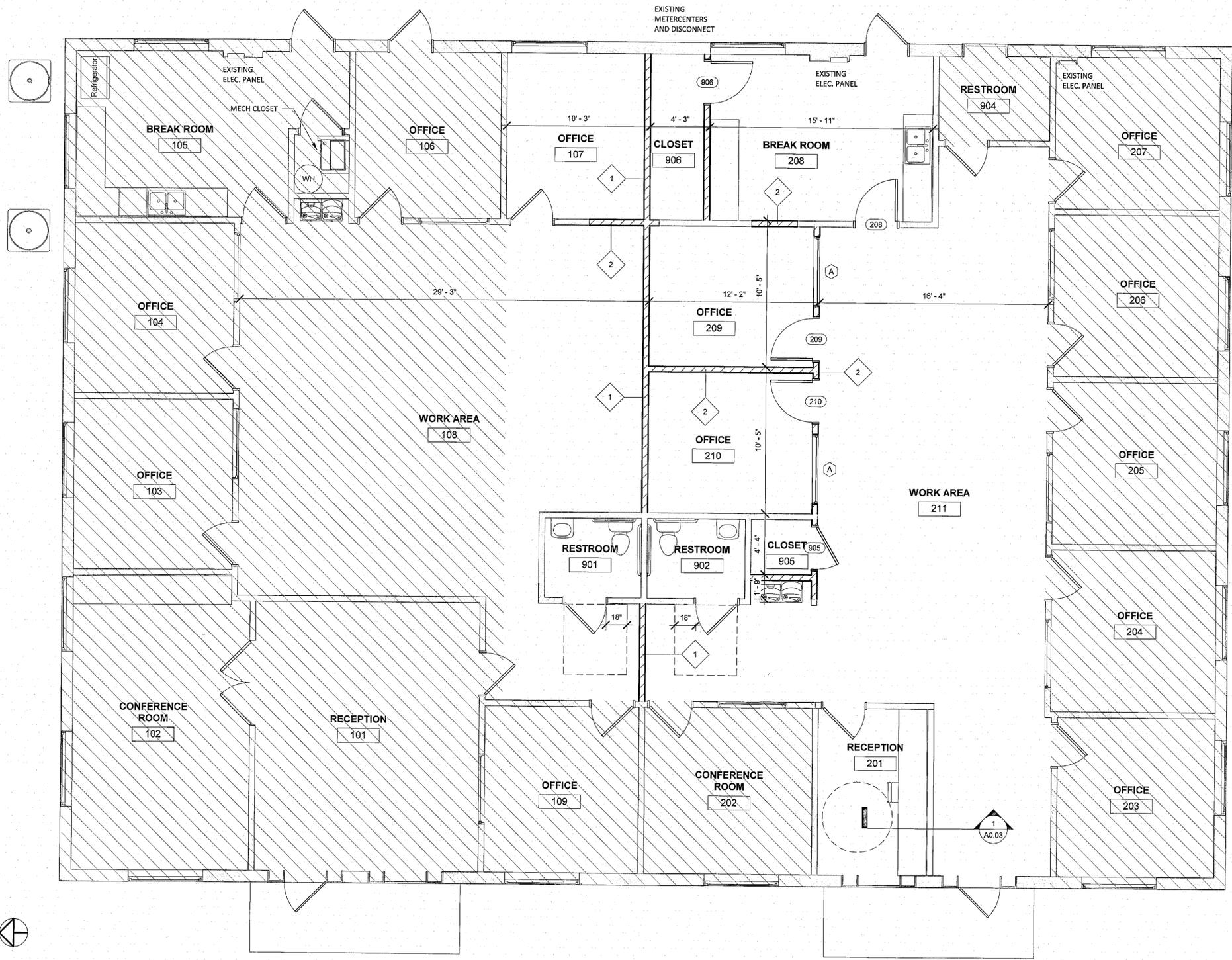
GROUP 3: STORAGE  
 STOREROOM FUNCTION

PROVIDE CYLINDRICAL LEVER LOCK SETS EQUAL TO SCHLAGE AL-SERIES COMMERCIAL STANDARD DUTY LOCK SETS WITH JUPITER STYLE LEVER HANDLES, SATIN NICKEL FINISH

LEVER LOCKSETS, CLOSERS, AND MOUNTING HEIGHTS OF ALL DOOR HARDWARE SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

**NOTE:**

1. DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS SHALL BE MOUNTED 34" MINIMUM AND 48" MAXIMUM ABOVE FINISHED FLOOR OR GROUND.
2. CLOSERS SHALL BE ADJUSTED SO THAT FROM OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
3. OPENING OR CLOSING A DOOR SHALL NOT REQUIRE A FORCE GREATER THAN 5 POUNDS.
4. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.



1 FLOOR PLAN  
 1/4" = 1'-0"

OFFICE J. RAMEAU PROJECT #20014

