



**FOR SALE/LEASE ±61,539 SF OF INDUSTRIAL BUILDING ON ±52,530 SF OF LAND**

350 S ANDERSON ST, LOS ANGELES, CA 90033

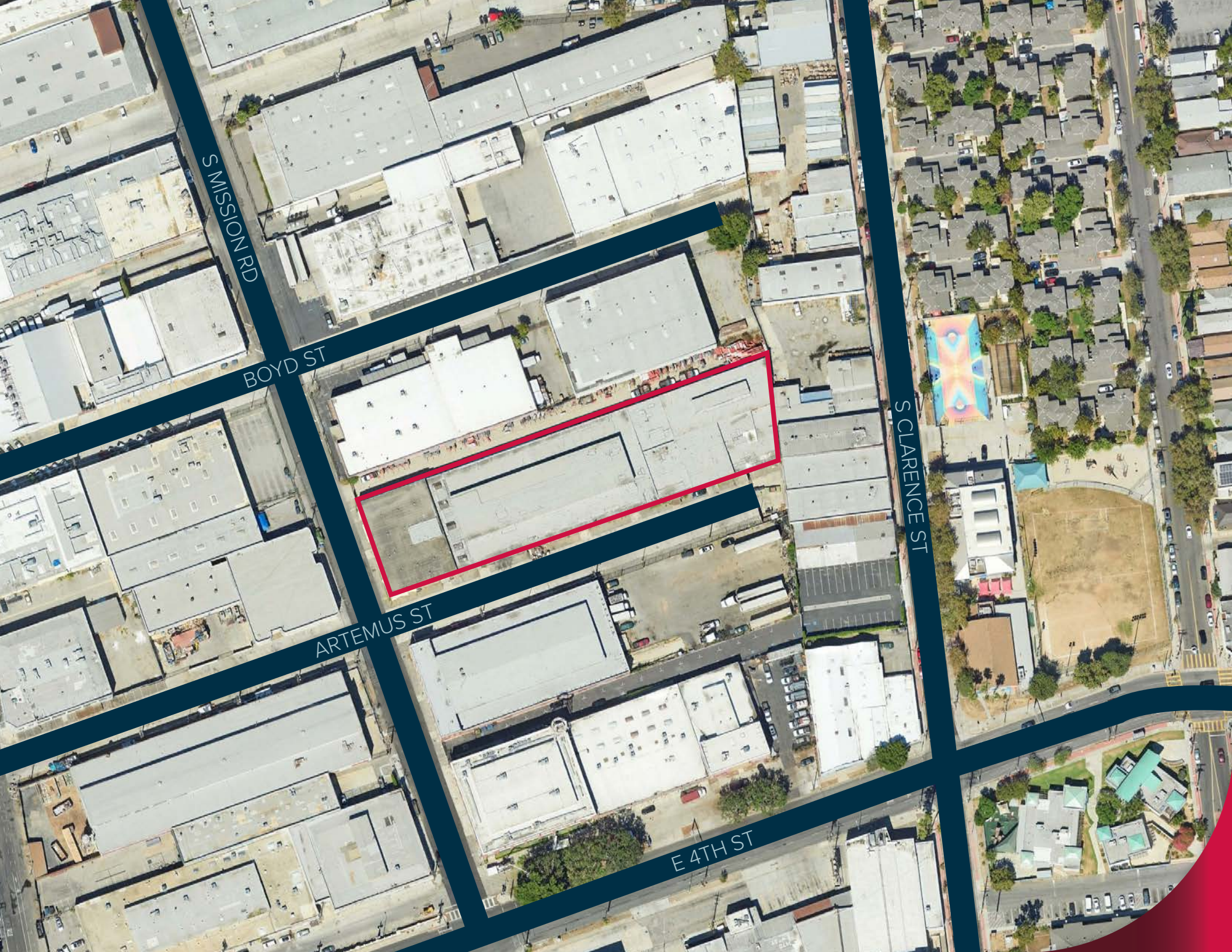
LOCAL EXPERTISE. INTERNATIONAL REACH. WORLD CLASS.

## DISCLAIMER

Buyer/Tenant should verify all aspects of this brochure and material facts concerning the property including, but not limited to: square footage and composition of offices, building & land; whether the square footage includes interior dock or mezzanine areas; loading dock and door construction, size and condition; age and construction of building and all improvements; physical and structural condition of the building and all systems, including the HVAC, any elevators and roof; adequacy of floor loads for Buyer/Tenant's intended use; ceiling and door clearance; ADA compliance; power; sprinkler calculations; zoning; permits, unpermitted improvements and permitted uses; taxes; whether the location of the property is within an incentive zone; and any other consideration that the Buyer/Tenant deems to be material to its decision whether to purchase or lease the property. It is strongly recommended that Buyer/Tenant utilize the services of professionals such as attorneys, accountants, architects, environmental consultants, surveyors, structural engineers and contractors to complete their due diligence prior to waiving any contingencies. It is also recommended that Buyer/Tenant obtain any use permits or business licenses that may be material to the operation of their business prior to the waiver of any contingencies. Seller to verify all tax implications of the sale with the accountant or attorney of their choice.

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**350**  
S ANDERSON ST



S MISSION RD

BOYD ST

ARTEMUS ST

E 4TH ST

S CLARENCE ST



PROPERTY HIGHLIGHTS



Excellent Boyle Heights Location,  
Blocks from Arts District



Dock High Loading Throughout



Brick Building w/ Great Character



APN: 5172-019-009



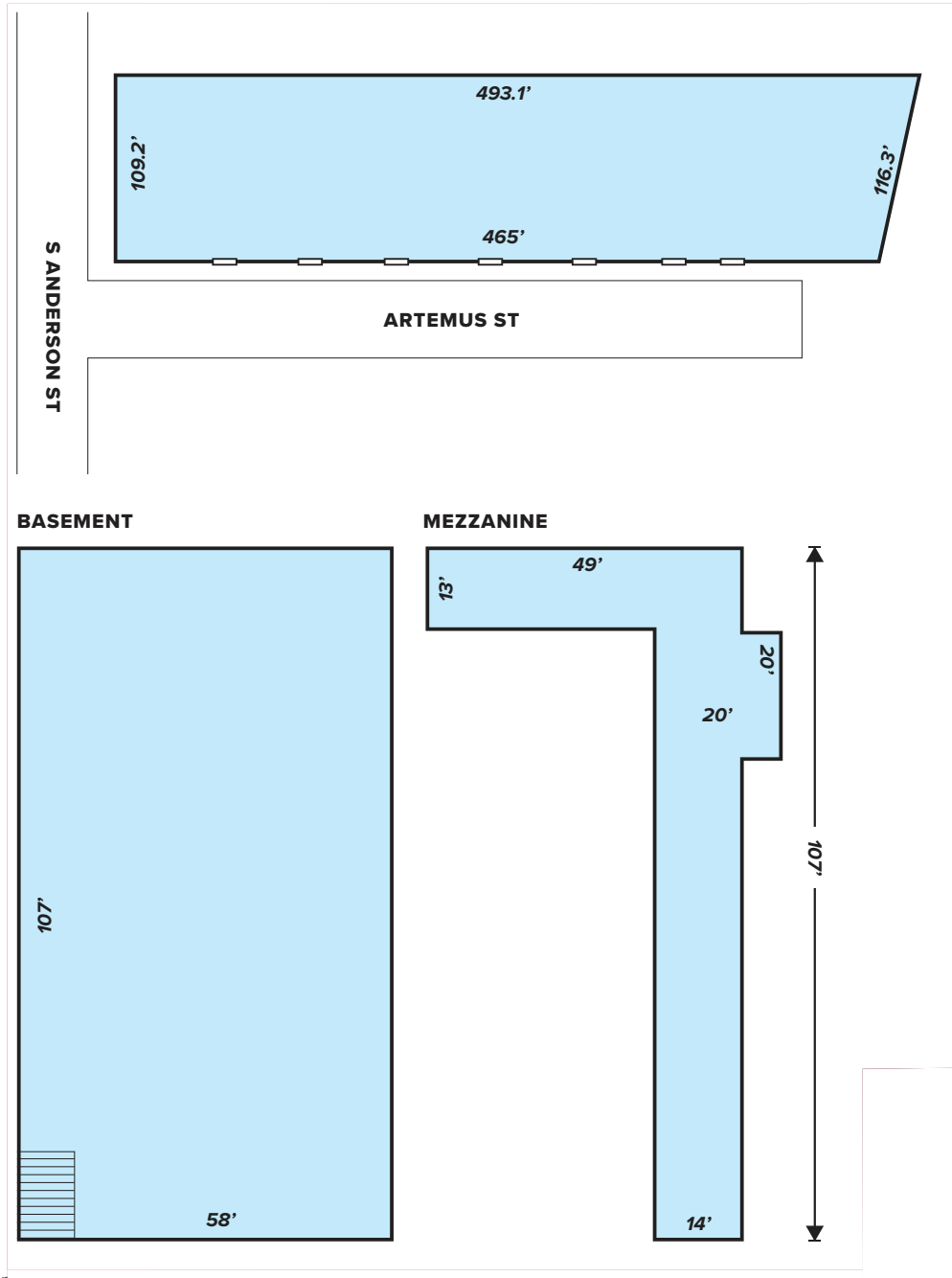
Bldg Size: ±61,539 SF

**350**  
S ANDERSON ST

**SITE PLAN**



NOTE: Drawing not to scale. All measurements and sizes are approximate. Lessee to verify



**350**

S ANDERSON ST

PROPERTY IMAGES



PROPERTY IMAGES



PROPERTY IMAGES

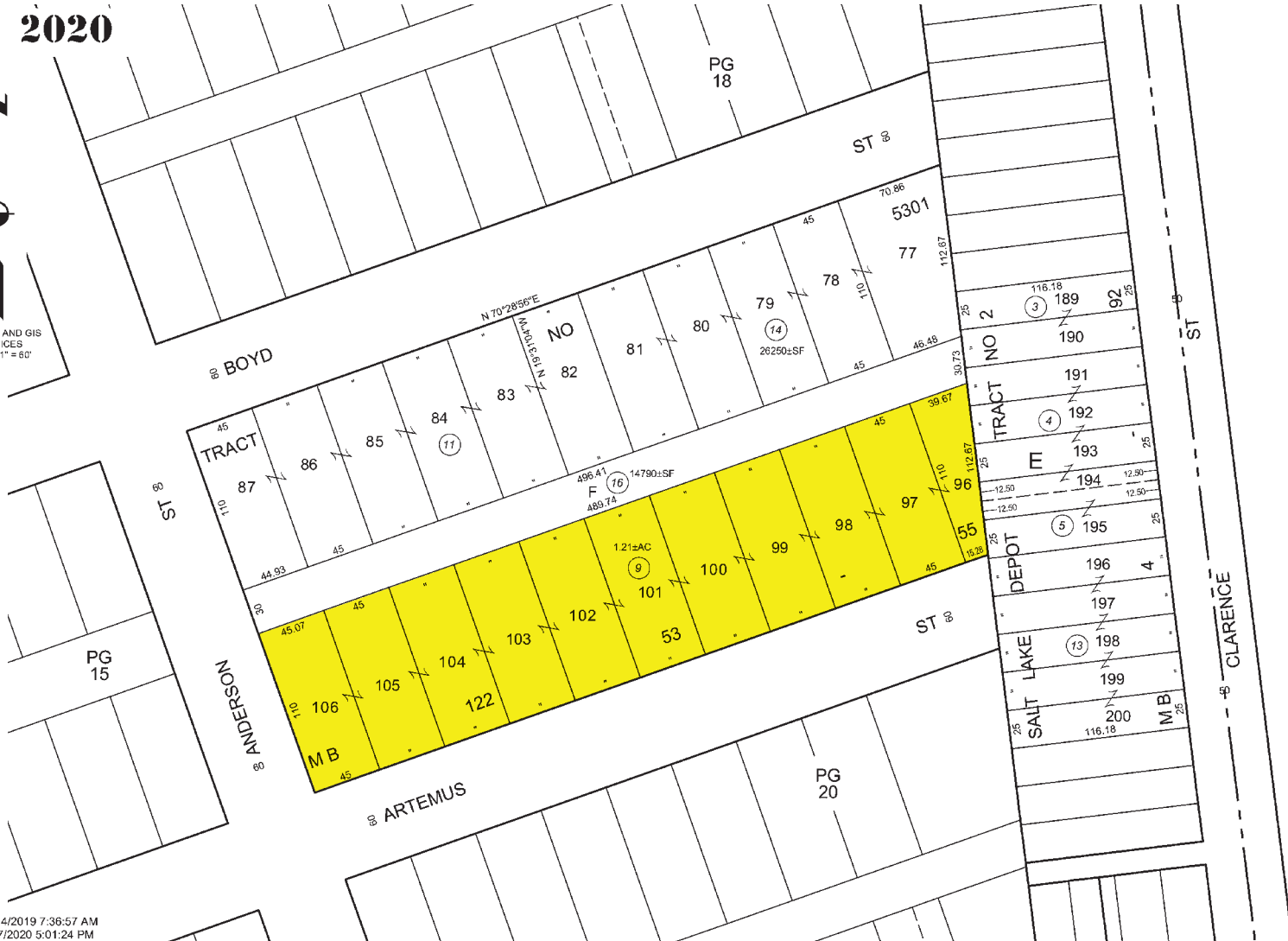




5172

19  
SHEET

2020



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PARCEL MAP

PG 21

350  
S ANDERSON ST



## BOYLE HEIGHTS

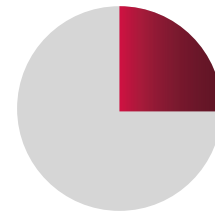
Boyle Heights, one of the first neighborhoods developed outside of downtown Los Angeles, is situated between the city of Vernon, the unincorporated community of East Los Angeles, Lincoln Heights, El Sereno, the Los Angeles River, and downtown Los Angeles. Also referred to as the East Los Angeles Interchange, Boyle Heights is where the 5, 10, 60, and 101 freeways intersect. The area covers 3,010 acres of land, with the following land uses: 42% residential, 25% industrial, 19% public facilities, 9% commercial, and 5% open space.

Industrial properties are clustered in the western part of Boyle Heights-sharing boundary with the Art District- and just south of the 5 freeway, not too far from the neighboring industrial cities of Vernon & Commerce. The proposed zoning in the Boyle Heights Community Plan designates light industrial zoning along the western boundary of Boyle Heights.

**22**  
MILES  
TO  
**LAX**

**25**  
MILES  
TO  
PORT OF  
LONG BEACH

**26**  
MILES  
TO  
PORT OF  
LOS ANGELES



**25%**  
**INDUSTRIAL**

**TOP TENANTS:**



WHOLESALERS



FOOD &  
BEVERAGE



CLOTHING/ACCESSORIES

## ARTS DISTRICT, LOS ANGELES

The Arts District is a thriving neighborhood that shares a boundary with Boyle Heights. Formerly known as the Warehouse District, this area is home to great restaurants, unique galleries, trendy boutiques, and hip bars. It's a popular destination for creative young professionals who are drawn to the artistic loft-style apartments available here. The Arts District boasts some of the best restaurants in Los Angeles County, including Bavel, Bestia, Girl & The Goat, and Hayato – a two Michelin-starred kaiseki counter that requires reservations.



## DEPENDABLE SUPPLY CHAIN SERVICES

A full-service logistics provider headquartered in Boyle Heights, Dependable offers trucking, warehousing, distribution, 3PL, air freight forwarding, ocean freight forwarding, and freight transport services to meet all your transport needs. Dependable Supply Chain Services caters to both domestic and international freight and has been providing dependable service since 1950. Its humble beginnings started with a single bobtail truck service, and it has now expanded to over two million square feet of warehousing and distribution centers.



## KECK SCHOOL MEDICINE OF USC

Keck School of Medicine of USC is the second oldest medical school in California, located across the street from the Los Angeles County Medical Center. Its internationally renowned physicians and scientists provide care to patients from over 30 countries. As one of only two university-based medical systems in the Los Angeles area, Keck Medical Center specializes in a wide range of specialties, including innovative cancer treatments and non-invasive surgical procedures. In the 2022-2023 Best Hospitals rankings by U.S. News & World Reports, Keck Medical Center of USC is recognized as one of the top 50 hospitals in the country in eight specialties, one of the top three hospitals in metro Los Angeles, and one of the top 10 hospitals in California.



## EAST LOS ANGELES OCCUPATIONAL CENTER

East Los Angeles Occupational Center (ELAOC) is part of the Los Angeles Unified School District's Division of Adult and Career Education. ELAOC offers training to upgrade current job skills as well as classes to prepare for new careers. The center provides both on-site and online courses, ranging from pre-high school level reading and math to specialized classes such as graphic design, video production, construction, and medical classes.



## EAST END STUDIO-ADLA CAMPUS

East End Capital is moving forward with its plan to transform a 15-acre industrial site located southeast of Sixth and Alameda Streets into the East End Studios ADLA campus in the Arts District. The Los Angeles Department of City Planning released an initial study in February 2023 to accommodate 16 soundstages, a production support space, a general office, and a café, totaling 674,175 square feet of new construction and 1,317 parking spaces. Upon completion of the ADLA campus in 2026, East End Studios expects that more than 1,000 people will work at the new campus.

## EAST END STUDIO-BOYLE HEIGHTS

East End Capital has acquired a cold storage building that was previously occupied by Glacier Cold Storage Ltd, Anresco, Inc., and Cal Hono. The company plans to convert the facility into a 237,000 square-foot media production studio development. The proposed four-story building will feature production studios, soundstages, offices, 380 parking spaces, and room for 376 bicycles.

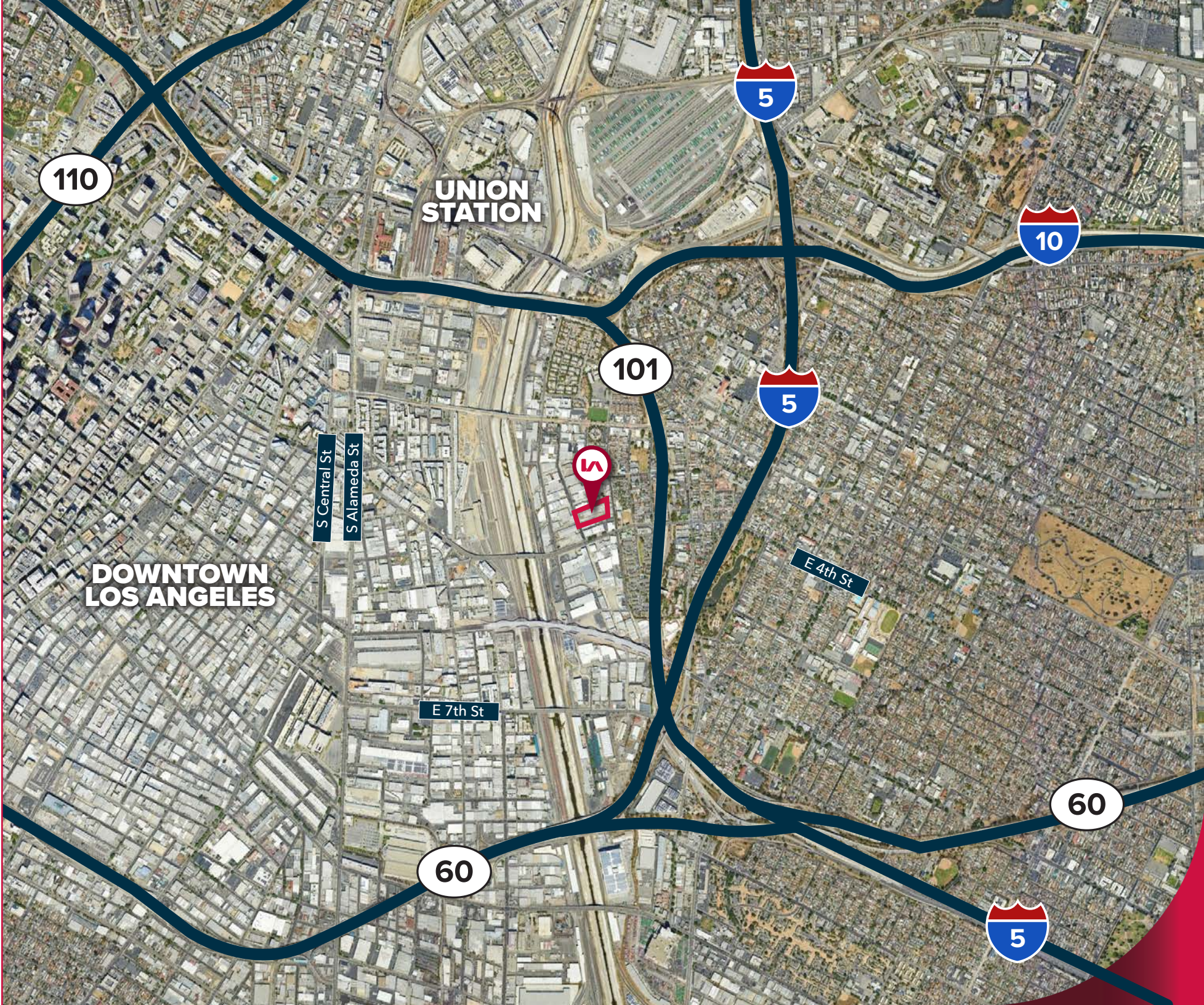
## 8TH & ALAMEDA STUDIOS

Atlas Capital Group has submitted a plan to renovate and repurpose the former Los Angeles Times printing plant into a \$650 million development project. The project will cover 832,189 square feet and consist of 18 soundstages, soundstage support spaces, offices, dining facilities, fitness and spa suites, postproduction screening theaters, and three guard booths across eight buildings. The plan also includes parking facilities with a capacity of 1,522 spaces, including 332 spaces reserved for EV charging. Upon completion in 2026, this project is expected to create 2,094 permanent jobs in the area.

## ACE\*MISSION STUDIOS

Previously utilized for storage and distribution of Budweiser and other major labels, this industrial building has been repositioned as state-of-the-art studios and creative offices for digital and media production. Ace\*Mission Studios sprawls across an 18-acre site located on the opposite side of the river from Downtown Los Angeles and the Arts District in Boyle Heights. Ace\*Mission Studios has eight soundstages, three mill/flex spaces, over 100 production offices, loading docks, and more than 1,000 crew parking spaces. The Anderson family, who had a long-standing presence in Boyle Heights, sought to retain their Boyle Heights heritage even after the sale of their Mission Beverage Company in 2018.





110

UNION STATION

5

10

101

5

S Central St

S Alameda St



DOWNTOWN LOS ANGELES

E 4th St

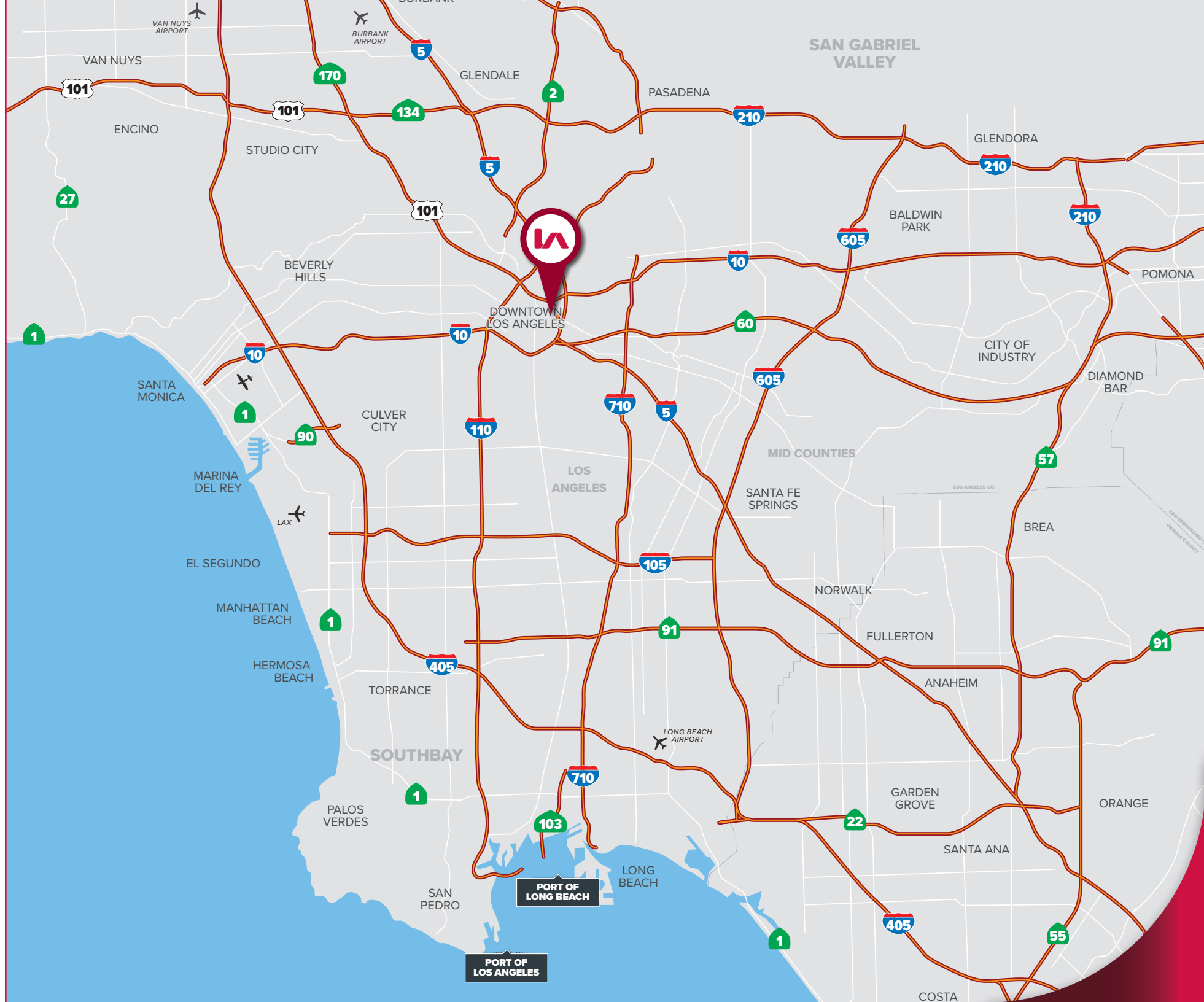
E 7th St

60

60

5

# REGIONAL MAP





**Population 2022**

1 Mile	3 Miles	5 Miles
30,221	377,526	1,148,285

**Population 2027**

1 Mile	3 Miles	5 Miles
30,028	376,678	1,137,118



**Households 2022**

1 Mile	3 Miles	5 Miles
10,109	118,012	348,215

**Households 2027**

1 Mile	3 Miles	5 Miles
10,116	118,729	345,701



**Avg Household Income 2022**

1 Mile	3 Miles	5 Miles
\$73,911	\$72,479	\$70,601

**Median Household Income 2022**

1 Mile	3 Miles	5 Miles
\$48,992	\$48,152	\$48,938



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**Evan Jurgensen**

Senior Vice President  
ejurgensen@lee-associates.com  
323-922-3733  
LIC NO 01967347



**Jack R. Cline, Jr.**

President  
jcline@lee-associates.com  
213-590-3512  
LIC NO 00854279