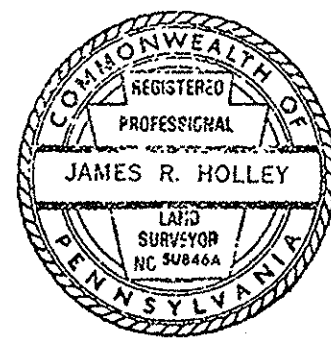


I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE EAST HEMPFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

22 SEP 1989

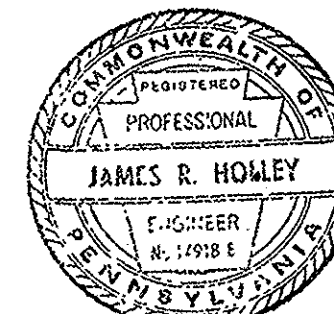
James R. Holley



I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE EAST HEMPFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

22 SEP 1989

James R. Holley



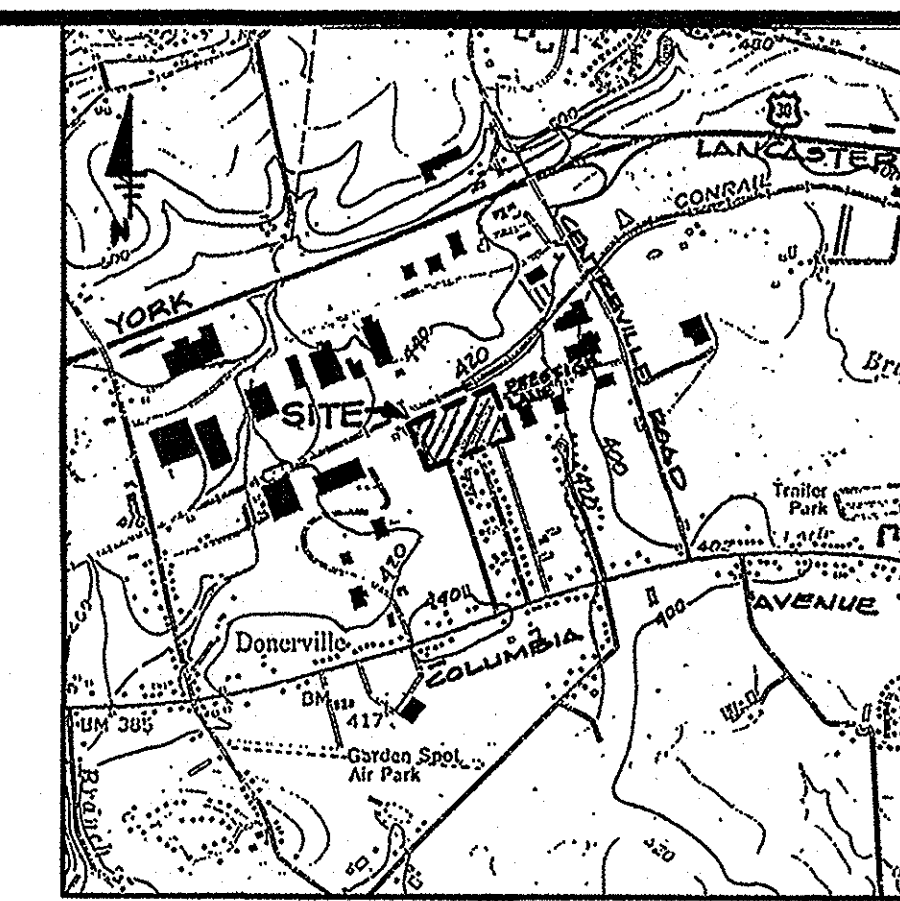
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE EAST HEMPFIELD TOWNSHIP STORM WATER MANAGEMENT ORDINANCE.

22 SEP 1989

James R. Holley

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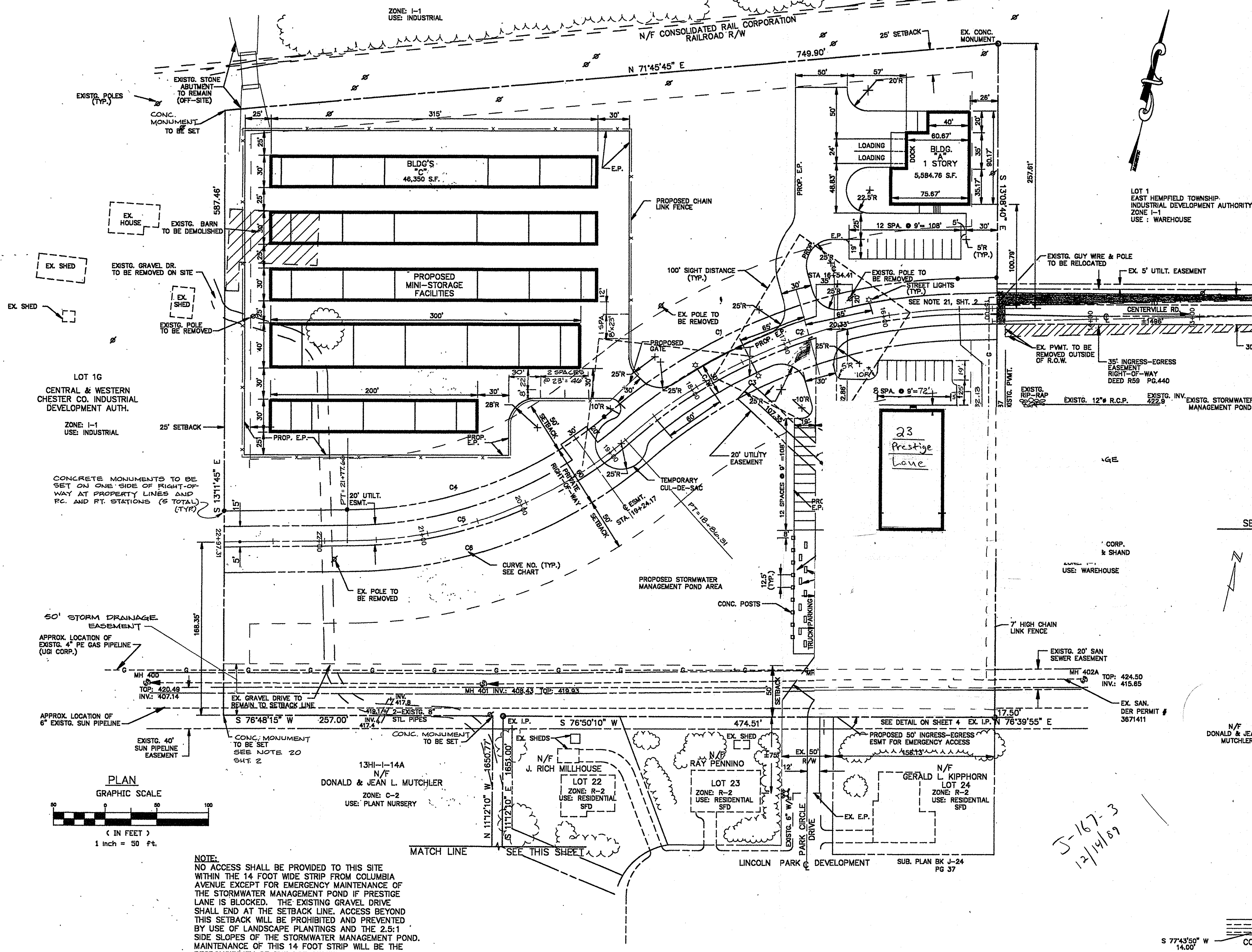
SHEET NO.	DESCRIPTION
1	LAYOUT PLAN
2	GRADING PLAN
3	UTILITY PLAN
4	LANDSCAPE PLAN
5	SEDIMENT-EROSION CONTROL PLAN
6	SEDIMENT-EROSION CONTROL DETAILS
7	PROFILES
8	STORM PROFILES & DETAILS



LOCATION MAP
SCALE: 1"=2000'

CURVE DATA CHART

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	530.00'	375.42'	195.98'	367.62'	S 55°17'07" W
C2	500.00'	354.17'	184.88'	346.81'	S 55°17'07" W
C3	470.00'	332.92'	173.79'	326.01'	S 55°17'07" W
C4	385.00'	270.30'	140.89'	264.78'	N 56°42'22" E
C5	415.00'	291.36'	151.97'	285.41'	N 56°42'22" E
C6	445.00'	312.42'	162.96'	306.04'	N 56°42'22" E



COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE 22ND DAY OF SEPTEMBER, 1989, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED *James R. Holley*, BEING ONE OF THE FIRM OF *James R. Holley & Associates, Inc.* WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSED AND SAYS THAT THE PARTNERSHIP IS THE *James R. Holley & Associates, Inc.* OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT ITS DIRECTION THAT IT ACKNOWLEDGES THE SAME TO BE ITS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREET AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

MY COMMISSION EXPIRES _____ 19__

IDENTIFY OWNERSHIP OF EQUITABLE OWNERSHIP
SIGNATURE OF THE INDIVIDUAL
SIGNATURE AND SEAL OF NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ACKNOWLEDGE DEEDS.

NOTARIAL SEAL
DENA D. BAILEY, NOTARY PUBLIC
DOVER BOROUGH, YORK COUNTY
MY COMMISSION EXPIRES JUNE 27, 1992

AT A MEETING HELD ON Oct 4, 1989, THE EAST HEMPFIELD TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE SUPERVISORS IN FILE NO. 1989-14 BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE EAST HEMPFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

Paul W. Shogren CHAIRMAN
John A. Overly VICE CHAIRMAN

THE LANCASTER COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON _____ 19__ AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN LORC FILE NO. _____. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE LANCASTER COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

MATCH LINE
SEE THIS SHEET

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR LANCASTER COUNTY, PENNSYLVANIA, IN SUBDIVISION PLAN BOOK 18 PAGE 12 DATE October 14 A.D. 1989

WITNESS MY HAND AND SEAL OF OFFICE THIS 14 DAY OF October A.D. 1989

Paul W. Shogren CHAIRMAN
John A. Overly VICE CHAIRMAN

THE FOLLOWING WAIVERS WERE APPROVED BY THE BOARD OF SUPERVISORS ON OCTOBER 4, 1989:

- Length of cul-de-sac street exceeds 800 feet - Section 602.14.
- Cartway width - 36 feet - Reduction of cartway from 36 feet to 30 feet.
- Appendix D TY-05 - Ordinance #089-4 - Eliminate curbs.

Conditions of waivers for cartway width and curb are that the savings of these waivers be contributed to the improvement of Centerville Road.

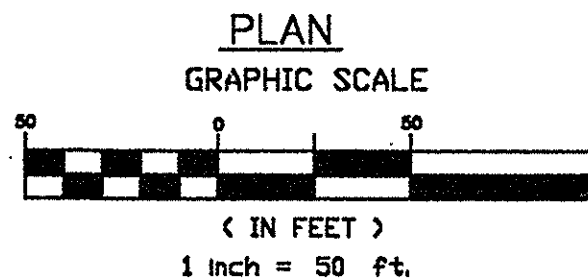
REVISIONS	NO.	DATE	DESCRIPTION	H.W.P.	BY
2	9-20-89		REV PER LCP, TWP. ENG. ZONING & UTILITY CO.'S COMMENTS FOR APPROVAL		
1	9-1-89		EXT. W/L UTIL. ESM. TO PROP. LINE		

FINAL LAND DEVELOPMENT PLAN
OF
PRESTIGE LANE INDUSTRIAL PARK
LAYOUT PLAN

EAST HEMPFIELD TWP. LANCASTER CO., PA
JAMES R. HOLLEY & ASSOCIATES, INC.
ENGINEERS - LAND SURVEYORS - LANDSCAPE ARCHITECTS - PLANNERS

DATE AUG. 1989
SCALE 1" = 50'
DWN BY P.A.F.
CK'D BY H.W.P.
PROJECT NO. 881105
SHEET NO. 1

18 SOUTH GEORGE STREET YORK, PA. 17401



NOTE:
NO ACCESS SHALL BE PROVIDED TO THIS SITE WITHIN THE 14 FOOT WIDE STRIP FROM COLUMBIA AVENUE EXCEPT FOR EMERGENCY MAINTENANCE OF THE STORMWATER MANAGEMENT POND IF PRESTIGE LANE IS BLOCKED. THE EXISTING GRAVEL DRIVE SHALL END AT THE SETBACK LINE. ACCESS BEYOND THIS SETBACK WILL BE PROHIBITED AND PREVENTED BY USE OF LANDSCAPE PLANTINGS AND THE 2.5:1 SIDE SLOPES OF THE STORMWATER MANAGEMENT POND. MAINTENANCE OF THIS 14 FOOT STRIP WILL BE THE RESPONSIBILITY OF THE LOT OWNER.