

## DEAN LAKES CORPORATE CENTER

50,000 - 317,133 SF AVAILABLE

Building A | 181,041 SF | 5225 Dean Lakes Blvd | Shakopee, MN 55379

Building B | 136,092 SF | 5201 Dean Lakes Blvd | Shakopee, MN 55379

Ready for Immediate Occupancy, Dean Lakes Corporate Center is a two building Class A industrial development located along Highway 169 in the southwest Minneapolis industrial market. The location provides tenants with immediate access to area amenities and provides visibility along Highway 169.



**HILLWOOD**  
A PEROT COMPANY



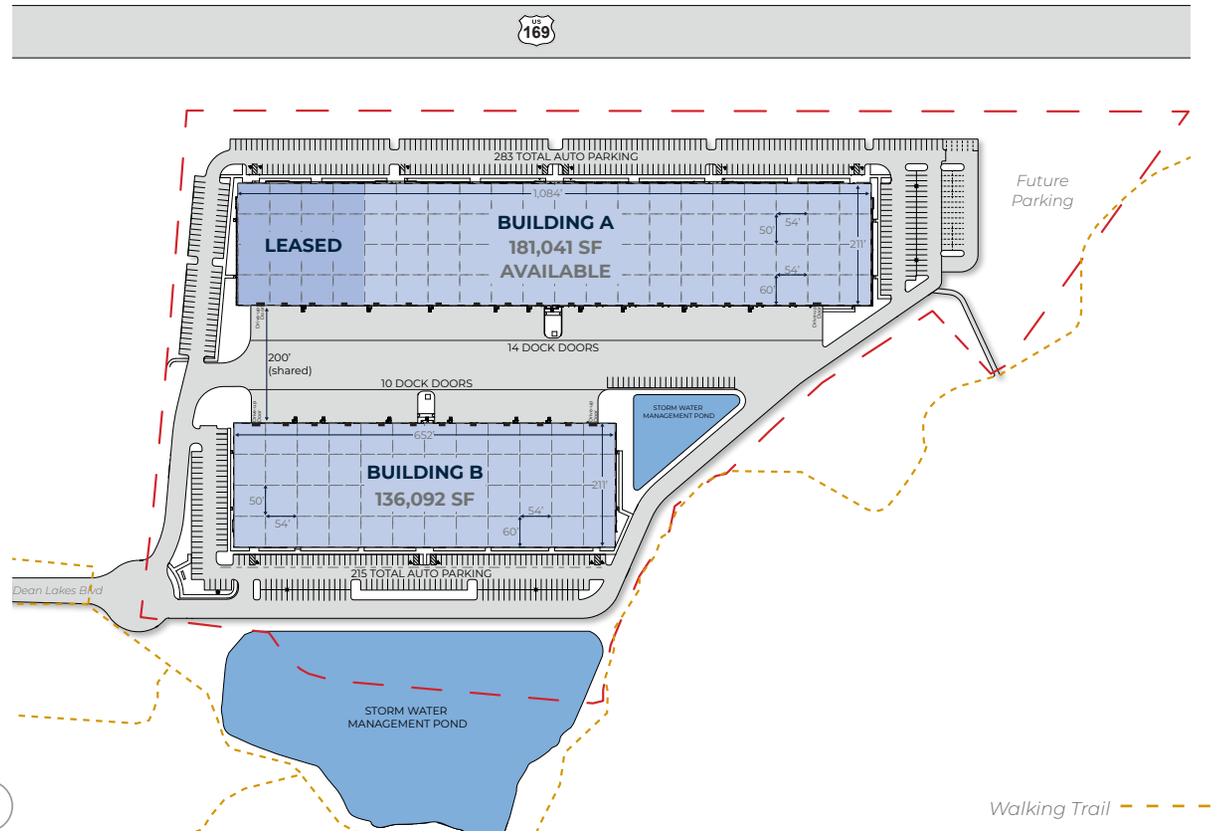
**IDP** Inland Development Partners



# DEAN LAKES CORPORATE CENTER

5201 AND 5225 DEAN LAKES BLVD | SHAKOPEE, MN 55379

## PROPERTY OVERVIEW | MASTER PLAN



-  Two buildings totaling 317,133 SF available on 26.13 acres
-  Office build-to-suit opportunities
-  Immediate Occupancy
-  Foreign Trade Zone
-  Bldg A. - 1 drive-in door  
Bldg B. - 2 drive-in doors
-  Bldg A. - 14 dock doors  
Bldg B. - 10 dock doors  
*with seals, bumpers and levelers already installed*
-  LED lighting with motion sensors and 30 foot candles
-  Bldg A. - 283 auto parking spaces (36 future)  
Bldg B. - 215 auto parking space (24 future)
-  50' x 54' column spacing  
60' speed bays
-  ESFR - K-17 sprinkler heads
-  28' clear heights
-  7" floors vs. traditional 6" floors
-  3,000 amps, 480 V  
*via Shakopee Public Utilities*

A Joint Venture Development



**RACHEL AGBA-NOVAK** Leasing

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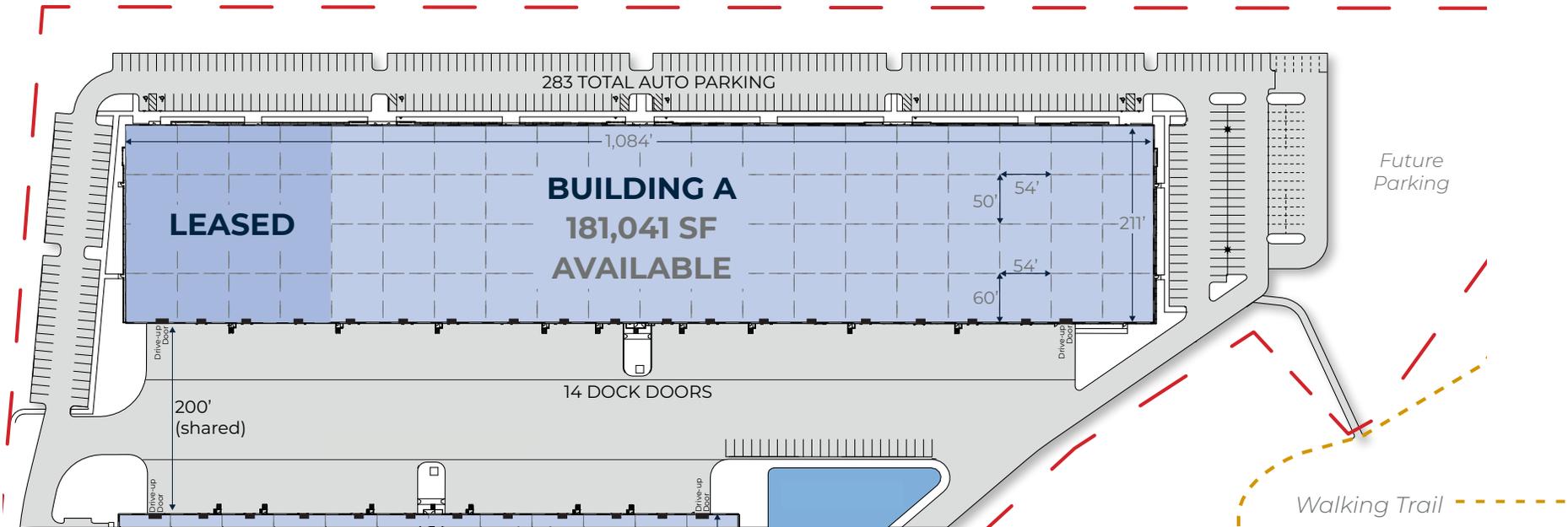
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-  181,041 SF Available
-  Office build-to-suit opportunities
-  Immediate Occupancy
-  Foreign Trade Zone
-  1 drive-in doors
-  14 dock doors  
*with seals, bumpers and levelers already installed*
-  Building dimensions 1,084' x 211'
-  LED lighting with motion sensors and 30 foot candles
-  283 auto parking spaces  
(36 future)
-  50' x 54' column spacing  
60' speed bays
-  ESFR - K-17 sprinkler heads
-  28' clear height
-  7" floors vs. traditional 6" floors
-  3,000 amps, 480 V  
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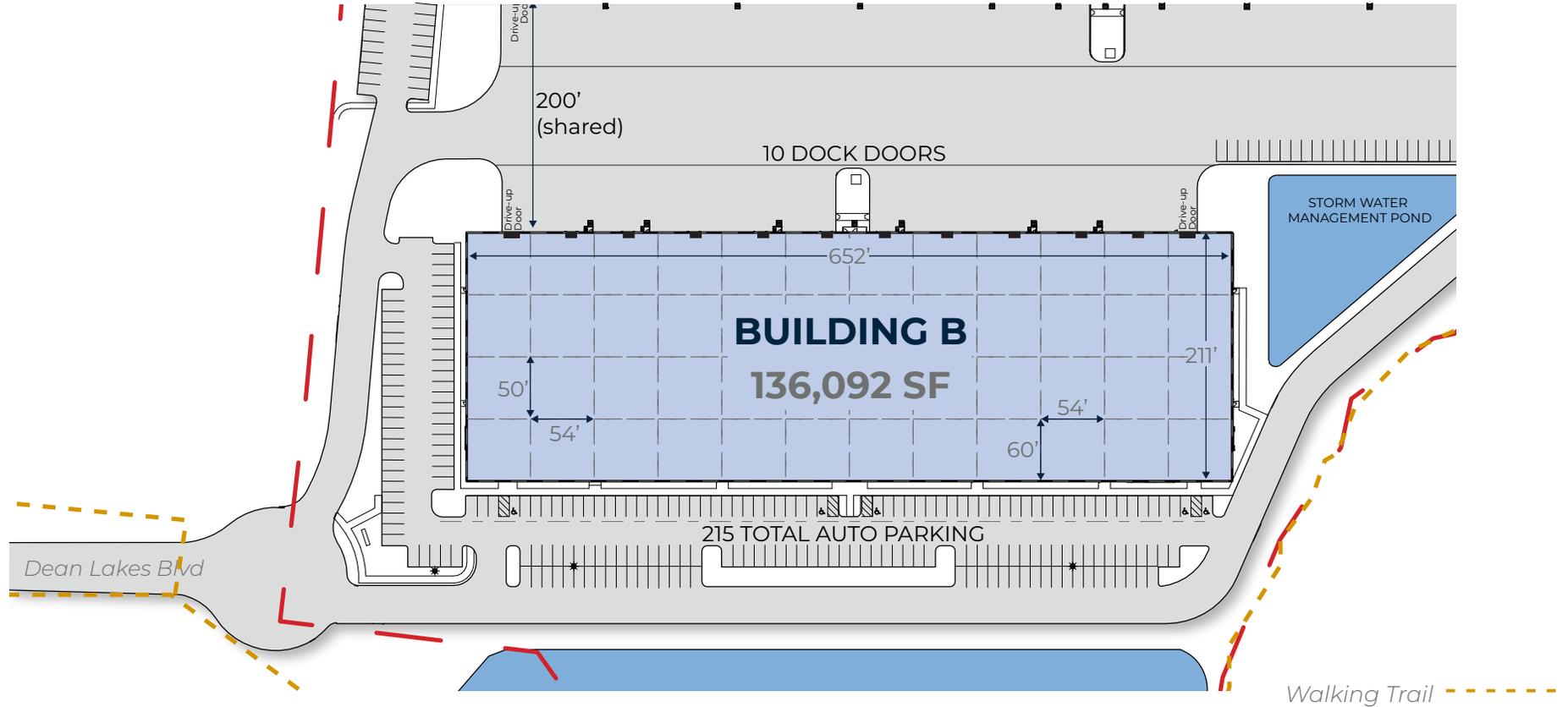
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- |   |  |   |
|---|--|---|
|  136,092 SF Available               |  10 dock doors<br><i>with seals, bumpers and levelers already installed</i> |  50' x 54' column spacing<br>60' speed bays                |
|  Office build-to-suit opportunities |  Building dimensions 652' x 211'  |  ESFR - K-17 sprinkler heads                               |
|  Immediate Occupancy                |  LED lighting with motion sensors<br>and 30 foot candles                    |  28' clear height  |
|  Foreign Trade Zone                 |  215 auto parking spaces<br>(24 future)                                     |  7" floors vs. traditional 6" floors                       |
|  2 drive-in doors                   |  |  3,000 amps, 480 V<br><i>via Shakopee Public Utilities</i> |

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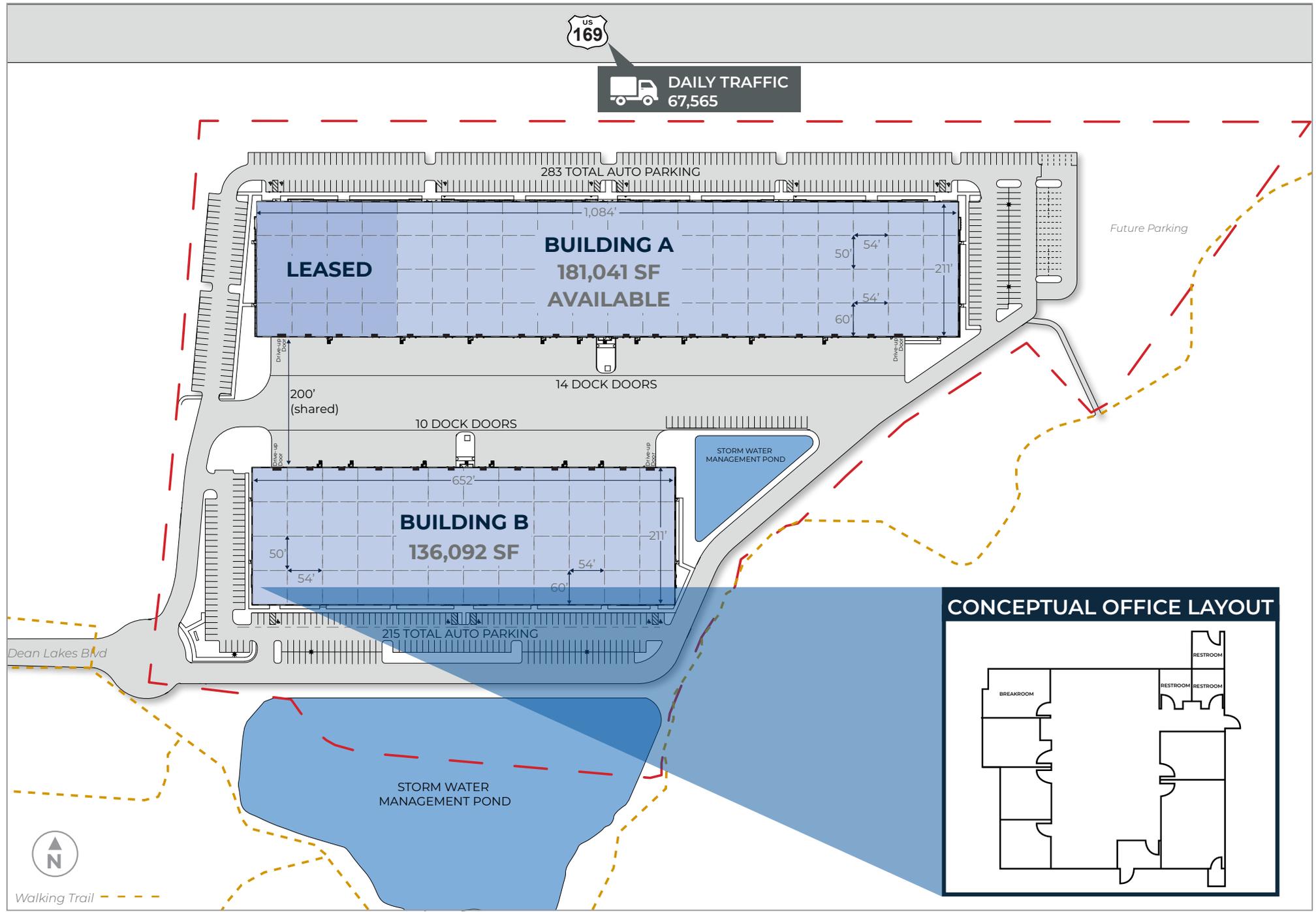
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US 169



DAILY TRAFFIC  
67,565



Future Parking

LEASED

**BUILDING A**  
181,041 SF  
AVAILABLE

283 TOTAL AUTO PARKING

1,084'

50'

54'

211'

60'

54'

14 DOCK DOORS

200'  
(shared)

10 DOCK DOORS

**BUILDING B**  
136,092 SF

652'

50'

54'

54'

60'

211'

215 TOTAL AUTO PARKING

STORM WATER  
MANAGEMENT POND

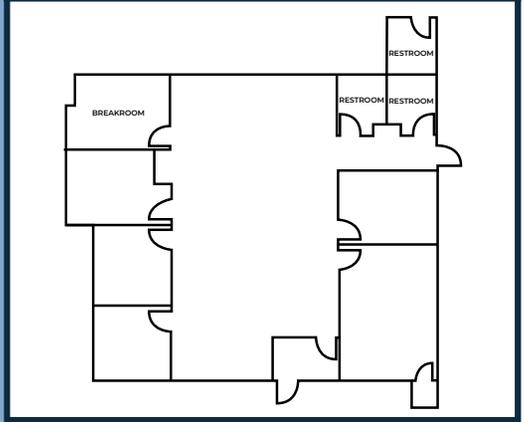
STORM WATER  
MANAGEMENT POND

Dean Lakes Blvd



Walking Trail

**CONCEPTUAL OFFICE LAYOUT**



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CORPORATE CENTER**

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SITE PLAN



# DEAN LAKES CORPORATE CENTER

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PRIME LOCATION





**DRIVE  
TIMES**

**INTERSTATE 494**

9 mi. 10 min.

**MINNEAPOLIS-SAINT  
PAUL INT'L AIRPORT**

17 mi. 20 min.

**INTERSTATE 35**

13 mi. 16 min.

**MINNEAPOLIS**

23 mi. 28 min.



**FOREIGN TRADE ZONE (FTZ)**

Located in a Foreign Trade Zone (FTZ). This designation allows deferring and/or reducing duty payments, it helps reduce costs if goods are manufactured and destined within the USA, imported goods can be stored and exported without incurring duties and/or impact fees can be combined into one weekly fee instead of individual fees. You can find more information on their website at [www.cbp.gov/border-security/ports-entry/cargo-security/cargo-control/foreign-trade-zones/about](http://www.cbp.gov/border-security/ports-entry/cargo-security/cargo-control/foreign-trade-zones/about)



**UTILITY INFORMATION**

Serviced by Shakopee Public Utilities (SPU), which is a major advantage to the park. With a 99.9% reliability rating, competitive rates, and a variety of clean energy options via their Clean Energy Program. Dean Lakes Corporate Center has a power advantage. You can find more information on their website at [shakopeeutilities.com](http://shakopeeutilities.com).



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# CONTACT

## A JOINT VENTURE DEVELOPMENT

## LEASING



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