

Sheet Index

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Owner / Developer

PRIMUS PROPERTIES, LLC
PO BOX 1591
BROKEN ARROW, OKLAHOMA 74013
PHONE: (918) 408-2311
MR. WILLIAM LEET

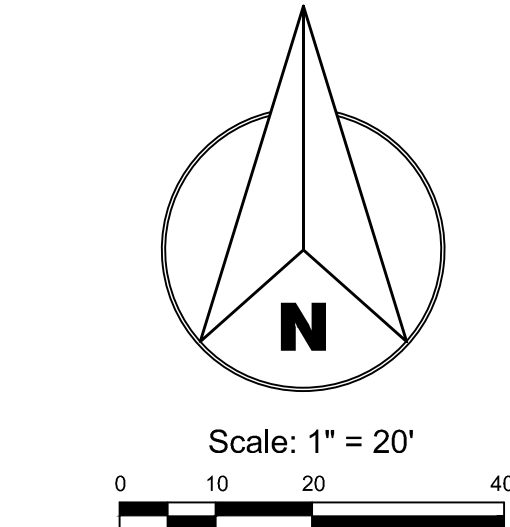
Engineer

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10700 MYERS LN
CHOCTAW, OKLAHOMA 73020
PHONE: (405) 234-0980
ahale@engineeredbydesign.pro
C.A. # 7655 EXPIRES 6-30-2026

Surveyor

FRITZ LAND SURVEYING, LLC
524 EAST MAIN STREET
JENKS, OKLAHOMA 74037
PHONE: (918) 528-5121
fritzlandsurveying@gmail.com
C.A. # 5848 EXPIRES: 6-30-2026

Detention Determination # DD-121924-74



Sheet Legend

| | |
|--|----------------------------|
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED ASPHALT PAVING |
| | PROPOSED LANDSCAPE / SOD |

Site Summary

DROD 7 (Downtown Residential Overlay District)

| | |
|---------------------------------|----------------------|
| GROSS LOT AREA | 18,200 SF (0.418 AC) |
| NET LOT AREA | 18,200 SF (0.418 AC) |
| PROPOSED BUILDING AREA: | 4,000 SF |
| PROPOSED BUILDING HEIGHT: | 17'-1" |
| PROPOSED BUILDING CONSTRUCTION: | TYPE II-B |

Parking Summary (BUILDING A)

Retail, General

| | |
|---|----------|
| PROPOSED BUILDING AREA: | 4,000 SF |
| REQUIRED PARKING SPACES (1/300 SF) | 14 |
| TOTAL STANDARD PARKING SPACES PROVIDED: | 15 |
| TOTAL HANDICAP PARKING SPACES PROVIDED: | 1 |
| TOTAL PARKING SPACES PROVIDED: | 16 |

Impervious Calculations

| | |
|-----------------------------|----------------------|
| GROSS LOT AREA: | 18,200 SF (0.418 AC) |
| TOTAL DISTURBED AREA: | 0.418 AC |
| * EXISTING IMPERVIOUS AREA: | 0.0 SF |
| PROPOSED IMPERVIOUS AREA: | 12,518.64 SF (69%) |
| INCREASED IMPERVIOUS AREA: | 12,518.64 SF |

* AS MEASURED INSIDE PROPERTY BOUNDARY

Exterior Lighting

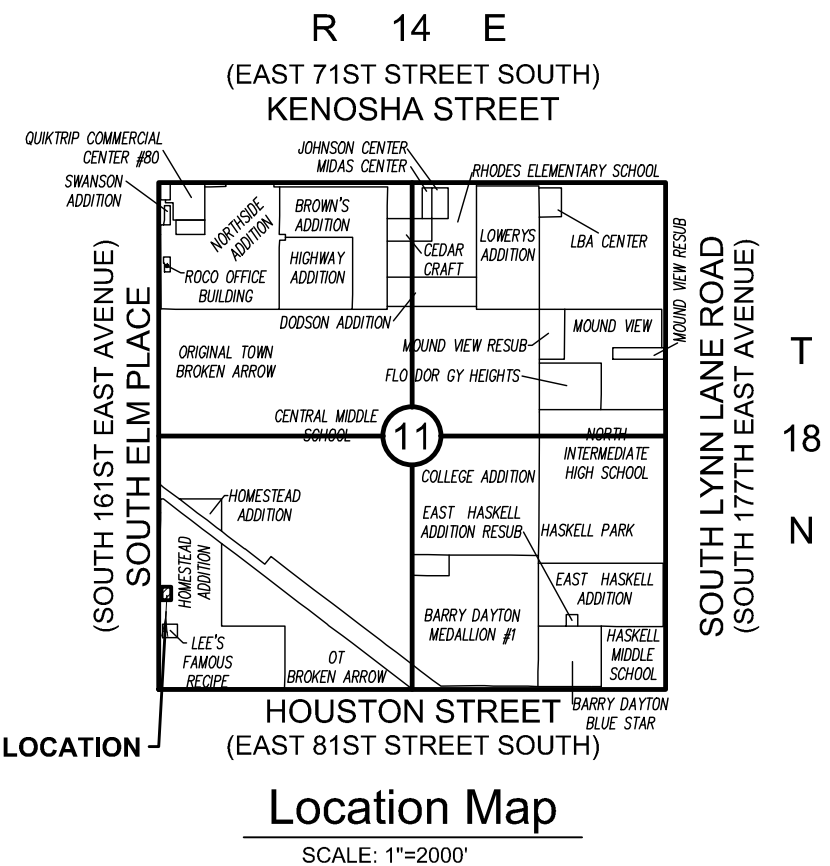
NO PROPOSED LIGHT POLES WILL BE ASSOCIATED WITH THIS PROJECT. REFER TO ARCHITECTURAL FOR LIGHT FIXTURES ASSOCIATED WITH PROPOSED BUILDING.

Legal Description

LOTS 13-17 & EAST 5' OF LOT 18, BLOCK EIGHT (8), HOMESTEAD ADDITION TO THE CITY OF BROKEN ARROW, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.

Freestanding Signs

1 MONUMENT SIGN



Legend

| | |
|-----------|---------------------------|
| A/C | AIR CONDITIONER UNIT/PAD |
| 4GAI | 4-GRATE AREA INLET |
| AMH | ACCESS MANHOLE |
| B/L | BUILDING SETBACK LINE |
| B/W | BARBED WIRE FENCE |
| BC | BOTTOM OF CURB |
| BM | BENCHMARK |
| BOP | BEGINNING OF PROJECT |
| C/L | CHAIN LINK FENCE |
| CCI | CONCRETE CURB INLET |
| CICI | CAST IRON CURB INLET |
| CONC. | CONCRETE |
| CPED | CABLE/TY PEDESTAL |
| CY | CUBIC YARDS |
| EOP | END OF PROJECT |
| ELEC | ELECTRIC |
| EPED | ELECTRIC PEDESTAL |
| ESMT | EASEMENT |
| EX | EXISTING |
| F/E | FENCE EASEMENT |
| FG | FINISHED GRADE |
| FH | FIRE HYDRANT |
| FL | FLOWLINE |
| FLT | THROAT FLOWLINE |
| FP | FLAG POLE |
| GLT | GROUND LIGHT |
| GM | GAS METER |
| GRSR | GAS RISER |
| GUY | DOWN GUY |
| GV | GAS VALVE |
| HDPE | HIGH DENSITY POLYETHYLENE |
| IPF | IRON PIN FOUND |
| LF | LINEAR FEET |
| LNA | LIMITS OF NO ACCESS |
| LP | LIGHT POLE |
| MA/E | MUTUAL ACCESS EASEMENT |
| MB | MAILBOX |
| OD/E | OVERLAND DRAINAGE ESMT |
| OE | OVERHEAD ELECTRIC |
| OL | ORNAMENTAL LIGHT |
| PG | PROPOSED GRADE |
| PP | POWER POLE |
| RW/E | RESTRICTED WL EASEMENT |
| RCP | REINFORCED CONC. PIPE |
| RET. WALL | RETAINING WALL |
| S/W | SIDEWALK |
| SD | STORM DRAIN |
| SDMH | STORMWATER MANHOLE |
| SF | SQUARE FEET |
| SGAI | SINGLE GRATE AREA INLET |
| SPHD | SPRINKLER HEAD |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| SSLH | SANITARY SEWER LAMPHOLE |
| SSMH | SANITARY SEWER MANHOLE |
| SY | SQUARE YARD |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TP | TOP OF PAVING |
| TPED | TELEPHONE PEDESTAL |
| TR | TOP OF RIM |
| TS | TRAFFIC SIGN |
| TW | TOP OF WALL |
| U/E | UTILITY EASEMENT |
| UG | UNDERGROUND GAS LINE |
| UTMH | UTILITY MANHOLE |
| W/ DIP | WITH UNDERGROUND RISER |
| WL | WATERLINE |
| WLMH | WATERLINE MANHOLE |
| WM | WATER METER |
| WRSR | WATER SPIGOT |
| WV | WATER VALVE |



EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN.
ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BROKEN ARROW ENGINEERING STANDARD SPECIFICATIONS, INCLUDING O.D.O.T. 2019 EDITION AND APPLICABLE SUPPLEMENTS.

CONSULTANTS



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CA# 7655 - Expires 6/30/2026



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Phone: (918) 798-8356

PROJECT NAME

Primus Properties 527 West El Paso

Broken Arrow, OK

Project No. 2301

SEAL



REVISIONS

ISSUE DATE

3/24/2025

SCALE

1"=20'

SHEET NAME

SITE PLAN

SHEET NO.

C1

Disclaimer

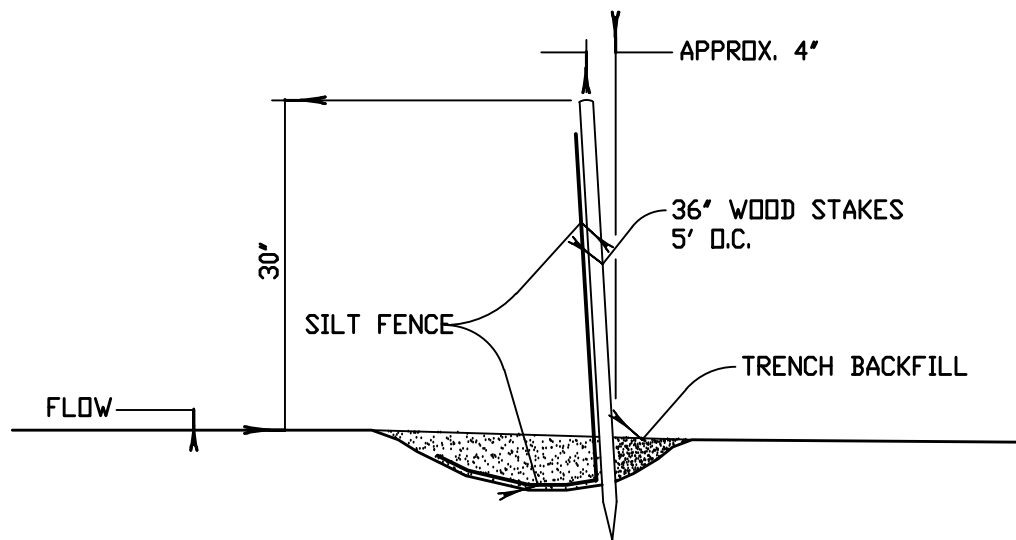
THESE PLANS AND DRAWINGS ARE NOT TO BE CHANGED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ENGINEERED BY DESIGN, PLLC. ANY CHANGES MADE FROM THESE PLANS WITHOUT CONSENT OF ENGINEERED BY DESIGN, PLLC ARE UNAUTHORIZED, AND SHALL RELIEVE ENGINEERED BY DESIGN, PLLC OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGE(S).

General Construction Notes

- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BROKEN ARROW STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND LOCATIONS HAVE BEEN VERIFIED BY THE OWNERS OF SAID LINES. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO ANY EXCAVATION.
- AFTER CONSTRUCTION IS COMPLETE, ALL DISTURBED AREAS SHALL BE RESEEDD ACCORDING TO CITY OF BROKEN ARROW, OKLAHOMA, SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDED AREAS UNTIL GROWTH IS ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY WORK ORDERS AND PERMITS FROM THE CITY OF BROKEN ARROW, INCLUDING PROVISIONS OF BONDS AND INSURANCE AS REQUIRED.
- ALL WASTE OR SPOIL SHALL BE TAKEN TO A CITY APPROVED SITE OR SPREAD IN AREAS OUTSIDE OF THE STREET RIGHTS-OF-WAY AS DIRECTED BY THE OWNER AND ENGINEER PER BID DOCUMENTS.
- A RIGHT-OF-WAY PERMIT WILL BE REQUIRED FOR ALL WORK IN THE CITY OF BROKEN ARROW RIGHT-OF-WAY.
- ALL GRADES ARE BASED ON NAVD 1988 U.S.G.S. VERTICAL DATUM.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR ANY WORK WITHIN STREET RIGHT OF WAY. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). CURRENT EDITION AND CITY OF BROKEN ARROW STANDARDS AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER TRAFFIC CONTROL IS IN PLACE FOR CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROPERLY MAINTAINING TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE WORK. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS TO THE CITY OF BROKEN ARROW AS REQUIRED.
- ENGINEER'S STATEMENT THIS PROJECT COMPLIES WITH ALL OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY (ODEQ) REQUIREMENTS. ENTIRE PROJECT IS WITHIN CORPORATE LIMITS OF CITY OF BROKEN ARROW (COT).

Grading & Paving Notes

- ALL UTILITY CONSTRUCTION SHALL BE COMPLETED PRIOR TO SUBGRADE PREPARATION.
- SUBGRADE SHALL BE FREE OF ALL ORGANIC MATTER, TREATED, AND COMPACTED.
- THE PAVING CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO GRADE AFTER PAVING HAS BEEN COMPLETED.
- REFER TO 2009 ODOT SPECIFICATION SECTION 610 FOR SIDEWALK CONSTRUCTION.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHTS-OF-WAY AND EASEMENTS SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BROKEN ARROW.
- MAXIMUM CROSS SLOPE OF SIDEWALK AT ANY LOCATION CANNOT EXCEED 2%. MAXIMUM LONGITUDINAL SLOPE OF SIDEWALK AT ANY LOCATION CANNOT EXCEED 5%.

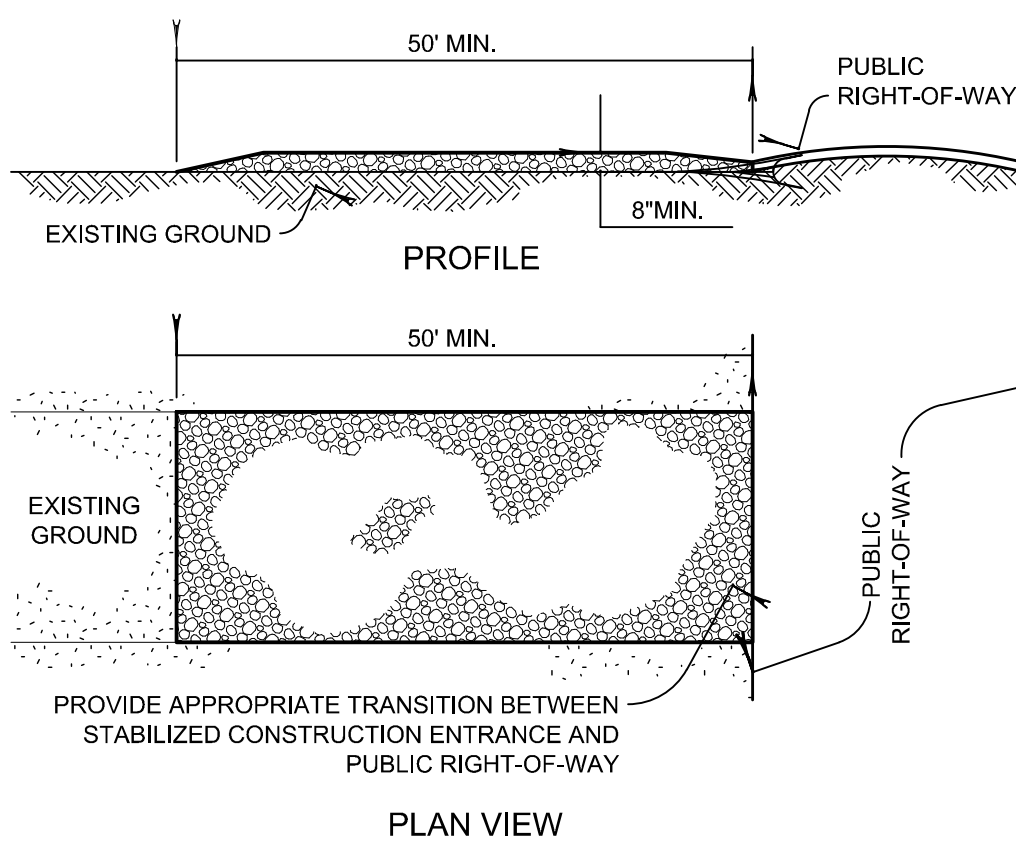


Notes:

- WOOD POSTS SHALL BE ANGLED SLIGHTLY TOWARD RUNOFF SOURCE.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN AND BACKFILLED.
- THE TRENCH SHOULD BE 6" DEEP BY 3" TO 4" WIDE TO ALLOW SILT FENCE TO BE LAID IN AND BACKFILLED.
- SILT FENCE SHALL BE FASTENED TO POSTS OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL POSTS.
- INSPECTION SHALL BE FREQUENT & REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THERE USEFULNESS SO AS NOT TO IMPEDE STORMWATER FLOW OR DRAINAGE.
- TRAPPED SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED MANNER AND LOCATION WHICH WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF AS IN NOTE 7 ABOVE.

A Silt Fence Detail

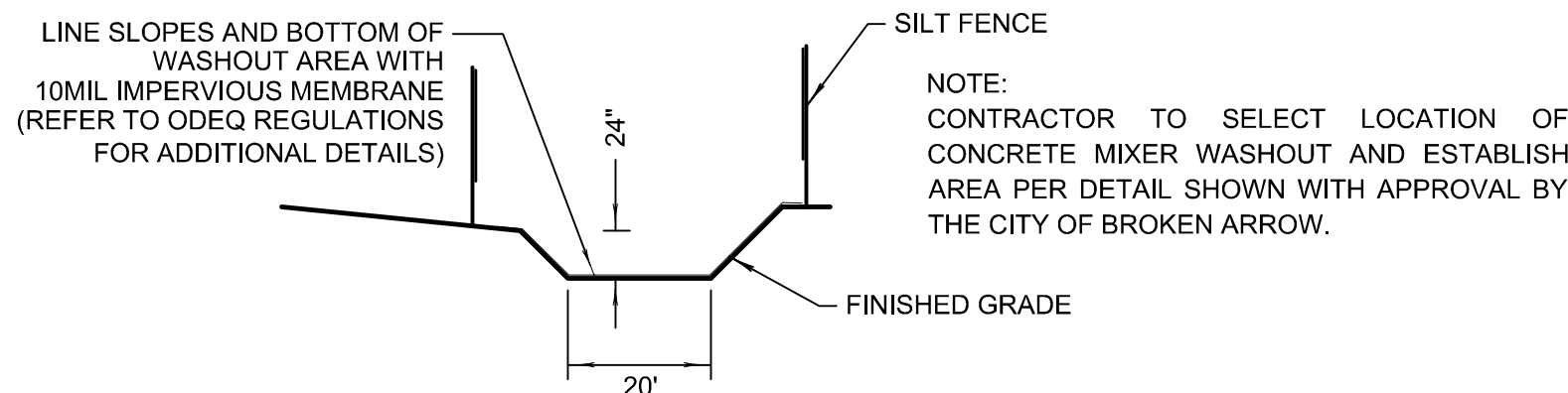
SCALE: NONE



- STONE SIZE AASHTO DESIGNATION M 43, SIZE NO. 2 (3" TO 4"). USE CRUSHED STONE.
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN EIGHT(8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE OWNER.

B Stabilized Construction Entrance

SCALE: NONE



C SECTION A-A Concrete Washout Detail

SCALE: NONE

Temporary Erosion Control

SMALL GRAINS SUCH AS OATS, RYE, WHEAT, SUDANS AND SORGHUMS ARE THE MOST FEASIBLE TEMPORARY VEGETATION TO CONTROL EROSION. THE PRACTICE IS EFFECTIVE FOR AREAS WHERE THE SOIL IS LEFT EXPOSED FOR A PERIOD OF 6 TO 12 MONTHS. THE TIME PERIOD MAY BE SHORTER DURING PERIODS OF EROSIVE RAINFALL.

- PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, DIKES, ETC., SHALL BE INSTALLED.
- TEMPORARY VEGETATIVE PRACTICE IS USUALLY APPLIED PRIOR TO THE COMPLETION OF FINAL GRADING OF THE SITE.
- IF THE AREA TO BE SEEDED HAS BEEN RECENTLY LOOSENED TO THE EXTENT THAT AN ADEQUATE SEEDED EXISTS, NO ADDITIONAL TREATMENT IS REQUIRED, HOWEVER IF THE AREA TO BE SEEDED IS PACKED, CRUSTED, AND/OR HARD, THE TOP LAYER OF SOIL SHALL BE LOOSENED BY DISCING OR OTHER SUITABLE MEANS.
- FERTILIZER SHALL BE APPLIED AT A RATE OF 600 POUNDS PER ACRE OR 15 POUNDS PER 1000 SQUARE FOOT USING 10-20-10 OR EQUAL.
- SEEDING OPTIONS ARE AS FOLLOWS:

| PLANT | ACRE | QUANTITY PER 1000 S.F. | PLANTING DATE | DEPTH |
|------------------|--------|------------------------|----------------|---------|
| ANNUAL ELBON RYE | 40 LBS | 0.90 LBS | 09/15 TO 11/30 | 1/4 IN. |
| WHEAT | 2 BU. | 3.00 LBS | 08/15 TO 11/30 | 2 IN. |
| OATS | 3 BU. | 2.50 LBS | 08/15 TO 11/30 | 2 IN. |
| SORGHUM | 60 LBS | 1.40 LBS | 03/01 TO 09/15 | 2 IN. |
| SUDAN | 40 LBS | 0.90 LBS | 04/01 TO 09/15 | 2 IN. |

- SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE GENERAL SLOPE TO MINIMIZE EROSION.
- 1 TO 3 MONTHS AFTER PLANTING, THE SEEDED SITE SHALL BE TOP DRESSED WITH 8 POUNDS PER 1000 SQUARE FEET OR 350 POUNDS PER ACRE OF 33-0-0.
- AREAS WHICH DO NOT DEVELOP A SUFFICIENT COVER SHALL BE REPLANTED.
- THE SEEDED AREA SHALL BE WATERED WHEN FEASIBLE AND NEEDED.

Permanent Erosion Control

BERMUDA GRASS, KENTUCKY 31, TALL FESCUE AND WEEPING LOVEGRASS ARE SOME OF THE TYPES OF PERMANENT VEGETATION THAT MAY BE EFFECTIVELY USED TO CONTROL EROSION.

- PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, DIKES, ETC., SHALL BE INSTALLED.
- THE SUBGRADE SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 POUNDS PER 1000 SQUARE FOOT OR 450 POUNDS PER ACRE) SHALL BE MIXED WITH THE LOOSENED SURFACE SOIL BY DISCING OR OTHER SUITABLE MEANS.
- SEEDING OPTIONS ARE AS FOLLOWS:

| PLANT | ACRE | QUANTITY PER 1000 S.F. | PLANTING DATE | DEPTH |
|-----------|--------|------------------------|----------------|---------|
| BERMUDA | 10 LBS | 0.25 LBS | 04/01 TO 08/15 | 1/2 IN. |
| FESCUE | 40 LBS | 0.90 LBS | 09/01 TO 11/01 | 1/2 IN. |
| LOVEGRASS | 40 LBS | 0.90 LBS | 04/01 TO 08/30 | 1/2 IN. |

- SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE GENERAL SLOPE TO MINIMIZE EROSION.
- MULCH SHALL BE USED WHERE NEEDED.
- THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL THE PLANTS GROW 1/2 TO 1 INCH.

Note

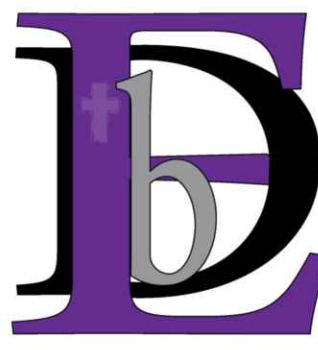
THE OWNER/DEVELOPER, THEMSELVES OR THROUGH THE USE OF INDIVIDUAL CONTRACTORS, SHALL BE HELD TOTALLY RESPONSIBLE FOR COMPLYING WITH ANY OR ALL APPLICABLE EROSION AND SEDIMENTATION CONTROL AND POLLUTION PREVENTION REQUIREMENTS ESTABLISHED BY FEDERAL, STATE AND LOCAL AGENCIES OR ANY OTHER GOVERNING AGENCY SPECIFICALLY RELATED TO THE PROJECT. THE LOCATION, INSTALLATION, AND MAINTENANCE OF ALL EROSION CONTROL PRACTICES ON THIS PROJECT SHALL BE DONE IN COMPLETE ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (FOR THE PROJECT) AND OPDES GENERAL PERMIT OKR-10.



EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN.

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CONSULTANTS



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10700 Myers Ln, Choctaw, OK 73020
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CA# 7655 - Expires 6/30/2026



DEVELOPMENT ANALYSIS
PROJECT MANAGEMENT
DRAFTING & DESIGN

P.O. Box 548
Bixby, Oklahoma 74008
Phone: (918) 798-8356

PROJECT NAME

Primus Properties
527 West El Paso

Broken Arrow, OK

Project No. 2301

SEAL



REVISIONS

ISSUE DATE 3/24/2025

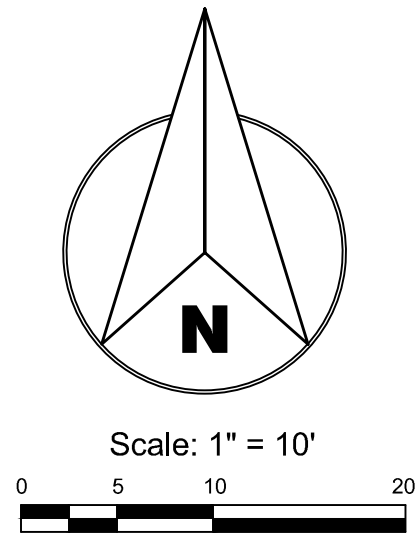
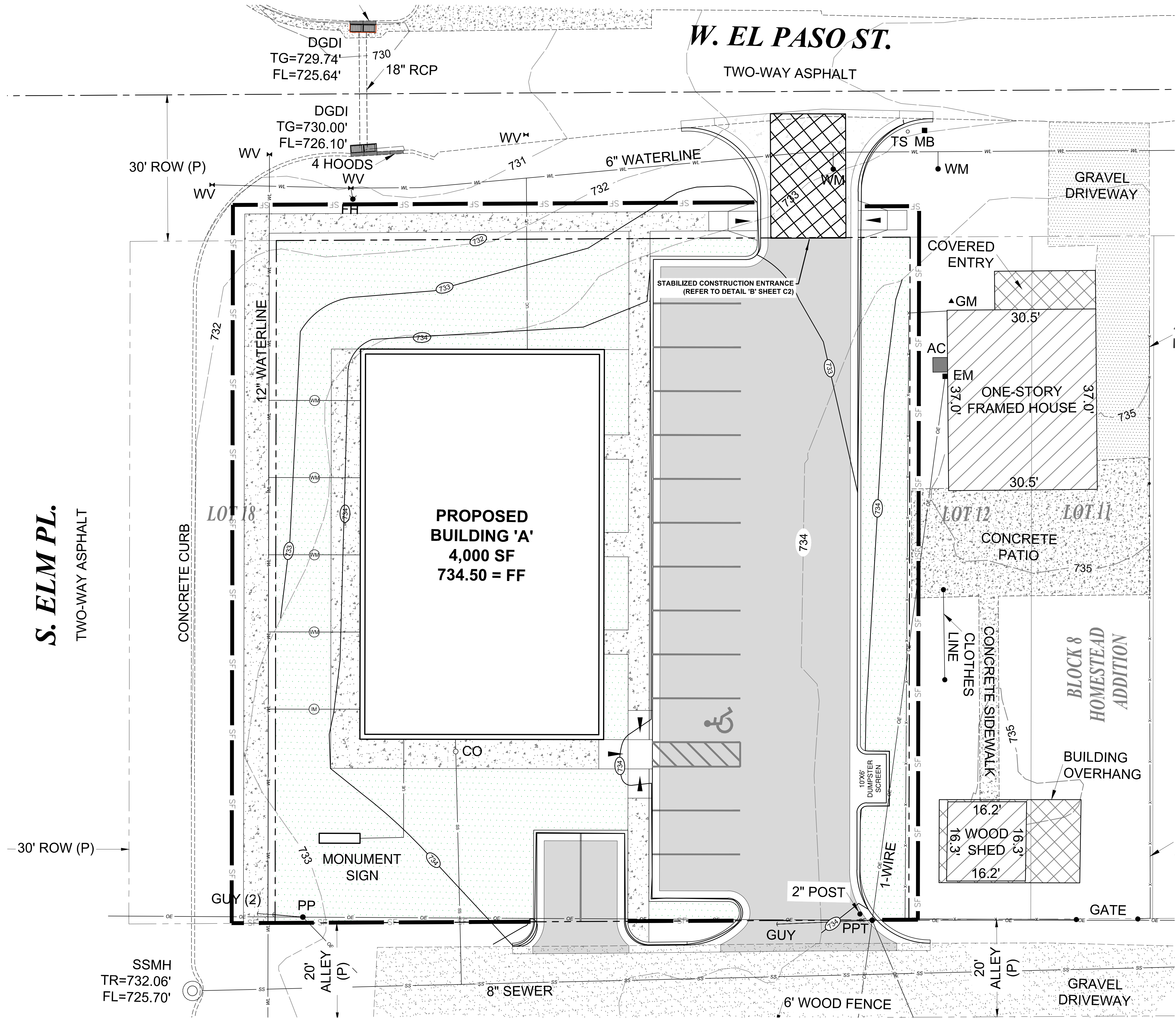
SCALE N/A

SHEET NAME

CONSTRUCTION
NOTES & EROSION
CONTROL DETAILS

SHEET NO.

C2



- Sheet Legend**
- PROPOSED CONTOURS
 - EXISTING CONTOURS
 - SILT FENCE (REFER TO DETAIL 'A' SHEET C2)

TOTAL AREA DISTURBED:
0.42 ACRES

**ALL NON-PAVED DISTURBED
AREAS TO BE SOLID SLAB SOD
UPON COMPLETION OF
CONSTRUCTION**

Construction Schedule

| | |
|-------------------------|-------------|
| EARTHWORK | APRIL 2025 |
| SITEWORK | MAY 2025 |
| PAVING & SIDEWALKS | JUNE 2025 |
| CLEANUP & STABILIZATION | AUGUST 2025 |



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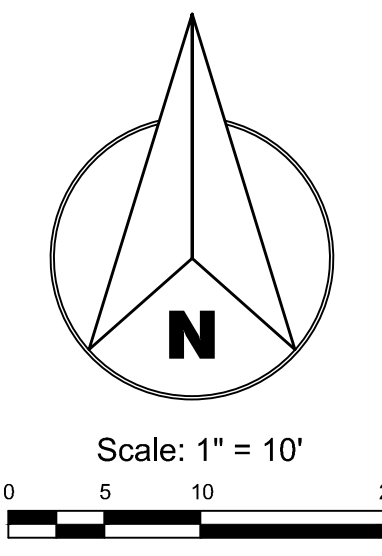
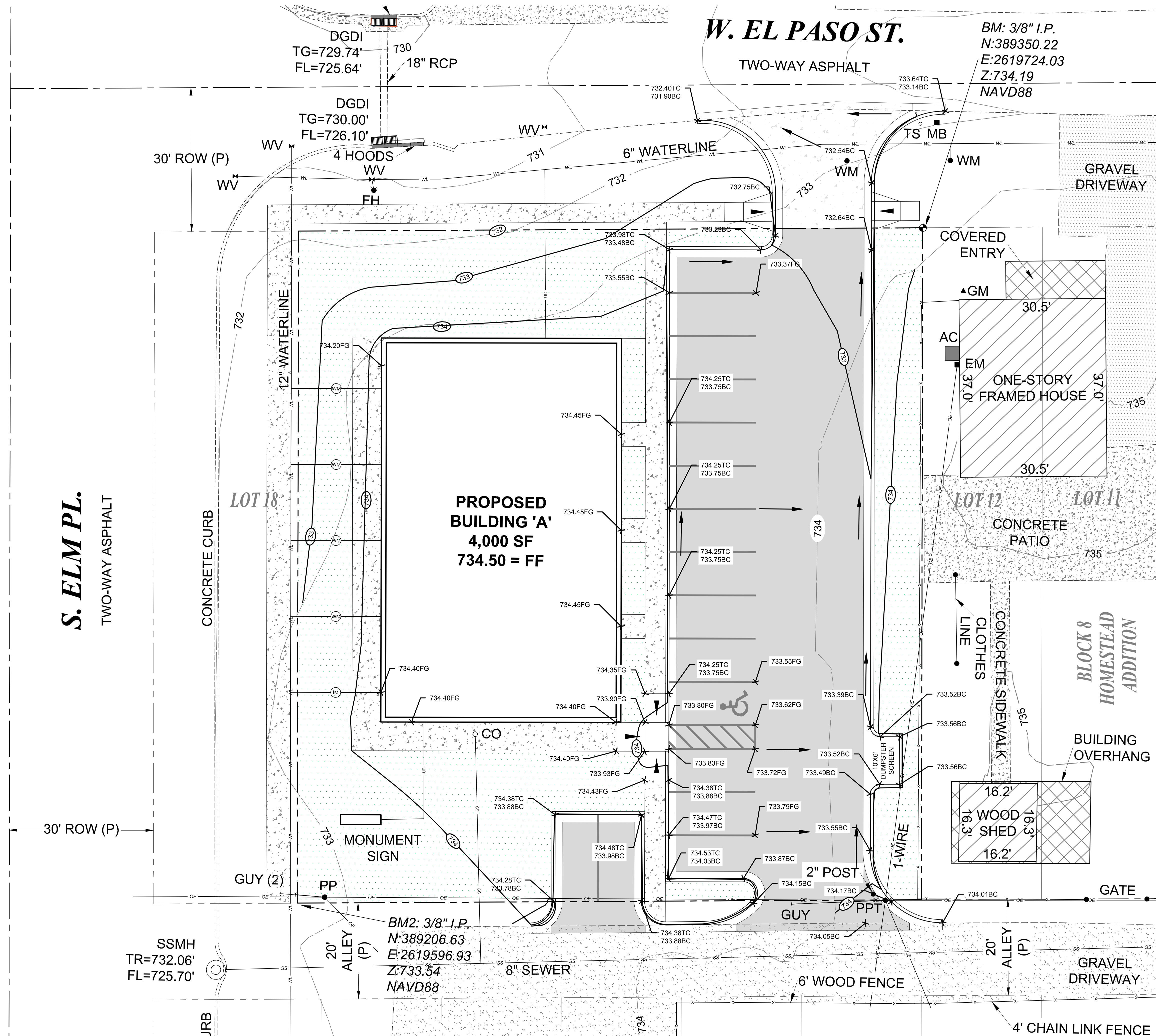
527 West El Paso

Broken Arrow, OK
Project No. 2301



REVISIONS

| | |
|------------|--|
| ISSUE DATE | 3/24/2025 |
| SCALE | 1"=10' |
| SHEET NAME | OVERALL GRADING & EROSION CONTROL PLAN |
| SHEET NO. | C3 |



| Sheet Legend | |
|--------------|---------------------------|
| 733.75BC | BOTTOM OF CURB ELEVATION |
| 734.25TC | TOP OF CURB ELEVATION |
| 734.50TP | TOP OF PAVEMENT ELEVATION |
| 733.62FG | FINISHED GRADE ELEVATION |
| ➔ | FLOW DIRECTION |

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SCALE 1"=10'

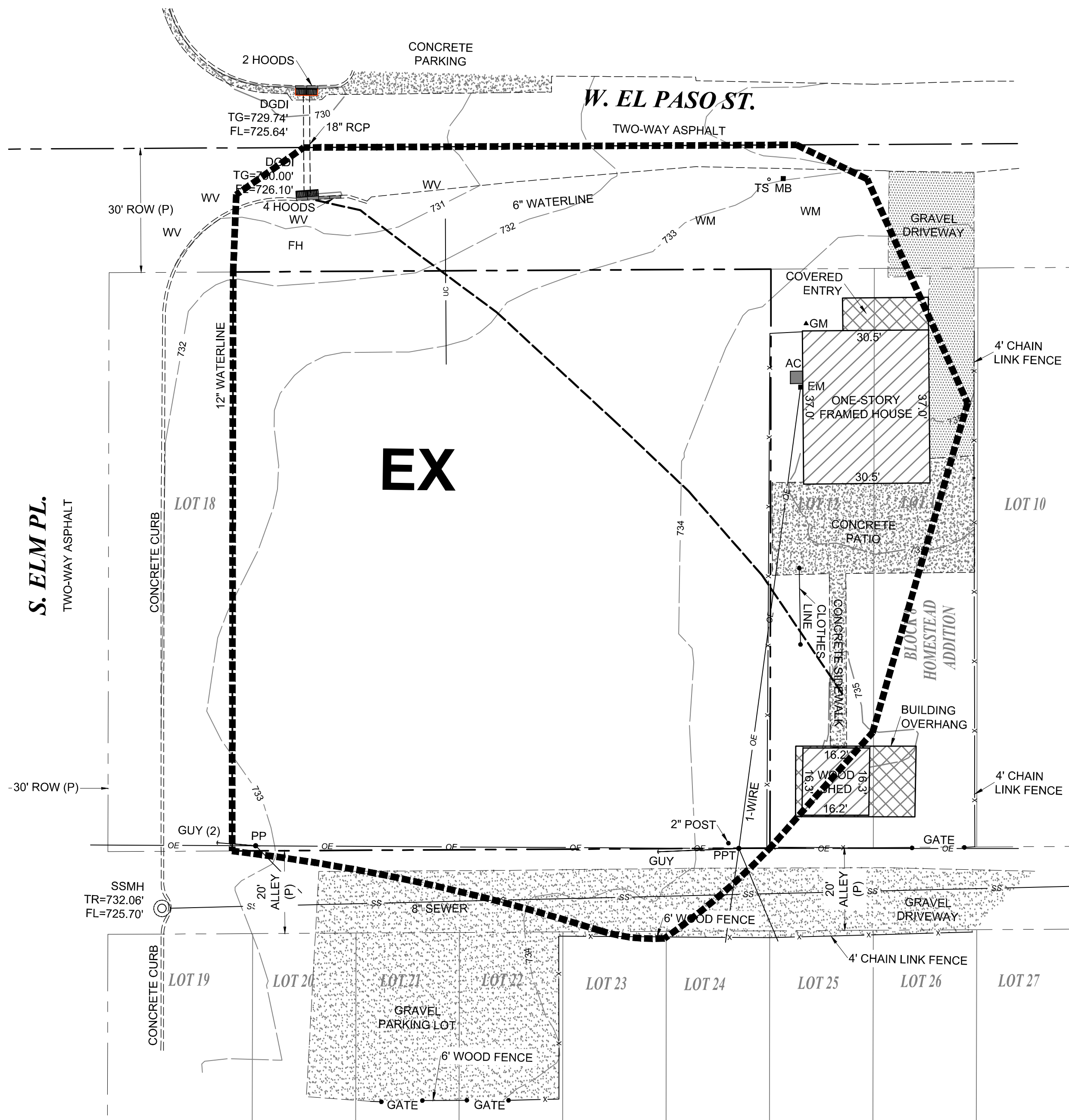
SHEET NAME

DETAILED GRADING PLAN

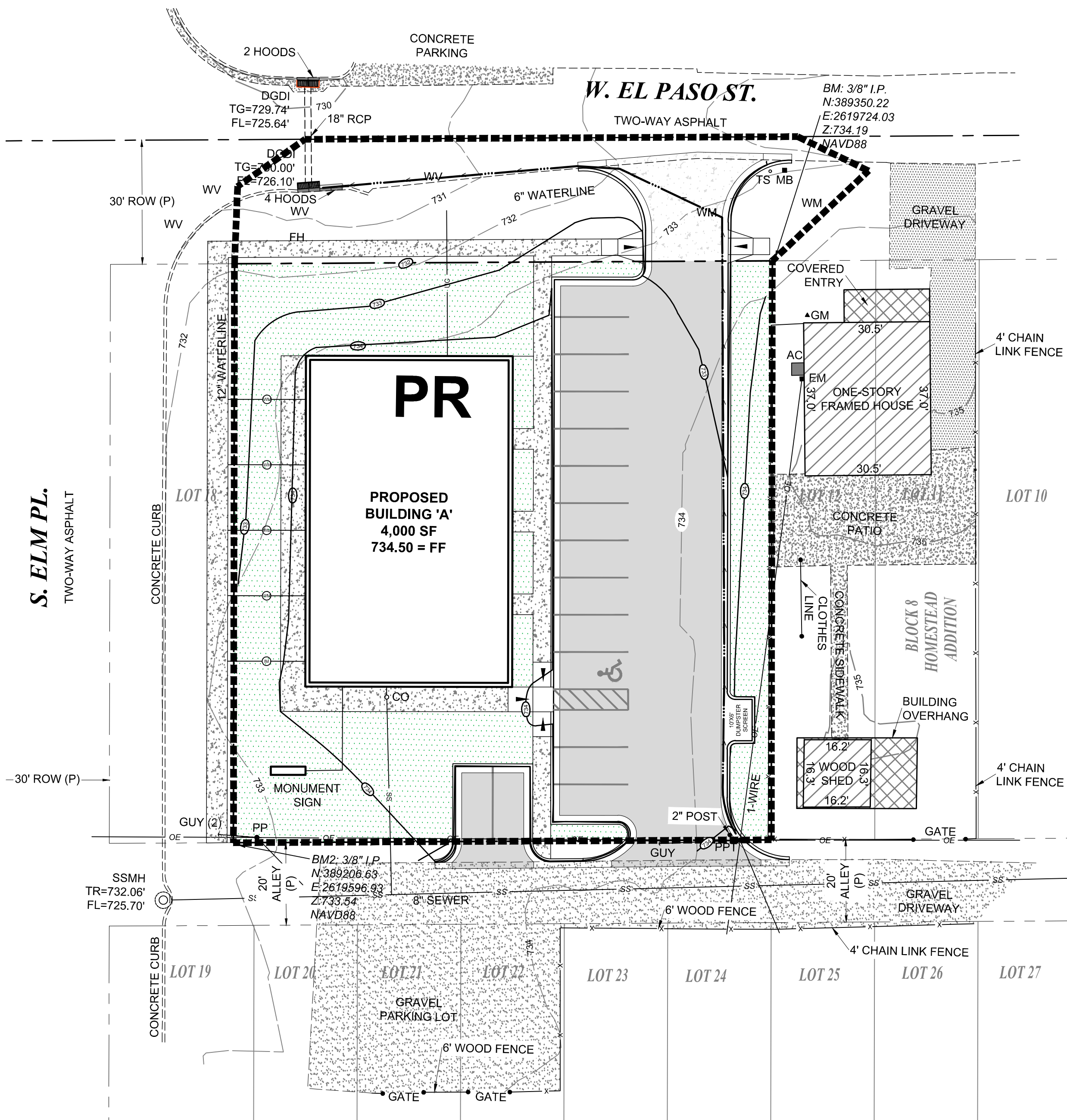
SHEET NO.

C4

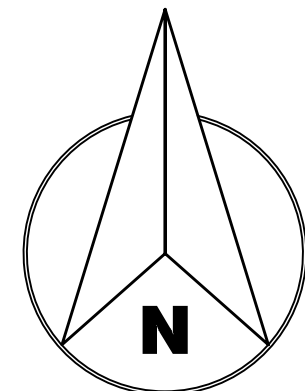
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Pre-Development Drainage Map
SCALE: 1"=20'



Post-Development Drainage Map
SCALE: 1"=20'



Scale: 1" = 20'
0 10 20 40

Sheet Legend

- X DRAINAGE AREA LABEL
- DRAINAGE AREA BOUNDARY
- OVERLAND / WATERWAY DRAINAGE PATH
- PAVEMENT DRAINAGE PATH

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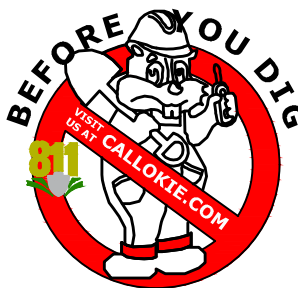
SEAL



REVISIONS

(RATIONAL METHOD)
Drainage Summary Table

| D.A. BASIN LABEL | INLET LABEL | AREA (ACRES) | C WEIGHTED | OVERLAND REACH | OVERLAND SLOPE | OVERLAND VELOCITY | WATERWAY REACH | WATERWAY SLOPE | WATERWAY VELOCITY | PWMT REACH | PWMT SLOPE | PWMT VELOCITY | TOTAL T _c (MIN) | INTENSITY (IN/H) | Q ₁₀₀ (CFS) | DESIGN V ₁ (SUM) | % SLOPE @ INLET | DEPTH @ INLET | WIDTH IN STREET | CLOGGING FACTOR | INLET INTERCEPT | INLET BYPASS | BYPASS TO INLET | INLET DESIGN |
|------------------|-------------|--------------|------------|----------------|----------------|-------------------|----------------|----------------|-------------------|------------|------------|---------------|----------------------------|------------------|------------------------|-----------------------------|-----------------|---------------|-----------------|-----------------|-----------------|--------------|-----------------|--|
| Ex | Ex | 0.626 | 0.40 | 150 | 2.7 | 1.14 | 27 | 1.0 | 1.61 | - | - | - | 2.46 | 12.17 | 3.0 | 3.0 | SUMP | - | - | - | - | - | - | PRE-DEVELOPMENT FLOW |
| Pr | Pr | 0.513 | 0.40 | 150 | 2.0 | 0.99 | - | - | - | 249 | 1.67 | 2.63 | 4.10 | 11.33 | 2.3 | 3.0 | SUMP | - | - | - | - | - | - | POST-DEVELOPMENT FLOW (PRIOR TO DETENTION) |

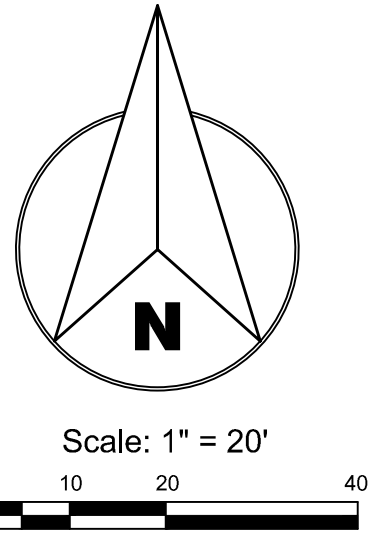
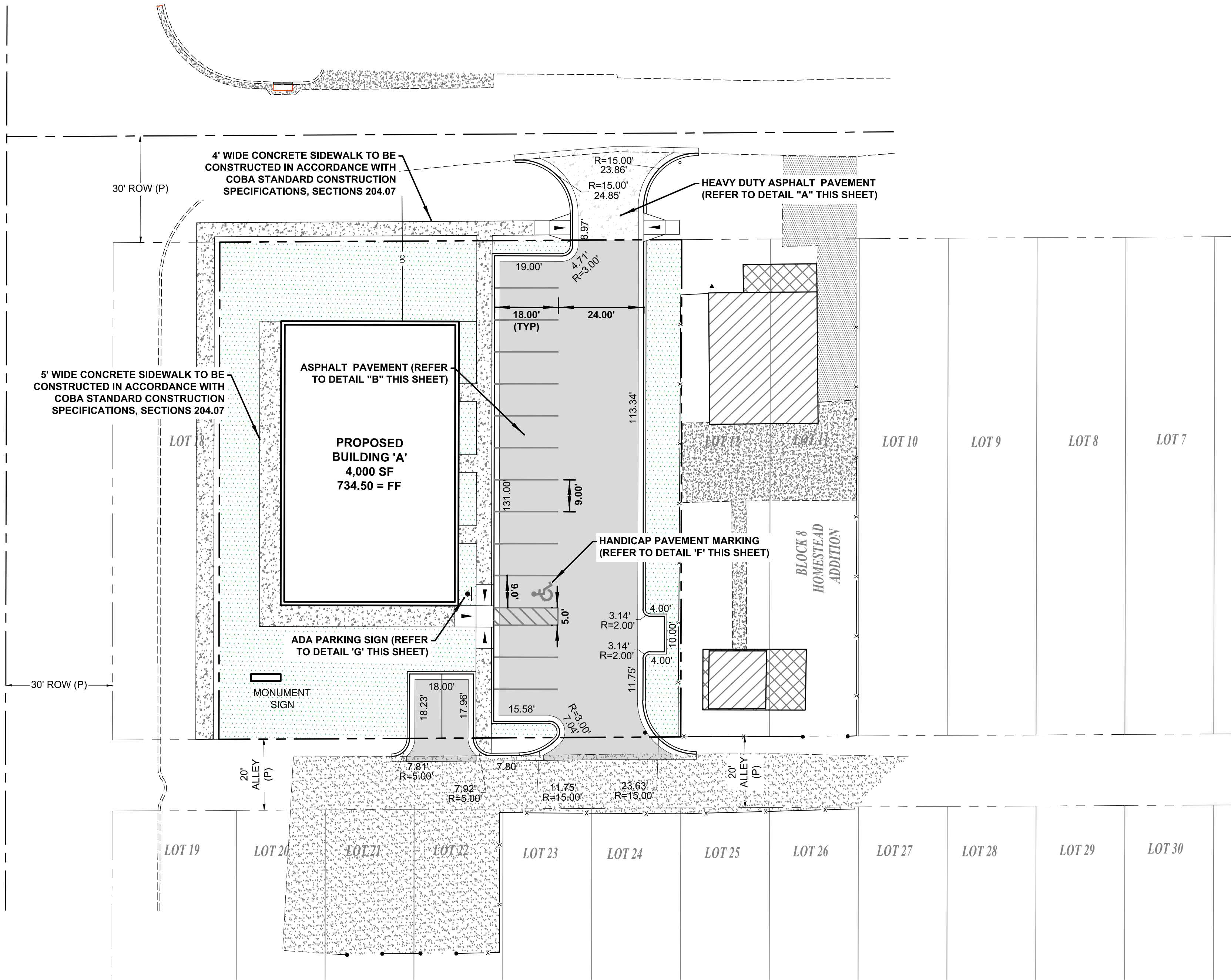


EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN.
ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BROKEN ARROW ENGINEERING STANDARD SPECIFICATIONS, INCLUDING O.D.O.T. 2009 EDITION AND APPLICABLE SUPPLEMENTS.

SHEET NO.

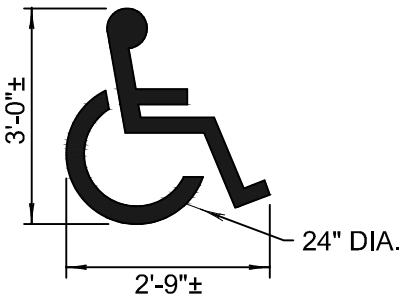
DRAINAGE
AREA MAPS

C5



Sheet Legend

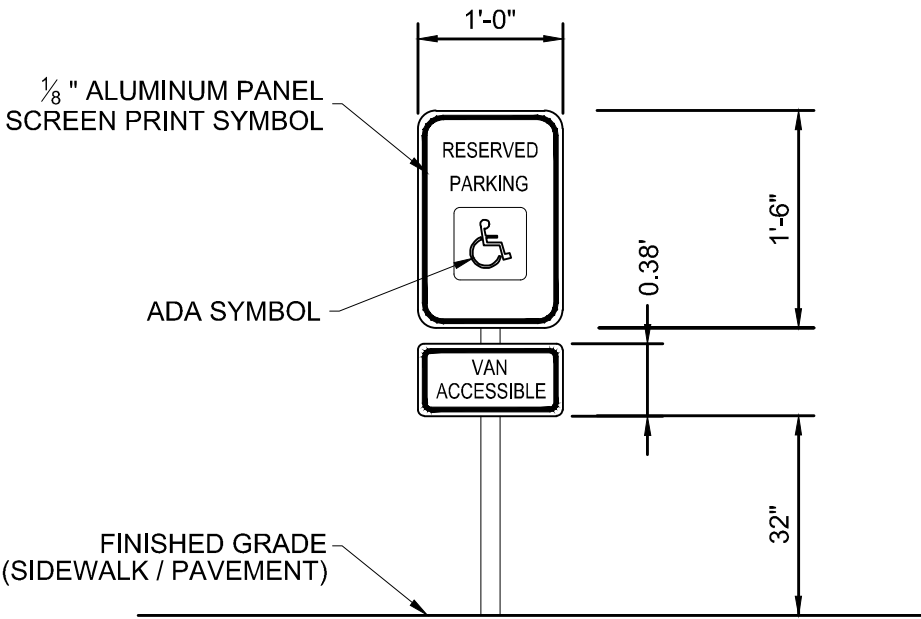
- FLOW AWAY CURB (REFER TO DETAIL 'D' THIS SHEET)
- "HD" CONCRETE PAVEMENT SECTION (REFER TO DETAIL 'A' THIS SHEET)
- ASPHALT PAVEMENT SECTION (REFER TO DETAIL 'B' THIS SHEET)
- "HD" ASPHALT PAVEMENT SECTION (REFER TO DETAIL 'H' THIS SHEET)



HANDICAPPED PARKING IDENTIFICATION LOGO TO BE CENTERED AND PAINTED ON STALL (SEE PLAN FOR LOCATION)

F Handicap Pavement Marking

SCALE: NONE



- NOTE:
HANDICAPPED PARKING SIGNS SHALL:
- BE CENTERED IN THE ADA SPACE.
 - HAVE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON THEM ONE OF THE SIGNS SHALL HAVE THE STATEMENT "VAN ACCESSIBLE" BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 - SIGN TO BE MINIMUM OF 32 INCHES ABOVE SIDEWALK / PAVEMENT.

G ADA Parking Sign Detail

SCALE: NONE



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CONSULTANTS



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10700 Myers Ln, Choctaw, OK 73020
Ph: 405-234-0980
CA# 7655 - Expires 6/30/2026



P.O. Box 548
Bixby, Oklahoma 74008
Phone: (918) 798-8356

PROJECT NAME

Primus Properties
527 West El Paso

Broken Arrow, OK
Project No. 2301

SEAL



REVISIONS

ISSUE DATE 3/24/2025

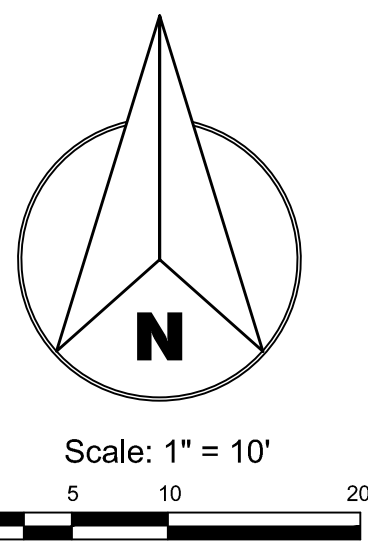
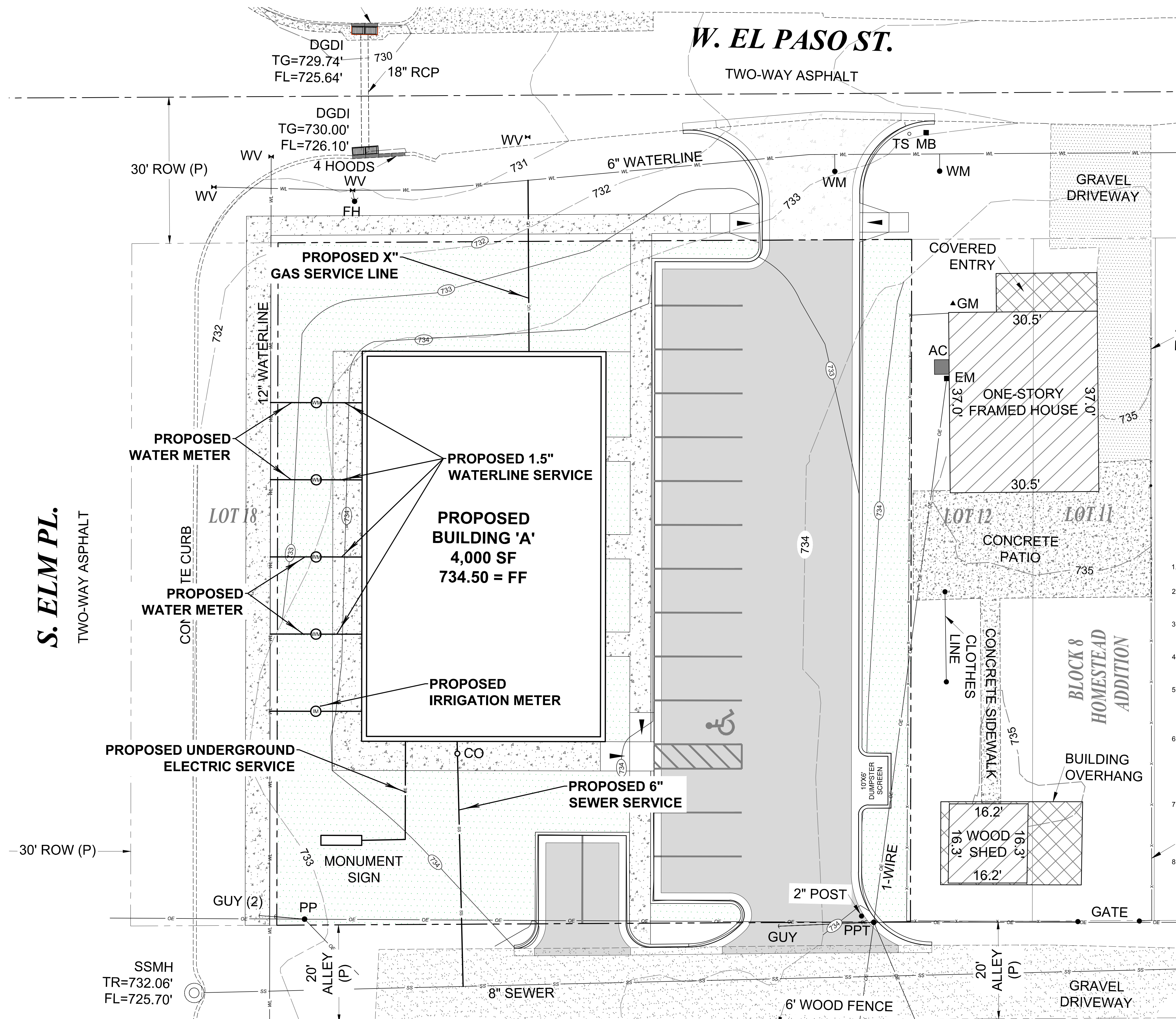
SCALE 1"=20'

SHEET NAME

PAVING PLAN

SHEET NO.

C6



Sheet Legend

CO SANITARY SEWER CLEANOUT

- Utility Notes**
1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF BROKEN ARROW STANDARDS AND SPECIFICATIONS.
 2. ALL TRENCHES SHALL BE BACKFILLED PER UTILITY COMPANY SPECIFICATIONS AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY UNLESS OTHERWISE INDICATED.
 3. CONSULT MEP PLANS FOR CONTINUATION OF UTILITY LINES INTO BUILDING. VERIFY LOCATIONS OF UTILITY ENTRY, INVERT ELEVATIONS AND SIZE OF REQUIRED SERVICE LINES.
 4. NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO ANY EXCAVATION.
 5. THE CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY FOR TELEPHONE SERVICE. A 4" SCHEDULE 40 WHITE PVC WITH PULL LINE SHALL BE INSTALLED AS SHOWN. SWEEPING 90'S SHALL BE USED AT THE POLE AND BUILDING. A MINIMUM COVER OF 24" SHALL BE MAINTAINED AT ALL LOCATIONS.
 6. THE CONTRACTOR SHALL COORDINATE WITH AEP / PSO FOR ELECTRICAL SERVICE. A 4" SCHEDULE 40 GRAY PVC WITH PULL LINE SHALL BE INSTALLED AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR THE TRANSFORMER PAD, ALL CONDUIT AND TRENCHING, AND ALL SECONDARY WIRING NECESSARY. THE METER SHALL BE BUILDING MOUNTED AND LOCATED AS DIRECTED BY AEP / PSO. PSO WILL PROVIDE ALL PRIMARY WIRE AND THE TRANSFORMER.
 7. THE CONTRACTOR SHALL PROVIDE A DOMESTIC WATER SERVICE AS SHOWN. A MINIMUM COVER OF 36" SHALL BE MAINTAINED AT ALL LOCATIONS. ALL FLUSHING, TESTING, AND CHLORINATION SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE CITY OF BROKEN ARROW ACCORDING TO THEIR SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH TESTING AND CHLORINATION.
 8. THE CONTRACTOR SHALL PROVIDE A SANITARY SEWER SERVICE AS SHOWN. ALL FLUSHING AND TESTING SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE CITY OF BROKEN ARROW ACCORDING TO THEIR SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH TESTING. ALL EXTERIOR CLEANOUT PLUGS SHALL BE BRASS OR STAINLESS STEEL CONFORMING TO ASTM A74. ANY CLEANOUTS AND PLUGS WITHIN PAVED AREAS AND SIDEWALKS SHALL BE HS-20 LOAD RATED.



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SCALE 1"=10'

SHEET NAME

UTILITY PLAN

SHEET NO.

C7