DEPARTMENT OF ENGINEERING SERVICES TOWN OF HUNTINGTON, NEW YORK SITE AND DRAINAGE REQUIREMENTS

Application I.D. #: RBLD-24-20382 SCTM#: 0400-273.00-03.00-064.000

Location: 0 BAGATELLE RD. MELVILLE, NY 11747

Date: May 14, 2025

<u>DESCRIPTION OF PROJECT: Erect 2-Story One-Family Dwelling Over Unfinished</u>

<u>Basement with 2 Egress Windows, Rear Balcony, Front R/O, 2 HVAC,</u>

<u>3 Car Att. Garage - SCDHS 6 Bedrooms Max</u>

DRYWELL-DRAINAGE REQUIRED AS PER APPROVED BUILDING PLANS

The items below are necessary requirements that must be completed before a Certificate of Occupancy can be issued.

INSPECTION OF THESE SITE/DRAINAGE ITEMS WILL BE CONDUCTED BY AN ENGINEERING INSPECTOR. THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING INSPECTIONS

PLEASE EMAIL: bldginspect@huntingtonny.gov

TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL: plmbinspect@huntingtonny.gov

TO SCHEDULE PLUMBING INSPECTIONS

PERMITS ISSUED AFTER MARCH 21, 2024 CAN SCHEDULE THROUGH THE PORTAL / CLICK INSPECTIONS TO SCHEDULE NEW APPOINTMENT AND FOLLOW DIRECTIONS.

A HIGHWAY WORK PERMIT IS REQUIRED FOR ANY WORK DONE ON AN EXISTING TOWN ROAD AND/OR RIGHT-OF-WAY, INCLUDING DRIVEWAYS & CURB CUTS CALL THE HIGHWAY DEPARTMENT (631) 351-3075

NO FRAMING SHALL COMMENCE UNTIL A FOUNDATION SURVEY HAS BEEN SUBMITTED AND APPROVED BY THE TOWN FOR LOCATION AND ELEVATION *(TOWN CODE SECTION 87-17(C))*

PROPERTY TO BE DEVELOPED PER APPROVED PLANS & THE FOLLOWING REQUIREMENTS

- THE APPLICANT/OWNER IS RESPONSIBLE FOR FILING/OBTAINING ALL NECESSARY WORK PERMITS AND AUTHORIZATIONS REQUIRED FOR THIS PROJECT. THIS INCLUDES BUT IS NOT NECESSARILY LIMITED TO HIGHWAY /RIGHT-OF-WAY WORK PERMITS, SIGN PERMITS, SUFFOLK COUNTY-HEALTH SERVICES PERMITS AND/OR NEW YORK STATE PERMITS.
- NOOF LEADERS AND/OR OTHER IMPERVIOUS SURFACES SHALL CONNECT TO DRYWELLS WITH AN OVERALL CAPACITY OF: Drywell calculations as per approved building plan.

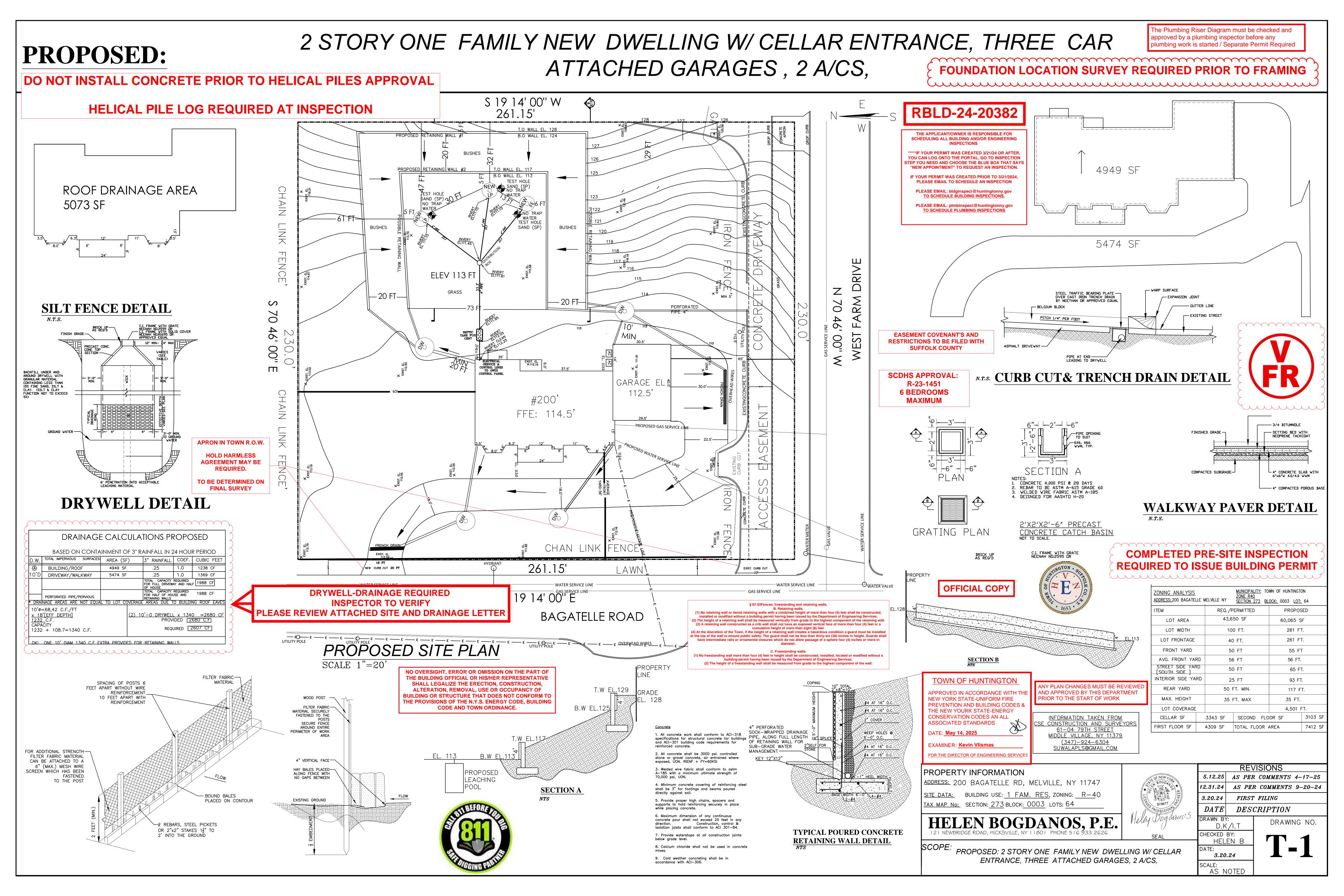
- > A FINAL SURVEY WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. (SEE ATTACHED FOR SURVEY REQUIREMENTS.)
- > CHANGES IN BUILDING AND/OR GRADE ELEVATIONS MAY NULL & VOID BUILDING PERMIT.
- > RETAINING WALLS FOUR (4) FEET AND OVER IN HEIGHT REQUIRES A SEPARATE BUILDING PERMIT THAT IS SUBJECT OF APPROVAL OF PLANS.
- > SUPPLY OR RESTORE TOPSOIL TO DISTURBED AREAS FOR A MINIMUM DEPTH OF SIX (6) INCHES.
- > SUITABLY STABILIZE ALL DISTURBED AREAS WITH ACCEPTABLE VEGETATION.
- THE APPLICANT/OWNER IS RESPONSIBLE FOR PREVENTING EROSION, STORM WATER RUNOFF & SEDIMENTATION FROM PRESENTING PROBLEMS TO NEIGHBORING PROPERTIES, WATERWAYS OR PUBLIC ROADS.
- ON SLOPING TERRAIN, THE OWNER IS CAUTIONED TO BE PARTICULARLY CAREFUL IN GRADING THE PROPERTY TO AVOID DAMAGE TO ADJACENT PROPERTY. MAXIMUM SLOPES ON PLOT GRADING SHALL BE ONE VERTICAL ON THREE HORIZONTAL UNLESS OTHERWISE AUTHORIZED BY THE DIRECTOR.
- THE APPLICANT/OWNER OF A PROPERTY ON WHICH A RETAINING WALL IS BUILT WILL BE EXCLUSIVELY RESPONSIBLE FOR INSTALLATION, MAINTENANCE, UPKEEP AND REPAIR OF ANY REQUIRED GUARDRAILS, HANDRAILS AND FENCES REGARDLESS OF DIRECTIONALITY OF SOIL RETENTION.
- ➤ PROPOSED DRIVEWAY GRADES SHALL NOT EXCEED 8% UNLESS APPROVED BY THE DIRECTOR PRIOR TO CONSTRUCTION.
- > IT SHALL BE UNLAWFUL FOR ANY PROJECT SITE TO LEAVE AND/OR MAINTAIN A STOCKPILE OF FILL OR OTHER MATERIAL, OR AN EXCAVATION OR TRENCH IN AN OPEN, OR UNSECURED, OR DANGEROUS, OR HAZARDOUS CONDITION OR PLACE. SUCH PILE, EXCAVATION OR TRENCH SHALL BE EFFECTIVELY AND SAFELY & PROPERLY FENCED, SHORED OR BARRICADED.
- EXISTING STREET TREES, CURB, SIDEWALK, AND ROADWAY SURFACE DAMAGED DURING CONSTRUCTION MUST BE REPLACED OR REPAIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ➤ THE APPLICANT/OWNER IS RESPONSIBLE FOR CONTAINING ALL WORK, GROUND DISTURBANCES, CONSTRUCTION MATERIALS/ DEBRIS AND LABOR ON THE PROJECT OWNER'S OWN PROPERTY.
- ALL WORK SHALL BE COMPLETED IN A TIMELY MANNER. IN THE EVENT THAT WORK IS SUSPENDED, HALTED OR TEMPORALLY STOPPED FOR ANY REASON THE SITE SHALL BE SUITABLY STABILIZED AND THE TOWN OF HUNTINGTON NOTIFIED.
- NEW STREET TREES, IF SHOWN ON THE APPROVED SITE PLAN, MUST BE INSTALLED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL SITE IMPROVEMENTS (GRADING, RETAINING WALLS, DRAINAGE STRUCTURES) ARE TO BE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND MUST BE INSPECTED BY A TOWN ENGINEERING INSPECTOR PRIOR TO BACKFILL

**FINAL SURVEY:

Upon completion of the project a final survey containing the following information must be submitted and approved by the department before a C of O (certificate of occupancy) will be issued.

- 1) The finished grade elevations at all foundation corners. (Including attached garages.)
- 2) The first floor and garage slab elevations.
- 3) The driveway configuration and street access location.
- 4) Front, rear and side yard setbacks from the structure to the property lines (This includes all attached structures such as <u>DECKS</u>, <u>PORCHES</u>, <u>STOOPS AND BASEMENT</u> ENTRYWAYS/WINDOW WELLS.
- 5) The exterior building dimensions. (This includes all attached structures such as <u>DECKS</u>, <u>PORCHES</u>, <u>STOOPS AND BASEMENT ENTRYWAYS</u>.)
- 6) Any structure(s) or geographical feature(s) required or incorporated into the site plan that were/are necessary for the approval of this project. This includes but is not limited to retaining walls, berms, swales or grading. (Elevations of these features are required)

^{**}The Final Survey must be prepared by and bear an original seal and signature of a New York State licensed Land Surveyor or a Professional Engineer with the proper land surveying endorsements.



GENERAL NOTES

LIST OF DRAWINGS

- T-1 TITLE PAGE, SITE PLAN, ZONING CALCS, AREA DIAGRAMS, DRAINAGE CALCS
- T-2 PLUMBING & GAS RISER DIAGRAM, GENERAL NOTES,
- CONSTRUCTION LEGEND F-1 FOUNDATION PLAN
- F-2 DETAILS FOR PILES
- F-3 LOADS FOR PILES
- A-1 BASEMENT PLAN
- A-2 ARCHITECTURAL FIRST FLOOR
- A-3 ARCHITECTURAL SECOND FLOOR
- A-4 ROOF PLAN A-5 FRONT ELEVATION
- A-6 RIGHT ELEVATION
- A-7 REAR ELEVATION
- A-8 LEFT ELEVATION
- A-9 SECTION A & DETAIL A-10 SECTION B
- S-1 FIRST FLOOR STRUCTURAL
- S-2 SECOND FLOOR STRUCTURAL
- S-3 STRUCTURAL ATTIC PLAN S-4 ROOF STRUCTURAL PLAN
- D-1, D-2, D-3, D-4, D-5 TYPICAL DETAIL

SITE CONSTRUCTION LEGEND

LOCATION OF NEW MAIN ENTRANCE TO THE FACILITY

NEW EXIT-ONLY DOOR

DIRECTIONAL PAVEMENT TRAFFIC ARROW MARKINGS

EXISTING SPOT ELEVATIONS AS PER OFFICIAL SURVEY EL. 84.5' x NEW SPOT ELEVATIONS

BC. 83.00

NEW TOP AND BOTTOM OF CURB ELEVATIONS

PARKING STALL COUNT IN A BAY NEW BUILDING-MOUNTED ADA SIGN NEW SINGLE POLE-MOUNTED SIGN NEW DRAINAGE INLET AND

STRUCTURE ELEVATION

 ${f W}$ — ${f W}$ — water line

---- 4" GAS SERVICE LINE



1264.4 IDENTIFICATION OF TRUSS TYPE CONSTRUCTION.

TRUSS TYPE CONSTRUCTION SHALL BE IDENTIFIED BY A SIGN OR SIGNS IN ACCORDANCE WITH THE PROVISIONS OF THIS PART. (B) SIGNS SHALL BE AFFIXED WHERE A BUILDING OR A PORTION THEREOF IS CLASSIFIED AS GROUP A, B, E, F, H, I, M, OR S OCCUPANCY, AND IN HOTELS AND MOTELS CLASSIFIED AS GROUP R-1 OR R-2 OCCUPANCY, IN ACCORDANCE WITH THE PROVISIONS FOR THE CLASSIFICATION OF BUILDINGS SET FORTH IN CHAPTER 3 OF THE BUILDING CODE OF NEW YORK STATE (SEE 19 NYCRR PART 1221). (C) SIGNS SHALL BE PROVIDED IN NEWLY CONSTRUCTED BUILDINGS THAT UTILIZE TRUSS TYPE CONSTRUCTION AND IN EXISTING BUILDINGS WHERE AN ADDITION THAT EXTENDS OR INCREASES THE FLOOR AREA OF THE BUILDING UTILIZES TRUSS TYPE CONSTRUCTION. SIGNS SHALL BE AFFIXED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLIANCE. (D) SIGNS IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONSIST OF A CIRCLE 6 INCHES (152.4 MM) IN DIAMETER, WITH A STROKE WIDTH OF 1/2 INCH (12.7 MM). THE SIGN BACKGROUND SHALL BE REFLECTIVE WHITE IN COLOR. THE CIRCLE AND CONTENTS SHALL BE REFLECTIVE RED IN COLOR, CONFORMING TO PANTONE MATCHING SYSTEM (PMS) #187. WHERE A SIGN IS DIRECTLY APPLIED TO A DOOR OR SIDELIGHT, IT MAY BE A PERMANENT NON-FADING STICKER OR DECAL. SIGNS NOT DIRECTLY APPLIED TO DOORS OR SIDELIGHTS SHALL BE OF STURDY, NON-FADING, WEATHER RESISTANT MATERIAL. (E) SIGNS IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONTAIN THE ROMAN ALPHANUMERIC DESIGNATION OF THE CONSTRUCTION TYPE OF THE BUILDING, IN ACCORDANCE WITH THE PROVISIONS FOR THE CLASSIFICATION OF TYPES OF CONSTRUCTION SET FORTH IN SECTION 602 OF THE BUILDING CODE OF NEW YORK STATE (SEE 19 NYCRR PART 1221), AND AN ALPHABETIC

‰√SHALL MEAN FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS % + SHALL MEAN ROOF FRAMING

DESIGNATION FOR THE STRUCTURAL COMPONENTS THAT ARE OF

% FR + SHALL MEAN FLOOR AND ROOF FRAMING

TRUSS CONSTRUCTION, AS FOLLOWS:

THE CONSTRUCTION TYPE DESIGNATION SHALL BE PLACED AT THE TWELVE OCLOCK POSITION OVER THE STRUCTURAL COMPONENT DESIGNATION, WHICH SHALL BE PLACED AT THE SIX OCLOCK

(F) SIGNS IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL BE AFFIXED IN THE LOCATIONS SPECIFIED IN TABLE I-1264.

ADMINISTRATIVE NOTES

THE ISSUANCE OF THE BUILDING PERMIT.

THESE PLANS MUST BE APROVED BY THE LOCAL MUNICIPALITY AND A PERMIT BE ISSUED BEFORE WORK BEGINS.

THE ENGINEER, DRAFTSMAN OR EXPEDITOR WILL NOT BE HELD RESPONSIBLE FOR DEFECTS IN MATERIALS, STRUCTURE OR SUBSTANDARD CONSTRUCTION PRACTICES.

THE ENGINEER OF RECORD HAS NOT BEEN RETAINED FOR THE SUPERVISION OF THIS PROJECT.

NO CHANGES WILL BE PERMITTED WITHOUT PRIOR WRITTEN NOTIFICATION OF AND APPROVAL OF THE ENGINEER OF RECORD. NO CONSTRUCTION OR DEMOLITION SHALL COMMENCE PRIOR TO

ALL ELECTRICAL WORK TO BE INSPECTED BY A CERTIFIED ELECTRICAL INSPECTOR.

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE AND INSURANCE CERTIFICATES.

LICENSED PLUMBER TO OBTAIN PERMITS AND INSPECTIONS FOR ALL PLUMBING WORK.

THESE PLANS INDICATE REQUIRED INFORMATION FOR BUILDING DEPARTMENT USE. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALL MATERIALS AND FINISHES

ELECTRIC WORK TO BE IN ACCORDANCE WITH N.E.C. AND TO BE CERTIFIED BY THE NEW YORK BOARD OF FIRE UNDERWRITERS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

NYS CODE NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST BUILDING CODE OF NEW YORK STATE.

GROUND SNOW LOAD IS 20# SQ./FT.

WIND SPEED IS 130 MPH SEISMIC DESIGN CATEGORY "C" AND ASCE 7-98

THIS PROPERTY IS NOT WITHIN ONE MILE FROM SHORE LINE ALL PLUMBING WORK SHALL COMPLY TO THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE CODES, LAWS,

RULES, REGULATIONS AND HEALTH DEPARTMENT REQUIREMENTS. ALL PLUMBING FIXTURES SHALL BE INDIVIDUALLY TRAPPED AND VENTED AS REQUIRED BY THE LATES PLUMBING CODE. CAST IRON PIPE SHALL CONFORM WILL LOCAL CODE REQUIREMENTS AND HAVE APPROVED CLEAN OUTS AND JOINTS.

ALL ELECTRICAL OUTLETS, SWITCHES, LIGHTS AND WIRING SHALL BE U.L. CERTIFIED AND INSTALLED IN COMPLIANCE WITH NEC AND LOCAL ELECTRICAL CODES.

ALL INTERIOR DOORS ARE TO CONFORM WITH THE LATEST INTERNATION RESIDENTIAL CODE

ALL HEATING AND COOLING DESIGNS SHALL CONFORM WITH A.S.H.R.A.E. EGRESS WINDOW CODE:

MINIMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF5FT FOR FIRST FLOOR& 5.7 SQUARE FEET. (SECOND FLOOR)

EXCEPTION GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.

MINIMUM OPENING HEIGHT. THE MINIMUM OPENING HEIGHT SHALL BE 24 INCHES.

SHALL BE 20 INCHES. OPERATIONAL CONSTRAINTS. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH

GENERAL BUILDING NOTES

ALL FINISH MATERIALS TO HAVE CLASS "A" FLAME SPREAD RATING WINDOWS AND DOORS SHALL BE PROPERLY FLASHED AT HEADS AND PROPERLY SEALED AND WEATHER -STRIPPED.

ALL GYPSUM SHALL BE TAPED AND SPACKLED (3 COATS) READY FOR PAINT. 1/2 INCH SHEETROCK FOR ALL WALLS & CEILING'S . 5/8 TYPE X FOR ALL GARAGE AND MECHANICAL ROOMS. 1/2 INCH M/R GREENBOARD FOR ALL BATHROOMS.

ALL STRUCTURAL STEEL TO BE ASTM A36

AT LEAST ONE SINGLE STATION SMOKE DETECTING ALARM DEVICE INSTALLED IN CONFORMITY WITH SECTION R 317 IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA AND ON EACH STORY -INTERCONNECTED.

INSTALL ALL WINDOWS NOT MORE THAN 44" ABOVE FLOOR. AREA OF WINDOWS AND SKYLITES SHALL BE 8% OF EXTERIOR WALL

GLAZING IN DOORS, SHOWER DOORS AND ENCLOSURES SHALL BE SIZED AND CONSTRUCTED OF MATERIALS AS TO MINIMIZE THE POSSIBILITY OF INJURY TO PERSONS IN THE EVENT THAT THE GLAZING IS BROKEN OR DAMAGED.

ROOF RAFTERS AND CRAWL SPACES TO BE VENTED AS PER N.Y.S.

ALL STAIRS SHALL HAVE HANDRAILS IN ACCORDANCE WITH IBC PROVIDE FIRE STOPS TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL & HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE.

NO SLEEPING OR COOKING ROOMS PERMITTED IN CELLAR

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING **CODE AND TOWN ORDINANCE.**

FRAMING NOTES

ALL WOOD FRAMING, INCLUDING JOISTS, BEAMS, POSTS, STUDS ETC. TO BE DOUGLAS FIR ,

ALL MICROLAM LUMBER IS TO BE MANUFACTURED BY GEORGIA PACIFIC ENGINEERED LUMBER OR APPROVED EQUAL

WINDOWS AND DOORS HAVE TO BE AT LEAST 6" FROM GYPSUM-BOARD OF THE ROOM CORNERS TO ALLOW FOR MOLDINGS AND TRIM

DOUBLE ALL FLOOR JOISTS UNDER ALL JACUZZIS ALL PLUMBING ("WET") WALLS TO BE FRAMED WITH 2x6 FRAME OR WIDER

LINE UP ALL POSTS AND ENGINEERING COLUMNS IN WALLS WITH WALL STUDS

ALLOW A MINIMUM OF 18' BETWEEN BOTTOM OF FLOOR JOIST AND TOP OF SCREED COAT OR PROVIDE CCA. LUMBER.

PROVIDE DOUBLE HEADERS AT ALL FLOOR CEILING, STAIR AND ROOF OPENINGS ALL HEADERS TO BE A MINIMUM OF (2) 2 X 8 UNLESS OTHERWISE NOTED ON PLANS. FLOOR JOISTS SHALL BE DOUBLED BENEATH ALL PARALLEL PARTITIONS.

WOOD SILLS ON SLAB TO BE 2 2" X 4" PT LUMBER WITH 5/8" DIA. ANCHOR BOLTS MAX. 3' O.C. 12" FROM CORNER.

ALL HEADERS TO BE SUPPORTED BY (2) 2x4 POSTS TYPICAL U.O.N. PROVIDE DOUBLE HEADER AND TRIMMERS AT ALL STAIR AND FLOOR OPENINGS AND UNDER ALL POSTS AND PARTITIONS RUNNING PARALLEL TO SAME.

BRIDGING TO BE EITHER SOLID OR 18 ga. CROSS BRIDGING NOT EXCEEDING 8' O.C. THE TOP AND BOTTOM OF JOISTS MAY BE NOTCHED - NOT TO EXCEED 2". NO NOTCHING AT MIDDLE $\frac{1}{3}$ OF SPAN (D16).

JOISTS HANGERS AND OTHER METAL FASTENERS TO BE 'TECO' OR EQUAL.

ALL STRUCTURAL WOOD MEMBERS TO BE KEPT BACK 2" FROM CHIMNEY. **CONCRETE NOTES**

ALL CONCRETE WORK SHALL CONFORM TO ACI-318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND ACI-301 BUILDING CODE REQUIREMENTS FOR REINFORCED

ALL CONCRETE CAST IN PLACE SHALL HAVE 3500 PSI MINIMUM 28 DAY COMPRESSIVE

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 WITH A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI, UON. ALL FOUNDATIONS AND FOOTINGS SIZED FOR BEARING ON VIRGIN SOIL AT MINIMUM BEARING

CAPACITY OF 2 TONS PER SQ. FT. MINIMUM OF 3" COVER. MINIMUM CONCRETE COVERING OF REINFORCING STEEL SHALL BE 3" FOR FOOTINGS AND BEAMS POURED DIRECTLY AGAINST SOIL.

PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SECURELY IN PLACE WHILE PLACING CONCRETE. MAXIMUM DIMENSION OF ANY CONTINUOUS CONCRETE POUR SHALL NOT EXCEED 20 FEET IN

ANY DIRECTION. CONSTRUCTION. CONTROL & ISOLATION JOISTS SHALL CONFORM TO ACI

PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS BELOW GRADE LEVEL. CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES

PROVIDE RECESSES AS REQUIRED FOR FLOOR FINISHES, SADDLES, ETC.

COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306 NO BACKFILL ALLOWED ON CONCRETE FOUNDATION WALLS UNLESS THE WALLS ARE BRACED EITHER BY FLOOR OR BRACED BY INTERIOR FACE.

THE EXTERIOR SURFACE OF ALL FOUNDATION WALLS BELOW GRADE (EXCLUDING SLABS) SHALL BE DAMPROOFED WITH AN ELASTIC COAL TAR BASE.

FOR ALL 6" POURED CONCRETE SLABS, PROVIDE 6" X 6" 協 WWF OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 6" WELL COMPACTED FILL.

CONCRETE SLAB ON GRADE NOTES

WHERE SLAB ON GRADE IS SUPPORTED ON BACKFILL, THE FILL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING EIGHT INCHES (8") TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FILL MATERIAL SHALL BE LIMITED TO WELL GRADED SAND OR SAND AND GRAVEL MIXTURE WITH LESS THAN 10 TO 15 PERCENT FINES PASSING THE NO. 200 SIEVE AND A MAXIMUM GRAVEL SIZE OF 3 INCHES.

WELDED WIRE FABRIC FOR CONCRETE SLABS ON GRADE SHALL BE PLACED 2" BELOW TOP OF 4. SLAB. LAP SPLICE OVERLAP LENGTH TO BE 8" AND SHALL BE MEASURED BETWEEN THE OUTERMOST CROSS WIRES OF EACH FABRIC SHEET

CONSTRUCT ISOLATION JOINTS IN SLABS-ON-GRADE AT POINTS OF CONTACT BETWEEN SLABS-ON-GRADE AND VERTICAL SURFACES, SUCH AS COLUMN PEDESTALS, FOUNDATION WALLS, GRADE BEAMS, AND OTHER LOCATIONS, AS INDICATED.

CONSTRUCT CONTRACTION (CONTROL) JOINTS IN SLABS-ON-GRADE TO FORM PANELS. UNLESS OTHERWISE SHOWN ON DRAWINGS, PROVIDE JOINTS NOT EXCEEDING 15 FEET IN EITHER DIRECTION AND LOCATED TO CONFORM TO BAY SPACING WHEREVER POSSIBLE (AT COLUMN CENTERLINES, HALF BAYS, THIRD BAYS.)

TO FORM CONTRACTION (CONTROL) JOINTS, USE SAW CUTS 1/8 INCH WIDE BY ONE-FOURTH OF SLAB DEPTH OR INSERTS 1/4 INCH WIDE BY ONE-FOURTH OF SLAB DEPTH, UNLESS OTHERWISE INDICATED.

PROPER CURING PROCEDURE SHALL BE USED FOR SLAB-ON-GRADE TO PREVENT SLAB CURL

STRUCTURAL STEEL NOTES:

DESIGN", LATEST EDITION.

. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION. 2. ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS

3. ALL CONNECTION MATERIAL, PLATES AND ANGLES, SHALL CONFORM TO ASTM A-36 WITH A MINIMUM YIELD STRENGTH OF 36 KSI. 4. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE 1. NEW BUILDINGS TO BE CONSTRUCTED MUST MEET MECHANICAL

ENGINEER FOR REVIEW AND ACCEPTANCE IS GRANTED, HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIC DETAILS SHOWN ON THE DRAWINGS. IN ANY EVENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY ALTERNATE DETAILS WHICH HE PROPOSES.

7. ALL WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS IN ACCORDANCE WITH A.W.S. SPECIFICATIONS, LATEST EDITION.

8. ALL WELDING ELECTRODES, FOR NEW STEEL FABRICATION, SHALL CONFORM TO A.W.S. A5.1 GRADE E-70 BARE ELECTRODES AND GRANULAR FLUX SHALL CONFORM TO A.W.S. A5.17, F-70 A.W.S. FLUX CLASSIFICATION.

BOLTS IN STANDARD HOLES OR SLIP CRITICAL BOLTS IN OVERSIZED OR SLOTTED HOLES. 11. ALL WELDS NOT SPECIFICALLY CALLED OUT SHALL BE AT LEAST THE MINIMUM WELD SIZE AS SPECIFIED BY CURRENT AISC MANUAL OF STEEL DESIGN.

NYS IECC 2018 NOTES

- 1. MINIMUM DOOR U-RATING: U-.40
- 2. MINUMUM WINDOW, SLIDING GLASS DOORS: GRADE 60 LOW E GLASS U-.58
- 3. ALL DOMESTIC HOT WATER 140 DEGREES MAXIMUM SETTING.
- 4. INSULATE ALL PIPING AS REQUIRED BY CODE. 5. DOORS, FRONT, SIDE, INSIDE TO GARAGE -U-40 MAXIMUM
- 6. WINDOWS, GLASS DOORS, ALL GLASS U-.32 MAXIMUM 7. INSULATE ALL DUCTS AND PIPING AS REQUIRED BY IPC 2020
- 8. ALL FIREPLACES TO BE PROVIDED WITH DAMPER FOR OUTSIDE COMBUSTION AIR 150-200 CFM. FLUE TO HAVE TIGHT SEATED DAMPER TO MAINTAIN MINIMUM AIR LEAKAGE TO 20 CFM 0.3 INCHES WATER GAUGE. INTERIOR
- OPENING TO BE PROVIDED WITH HEAT RESISTANT GLASS DOORS 9. CALCULATIONS ARE VALID UP TO 5999 DEGREE DAYS.

DAMPER WITH A MAX. AIR LEAKAGE OF 20 CFM.

- 10. WOOD FRAMED FLOORS, WALLS AND CEILINGS SHALL HAVE AN APPROVED VAPOR BARRIER (PERMEANCE RATING OF 1.0 PERM) INSTALLED ON THE "WARM IN WINTER" SIDE OF THERMAL INSULATION.
- 11. WINDOWS AND SLIDING DOORS SHALL HAVE A MAX. AIR INFILTRATION SECOND FLOOR RATING OF 0.3 CFM PER SQUARE FOOT OF WINDOW AREA. SWINGING DOORS SHALL HAVE A MAX. AIR INFILTRATION RATE OF 0.5 CFM PER SQUARE FOOT OF DOOR AREA.
- 12. SKYLIGHT SHAFTS SHALL HAVE A MINIMUM INSULATION VALUE OF R-19. 13. GARAGES - FRONT, SIDES, DOORS, INTERIOR SHALL HAVE MAX. U=.40. 14. ALL FIREPLACES HALL BE PROVIDED WITH A DAMPER FOR OUTSIDE COMBUSTION AIR 150-200 CFM. ALL FLUES SHALL HAVE TIGHT SEATED
- 15. THE CONTRACTOR SHALL SUBMIT THE DESIGN, SIZE AND TYPE OF MECHANICAL SYSTEMS WHICH WILL BE USED, IN SUFFICIENT DETAIL, AS REQUIRED BY THE BUILDING DEPARTMENT.
- 16. ALL THERMOSTATS SHALL BE ADJUSTABLE FROM 55 DEGREES TO 85 DEGREES FAHRENHEIT.
- 17. ALL DUCTS AND PIPES SHALL BE INSULATED AS REQUIRED BY CODE. 18. H.V.A.C. CONTRACTOR SHALL VERIFY HEAT LOSS CALCULATIONS. **INSULATION NOTES:**

1. G.C. IS RESPONSIBLE TO FOLLOW NEW ENERGY CODE REQUIREMENTS SET BY NYS IECC 2020 AND 2020 SUPPLEMENT FOR IECC 2020 AUGUST 2020 EDITION (e.g. "NYS 2018 ENERGY CODE").

2. REFER TO PROVIDED RES-CHECK FROM CONSTRUCTION DOCUMENTS FOR ALL INSULATION SIZES AND RATINGS OTHERWISE FOLLOW IECC TABLE R402.1.2 FOR GUIDELINES ON INSULATION REQUIREMENTS FOR VARIOUS BUILDING THERMAL ENVELOPE ELEMENTS. G.C.AND OWNER ARE RESPONSIBLE TO MAKE SURE THAT ALL OF THE

LISTED ELEMENTS BELOW MEET OR EXCEED NEW NYS 2018 ENERGY CODE CRITERIA: a. ALL THERMAL ENVELOPE PERIMETER WALLS TO BE COVERED BY

- SHOWER OR TUB FIXTURES OR THEIR ENCLOSURES TO BE FULLY INSULATED AND VAPOR BARRIERS INSTALLED (PRIOR TO THEIR INSTALLATION). b. CONTINUOUS FOUNDATION INSULATION AS REQUIRED WITHOUT BREAKS
- IN CONTINUITY IS PROVIDED. IF APPLIED TO EXTERIOR OF SLAB/FOUNDATION PROVIDE SUFFICIENT PROTECTION FROM PHYSICAL DAMAGE AND ELEMENTS. c. ALL FENESTRATION OPENINGS ARE AIR-SEALED WITH SPRAY FOAM OR
- EQUAL. DO NOT USE AIR-PERMEABLE INSULATION. d. ALL EXTERIOR DOOR AND WINDOW HEADERS ARE PROPERLY INSULATED WITH R-3 RIGID INSULATION OR EQUAL.
- e. RIM JOISTS BETWEEN FLOORS TO RECEIVE APPROPRIATE WALL f. FLOORS IN ROOMS ABOVE UNCONDITIONED OR EXTERIOR SPACE TO HAVE APPROPRIATE INSULATION ATTACHED TO BOTTOM OF SUBLFOOR.
- OTHERWISE FLOOR JOIST SPACE HAS TO BE AIR-SEALED FROM ANY AIR MOVEMENT. g. RECESSED LIGHTING INSIDE THERMAL ENVELOPE CEILINGS TO BE AIR-TIGHT BY MEANS OF SEALANTS, GASKETS OR ADHESIVES.

h. ATTIC ACCESS PANELS AND PULL-DOWN STAIRS TO RECEIVE SAME

INSULATION AS THE REST OF THE CEILING. PROVIDE AIR-TIGHT GASKETS AND FILL IN GAPS IN INSULATION WOOD BURNING FIREPLACES MUST HAVE TIGHT-FITTING FLUE

DAMPENER OR DOORS

- G.C. TO FOLLOW STRICT INSULATION INSTALLATION PRACTICES AS NOTED a. AVOID ANY COMPRESSION, ESPECIALLY BEHIND UTILITIES, LIGHTING AND
- IN TIGHT STUD SPACES. PROVIDE FOAM INSULATION BEHIND UTILITIES INSIDE INSULATED WALLS, FLOORS OR CEILINGS. b. DO NOT CUT OR PENETRATE VAPOR BARRIERS

c. INSULATION AROUND ELECTRICAL BOXES MUST BE TIGHTLY CUT

AROUND. DO NOT TUCK OR COMPRESS INSULATION. d. INTERIOR CELLAR AND BASEMENT INSULATION TO RECEIVE FULL-HEIGHT INSULATION - DO NOT TRIM OFF BOTTOM. G.C. IS RESPONSIBLE TO CONDUCT "DOOR BLOWER TEST" FOR H.E.R.S.

COMPLIANCE ONCE ALL HOUSE ELEMENTS ARE PROPERLY INSULATED BUT BEFORE WALL-COVERINGS ARE INSTALLED AS PER NYS IECC 2018 ENERGY

1. HVAC CONTRACTOR TO COORDINATE WITH ARCHITECT AND HOMEOWNER LOCATION OF ALL HVAC DUCTS AND VERIFY IF ANY PORTIONS OF THE DUCTS ARE NOT WITHIN A BUILDING THERMAL ENVELOPE.

2. HVAC CONTRACTOR IS REQUIRED TO CONDUCT DUCT "AIR LEAKAGE TEST"

IF ANY HVAC DUCTS ARE FOUND TO BE OUTSIDE BUILDING THERMAL

- 3. HVAC CONTRACTOR TO PROPERLY SIZE HEATING AND COOLING EQUIPMENT USING ACCA MANUALS J AND S MECHANICAL VENTILATION:
- VENTILATION REQUIREMENTS BASED ON 3 ACH50 H.E.R.S. RATING: ANY HOUSE UNDER 5 ACH50 MUST PROVIDE "WHOLE HOUSE MECHANICAL VENTILATION". 2. TO MEET MECHANICAL VENTILATION REQUIREMENTS MECHANICAL

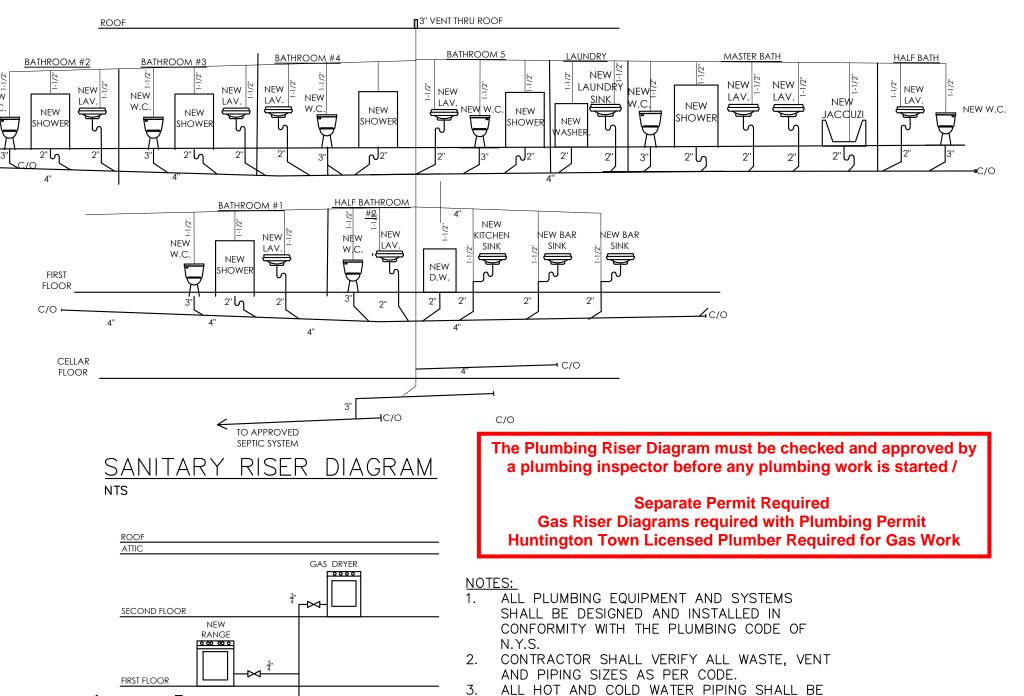
CONTRACTOR MAY USE "EXHAUST ONLY" METHOD BY PROVIDING HALLWAY

AND BATHROOM VENTS WITH TIMERS SET TO FOLLOW CODE-REQUIRED

VENTILATION GUIDELINES MECHANICAL CONTRACTOR TO FOLLOW NYS IECC 2020 AS WELL AS INTERNATIONAL MECHANICAL CODE AS TO INSTALLATION OF VENTS, DAMPENERS, MAKE-UP AIR AND VENTILATION REQUIREMENTS 9. ALL BEAM TO GIRDER CONNECTIONS SHALL BE BOLTED CONNECTIONS USING 34 ON CENTER LIGHTING NOTES

> G.C. TO PROVIDE HIGH-EFFICIACY LIGHTING (75%+) THROUGHOUT: USE CFL, LED, OR FLUORESCENT LIGHTING

The Plumbing Riser Diagram must be checked and approved by a plumbing inspector before any lumbing work is started / Separate Permit Required



INSULATED TO PREVENT SWEATING OR

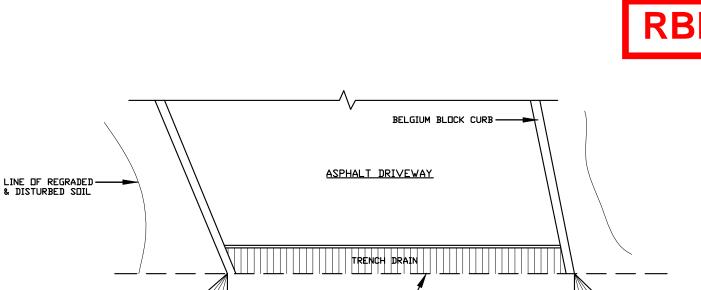
4. SUBMIT PROPOSED LOCATIONS OF ALL VENTS

THRU ROOF TO ENGINEER FOR APPROVA

SEPTIC SYSTEM TO BE UPGRADED AS

PRIOR TO INSTALLATION. VENTS INSTALLED

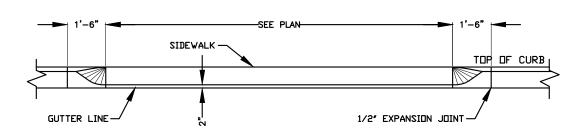
PRIOR TO APPROVAL SHALL BE RELOCATED.



CURB CUT DETAIL PLAN

TYP. SHUT OFF

GAS RISER DIAGRAM



N.T.S. CURB CUT DETAIL ELEVATION

THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING

****IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION TEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS F YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024,

PLEASE EMAIL TO SCHEDULE AN INSPECTION TO SCHEDULE BUILDING INSPECTIONS.

TO SCHEDULE PLUMBING INSPECTIONS

PROPERTY INFORMATION

1" GAS MAIN TO

VALVE —

GAS METER -

UNION ——

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40

FAX MAP No: SECTION: 273 BLOCK: 0003 LOTS: 64

SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE. THREE CAR ATTACHED GARAGES. 2 A/CS.

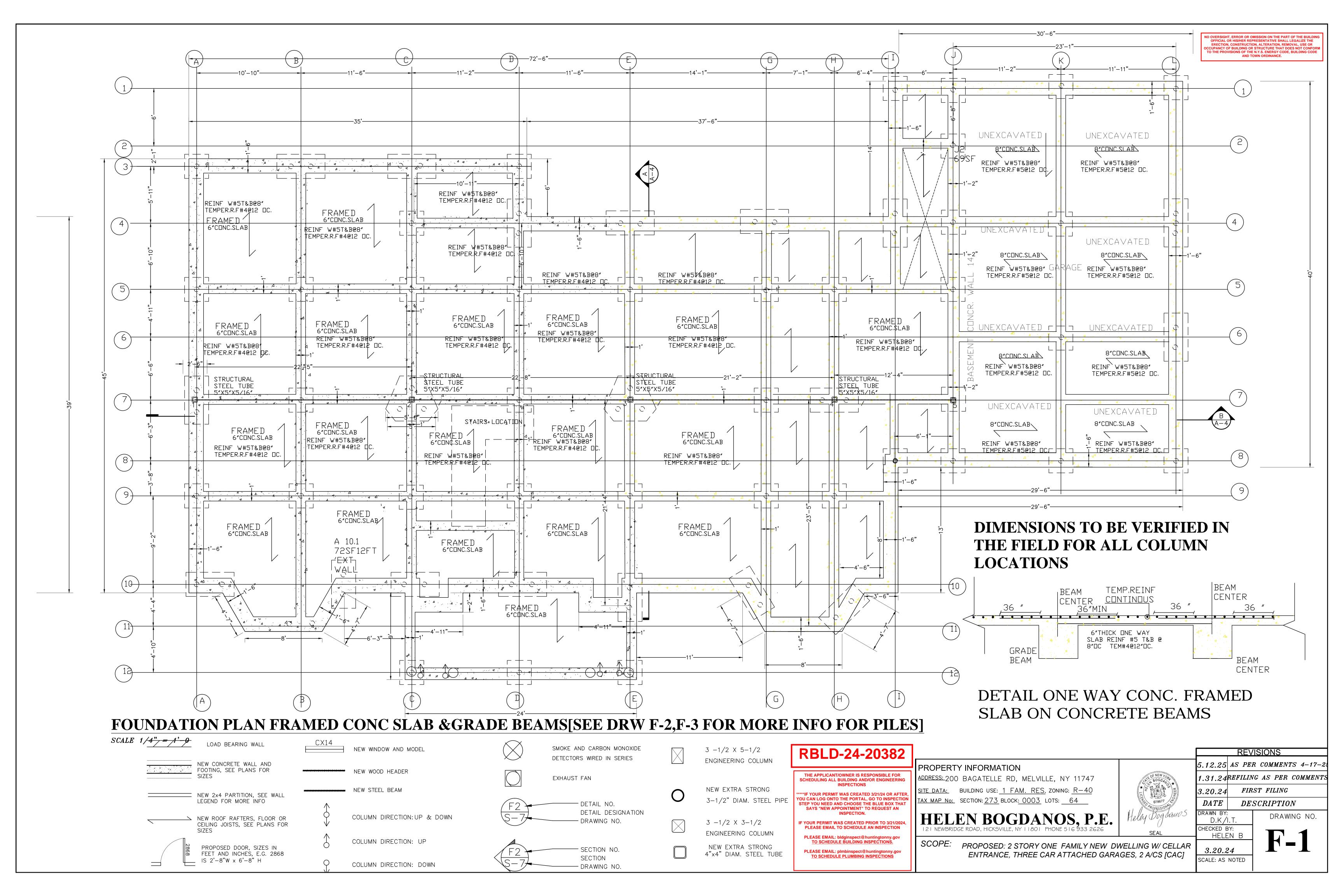


REVISIONS 5.12.25 | AS PER COMMENTS 4-17-25 AS PER COMMENTS 9-20-24 3.20.24 FIRST FILING DESCRIPTION RAWN BY: D.K /I.T

SCALE:

AS NOTED

DRAWING NO. CHECKED BY: HELEN E 3.20.24



CONCRETE NOTES FOUNDATION

1)ALL CONCRETE CAST IN PLACE SHALL HAVE 4000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH.

2)ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO THE STANDARDS OF ASTM A615, GRADE 60,

3)ALL WELDED WIRE FABRIC SHALL CONFORM TO THE STANDARDS OF AI85

4) ALL CONCRETE REINFORCMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIRMENTS AS DESRIBED IN THE LATEST EDITION OF BUILDING CODE REQUIRMENTS FOR REINFORCED CONCRETE ACIAND THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI 315

5) NO PILE CAP OR SLAB SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER ,FROST OR ICE,SHOULD WATER OR FROST ENTER PILE CAP OR FOOTING EXCAVATION AFTER SUBGRADE APPROVAL "THE SUBGRADE SHOULD BE RE-INSPECTED AFTER REMOVAL OF WATER OR FROST BEFORE, PLACING OF CONCRETE

6XHECKED SHOP DRAWING SHOWING REINFORCING DETAILS, INCLUDING STEEL BAR SIZES , SPACING AND PLACEMENT, SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR FABRICATION (IF SHOP DRAWING AVAILABLE).

7) ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO FULL MESH PANELS MIN AND TIED TOGETHER SECURELY.

8) PLACE SLABS-ON-GRADE IN ACCORDANCE WITH ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION.

9) WHERE REQUIRED DOWELLS SHALL MATCH SIZE AND NUMBER OF MAIN REINFORCMENT. 10) ALL GRADE BEAMS TO BE POURED MONOLITHICALLY WITH SLAB

HELICAL PILES NOTES

P1=30K P2=40K

1. ALL PILES SHALL BE PATENTED HELICAL PILES AND APPURTENANCES AS FURNISHED EXCLUSIVELY BY PREMIUM TECHNICAL SERVICES. ALL HELICAL PILES TO BE INSTALLED BY A FACTORY CERTIFIED INSTALLER ALL PILES TO BE P1=30 KIPS P-2=KIPS CAPACITY MIN XXX DIAM. 2. HELICAL PILES, EXTENSIONS AND APPURTENANCES SHALL BE HOT-DIPPED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A 153 (LATEST REVISION)

3. ALL PILE INSTALLATION OPERATIONS SHALL BE SUPERVISED BY A LICENSED ENGINEER. THE INSPECTOR SHALL KEEP A COMPLETE RECORD OF THE

4.HELICAL PILES SHOULD BE INSTALLED AS SHOWN ON THE ENGINEER PLAN. ALL CHANGES IN PILE LOCATION MUST BE APPROVED BY THE ENGINEER. 5 HELICAL PILES SHALL BE INSTALLED TO A MINIMUM DEPTH OF FEET AND A MINIMUM TORQUE OF FT-LBS, SUBJECT TO THE FOLLOWING

A)IF THE MINIMUM TORQUE REQUIRMENT HAS NOT BEEN SATISFIED AT THE MINIMUM DEPTH LEVEL, THE CONTRACTOR SHALL HAVE THE FOLLOWING

a) INSTALL THE PILE DEEPER USING ADDITIONAL EXTENSIONS UNTIL THE SPECIFIED TORQUE LEVEL IS OBTAINED.

6)REMOVE THE EXISTING PILE AND INSTALL A PILE WITH LARGER AND/OR MORE HELICES. THE REVISED PILE SHALLBE INSTALLED BEYOND

THE TERMINATION DEPTH OF THE ORIGINAL PILE, AS DIRECTED BY THE ENGINEER,

c)ADD ADDITIONAL PILES AS RECOMENDED BY THE ENGINEER

3) IF THE MAXIMUM TORQUE RATING OF THE PILE AND/OR INSTALLING UNIT HAS BEEN REACHD PRIOR TO SATISFYING THE MINIMUM DEPTH REQUIREMENT, THE CONTRACTOR SHALL HAVE, a) THE OPTION TO INCREASE THE TERMINAL TORQUE TO A MAXIMUM OF FT.LBS (FT.LBS WITH HAND HELD EQUIPMENT),b)AFTER CONSULTING WITH THE ENGINEER OF RECORD, THE CONTRACTOR MAY REDUCE THE SIZE OF THE HELIX AS REQUIRED TO ACHIEVE THE MINIMUM DEPTH WHILE STILL ACHIEVING THE MINIMUM TORQUE

5. IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING INSTALLATION, THE CONTRACTOR SHALL HAVE THE OPTION OF REMOVING THE OBSTRUCTION IF POSSIBLE OR RELOCATING THE PILE WITH ENGINEER'S APPROVAL.THE LATTER OPTION MAY REQUIRE THE RELOCATION OF ADJUCENT PILES.

7) THE HELICAL PILE SHALL BE CONNECTED TO THE STRUCTURE USING A PTS APPROVED STEEL BRACKET OR SLAB —SUPPORTING CHANNEL AS THE CASE MAY BE-AS SHOWN ON ENGINEER'SPLAN THESE CONNECTIONS SHALL BE CAPABLE OF SAFELY TRANSFERING THE STRUCTURAL LOADS TO THE HELICAL

8) WRITTEN INSTALLATION RECORDS SHALL BE OPTAINED FOR EACH HELICAL PILE. THESE RECORDS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING a)PROJECT NAME AND/ LOCATION b) NAME OF CCONTRACTOR'S FOREMAN OR REPRESENTATIVE e) DESCRIPTION OF LEAD SECTION AND EXTENSIONS INSTALLED.

PILE INSTALLATION OPERATION.

WHO WITNESSED THE INSTALLATION. f)OVERALL DEPTH OF INSTALLATIONS REFERENCED FROM BOTTOM OF GRADE BEAM.

c)DATE AND TIME OF INSTALLATION. 9)TORQUE READING FOR THE LAST THREE FEET OF INSTALLATION IN PRACTICAL. IN

LIEU OF THIS REQUIRMENT, THE TERMINAL TORQUE SHALL BE RECORDED AS MINIMUM. d) LOCATION AND REFERENCE NUMBER OF EACH PILE. h)ANY OTHER RELEVANT INFORMATION RELATED TO THE INSTALLATION.

WITH A SQARE SHAFT 1 1/2" AND A DIAMETER HELIX. LEAD SECTIONS SHALL BE HELICAL PILE LEAD SECTIONS SHALL BE MODEL HELIX PILE EXTENSION MAY BE 5, 7 OR 10 FEET LONG DEPENDING ON VERTICAL CLEARANCE

2020 NYSBC

1810.4.11 Helical piles. Helical piles shall be installed to specified embedment depth and torsional resistance criteria as determined by a registered design professional. The torque applied during installation shall not exceed the maximum allowable installation torque of the helical pile.

1810.4.12 Special inspection. Special inspections in accordance with Sections 1705.7 and 1705.8 shall be provided for driven and cast-in-place deep foundation elements, respectively. Special inspections in accordance with Section 1705.9 shall be provided for helical piles.

DO NOT INSTALL CONCRETE PRIOR TO HELICAL

HELICAL PILE LOG REQUIRED AT INSPECTION

FOR ELEVISEE

EXTERIOR PILE CAP WITH BRICK SELF

2'-6"

AND EXTERIOR GRADE BEAM

SQUARE PILE

2'-6"X2'-6"X 1'-6"

ARCH.DRWS

CONT. INTERM BARS (TYP) REINF, FOR ITERIOR

T&B.

FOR ELEVISEE

4#5 SHORT

DIR 5#4

LONG DIR.

ARCH.DRWS

STIRRUP

#4@8″DC

GRADE 12"X18" BMS [NTS] EXTERIOR GRADE BEAM/WALL SEE DETAIN ON PLAN A-8

2020 NYSBC

1705.9 Helical pile foundations. Continuous special inspections shall be performed during installation of helical pile foundations. The information recorded shall include installation equipment used, pile dimensions, tip elevations, final depth, final installation torque and other pertinent installation data as required by the registered design professional in responsible charge. The approved geotechnical report and the construction documents prepared by the registered design professional shall be used to determine compliance

INTERIOR PILE CAP WITH INTERIOR

GRADE BEAM REINFORCMENT

RECTANGULAR PILE CAP

2-6" FTX 5 FTX 1'-6"DEEP

RBLD-24-20382

SCHEDULING ALL BUILDING AND/OR ENGINEERING

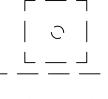
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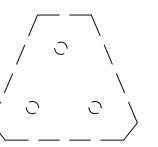
YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION



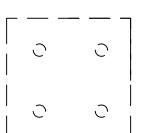
SQUARE ONE PILE CAP WITH ONE PILE

CONSTRUCTION LEGEND

RECT PILE CAP PILE CAP WITH TWO PILES, EDGE DISTANCE FROM CL OF PILE 15" MIN.



TRAPEZOID PILE CAP PILE CAP WITH THREE PILES, EDGE DISTANCE FROM CL OF PILE 15"



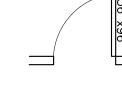
SQUARE PILE CAP PILE CAP WITH FOUR PILES, EDGE DISTANCE FROM CL OF PILE 15"



CONNECTING TO PILE CAPS POUR MONOLITHICALLY

NEW 2x4 PARTITION, SEE WALL LEGEND FOR MORE INFO

WOOD ROOF RAFTERS, FL TJI SEE PLANS FOR SIZES



PROPOSED DOOR SIZES IN INCHES. NOTE: FOR R.O ADD 2 INCHES



SMOKE AND CARBON MONOXIDE DETECTORS WIRED IN SERIES



50 C.F.M EXHAUST FAN

NEW WINDOW AND MODEL

NEW STEEL BEAM

COLUMN DIRECTION: UP & DOWN

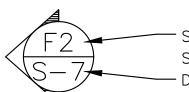
COLUMN DIRECTION: UP

COLUMN DIRECTION: DOWN NEW EXTRA STRONG

4"x4" DIAM. STEEL TUBE



DETAIL NO. DETAIL DESIGNATION DRAWING NO.



DRAWING NO



PROPOSED SURFACE-MOUNTED (HI-HAT) LIGHT FIXTURE



3-1/2" DIAM. STEEL PIPE

EXTRA STRONG STEEL TUBE 4"X4"X5/16 UON

NEW EXTRA STRONG

REVISIONS

5.12.25 AS PER COMMENTS 4-17-2

3.20.24

2.31.24 S PER COMMENTS 9-20-2 DATEDRAWN B

FIRST FILING **DESCRIPTION**

D.K /I.T. CHECKED BY:

HELEN B 3.20.24

HELEN BOGDANOS, P.E.

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747

SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40

<u>TAX MAP No:</u> SECTION:273_BLOCK: 0003_LOTS: __64__

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF

THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE

ALTERATION, REMOVAL, USE OR OCCUPANCY OF

THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING

CODE AND TOWN ORDINANCE.

NOT TO

SCALE

PROPERTY INFORMATION

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]

SCALE: AS NOTED

DRAWING NO.

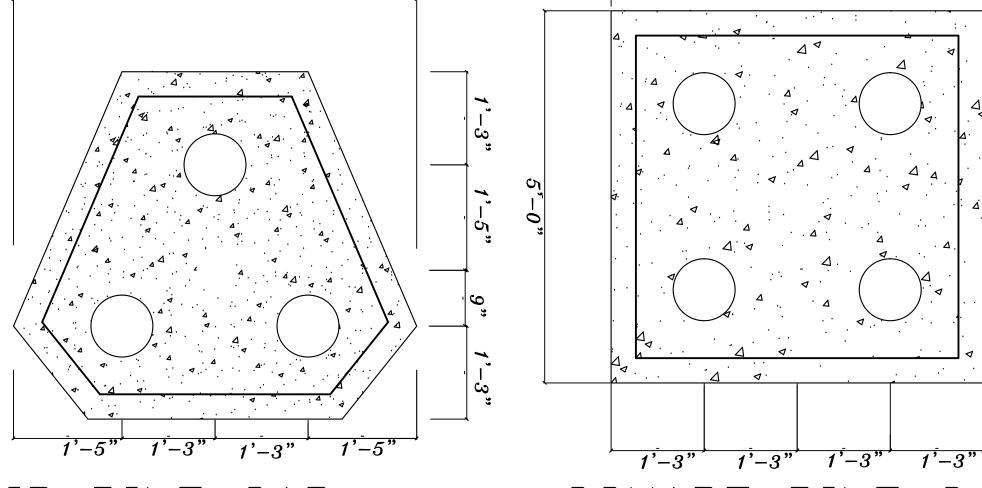
5#5. E.W.

ALL PILES TO BE LOCATED ON PILE CAP AS SHOWN

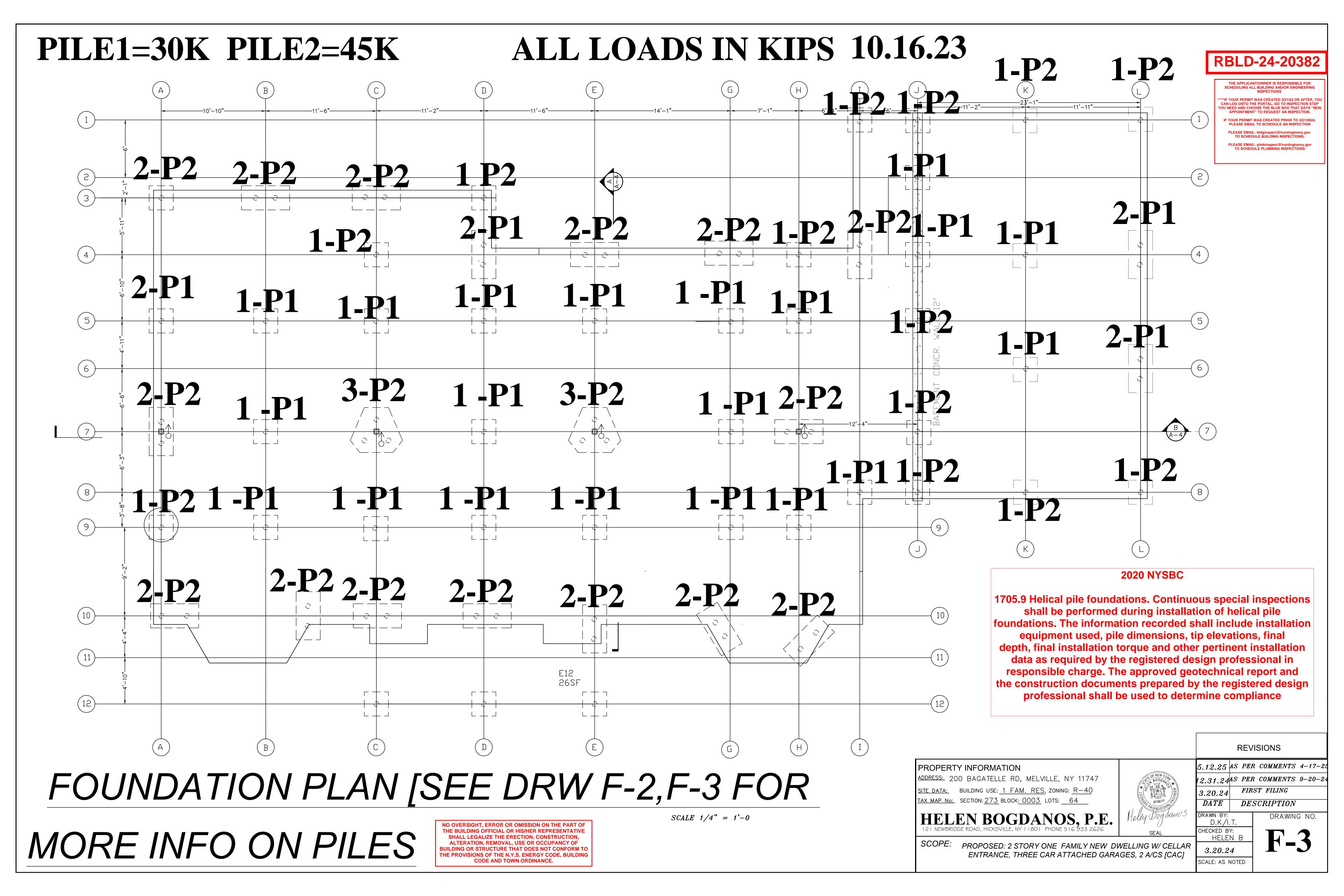
ITERIOR PILE CAP &GRADE BEAM (TYP).

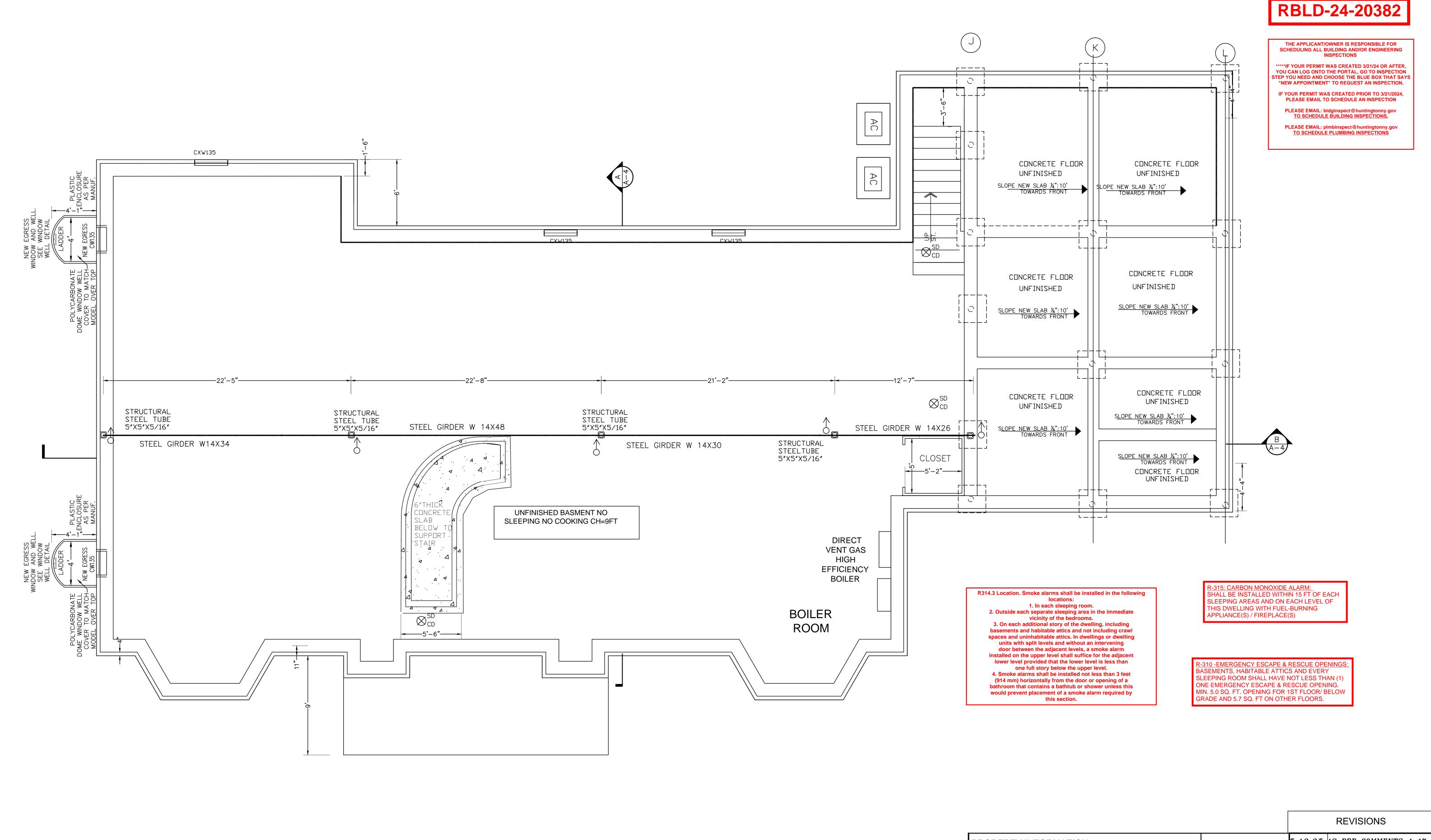
3#5 EACH

DIRECTION



AS SHOWN 20" DEEP





BASEMENT PLAN $\overline{SCALE \ 1/4" = 1'-0}$

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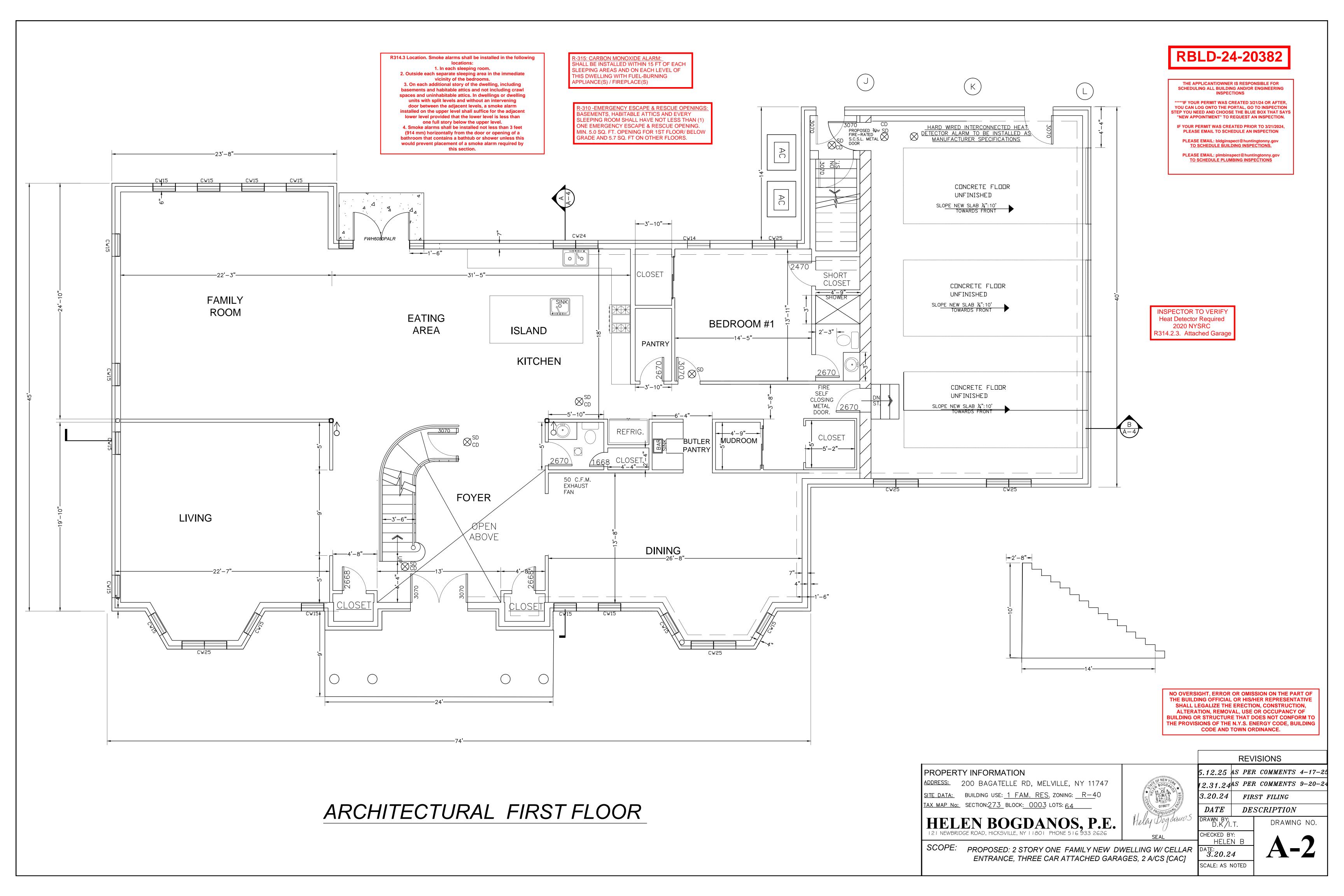
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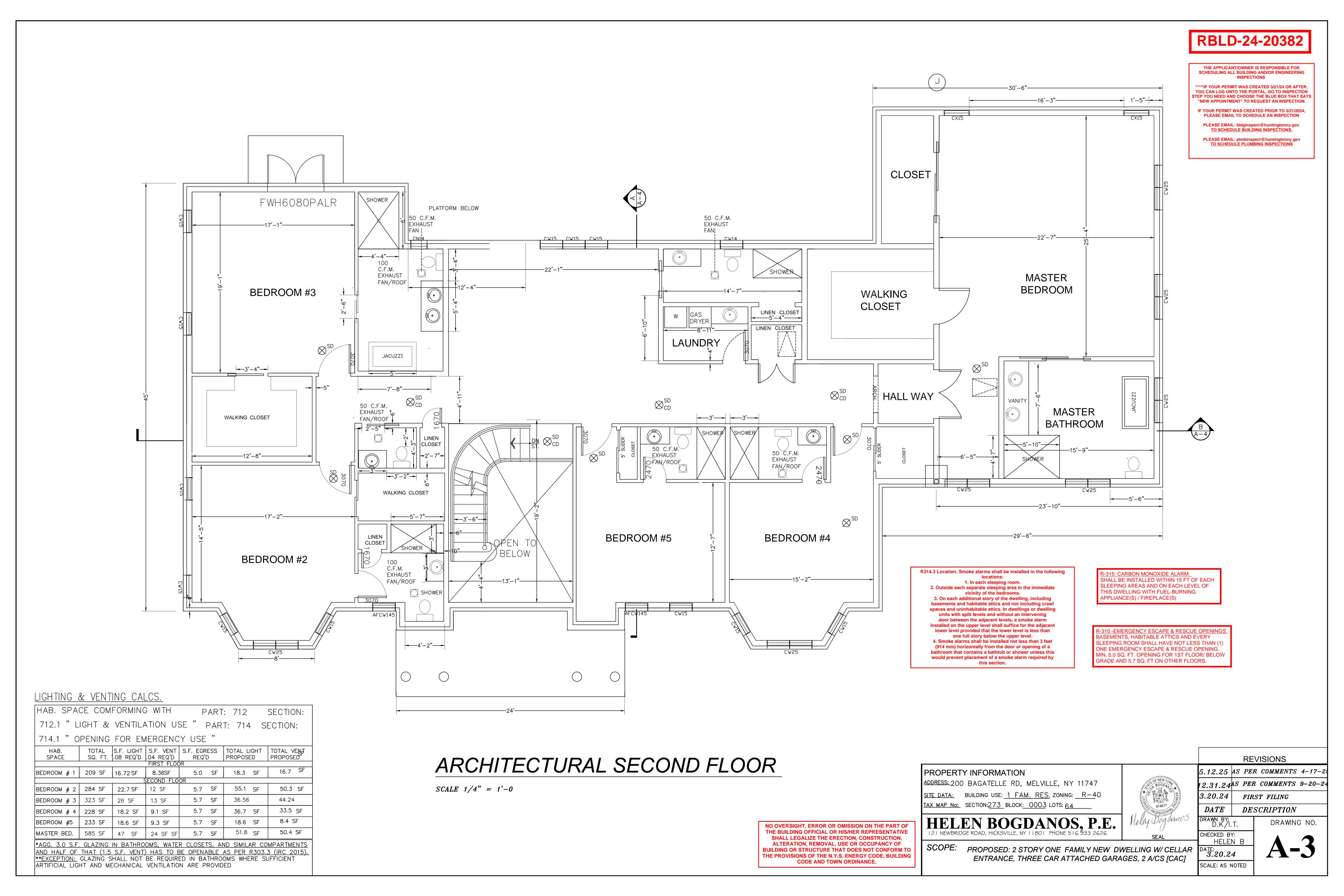
5.12.25 AS PER COMMENTS 4-17-25 2.31.24 AS PER COMMENTS 9-20-24 |3.20.24|FIRST FILING DA TE **DESCRIPTION**

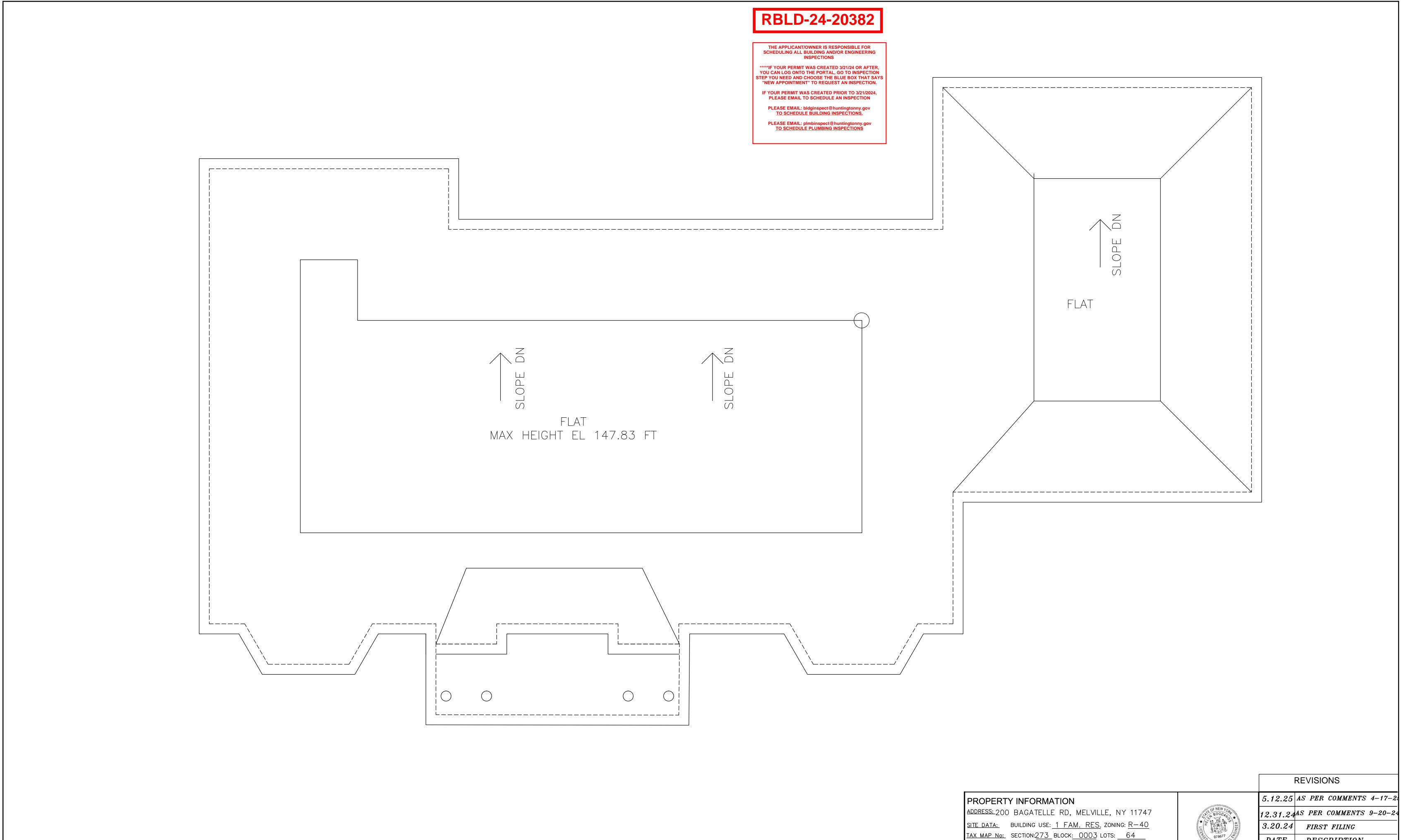
DRAWING NO. CHECKED BY: HELEN B

SCALE: AS NOTED

3.20.24ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]







ROOF PLAN SCALE 1/4" = 1'-0

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DA TE **DESCRIPTION**

DRAWING NO. CHECKED BY: HELEN B SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR SOLE: AS NOTE SCALE: AS NOTE SCALE: AS NOTED



 $\overline{SCALE \ 1/4" = 1'-0}$

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5.12.25 AS PER COMMENTS 4-17-2

2.31.24AS PER COMMENTS 9-20-24

|3.20.24|FIRST FILING DA TE **DESCRIPTION**

SCALE: AS NOTED

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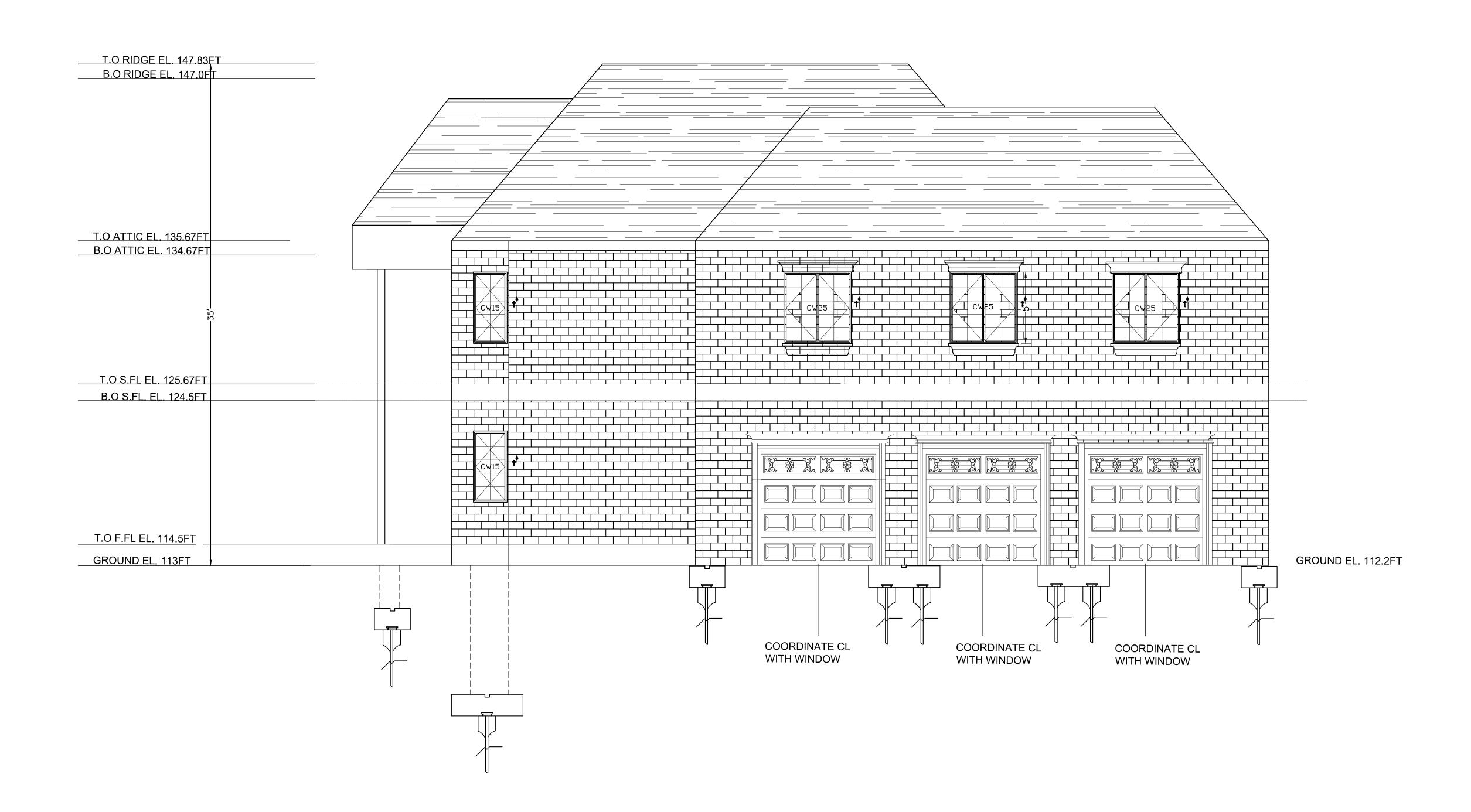
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PLEASE EMAIL: bldginspect@huntingtonny.gov TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS



RIGHT ELEVATION

 $\overline{SCALE \ 1/4" = 1'-0}$

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PROPERTY INFORMATION

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40

TAX MAP No: SECTION:284 BLOCK: 0003 LOTS: 64

HELEN BOGDANOS, P.E. 121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]

	REVISIONS						
	5.12.25	AS PER	COMMENTS	4-17-25			
\	12.31.24	AS PER	COMMENTS	9-20-24			
	3.20.24	FIRST	T FILING				
25	DATE	DESC	CRIPTION				
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REAR ELEVATION

SCALE 1/4" = 1'-0

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SCALE: AS NOTED

FIRST FILING **DESCRIPTION**

REVISIONS

CHECKED BY:

DRAWING NO. HELEN B DATE: 3.20.24

RBLD-24-20382

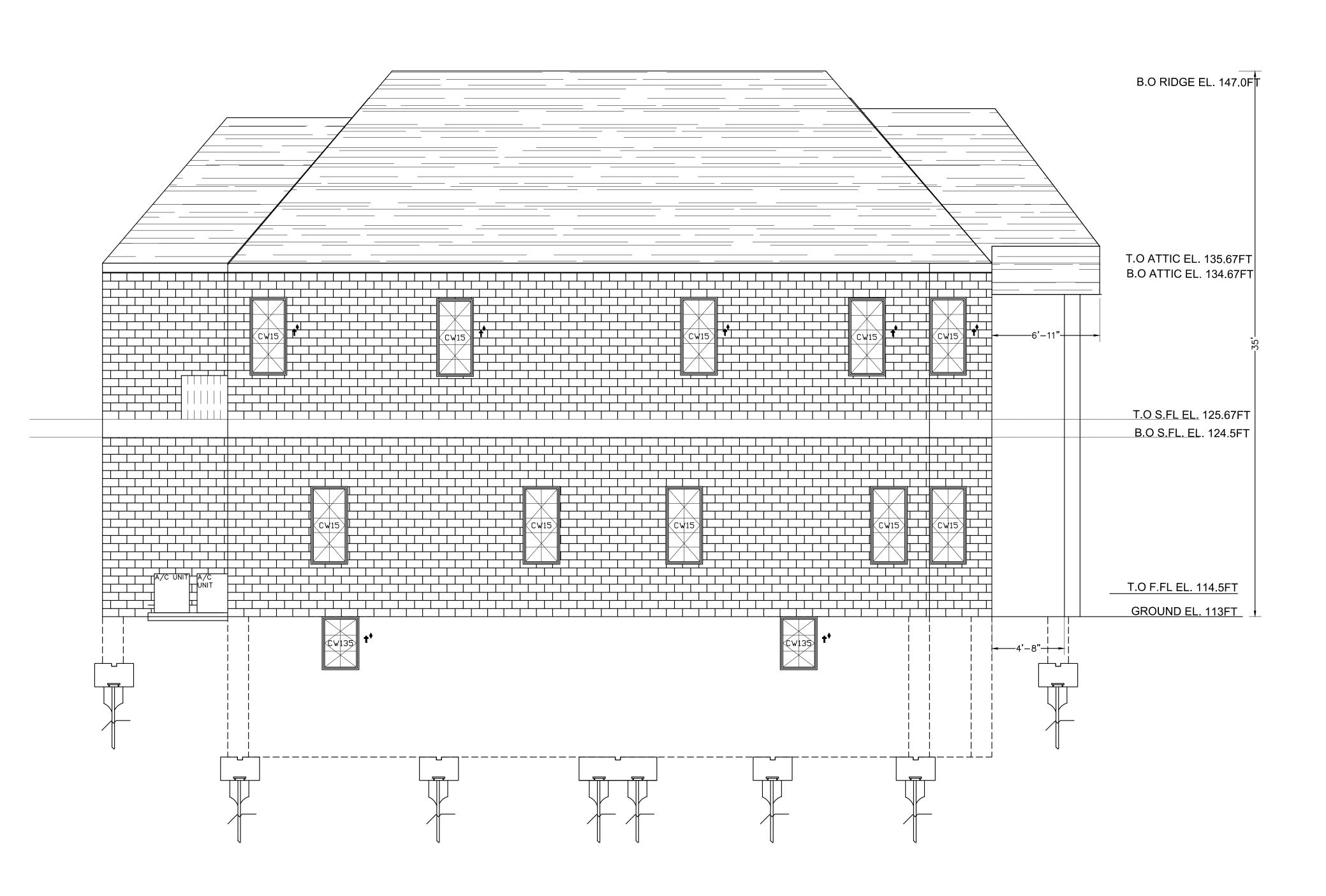
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LEFT ELEVATION

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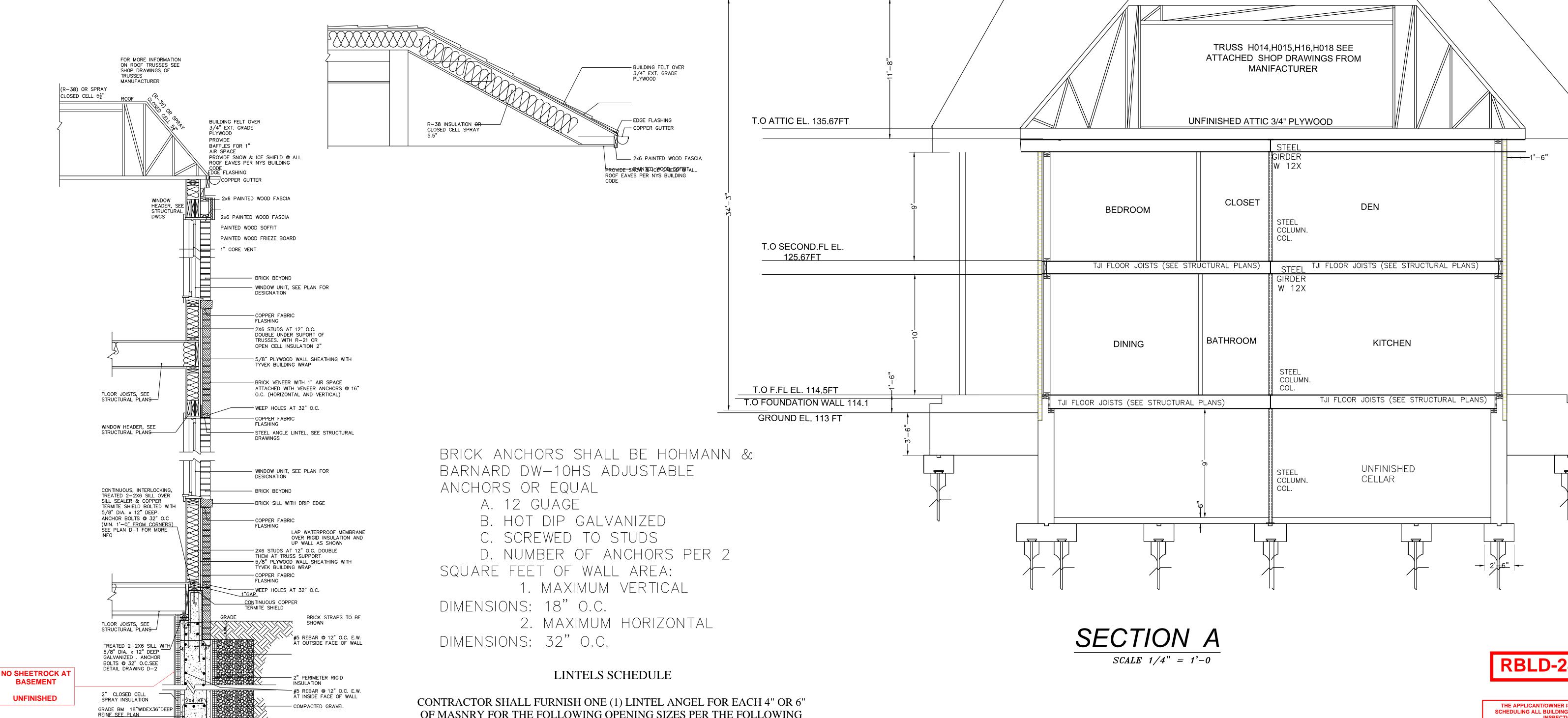
DATE DESCRIPTION

DRAWN BY:
D.K/I.T. DRAWING

CHECKED BY:
HELEN B

A-8

T.O RIDGE EL. 147.34FT



OF MASNRY FOR THE FOLLOWING OPENING SIZES PER THE FOLLOWING SCHEDULE UNLESS OTHERWISE NOTED.

ALL LINTEL ANDLES TO HAVE 6" MINIMUM BARING

MASONRY OPENING	LINTEL ANGLE SIZE (INCHES) (4" & 8" WALLS)	LINTEL ANGLE SIZE (6" WALLS)
UP TO 6'-6"	$4x3\frac{1}{2}x\frac{5}{16}(3\frac{1}{2} \text{ O.S.1})$	$5x5 \times \frac{5}{16}$
UP TO 8'-0"	$5x3\frac{1}{2}x\frac{5}{16}(3\frac{1}{2} \text{ O.S. } 1)$	$5x5x\frac{5}{16}$
UP TO 12'-0"		$6x6x\frac{5}{16}$

FOR 10" WALLS CONTRACTOR SHALL FURNINSH TWO (2) LLINTEL ANGLES FOR THE FOLLOWING OPENING SIZES UNLESS OTHERWISE NOTED.

> LINTEL ANDLE SIZE (INCHES) **MASONRY** (10" WALLS) **OPENING** $4x4x\frac{5}{16}$ UP TO 6'-6" $6x4x\frac{5}{16}$ (4" O.S. 1)

UP TO 8'-0" $8x4x\frac{3}{8}$ (4" O.S. 1) UP TO 12'-0"

RBLD-24-20382

THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING

*****IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER,

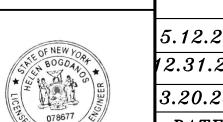
YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS "NEW APPOINTMENT" TO REQUEST AN INSPECTION

IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024 PLEASE EMAIL TO SCHEDULE AN INSPECTION

PLEASE EMAIL: bldginspect@huntingtonny.g TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

REVISIONS



5.12.25 AS PER COMMENTS 4-17-2 2.31.24AS PER COMMENTS 9-20-24

|3.20.24|FIRST FILING

DA TE **DESCRIPTION** DRAWING NO.

CHECKED BY: HELEN B 3.20.24

SCALE: AS NOTED

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION:273 BLOCK: 0003 LOTS: 64

PROPERTY INFORMATION

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF

BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO

THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING

CODE AND TOWN ORDINANCE.

HELEN BOGDANOS, P.E.

BRICK SECTION DETAIL SCALE: N.T.S.

TYPICAL CELLAR FOUNDATION,

PILE CAP, GRADE BEAM AND

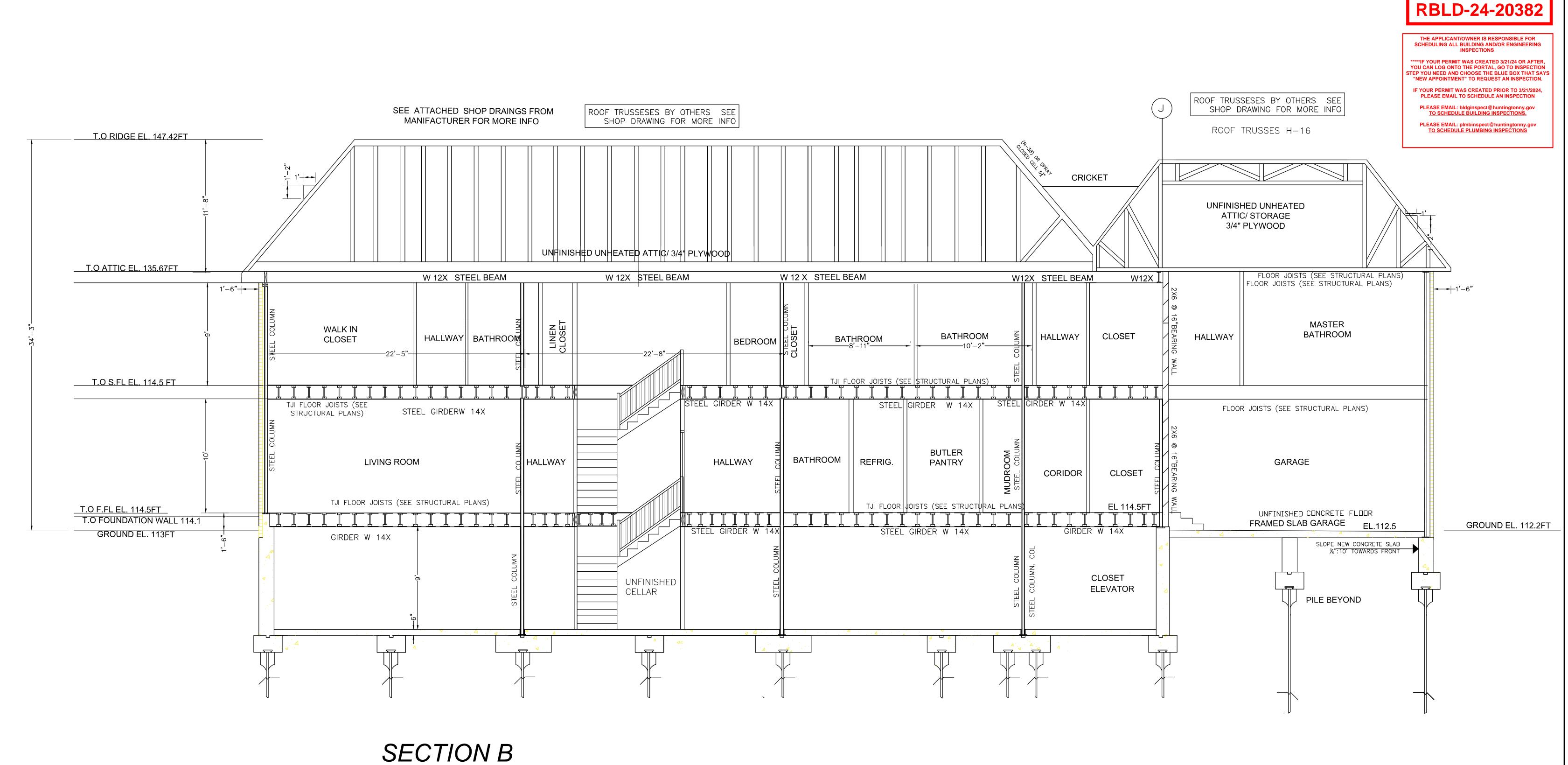
4" PERFORATED DRAINAGE PIPE SET IN GRAVEL — PITCH TO

POURED CONCRETE PILE

#4 REBAR @ 4" O.C. CONTINUOUS

6" POURED CONCRETE FRAMED SLAB OVER SEE PLAN FOR REINFORCMENT AND DIRECTION

4" GRAVEL UNTER GRADE BEAM



SCALE 1/4" = 1'-0

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF **BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO** THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING **CODE AND TOWN ORDINANCE.**

PROPERTY INFORMATION ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION: 273 BLOCK: 0003 LOTS: 64

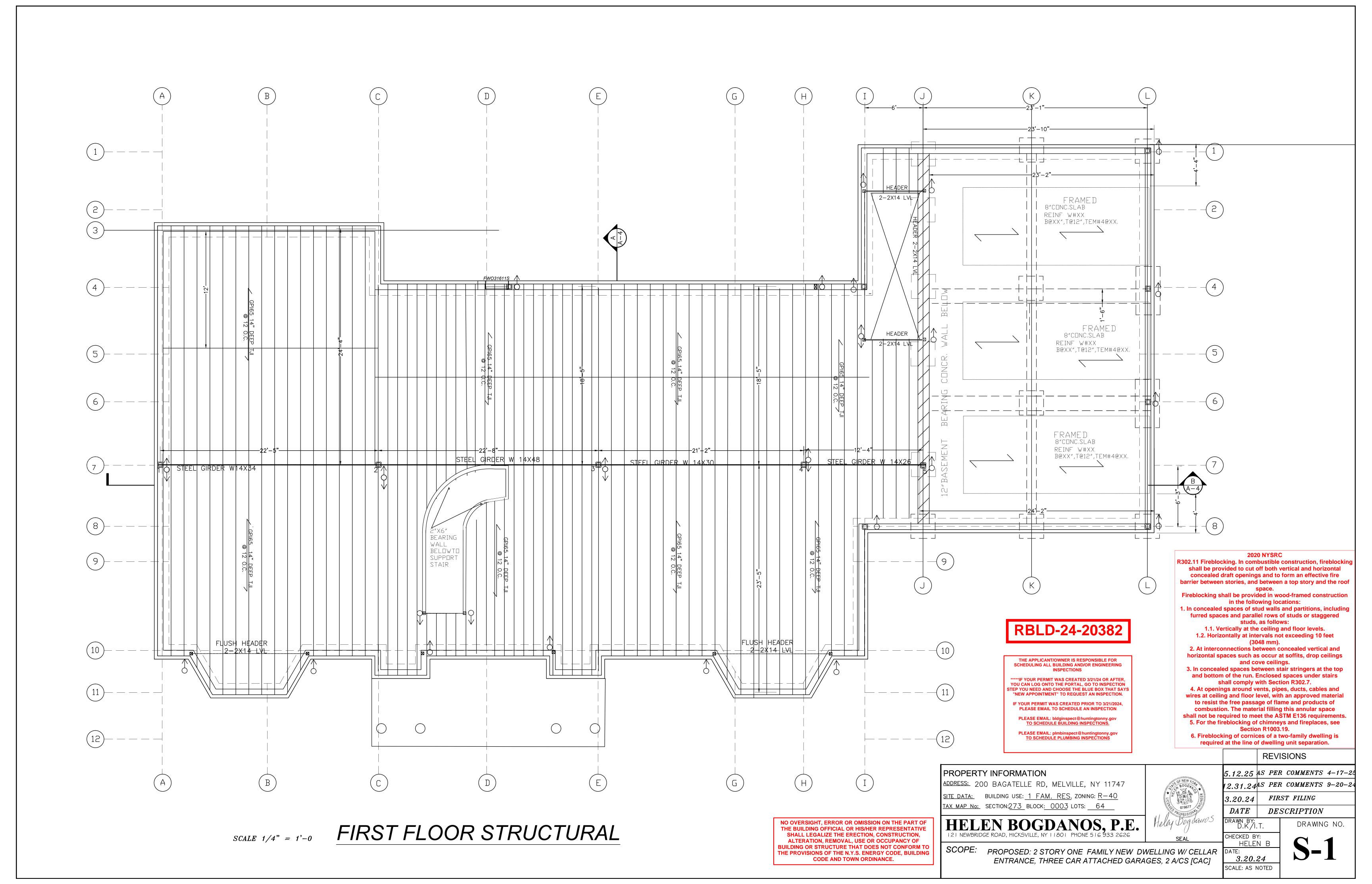
HELEN BOGDANOS, P.E. 121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626

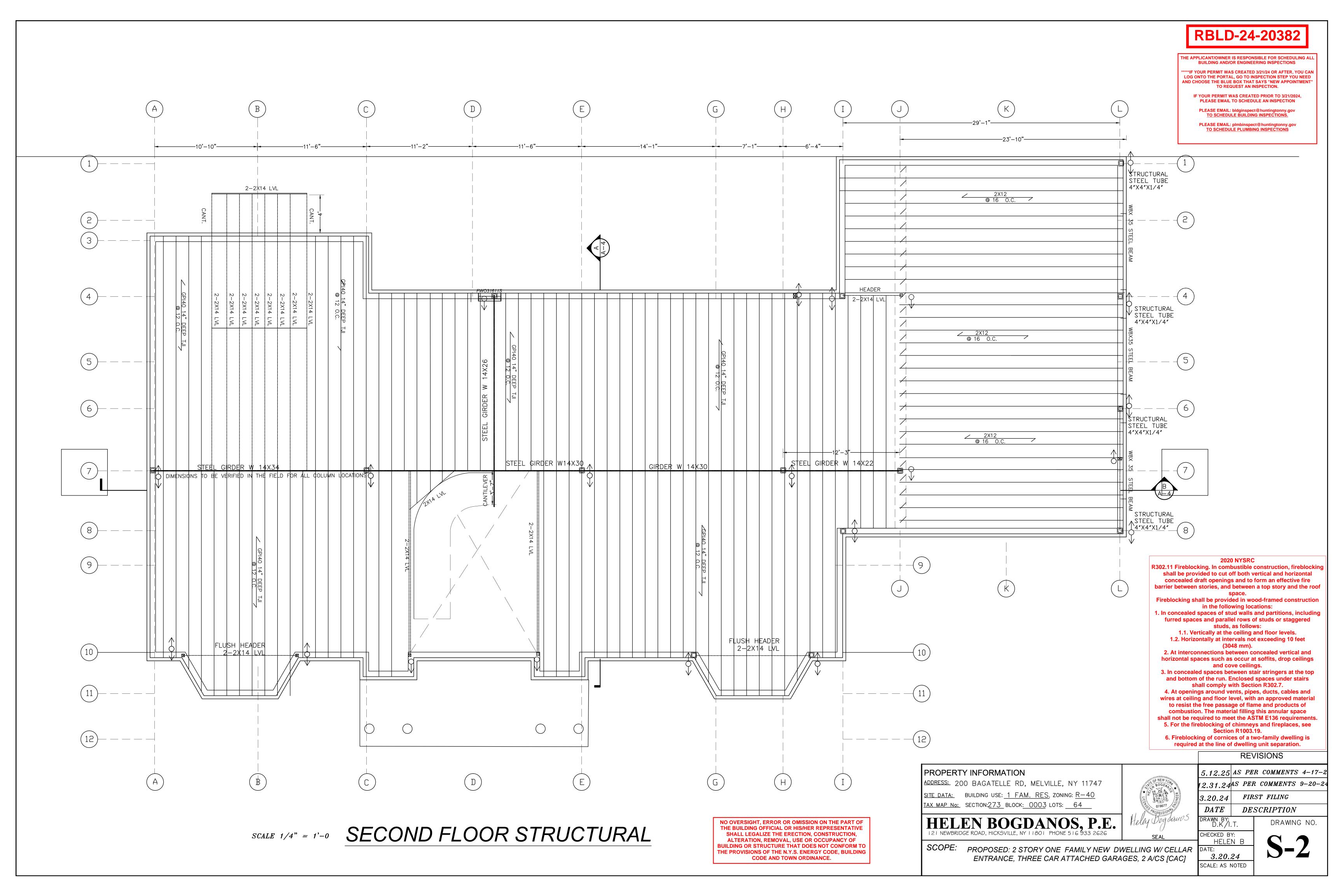
SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]

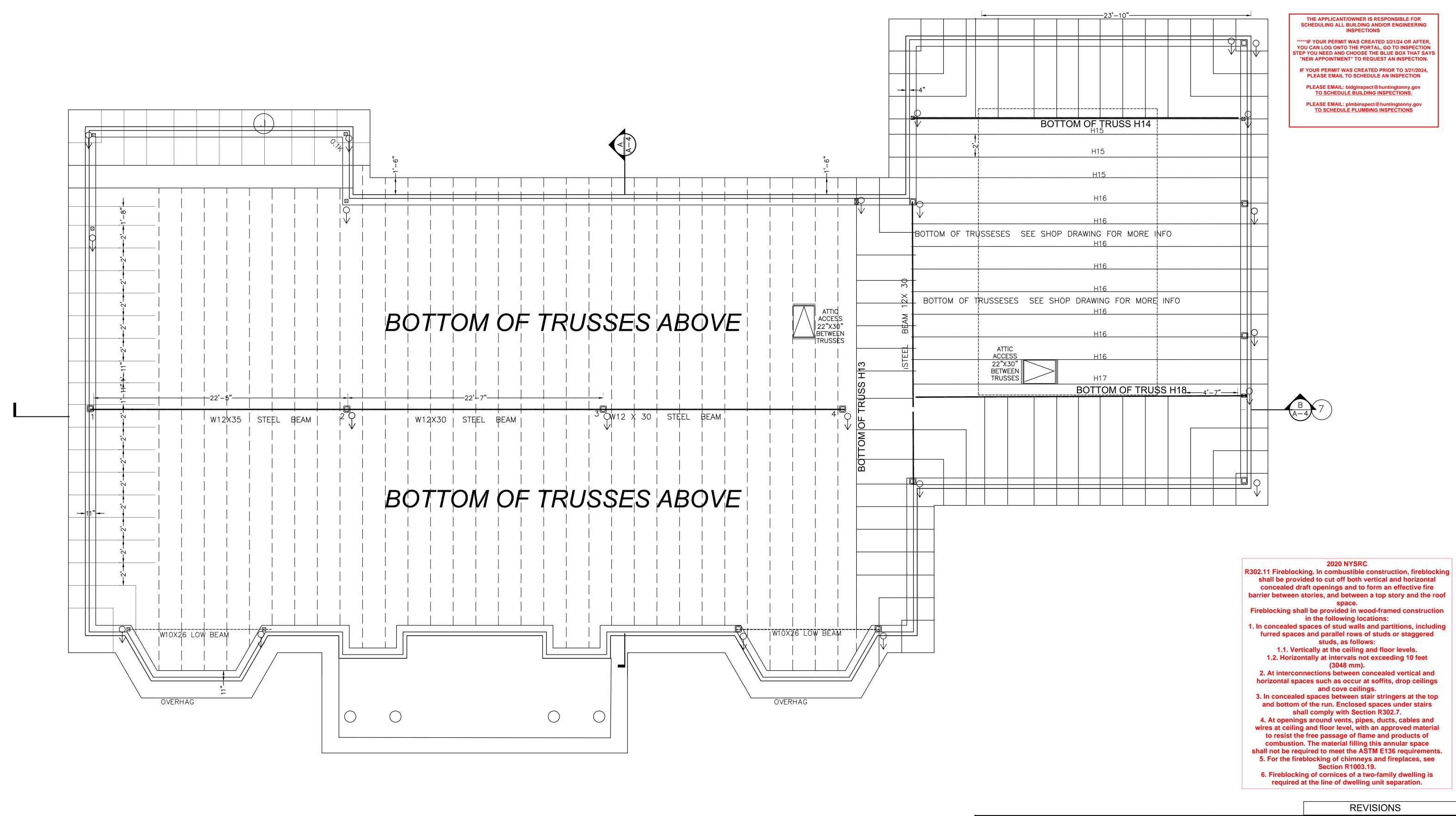
5.12.25 AS PER COMMENTS 4-17-25 12.31.24 S PER COMMENTS 9-20-24 |3.20.24|FIRST FILING DA TE **DESCRIPTION**

DRAWING NO. CHECKED BY: HELEN B 3.20.24 SCALE: AS NOTED

REVISIONS







ATTIC STRUCTURAL PLAN $\overline{SCALE \ 1/4" = 1'-0}$

> NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION,
> ALTERATION, REMOVAL, USE OR OCCUPANCY OF
> BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO
> THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING
> CODE AND TOWN ORDINANCE.

PROPERTY INFORMATION ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION:273 BLOCK: 0003 LOTS: 64

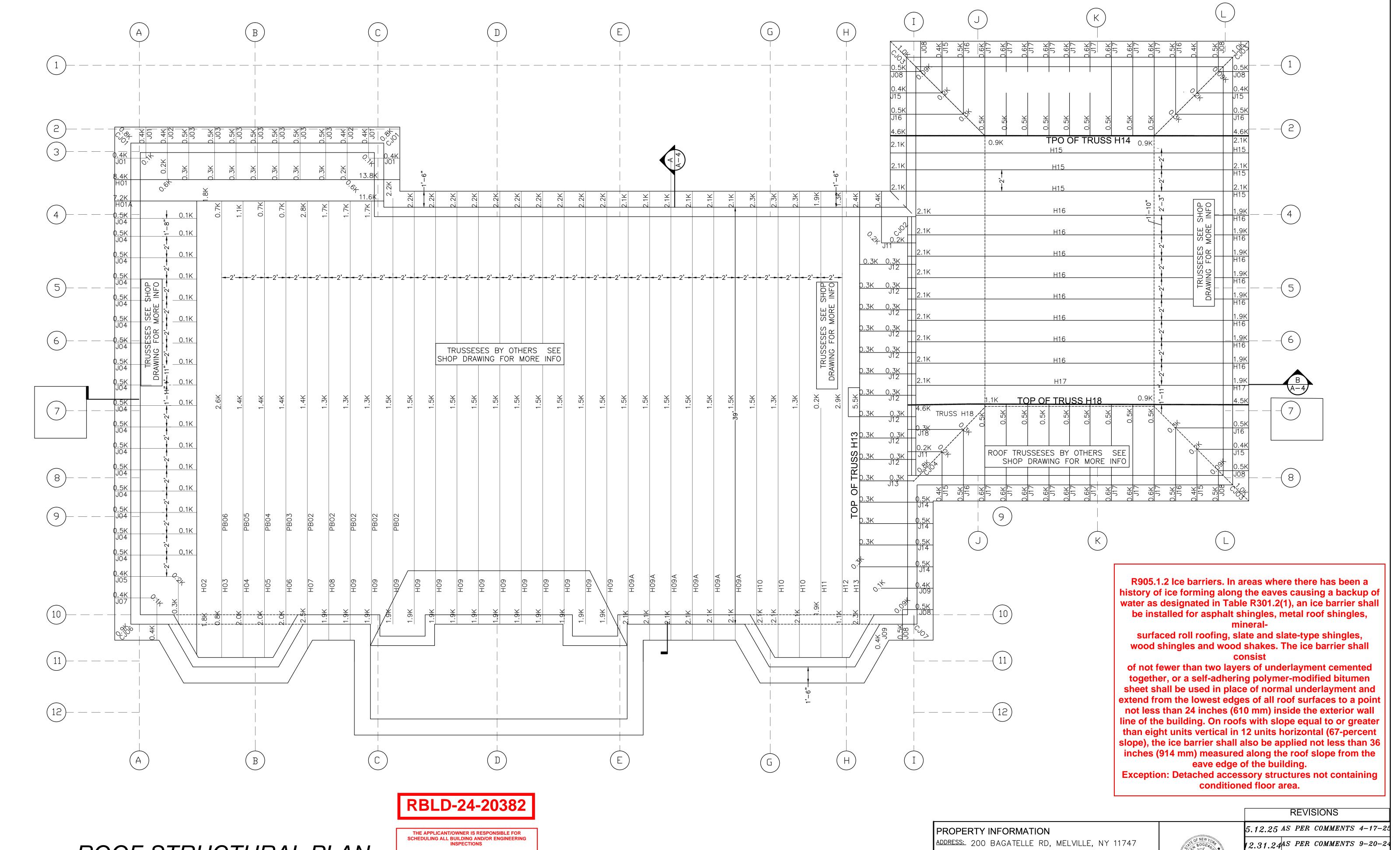
HELEN BOGDANOS, P.E.

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]

		REVI	SIONS		
	5.12.25	AS PER	R COMMENTS	4-17-28	
EN BOGOANO *	12.31.24	AS PER	COMMENTS	9-20-24	
# HE SONEER SONEER	3.20.24	FIR.	FIRST FILING		
700 078677 LE	DATE	DES	SCRIPTION		
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ST FILING CRIPTION DRAWING NO. CHECKED BY:

HELEN B 3.20.24 SCALE: AS NOTED



ROOF STRUCTURAL PLAN SCALE 1/4" = 1'-0

*****IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER, IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024,

PLEASE EMAIL: bldginspect@huntingtonny.gov TO SCHEDULE BUILDING INSPECTIONS. PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING **CODE AND TOWN ORDINANCE.**

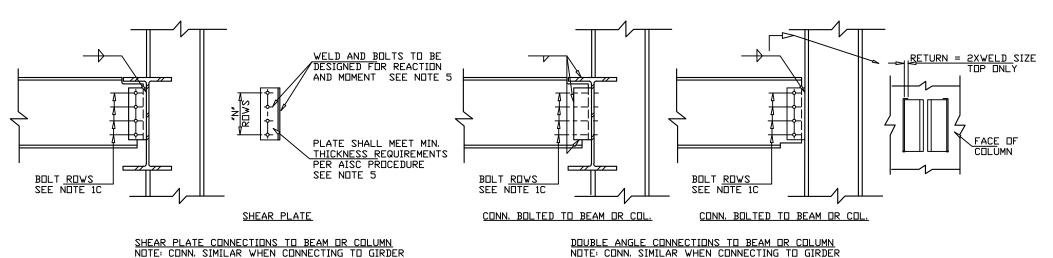
SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION:273 BLOCK: 0003 LOTS: 64

HELEN BOGDANOS, P.E.

FIRST FILING |3.20.24|DA TE **DESCRIPTION** DRAWING NO.

CHECKED BY: HELEN B 3.20.24 SCALE: AS NOTED

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]



OR COLUMN (SHOWN AS DASHED LINE)

1. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE REACTION SHOWN ON THE DRAWINGS OR THE GREATEST OF THE FOLLOWING: a. FOR COMPOSITE BEAMS, REACTION FROM AISC LRFD UNIFORM LOAD TABLES FOR BEAMS FOR APPLICABLE BEAM MATERIAL MULTIPLIED BY 2.0.
b. FOR NON-COMPOSITE BEAMS, REACTION FROM AISC LRFD UNIFORM LOAD

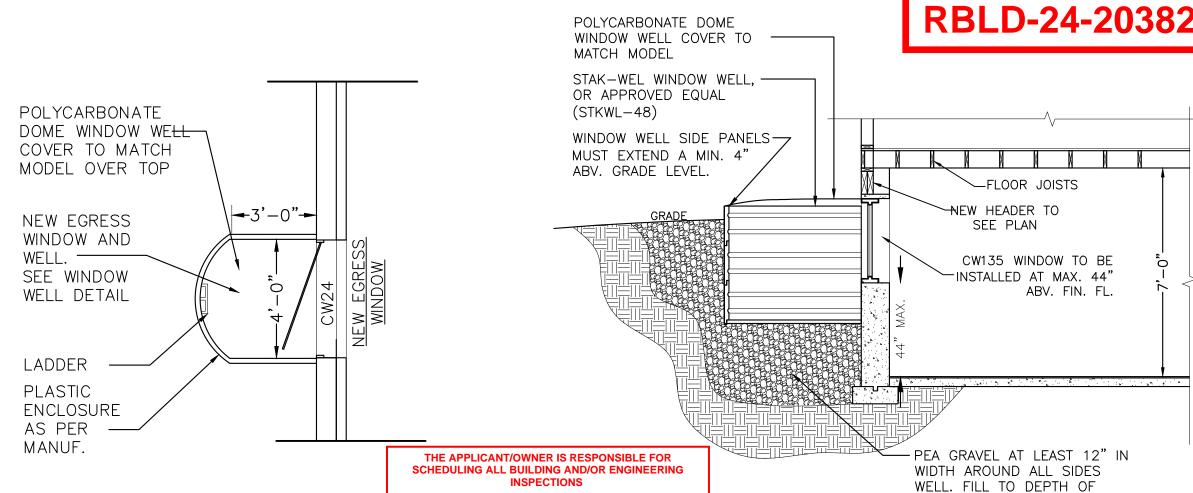
2. BOLTS SHALL BE ¾″ DIAMETER A325 MINIMUM (U.O.N).

PROVIDE WEB REINFORCING AS REQUIRED DUE TO WEB CUTS, COPES AND ETC 5. DESIGN OF DOUBLE ANGLE AND SHEAR PLATE CONNECTIONS SHALL BE BASED UPON THE LATEST AISC PROCEDURES SHOWN IN THE AISC MANUAL OF STEEL 6. FACTOR FOR CONVERSION OF LOADS FROM SERVICE TO ULTIMATE SHALL BE TABLES FOR MEANS FOR APPLICABLE BEAM MATERIAL MULTIPLIED BY 1.3 7. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED, ETC.) MAY BE USED ONLY UPON SPECIFIC APPROVAL OF THE ENGINEER OF RECORD, DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE c. MINIMUM NUMBER OF BOLT ROWS AND MINIMUM CONNECTION CAPACITY

OR COLUMN (SHOWN AS DASHED LINE)

ARCHITECT AND ENGINEER OF RECORD.

TYPICAL SIMPLE SHEAR CONNECTION DETAILS



PLAN DETAIL

SCALE: NTS

TABLE 3.1 (NAILIN	IG SCHD	ULE)
JOINT DESCRIPTION	# OF NAILS	NAIL SPACING
ROOF FRAN	IING	
Rafter to Top Plate (Toe-nailed)	3- 8d	per rafter
Ceiling Joist to Top Plate (Toe-nailed)	3- 8d	per joist
Ceiling Joist to Parallel Rafter (Face-nailed)	3- 16d	each lap
Ceiling Joist Laps over Partitions (Face-nailed)	3- 16d	each lap
Collar Tie to Rafter (Face-nailed)	3- 10d	per tie
Blocking to Rafter (Toe-nailed)	2- 8d	each end
Rim Board to Rafter (End-nailed)	2- 16d	each end
WALL FRAM	ING	
Top plate to Top Plate (Face-nailed)	2- 16d	per foot
Top Plate at Intersections (Face-nailed)	4- 16d	joints - each side
Stud to Stud (Face-nailed)	2- 16d	24" o.c.
Header to Header (Face-nailed)	16d	16" o.c. along edge
Top or Bottom Plate to Stud (End-nailed)	2- 16d	per 2 x 4 stud
(3- 16d	per 2 x 6 stud
	4- 16d	per 2 x 8 stud
Bottom Plate to Floor Joist, Band Joist, End Joist	2- 16d	per foot
or blocking (Face-nailed)		P
FLOOR FRA	MING	
Joist to Sill, Top Plate or Girder (Toe-nailed)	4- 8d	per joist
Bridging to Joist (Toe-nailed)	2- 8d	each end
Blocking to Joist (Toe-nailed)	2- 8d	each end
Blocking to Sill or Top Plate (Toe-nailed)	3- 16d	each block
Ledger Strip to Beam (Face-nailed)	3- 16d	each joist
Joist on Ledger to Beam (Toe-nailed)	3- 8d	per joist
Band Joist to Joist (End-nailed)	3- 16d	per joist
Band Joist to Sill or Top Plate (Toe-nailed)	2- 16d	per foot

Band Joist to Sill or Top Plate (Toe-r	2- 16d	per foot			
ROOF SHEATHING					
Structural Panels		8d	12" o.c.		
Diagonal Board Sheathing					
1"x6" or 1"x8"		2- 8d	per support		
1"x10 or wider		3- 8d	per support		
CEILING SHEATHING					
Gypsum Wallboard	5d coolers	7" edge/10" field			
WAI	L SHEAT	HING			
Structural Panels		8d	12" o.c.		
Fiberboard Panels					
7/16"		6d	3" edge/6" field		
25/32"		8d	3" edge/6" field		
Gypsum Wallboard		5d coolers	7" edge/10" field		
Hardboard		8d	12" o.c.		
Particleboard Panels		8d	12" o.c.		
Diagnonal Board Sheathing					
1"x6" or 1"x8"		2- 8d	per support		
1"x10" or wider	3- 8d	per support			
FLOOR SHEATHING					
Structural Danala					

FLOOR SHEATHING					
Structural Panels 1" or less	8d	6" edge/12" field			
greater than 1"	10d	6" edge/6" field			
Diagnonal Board Sheathing					
1"x6" or 1"x8"	2- 8d	per support			
1"x10" or wider	3- 8d	per support			

A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED

*****IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER.

YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION

STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS

NEW APPOINTMENT" TO REQUEST AN INSPECTION.

F YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024

PLEASE EMAIL TO SCHEDULE AN INSPECTION

TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

B. NAILS SPACED AT 6" OC AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT SUPPORTS WHERE SPANS ARE 48" OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLE BOARD DIAGRAMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING. C. COMMON OR DEFORMED SHANK.

D. COMMON.

E. DEFORMED SHANK.

F. CORROSION RESISTANT SIDING OR CASING NAILS. G. FASTENERS SPACED 3" OC AT EXTERIOR EDGES AND 6" OC AT INTERMEDIATE SUPPORT.

H. CORROSION RESISTANT ROOFING NAILS WITH $\frac{7}{16}$ " DIA HEAD AND 1 $\frac{1}{2}$ " LENGTH FOR $\frac{1}{2}$ " SHEATHING AND 1 $\frac{3}{4}$ " LENGTH FOR $\frac{25}{32}$ " SHEATHING. I. CORROSION RESISTANT STAPLES WITH NOMINAL $\frac{7}{16}$ CROWN AND 1 $\frac{1}{8}$ LENGTH FOR $\frac{1}{2}$ " SHEATHING AND 1 $\frac{1}{2}$ " LENGTH FOR $\frac{25}{22}$ " SHEATHING. PANEL SUPPORTS AT 16" (20" OF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL UNLESS OTHERWISE MARKED)

J. CASING OR FINISH NAILS SPACED 6" ON PANEL EDGES, 12" AT INTERMEDIATE SUPPORT.

K. PANEL SUPPORTS AT 24". CASING OR FINISH NAILS SPACED 6" ON PANEL EDGES, 12"AT INTERMEDIATE SUPPORTS. I. FOR ROOF SHEATHING APPLICATIONS, 8D NAILS ARE THE MIN. REQ'D

FOR WOOD STRUCTURAL PANELS. M. STAPLES SHALL HAVE MIN. CROWN WIDTH OF $\frac{7}{16}$ ". N. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4" OC AT EDGES, 8" AT INTERMEDIATE SUPPORTS.

O. FASTENERS SPACED 4" OC AT EDGES, 8" OC AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3" OC AT EDGES, 6" AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.

P. FASTENERS SPACED 4" OC AT EDGES, 8" AT INTERMEDIATE

MINIMUM UNIFORM DISTRIBUTED DESIGN LOADS (REFER TO TABLE R301.2.2.2.1 FOR DEAD LOAD & R301.5 FOR LIVE LOAD)					
USE	LIVE LOAD	DEAD LOAD			
EXTERIOR BALCONIES	60	10			
DECKS	40	10			
PASSENGER VEHICLE GARAGES	50	PER PLAN			
ATTICS WITHOUT STORAGE (ROOF BELOW 3 PITCH)	10	10			
ATTICS WITH STORAGE (ROOF BELOW 3 PITCH)	20	10			
ATTICS WITH FIXED STAIRS	30	10			
ROOMS OTHER THAN SLEEPING ROOMS	40	10			
SLEEPING ROOMS	30	10			
STAIRS	40	10			
GUARDRAILS AND HANDRAILS	200	10			
ROOF LOADING LIVE- GROUND SNOW LOAD	20				
ROOF LOADING LIVE- GROUND SNOW LOAD	20				

DESIGN CRITERIA IN ACCORDANCE WITH AMERICAN FOREST & PAPER ASSOCIATION. (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAM. DWELLING. (WFCM)1995 EDITION

R905.25 FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL,

ALUMINUM OR COPPER ROOFING NAILS, MIN. 12 GAGE SHANK W/ A MIN. $\frac{3}{8}$ " ASTMF1667, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND

LESS THAN $\frac{3}{4}$ THICK. THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING R905.26 ASPHALT

ROOF SHINGLES SHALL HAVE A MIN. OF SIX FASTENERS PER SHINGLE

A MIN. OF $\frac{3}{7}$ " INTO THE ROOF SHEATHING. WHERE THE ROOF SHEATHING IS

A . . . * TYPICAL SECTION *

TOP OF STEEL SEE PLAN ----

2 STIFF, PLATES EA, SIDE

IF BEAM WEB WITH A MIN

FLANGE WIDTH, BUT NOT LESS THAN THE THICKNESS OF THE COL. FLANGE

½" CAP PLATE (TYP. U.N.O.) PLATE WIDTH 2" GREATER _ THAN COL. FLANGE OR EQUAL

TO BEAM FLANGE WHICHEVER

PR□VIDE ADDÆ T□ MATCH STIFF® THICKNESS ABOVE—WHEN WIDTH OF COL. FLG. IS GREATER THAN THAT OF THE

BEAM FLANGE (1/4" MIN.)

COLUMN WEB PARALLEL TO BEAM WEB

ALTERNATE

COLLAR TIE

THICKNESS OF COLUMN FLANGE/AREA / BEAM -

2-%" Ø A-325 BOLTS EACH SIDE

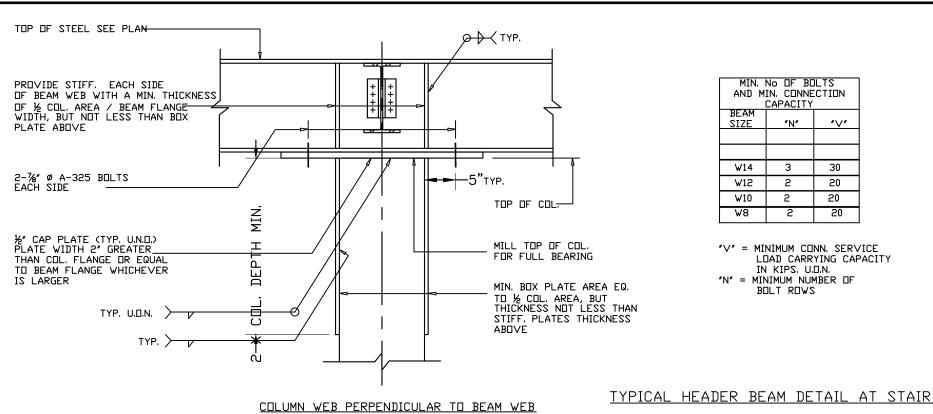
IS LARGER

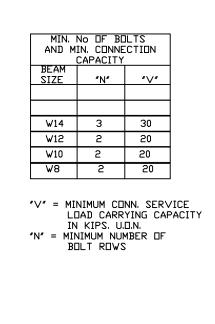
FOUNDATION FOOTING

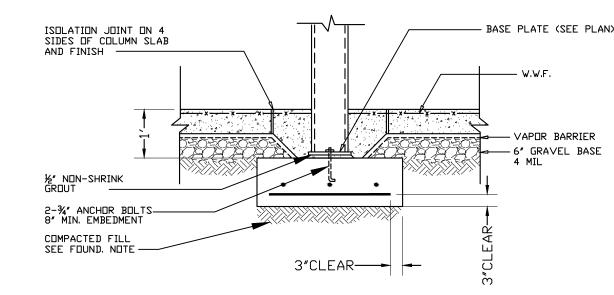
EGRESS WINDOW

SECTION DETAIL

SCALE: NTS







DETAIL FOR INTERIOR STEEL COLUMN ON CONCTRETE FOOTING N.T.S

TYPICAL DETAIL OF BEAM BEARING ON COLUMN

1. BOLTS SHALL BE $\frac{3}{4}$ " DIAMETER A325 MINIMUM (U.O.N).

2. ALL BOLTS SHALL BE FULLY PRE-TENSIONED.

3. PROVIDE WEB REINFORCING AS REQUIRED DUE TO WEB CUTS, COPES AND ETC.

4. DESIGN OF DOUBLE ANGLE AND SHEAR PLATE CONNECTIONS SHALL BE BASED UPON THE LATEST AISC PROCEDURES SHOWN IN THE AISC MANUAL OF STEEL CONSTRUCTION, VOLUME II CONNECTIONS.

5. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED, ETC.) MAY BE USED ONLY UPON SPECIFIC APPROVAL OF THE ENGINEER OF RECORD. DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE ARCHITECT AND ENGINEER OF RECORD.

6. FACTOR FOR CONVERSION OF LOADS FROM SERVICE TO ULTIMATE SHALL BE EQUAL TO 1.3

7. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED) ETC.) MAY BE USED ONLY UPON SPECIFIC APPROVAL OF THE ENGINEER OF RECORD. DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE ARCHITECT AND ENGINEER OF RECORD.

8. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE MINIMUM NUMBER OF BOLT ROWS AND MINIMUM CONNECTION CAPACITY, SEE TABLE. NOTES:

1. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE MINIMUM NUMBER OF BOLT ROWS AND MINIMUM

CONNECTION CAPACITY.SEE TABLE.

SPEED

GROUND WIND

DETAILS

NAILING AND STRAPING

FINISHED SUBJECT PROPERTY

2. BOLTS SHALL BE $\frac{3}{4}$ " DIAMETER A325 MINIMUM (U.O.N). 3. ALL BOLTS SHALL BE FULLY PRE-TENSIONED.

EXPOS.

(MPH) CATEGORY CATEGORY

DESIGN

ALTERNATE

CONFIGURATION.

SIMPSON "LTPA

(OR EQUAL).

AT RAFTER TO RIDGE CONNECTION.

TABLE R 301.2(1)

** ALL STRAPPING TO BE 1 1/4" X 20 GAUGE STL. **

"SIMPSON "EQUIVALENT - CS20 (COILED STRAP)

FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP

AT RAFTER TO TOP PLATE TO STUD CONNECTION.

FOR TOENAILING - 5 8d COMMON NAILS.

FOR NOTED COLLAR / CLG. TIE - 3 10d COMMON NAILS @ EA.

FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP

9 16d COMMON NAILS (FOR 8 PITCH)

FOR C OF EA. PLATE TO PLATFORM ABOVE - 1 16d COMMON NAILS @ 48" O.C.

FOR C.J. TO R.R. - 11 16d COMMON NAILS (FOR 5 PITCH)

SUBJECT TO DAMAGE FROM 1,2

WEATHERING FROST LINE TERMITE DECAY

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

STRUCTURAL STEEL NOTES:

1. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION. "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.

2. ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN", LATEST EDITION.

3. NEW STEEL TUBE POST SHALL CONFORM TO ASTM STANDARD A-500 WITH A MINIMUM YIELD STRENGTH OF 46 KSI.

4. ALL CONNECTION MATERIAL, PLATES AND ANGLE, SHALL CONFORM TO ASTM A-36 WITH A MINIMUM YIELD STRENGTH OF 36 KSI.

5. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE IS GRANTED, HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIC DETAILS SHOWN ON THE DRAWINGS. IN ANY EVENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY ALTERNATE DETAILS WHICH HE PROPOSES.

WINTER ICE SHIELD FLOOD AIR FREEZE
DESIGN UNDERLAYMENT HAZARDS INDEX

NO 599

6. ALL WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS IN ACCORDANCE WITH A.W.S. SPECIFICATIONS, LATEST EDITION.

7. ALL WELDING ELECTRODES, FOR NEW STEEL FABRICATION, SHALL CONFORM TO A.W.S. A5.1 GRADE E-70 BARE ELECTRODES AND GRANULAR FLUX SHALL CONFORM TO A.W.S. A5.17, F-70 A.W.S. FLUX CLASSIFICATION.

8. ALL EXTERIOR STEEL ELEMENTS NOT SPECIFIED TO BE GALVANIZED SHALL RECEIVE TWO SHOP COATS OF TNEMEC NO. 50-330 POLY-URA-PRIME AT 2.0-3.0 MILS DRY.

9. ALL BEAM TO GIRDER CONNECTIONS SHALL BE BOLTED CONNECTIONS USING ¾ ON CENTER BOLTS IN STANDARD HOLES OR SLIP CRITICAL BOLTS IN OVERSIZED OR SLOTTED HOLES

10. THE STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF FOOTING AND TOP OF WALL ELEVATION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MORE STRINGENT REQUIREMENTS.

11. ALL WELDS NOT SPECIFICALLY CALLED OUT SHALL BE AT LEAST THE MINIMUM WELD SIZE AS SPECIFIED BY CURRENT AISC MANUAL OF STEEL DESIGN.

12. THE STRUCTURAL STEEL CONTRACTOR SHALL VERIFY AND COORDINATE THE LOCATIONS OF BEAMS AND GIRDERS AROUND ELEVATORS WITH THE MECHANICAL DRAWINGS.

LINTELS SCHEDULE

CONTRACTOR SHALL FURNISH ONE (1) LINTEL ANGEL FOR EACH 4" OR 6" OF MASNRY FOR THE FOLLOWING OPENING SIZES PER THE FOLLOWING SCHEDULE UNLESS OTHERWISE NOTED.

ALL LINTEL ANDLES TO HAVE 6" MINIMUM BAREING

MASONRY LINTEL ANGLE SIZE (INCHES) LINTEL ANGLE SIZE **OPENING** (4" & 8" WALLS) (6" WALLS) $4x3\frac{1}{2}x\frac{5}{16}(3\frac{1}{2} \text{ O.S.1})$ $5x5 \times \frac{5}{16}$ UP TO 6'-6" $5x3\frac{1}{2}x\frac{5}{16}(3\frac{1}{2} \text{ O.S. 1})$ $5x5x \frac{5}{16}$ UP TO 8'-0" $5x3\frac{1}{2}x\frac{5}{16}(3\frac{1}{2} \text{ O.S. 1})$ UP TO 12'-0" $6x6x\frac{5}{16}$

FOR 10" WALLS CONTRACTOR SHALL FURNISH TWO (2) LINTEL ANGLES FOR THE FOLLOWING OPENING SIZES UNLESS OTHERWISE NOTED

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING **CODE AND TOWN ORDINANCE.**

MASONRY OPENING UP TO 6'-6" UP TO 8'-0" UP TO 12'-0"

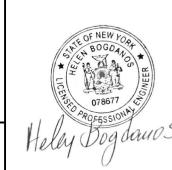
LINTEL ANGLE SIZE (INCHES) (10" WALLS) $4x4x\frac{5}{16}$ $6x4x\frac{5}{16}$ (4" O.S. 1) $8x4x\frac{3}{8}$ (4" O.S. 1)

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION:273 BLOCK: 0003 LOTS: 64

PROPERTY INFORMATION



PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]



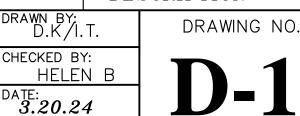
5.12.25 AS PER COMMENTS 4-17-2 12.27.24AS PER COMMENTS 9-20-24 |3.20.24|FIRST FILING

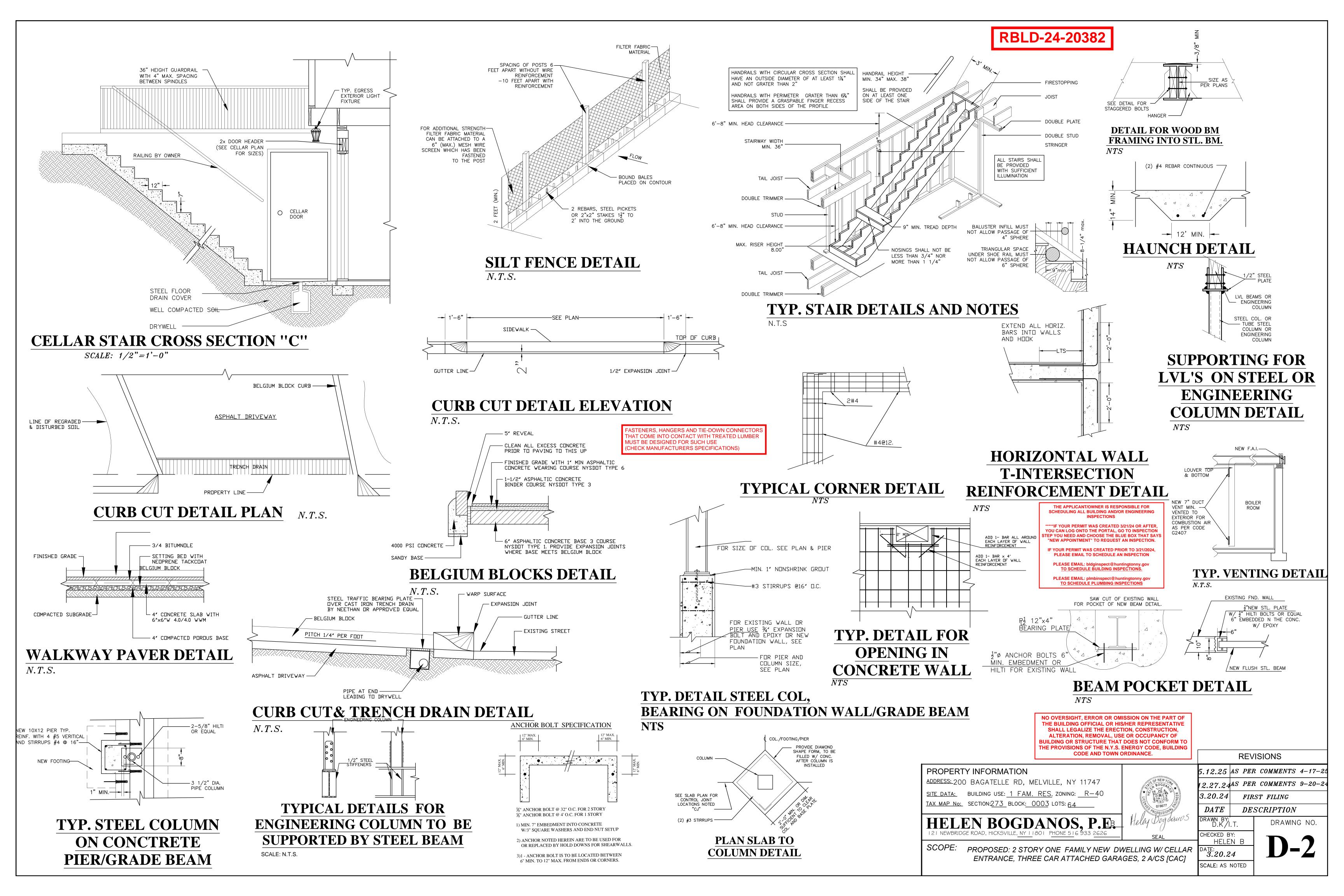
REVISIONS

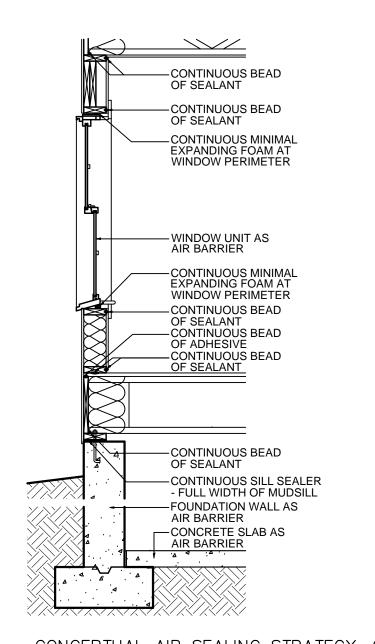
DATE**DESCRIPTION**

HELEN B

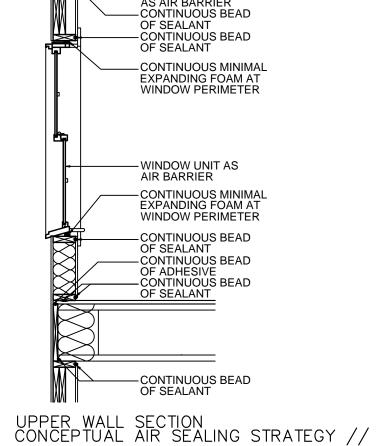
SCALE: AS NOTED







CONCEPTUAL AIR SEALING STRATEGY // LOWER WALL SECTION



-FLOOR ASSEMBLY

- INSET BAND JOIST

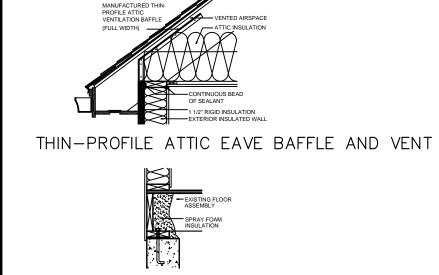
— CAVITY INSULATION

TOP PLATE

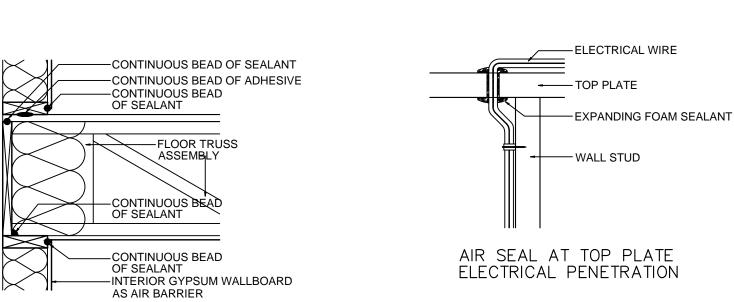
INSET BAND JOIST AT TOP PLATE

1 1/2" RIGID INSULATION

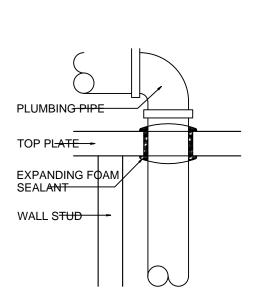




EXISTING BAND JOIST INSULATION RETROFIT WITH SPRAY FOAM

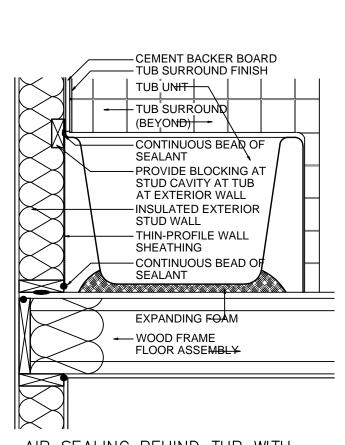


CONCEPTUAL AIR SEALING STRATEGY AT UPPER FLOOR BAND JOIST



-INTERIOR CHASE WALLS —PIPE PENETRATION -EXPANDING FOAM AT PERIMETER OF PIPE THIN-PROFILE SHEATHING CLOSURE AT EXTERIOR WALL — CONTINUOUS BEAD LADDER BLOCKING —— EXTERIOR INSULATED WALL

AIR SEAL AT TOP PLATE PIPE PENETRATION AIR SEAL AT CHASE WALLS // PLAN





MECHANICAL LATCH TO PRESSURE

-MANUFACTURED PULL DOWN STAIR

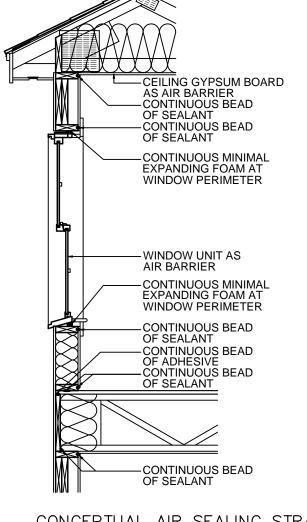
SEAL AT WEATHERSTRIPPING

- ATTIC INSULATION — ATTIC FLOOR FRAMING

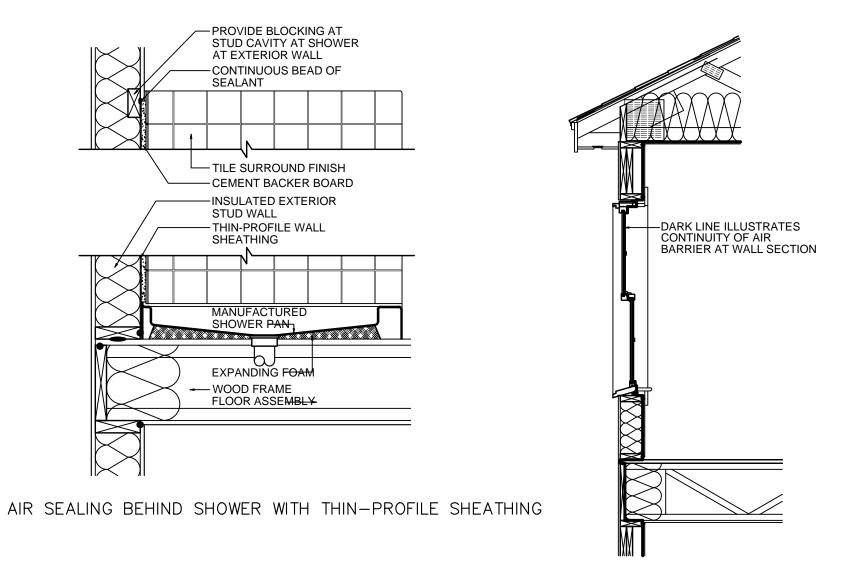
RIGID INSULATION "R-VALUE/DEPTH PER CLIMATE"

- COMPRESSIBLE WEATHERSTRIPPING AT PERIMETER OF ENCLOSURE - SITE BUILT ATTIC ENCLOSURE - MECHANICALLY SECURED

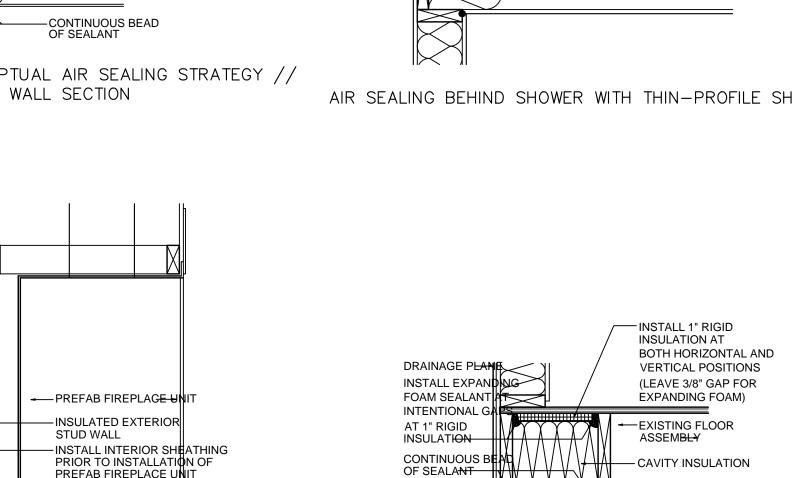
AIR SEALING AT ATTIC PULL DOWN ATTIC STAIR



CONCEPTUAL AIR SEALING STRATEGY // UPPER WALL SECTION



CONCEPTUAL LINE OF CONTINUOUS AIR BARRIER // UPPER WALL SECTION

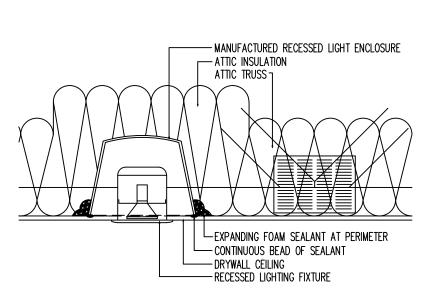


MINIMUM 1/2"

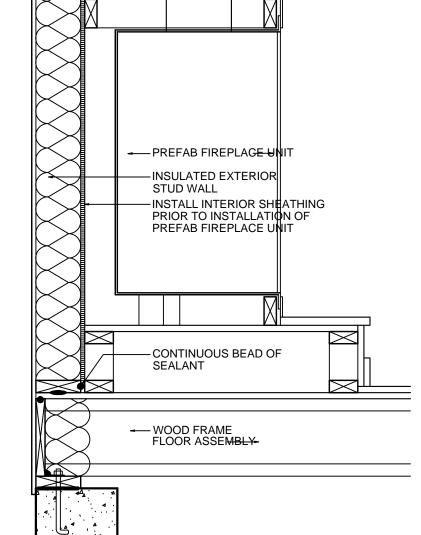
1" RIGID INSULATION

SOFFIT CLOSURE

INSULATED CANTILEVER FLOOR // CAVITY INSULATION WITH 1" RIGID INSULATION CLOSURE



AIR SEALING AT RECESSED LIGHTING IN ATTIC



AIR SEALING AT PLATFORM FOR MANUFACTURED FIREPLACE ASSEMBLY

G.C. TO ARRANGE FOR A TEST PRIOR TO CONSTRUCTION ACH 50 AND ADDITIONAL DOOR BLOWER TEST AFTER ALL INSULATION WORK HAS BEEN COMPLETED. G.C. IS RESPONSIBLE FOR RECTIFYING ANY DIFFERENCES (BELOW STATED N.Y.S. APPROVED READINGS)

TABLE R402.1.2: INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE 6 OPTION 1	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWLSPACE WALL R-VALUE
	0.32	0.55	0.4	49/38 ^a	20+5 or 13+10 ^e	15/20 ^b	30 ^f	15/19 ^C	10, 4 ft ^d	15/19 ^C

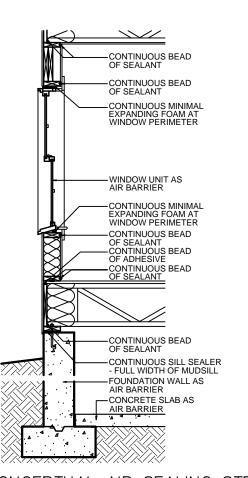
a. R-38 insulation is allowed in lieu of R-49 if entire surface of attic is covered with insulation and it goes over sill plates

b. The second R-value applies when more than half the insulation is on the interior of the mass wall

c. "15/19" means R-40 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall. d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.

i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.



CONCEPTUAL AIR SEALING STRATEGY // LOWER WALL SECTION

→ EXISTING FLOOR

ASSEMBLY-

INSULATION

— OPTIONAL CAVITY

EXPANDING FOAM AROUND/

CUT RIGID INSULATION

EXISTING BAND JOIST INSULATION RETROFIT WITH 1 1/2" RIGID INSULATION

THE PERIMETER OF LOOSELY

THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING

INSPECTIONS *****IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER. YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION
STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS "NEW APPOINTMENT" TO REQUEST AN INSPECTION.

IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024, PLEASE EMAIL TO SCHEDULE AN INSPECTION

PLEASE EMAIL: bldginspect@huntingtonny.gov
TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

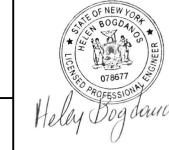
NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING **CODE AND TOWN ORDINANCE.**

PROPERTY INFORMATION

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION:273 BLOCK: 0003 LOTS: 64

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR

ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]



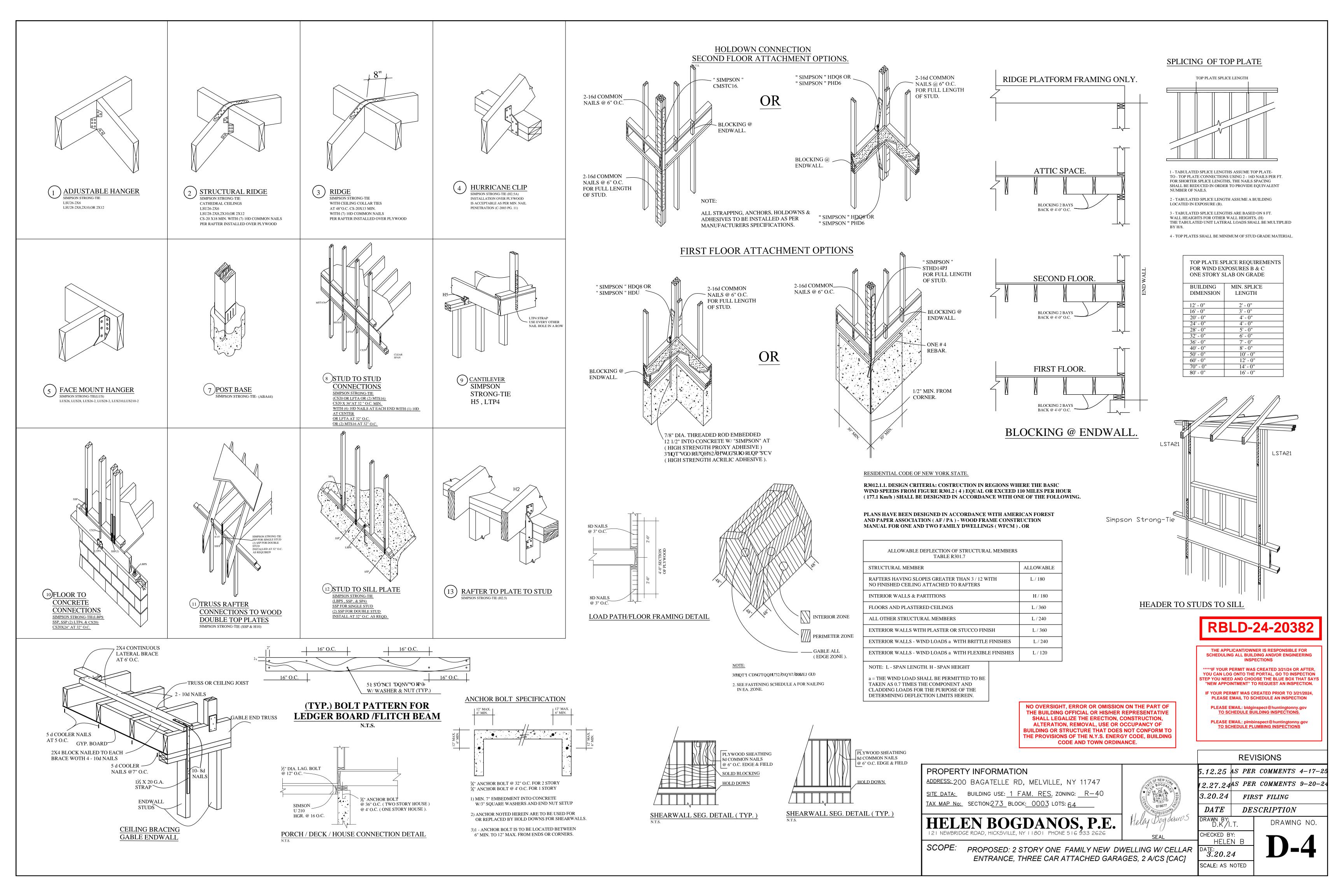
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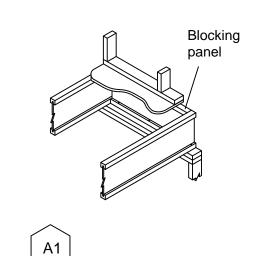
REVISIONS					
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12.27.24	AS PER COMMENTS	9-20-2			
3.20.24	FIRST FILING				
 DATE	DESCRIPTION				

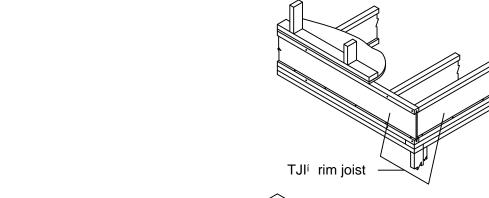
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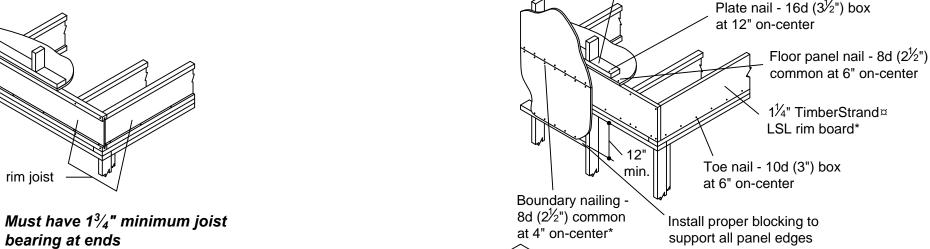
HELEN B 3.20.24SCALE: AS NOTED

DRAWING NO.









ALLOWABLE HOLES - TJI® Joists

Minimum distance from edge of hole to inside face of nearest end support

ROUND HOLE SIZE

Do not cut holes larger

Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

4" 6" 8" 10" 12" 14¾" 16¾" 4" 6" 8" 10" 12" 14¾" 16¾"

than $1\frac{1}{2}$ " in cantileve

Min. distance from Table A

Table A - End Support

(applies to all holes

except knockouts)

100C | 1'-0" | 1'-6" | 2'-0" | 5'-0"

400C 1'-0" 1'-6" 2'-6" 5'-6"

-0" 1'-0" 1'-6" 3'-0" 6'-6" -0" 1'-0" 1'-0" 3'-6" 7'-0"

 300C
 1'-0"
 1'-0"
 1'-0"
 1'-0"
 1'-0"
 1'-6"
 4'-0"
 7'-0"

 400C
 1'-0"
 1'-0"
 1'-0"
 1'-0"
 2'-6"
 5'-6"
 9'-0"

4" 6" 8" 10" 12" 14¾" 16¾"

ROUND HOLE SIZE

'-0" 1'-0" 1'-0" 2'-6" 5'-0"

100C 1'-0" 1'-0" 1'-0" 2'-6" 5'-0"

18" 300C 1'-0" 1'-0" 1'-0" 3'-0" 7'-0"

Table B - Intermediate or Cantilever Support

100C 1'-0" 1'-6" 2'-0" 4'-0" 8'-0"

 300C
 1'-0"
 1'-0"
 1'-0"
 2'-0"
 4'-0"
 6'-6"
 11'-0"

 400C
 1'-0"
 1'-0"
 1'-0"
 3'-6"
 6'-0"
 8'-6"
 13'-6"

18" 300C 1'-0" 1'-0" 2'-0" 4'-0" 6'-0" 11'-0" 400C 1'-0" 1'-0" 3'-6" 6'-0" 8'-6" 14'-6"

20" 300C 1'-0" 1'-0" 1'-0" 3'-0" 5'-0" 8'-0" 12'-0" 400C 1'-0" 1'-0" 1'-6" 4'-0" 6'-6" 10'-0" 14'-6"

2" 3" 4" 6¼" 85%" 10¾" 12¾"

20" 300C 1'-0" 1'-0" 1'-0" 1'-0" 1'-6" 5'-0" 7'-6" 400C 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 2'-0" 6'-0" 10'-0"

100C 1'-6" 2'-6" 3'-0" 7'-6"

Rectangular holes based on measurement of longest side

configurations contact your iLevel representative.

300C 2'-0" 3'-0" 4'-6" 8'-6"

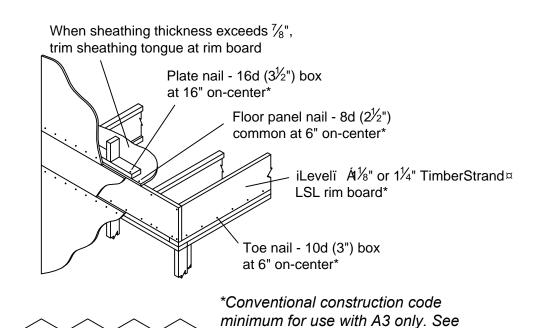
400C 2'-0" 3'-6" 4'-6" 8'-6"

No field cut

zones

2x_ stud wall at

16" on-center



A3.1-A3.3 installation specifications.

A3 ||A3.1||A3.2||A3.3| iLevel Framer's Pocket Guide for

THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING

*****IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER,

YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION

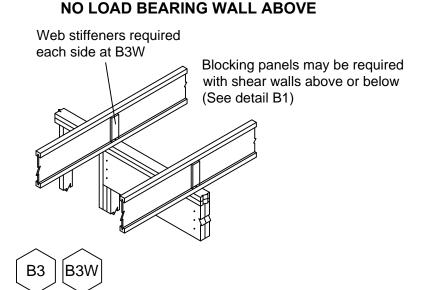
STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAY

"NEW APPOINTMENT" TO REQUEST AN INSPECTION

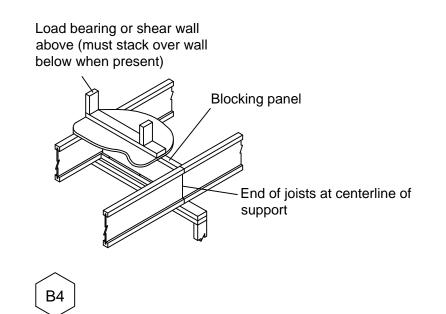
IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024

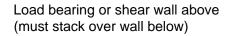
PLEASE EMAIL: bldginspect@huntingtonny.g TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL TO SCHEDULE AN INSPECTION



INTERMEDIATE BEARING





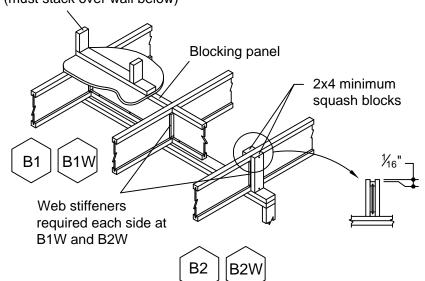
Min. distance from Table A

Table A - End Support

(applies to all holes

No field cut

holes in



ALLOWABLE HOLES - TJI® Joists

Minimum distance from edge of hole to inside face of nearest end suppor

ROUND HOLE SIZE

2" 3" 4" 5" 6½" 7" 8¾" 11" 13"

110 1'-0" 1'-6" 2'-0" 2'-6" 5'-0"

230 1'-0" 2'-0" 2'-6" 3'-6" 5'-6"

110 1'-0" 1'-0" 1'-0" 1'-0" 2'-6" 2'-6" 5'-0"

360 1'-0" 1'-0" 1'-6" 2'-6" 4'-6" 5'-0" 7'-0"

 210
 1'-0"
 1'-0"
 1'-0"
 1'-6"
 2'-6"
 3'-0"
 5'-6"

 230
 1'-0"
 1'-0"
 1'-0"
 2'-0"
 3'-0"
 3'-6"
 6'-0"

210 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-6" 3'-0" 6'-0"

360 1'-0" 1'-0" 1'-0" 1'-0" 2'-6" 3'-0" 5'-6" 8'-0"

 560
 1'-0"
 1'-0"
 1'-0"
 1'-0"
 2'-6"
 3'-0"
 6'-0"
 9'-0"

20" 360 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 2'-0" 7'-0" 10'-6"

110 1'-6" 2'-6" 3'-0" 4'-0" 7'-6"

360 3'-0" 4'-0" 5'-6" 6'-6" 9'-0"

110 1'-0" 1'-0" 1'-6" 2'-6" 4'-0" 4'-0" 8'-0"

210 1'-0" 1'-0" 2'-0" 3'-0" 4'-6" 5'-0" 9'-0"

360 2'-0" 3'-0" 4'-0" 5'-6" 7'-0" 7'-6" 11'-0"

560 1'-6" 3'-0" 4'-6" 5'-6" 8'-0" 8'-6" 12'-0"

110 1'-0" 1'-0" 1'-0" 1'-0" 2'-0" 2'-6" 4'-6" 8'-0"

210 1'-0" 1'-0" 1'-0" 1'-0" 2'-6" 3'-0" 5'-0" 9'-0"

360 1'-0" 1'-0" 2'-0" 3'-6" 5'-6" 6'-0" 8'-6" 12'-6"

560 1'-0" 1'-0" 1'-6" 3'-6" 5'-6" 6'-6" 9'-6" 13'-6"

360 1'-0" 1'-0" 1'-0" 1'-6" 3'-0" 6'-0" 9'-0" 15'-0"

560 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-6" 5'-6" 12'-0" 16'-0"

located at the center of the joist span provided no other holes occur in the joist.

560 1'-0" 1'-0" 1'-0" 2'-0" 6'-0" 10'-0" 16'-6"

20" 360 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 3'-0" 6'-0" 11'-0" 15'-6"

| 210 | 1'-0" | 1'-0" | 1'-0" | 1'-0" | 1'-0" | 1'-0" | 3'-0" | 5'-6" | 9'-6" | | 230 | 1'-0" | 1'-0" | 1'-0" | 1'-0" | 1'-6" | 2'-0" | 4'-0" | 6'-6" | 10'-6" | 360 | 1'-0" | 1'-0" | 1'-0" | 1'-0" | 3'-0" | 4'-0" | 6'-6" | 10'-0" | 13'-6" | 560 | 1'-0" | 1'-0" | 1'-0" | 1'-0" | 2'-6" | 3'-6" | 7'-0" | 11'-0" | 15'-0" |

4" 5" 6" 7" 8" 10" 12" 15" 17"

Knockouts are located in web at approximately 12" on-center; they do not affect hole placement.

• Holes may be located vertically anywhere within the web. Leave ½" of web (minimum) at top and bottom of hole.

• For simple span (5' minimum) uniformly loaded joists meeting the requirements of this guide, one maximum size round hole may be

• Distances are based on the maximum uniform loads shown in current iLevel specifier's guide. For other load conditions or hole

117/8" **230** 1'-0" 2'-0" 2'-6" 3'-6" 5'-0" 5'-6" 9'-6"

210 2'-0" 2'-6" 3'-6" 4'-6" 7'-6"

Table B - Intermediate or Cantilever Support

210 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-6" 3'-6" 6'-0"

230 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 2'-0" 4'-0" 6'-6"

360 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 3'-0" 6'-0" 9'-0" 560 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 3'-0" 6'-6" 10'-0"

4" 5" 6" 7" 8" 10" 12" 15" 17"

ROUND HOLE SIZE

2" 3" 4" 5" 6½" 7" 8¾" 11" 13"

Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

230 1'-0" 1'-0" 1'-0" 1'-0" 1'-6" 2'-0" 3'-6" 6'-6"

Do not cut holes larger

than $1\frac{1}{2}$ " in cantilever

Min. distance from Table B

1½" hole may be cut

SQUARE OR RECTANGULAR HOLE SIZE

'-0" 2'-0" 3'-0" 4'-6" 5'-0" '-6" 2'-6" 3'-6" 5'-0" 5'-6"

1'-0" 1'-0" 2'-0" 3'-0" 5'-0" 5'-6" 6'-6" 1'-0" 1'-0" 2'-0" 3'-0" 5'-6" 5'-6" 5'-6" 7'-0" 1'-0" 1'-0" 2'-6" 4'-0" 6'-6" 6'-6" 7'-6" 1'-0" 1'-0" 2'-6" 4'-0" 6'-6" 6'-6" 7'-6"

1'-0" 1'-0" 2'-0" 4'-0" 4'-6" 6'-6" 8'-6"

-0" 1'-0" 1'-0" 2'-0" 4'-0" 5'-0" 7'-0" 9'-0"

0" 1'-0" 1'-0" 2'-6" 5'-6" 6'-6" 8'-0" 9'-6"

'-0" 1'-0" 1'-0" 1'-0" 2'-6" 3'-6" 6'-6" 8'-0" 10'-6"

1'-0" 1'-0" 1'-0" 1'-0" 3'-0" 3'-6" 7'-0" 9'-0" 11'-0"

1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 5'-0" 9'-0" 10'-0" 11'-6" 1'-0" 1'-0" 1'-0" 1'-0" 10'-0" 11'-0" 12'-0"

4" 5" 6" 7" 8" 10" 12" 15" 17"

'-0" 1'-0" 1'-0" 1'-0" 2'-6" 8'-0" 11'-6" 14'-0" 15'-6"

SQUARE OR RECTANGULAR HOLE SIZE

'-6" 2'-6" 3'-6" 5'-6" 6'-6"

'-0" 2'-0" 3'-0" 4'-6" 7'-6" 8'-0" 10'-0"

1'-0" 2'-6" 3'-6" 5'-0" 8'-0" 8'-6" 10'-0" 2'-0" 3'-6" 5'-0" 7'-0" 9'-6" 9'-6" 11'-0"

3'-0" 4'-6" 6'-0" 8'-0" 10'-6" 11'-0" 12'-0"

<u>'-0" 1'-0" 2'-0" 3'-6" 6'-0" 7'-0" 10'-0" 12'-6"</u>

0" 1'-0" 2'-6" 4'-0" 6'-0" 7'-6" 10'-6" 13'-0"

1'-0" 1'-0" 1'-0" 2'-0" 4'-6" 5'-6" 9'-6" 12'-6" 15'-6" 1-0" 1'-0" 1'-0" 1'-0" 2'-6" 5'-0" 6'-0" 10'-6" 13'-0" 16'-0" 1-0" 1'-0" 2'-0" 4'-0" 7'-6" 8'-6" 13'-0" 14'-6" 17'-0" 1'-0" 1'-0" 3'-6" 5'-6" 9'-0" 10'-0" 14'-6" 16'-0" 18'-0"

-0" 3'-0" 5'-0" 7'-0" 10'-0" 11'-0" 13'-6" 15'-0"

4" 5" 6" 7" 8" 10" 12" 15" 17"

1'-0" 1'-6" 4'-0" 6'-6" 9'-0" 14'-6" 16'-6" 19'-6"

'-0" 3'-6" 6'-0" 8'-6" 11'-6" 16'-6" 18'-0" 20'-0"

2" 3" 4" 5" 6½" 7" 8¾" 11" 13"

-0" 3'-0" 4'-0" 6'-0" 7'-0"

'-0" 1'-0" 1'-6" 3'-6" 6'-6" 7'-0" 9'-0" 10'-0"

2" 3" 4" 5" 6½" 7" 8¾" 11" 13"

1'-0" 1'-0" 1'-6" 2'-6" 4'-6" 4'-6" 6'-0"

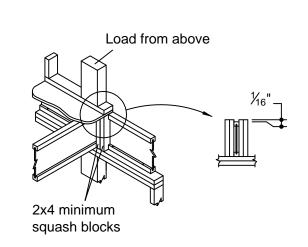
anywhere in web out-

side of hatched zone DO NOT

cut or notch flange

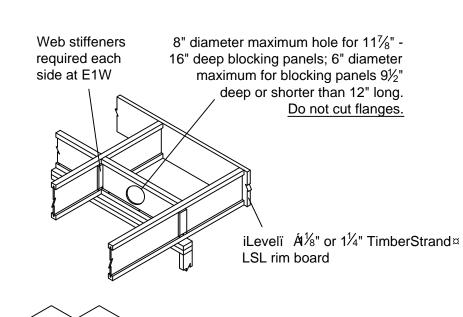
DO NOT

cut holes in cantilever



Use 2x4 minimum squash blocks to

transfer load around TJI® joist



Min. distance from Table B

-0" 1'-6" 2'-6" 4'-0"

0" 1'-0" 1'-6" 4'-0" 5'-6"

<u>'-0" 1'-0" 1'-0" 3'-0" 5'-0" 6'-6"</u>

11/2" hole may be cut

SQUARE OR RECTANGULAR HOLE SIZE

1'-0" 1'-0" 1'-0" 2'-6" 6'-6" 8'-0" 10'-0" 1-0" 1-0" 1'-0" 1'-0" 8'-6" 9'-6" 11'-0"

4" 6" 8" 10" 12" 14¾" 16¾"

1'-0" 1'-0" 2'-0" 6'-0" 8'-6" 11'-0" 13'-6" 11'-0" 1'-0" 4'-0" 8'-0" 11'-0" 13'-0" 14'-6"

2" | 3" | 4" | 6¼" | 85%" | 10¾" | 12¾" |

1'-6" 2'-6" 3'-6" 6'-0"

3'-6" 4'-6" 5'-6" 7'-6"

6" 3'-0" 4'-6" 7'-0"

1'-0" 1'-0" 4'-0" 7'-0" 8'-6" 12'-0"

SQUARE OR RECTANGULAR HOLE SIZE

1'-0" 3'-6" 6'-6" 11'-0" 13'-6" 17'-0"

and tables.

HOLE SIZE

1'-0" 1'-6" 5'-0" 9'-0" 13'-0" 16'-0" 18'-0" 1'-6" 5'-0" 8'-0" 12'-6" 16'-0" 18'-0" 19'-6"

i'-0" 6'-0" 9'-6" 14'-6" 16'-0" 18'-6"

side of hatched zone DO NOT

cut or notch flange

DO NOT

cut holes in cantilever

anywhere in web out-

A3.4

When sheathing thickness exceeds $\frac{7}{8}$,

*See iLevel Framer's Pocket Guide for

additional installation specifications

trim sheathing tongue at rim board

NAILING REQUIREMENTS

TJI® joists at bearings: One 8d (21/2") box nail each side. Drive

Blocking panels, rim joist or rim board to bearing plate: (8 blocking panels or rim joist: 10d (3") box pails at 6" o Trus Joist rim board: Toenail with 10d (3") box nails at 6" o.c. or 16d (3½") box nails at 12" o.c. Shear transfer: Connections equivalent to decking nail schedule

Rim board, rim joist or closure to TJI® joist: "width or less: One 10d (3") box nail into each $2\frac{1}{16}$ " thru $2\frac{1}{2}$ " widths: One 16d $(3\frac{1}{2}$ ") box nail into each flange. 31/2" width: One 10d (3") box nails, one each side of TJI® joist

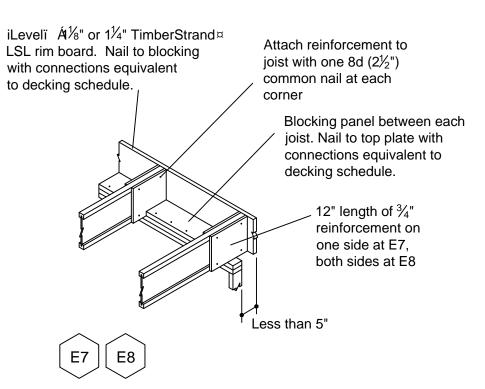
Apply subfloor

adhesive to all

contact surfaces

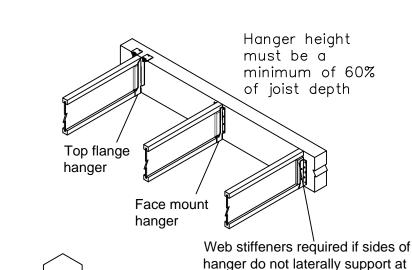
PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

2x4 minimum squash blocks: One 10d (3") box nail into each



iLevelï Á11/8" or 11/4" TimberStrand¤

LSL rim board



NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING

CODE AND TOWN ORDINANCE.

least \(^3\)/s" of TJI\(^1\) joist top flange

CONNECTION OF MULTIPLE PIECES OF TOP-LOADED BEAMS (1)

13/4" Width Pieces:

Minimum of 3 rows 10d (3" x 0.128") nails at 12" o.c.

Minimum of 4 rows 10d (3" x 0.128") nails at 12" o.c.

for 14" and deeper beams

• If using 12d ($3\frac{1}{4}$ ") or larger nails, the number of nailing rows may be reduced by one.

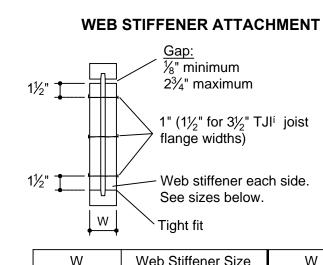
3½" Width Pieces:

 Minimum of 2 rows ½" bolts at 24" o.c. staggered

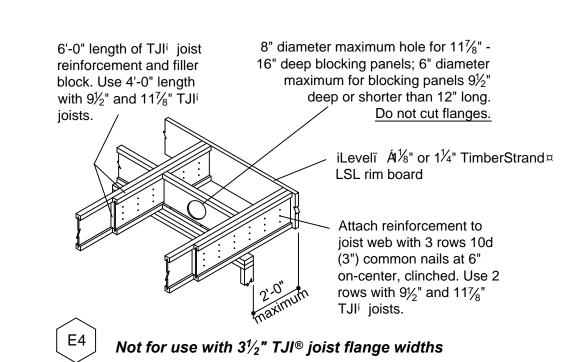
(1) Load must be applied evenly across entire

beam width. Otherwise, use connections for side-loaded beams.

Additional nailing or bolting may be required with side-loaded multiple-member beams. Refer to current product literature.



	W	Web Stiffener Size	W	Web Stiffener Size
	1½"	½" x 25/16" minimum	2 ⁵ / ₁₆ "	$\frac{7}{8}$ " x $2\frac{5}{16}$ " minimum
\wedge	13/4"	5/ ₈ " x 25/ ₁₆ " minimum	2½"	1" x 2 ⁵ ⁄ ₁₆ " minimum
$\left[W \right]$	2½"	3/4" x 25/16" minimum	3½"	2x4



TJI¹ Joist blocking with end

locations using

two 8d (2½")

box nails or $2\frac{1}{2}$ " screws,

 $2x_{\text{strapping installed at }}$

 $2\frac{1}{2}$ " screws per joist, typical

Option #3:

When specified on the layout, one

of the three bracing options

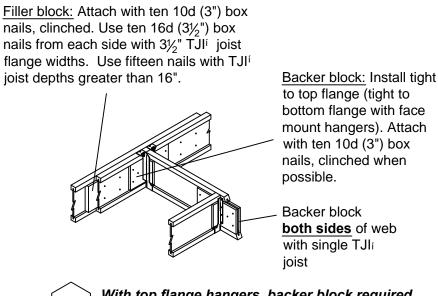
shown must be installed

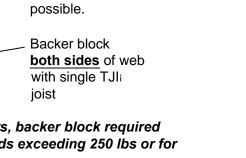
directly applied ceiling

joist-span locations using two

typical

blocks installed at ½ joist-span





Attach reinforcement to

joist with one 8d $(2\frac{1}{2})$

12" length of $\frac{3}{4}$ "

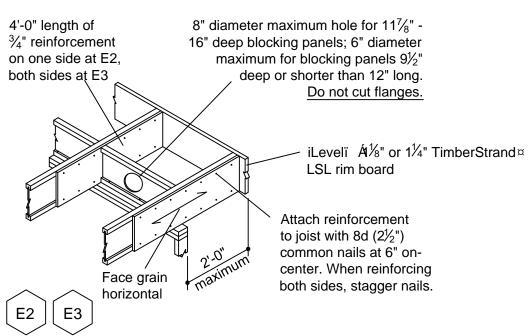
reinforcement or

one side at E5,

both sides at E6

common nail at each

Less than 5'



With top flange hangers, backer block required only for downward loads exceeding 250 lbs or for

PROPERTY INFORMATION

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747 SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40TAX MAP No: SECTION:273 BLOCK: 0003 LOTS: 64

078677

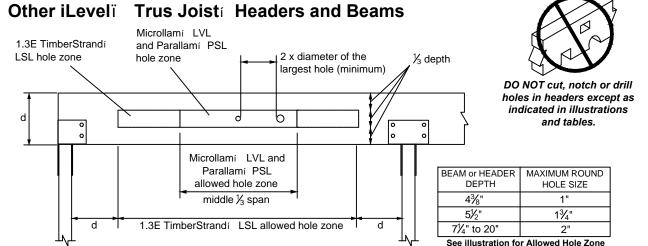
5.12.25 AS PER COMMENTS 4-17-2 12.27.24AS PER COMMENTS 9-20-24 3.20.24FIRST FILING

REVISIONS

DA TE **DESCRIPTION** DRAWING NO.

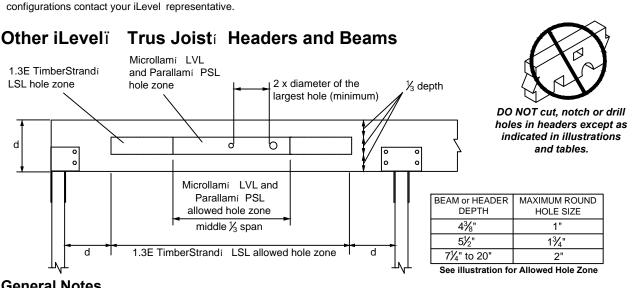
CHECKED BY: HELEN E 3.20.24 SCALE: AS NOTED

PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS [CAC]



General Notes

- Allowed hole zone suitable for uniformly loaded headers and beams only.
- Round holes only No holes in cantilever
- No holes in headers or beams in plank orientation.



1.3E TimberStrandí LSL hole zone

and Parallamí PSL 2 x diameter of the hole zone largest hole (minimum) DO NOT cut, notch or drill holes in headers except as indicated in illustrations Microllamí LVL and Parallamí PSL BEAM or HEADER | MAXIMUM ROUND allowed hole zone DEPTH middle ⅓ span 1.3E TimberStrandí LSL allowed hole zone **General Notes**

• Holes may be located vertically anywhere within the web. Leave 1/8" of web (minimum) at top and bottom of hole.

• For simple span (5' minimum) uniformly loaded joists meeting the requirements of this guide, one maximum size round hole may be

• Distances are based on the maximum uniform loads shown in current iLevel specifier's guide. For other load conditions or hole

Knockouts are located in web at approximately 12" on-center; they do not affect hole placement.

located at the center of the joist span provided no other holes occur in the joist.

Other iLevel Trus Joist Headers and Beams

• Allowed hole zone suitable for uniformly loaded headers and beams only.

 Round holes only No holes in cantilevers.

No holes in headers or beams in plank orientation.