

**DEPARTMENT OF ENGINEERING SERVICES  
TOWN OF HUNTINGTON, NEW YORK  
SITE AND DRAINAGE REQUIREMENTS**

**Application I.D. #: RBLD-24-20382**

**SCTM#: 0400-273.00-03.00-064.000**

**Location: 0 BAGATELLE RD. MELVILLE, NY 11747**

**Date: May 14, 2025**

**DESCRIPTION OF PROJECT: Erect 2-Story One-Family Dwelling Over Unfinished  
Basement with 2 Egress Windows, Rear Balcony, Front R/O, 2 HVAC,  
3 Car Att. Garage - SCDHS 6 Bedrooms Max**

**DRYWELL-DRAINAGE REQUIRED AS PER APPROVED BUILDING PLANS**

**The items below are necessary requirements that must be completed before a Certificate of  
Occupancy can be issued.**

<b>INSPECTION OF THESE SITE/DRAINAGE ITEMS WILL BE CONDUCTED BY AN ENGINEERING INSPECTOR.</b>
<b>THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING INSPECTIONS</b>
<b>PLEASE EMAIL: <a href="mailto:bldginspect@huntingtonny.gov">bldginspect@huntingtonny.gov</a> TO SCHEDULE BUILDING INSPECTIONS.</b>
<b>PLEASE EMAIL: <a href="mailto:plmbinspect@huntingtonny.gov">plmbinspect@huntingtonny.gov</a> TO SCHEDULE PLUMBING INSPECTIONS</b>
<b>PERMITS ISSUED AFTER MARCH 21, 2024 CAN SCHEDULE THROUGH THE PORTAL / CLICK INSPECTIONS TO SCHEDULE NEW APPOINTMENT AND FOLLOW DIRECTIONS.</b>

**A HIGHWAY WORK PERMIT IS REQUIRED FOR ANY WORK DONE ON AN EXISTING  
TOWN ROAD AND/OR RIGHT-OF-WAY, INCLUDING DRIVEWAYS & CURB CUTS  
CALL THE HIGHWAY DEPARTMENT (631) 351-3075**

**NO FRAMING SHALL COMMENCE UNTIL A FOUNDATION SURVEY HAS BEEN  
SUBMITTED AND APPROVED BY THE TOWN FOR LOCATION AND ELEVATION  
*{TOWN CODE SECTION 87-17(C)}***

**PROPERTY TO BE DEVELOPED PER APPROVED PLANS & THE FOLLOWING  
REQUIREMENTS**

- THE APPLICANT/OWNER IS RESPONSIBLE FOR FILING/OBTAINING ALL NECESSARY WORK  
PERMITS AND AUTHORIZATIONS REQUIRED FOR THIS PROJECT. THIS INCLUDES BUT IS NOT  
NECESSARILY LIMITED TO HIGHWAY /RIGHT-OF-WAY WORK PERMITS, SIGN PERMITS,  
SUFFOLK COUNTY-HEALTH SERVICES PERMITS AND/OR NEW YORK STATE PERMITS.
- ROOF LEADERS AND/OR OTHER IMPERVIOUS SURFACES SHALL CONNECT TO DRYWELLS  
WITH AN OVERALL CAPACITY OF: Drywell calculations as per approved building plan.

- A FINAL SURVEY WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. (SEE ATTACHED FOR SURVEY REQUIREMENTS.)
- CHANGES IN BUILDING AND/OR GRADE ELEVATIONS MAY NULL & VOID BUILDING PERMIT.
- RETAINING WALLS FOUR (4) FEET AND OVER IN HEIGHT REQUIRES A SEPARATE BUILDING PERMIT THAT IS SUBJECT OF APPROVAL OF PLANS.
- SUPPLY OR RESTORE TOPSOIL TO DISTURBED AREAS FOR A MINIMUM DEPTH OF SIX (6) INCHES.
- SUITABLY STABILIZE ALL DISTURBED AREAS WITH ACCEPTABLE VEGETATION.
- THE APPLICANT/OWNER IS RESPONSIBLE FOR PREVENTING EROSION, STORM WATER RUN-OFF & SEDIMENTATION FROM PRESENTING PROBLEMS TO NEIGHBORING PROPERTIES, WATERWAYS OR PUBLIC ROADS.
- ON SLOPING TERRAIN, THE OWNER IS CAUTIONED TO BE PARTICULARLY CAREFUL IN GRADING THE PROPERTY TO AVOID DAMAGE TO ADJACENT PROPERTY. MAXIMUM SLOPES ON PLOT GRADING SHALL BE ONE VERTICAL ON THREE HORIZONTAL UNLESS OTHERWISE AUTHORIZED BY THE DIRECTOR.
- THE APPLICANT/OWNER OF A PROPERTY ON WHICH A RETAINING WALL IS BUILT WILL BE EXCLUSIVELY RESPONSIBLE FOR INSTALLATION, MAINTENANCE, UPKEEP AND REPAIR OF ANY REQUIRED GUARDRAILS, HANDRAILS AND FENCES REGARDLESS OF DIRECTIONALITY OF SOIL RETENTION.
- PROPOSED DRIVEWAY GRADES SHALL NOT EXCEED 8% UNLESS APPROVED BY THE DIRECTOR PRIOR TO CONSTRUCTION.
- IT SHALL BE UNLAWFUL FOR ANY PROJECT SITE TO LEAVE AND/OR MAINTAIN A STOCKPILE OF FILL OR OTHER MATERIAL, OR AN EXCAVATION OR TRENCH IN AN OPEN, OR UNSECURED, OR DANGEROUS, OR HAZARDOUS CONDITION OR PLACE. SUCH PILE, EXCAVATION OR TRENCH SHALL BE EFFECTIVELY AND SAFELY & PROPERLY FENCED, SHORED OR BARRICADED.
- EXISTING STREET TREES, CURB, SIDEWALK, AND ROADWAY SURFACE DAMAGED DURING CONSTRUCTION MUST BE REPLACED OR REPAIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- THE APPLICANT/OWNER IS RESPONSIBLE FOR CONTAINING ALL WORK, GROUND DISTURBANCES, CONSTRUCTION MATERIALS/ DEBRIS AND LABOR ON THE PROJECT OWNER'S OWN PROPERTY.
- ALL WORK SHALL BE COMPLETED IN A TIMELY MANNER. IN THE EVENT THAT WORK IS SUSPENDED, HALTED OR TEMPORALLY STOPPED FOR ANY REASON THE SITE SHALL BE SUITABLY STABILIZED AND THE TOWN OF HUNTINGTON NOTIFIED.
- NEW STREET TREES, IF SHOWN ON THE APPROVED SITE PLAN, MUST BE INSTALLED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL SITE IMPROVEMENTS (GRADING, RETAINING WALLS, DRAINAGE STRUCTURES) ARE TO BE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND MUST BE INSPECTED BY A TOWN ENGINEERING INSPECTOR PRIOR TO BACKFILL

**\*\*FINAL SURVEY:**

Upon completion of the project a final survey containing the following information must be submitted and approved by the department before a C of O (certificate of occupancy) will be issued.

- 1) The finished grade elevations at all foundation corners. (Including attached garages.)
- 2) The first floor and garage slab elevations.
- 3) The driveway configuration and street access location.
- 4) Front, rear and side yard setbacks from the structure to the property lines (This includes all attached structures such as DECKS, PORCHES, STOOPS AND BASEMENT ENTRYWAYS/WINDOW WELLS.
- 5) The exterior building dimensions. (This includes all attached structures such as DECKS, PORCHES, STOOPS AND BASEMENT ENTRYWAYS.)
- 6) Any structure(s) or geographical feature(s) required or incorporated into the site plan that were/are necessary for the approval of this project. This includes but is not limited to retaining walls, berms, swales or grading. (Elevations of these features are required)

**\*\*The Final Survey must be prepared by and bear an original seal and signature of a New York State licensed Land Surveyor or a Professional Engineer with the proper land surveying endorsements.**



PROPOSED:

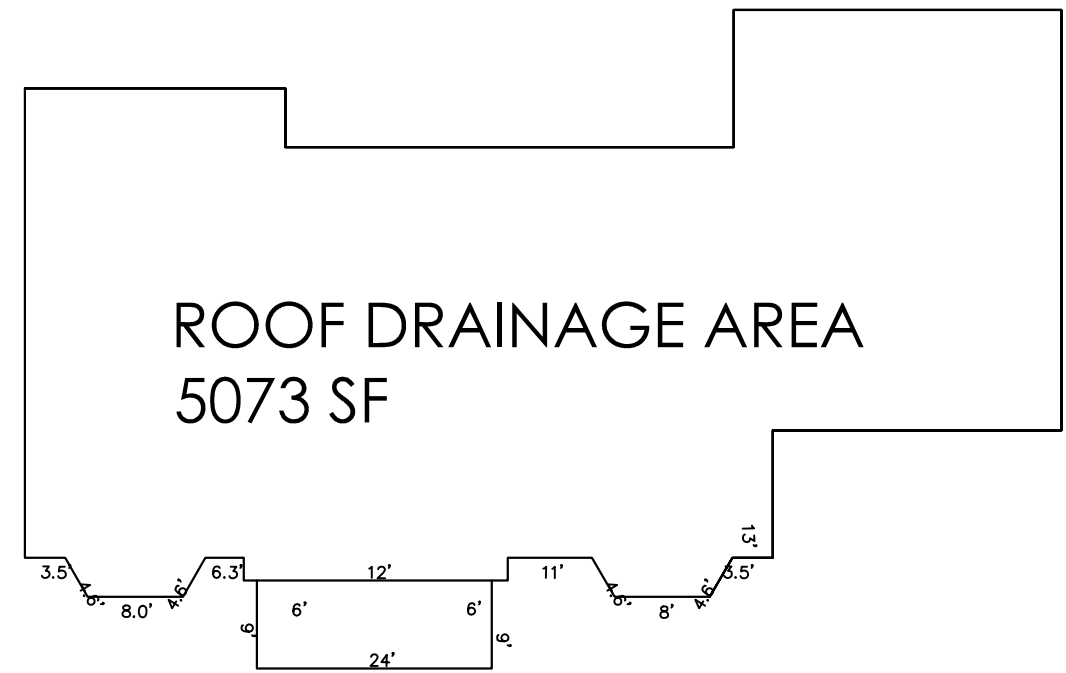
DO NOT INSTALL CONCRETE PRIOR TO HELICAL PILES APPROVAL

HELICAL PILE LOG REQUIRED AT INSPECTION

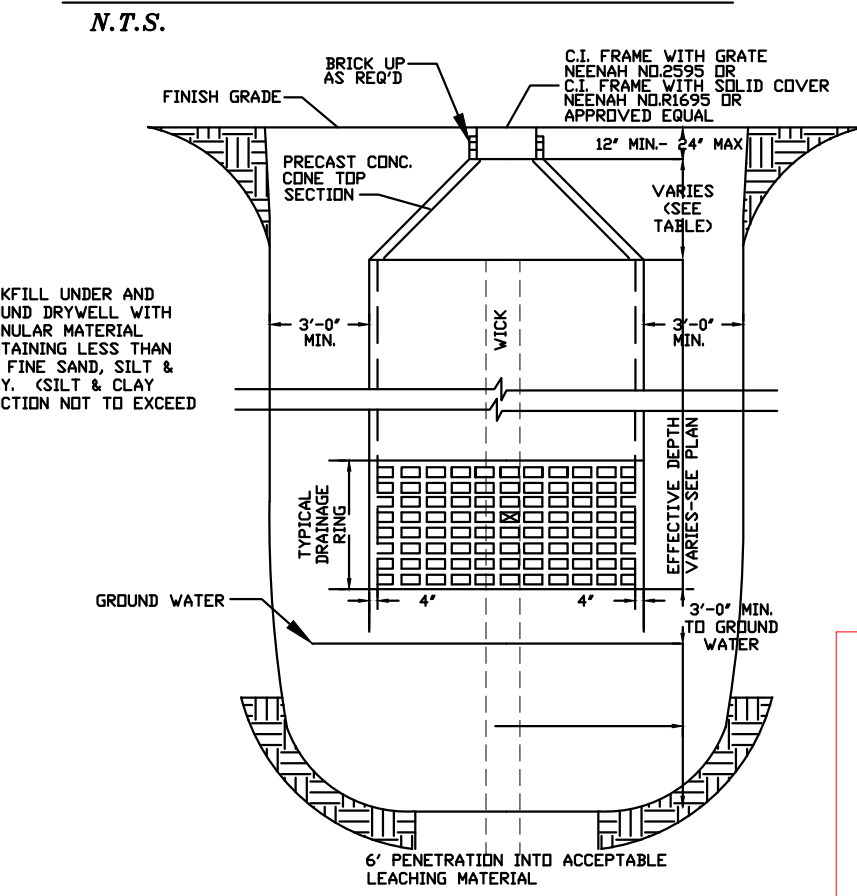
2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/CS,

The Plumbing Riser Diagram must be checked and approved by a plumbing inspector before any plumbing work is started / Separate Permit Required

FOUNDATION LOCATION SURVEY REQUIRED PRIOR TO FRAMING



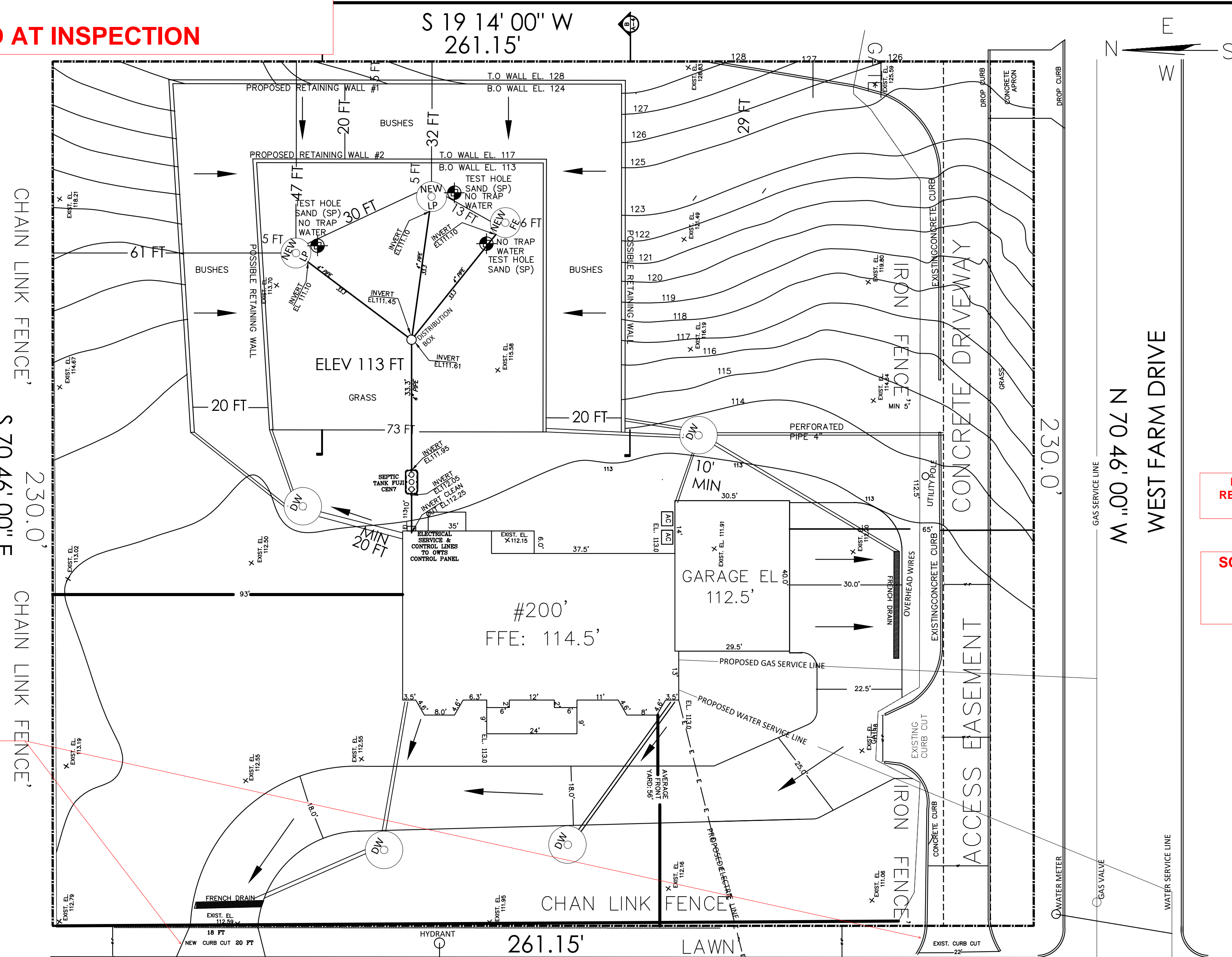
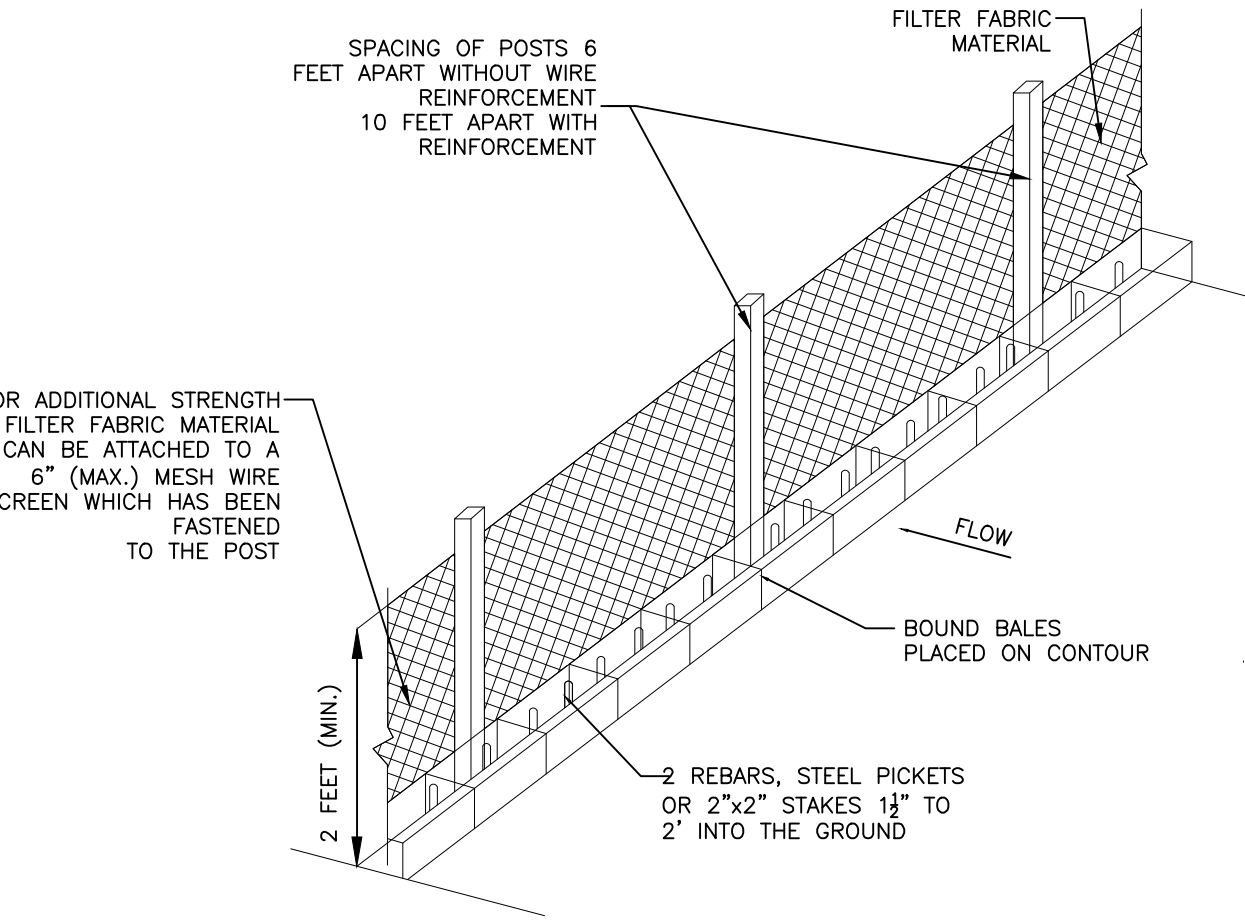
SILT FENCE DETAIL



APRON IN TOWN R.O.W.  
HOLD HARMLESS AGREEMENT MAY BE REQUIRED.  
TO BE DETERMINED ON FINAL SURVEY

DRYWELL DETAIL

DRAINAGE CALCULATIONS PROPOSED				
BASED ON CONTAINMENT OF 3" RAINFALL IN 24 HOUR PERIOD				
D.W.	TOTAL IMPERVIOUS SURFACES	AREA (SF)	3" RAINFALL COEF.	CUBIC FEET
10'D	BUILDING/ROOF	4949 SF	.25	1238 CF
	DRIVEWAY/WALKWAY	5474 SF	.25	1369 CF
	TOTAL CAPACITY REQUIRED FOR FULL DRIVEWAY AND HALF OF HOUSE			1988 CF
	PERFORATED PIPE/PERVIOUS			1988 CF
	10' 9" x 48.42 C.F./FT x 18" [EFT DEPTH]			1232 C.F.
	1232 + 108.7 = 1340 C.F.			
	REQUIRED			2607 CF
OK! ONE 10" DIAM 1340 C.F. EXTRA PROVIDED FOR RETAINING WALLS				



DRYWELL-DRAINAGE REQUIRED INSPECTOR TO VERIFY  
PLEASE REVIEW ATTACHED SITE AND DRAINAGE LETTER

PROPOSED SITE PLAN

SCALE 1"=20'

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING CODE AND TOWN ORDINANCE.

SECTION A

NTS



§ 87-52 Fences, freestanding and retaining walls.  
(1) No retaining wall or tiered retaining walls with a combined height of more than four (4) feet shall be constructed, installed or modified without a building permit having been issued by the Department of Engineering Services.  
(2) The height of a retaining wall shall be measured vertically from grade to the highest component of the retaining wall.  
(3) A retaining wall constructed as a crib wall shall not have an exposed vertical face of more than four (4) feet or a cumulative height of more than eight (8) feet.  
(4) At the discretion of the Town, if the height of a retaining wall creates a hazardous condition a guard must be installed at the top of the wall to ensure public safety. The guard shall not be less than thirty-six (36) inches in height. Guards shall have intermediate rails or ornamental closures which do not allow passage of a sphere four (4) inches or more in diameter.  
C. Freestanding walls.  
(1) No freestanding wall more than four (4) feet in height shall be constructed, installed, located or modified without a building permit having been issued by the Department of Engineering Services.  
(2) The height of a freestanding wall shall be measured from grade to the highest component of the wall.

TYPICAL POURED CONCRETE RETAINING WALL DETAIL

NTS

TOWN OF HUNTINGTON

APPROVED IN ACCORDANCE WITH THE NEW YORK STATE-UNIFORM FIRE PREVENTION AND BUILDING CODES & THE NEW YORK STATE-ENERGY CONSERVATION CODES AN ALL ASSOCIATED STANDARDS  
DATE: May 14, 2025  
EXAMINER: Kevin Viismas  
FOR THE DIRECTOR OF ENGINEERING SERVICES

ANY PLAN CHANGES MUST BE REVIEWED AND APPROVED BY THIS DEPARTMENT PRIOR TO THE START OF WORK

INFORMATION TAKEN FROM CSE CONSTRUCTION AND SURVEYORS 61-04 79TH STREET MIDDLE VILLAGE, NY 11379 (347)-924-6304 SUWALAPLS@GMAIL.COM

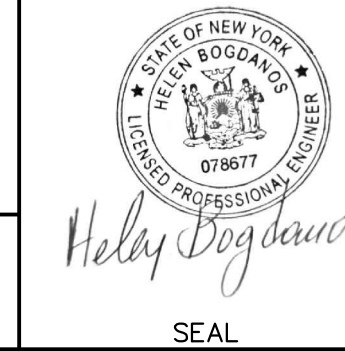
PROPERTY INFORMATION

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747  
SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40  
TAX MAP No. SECTION: 273 BLOCK: 0003 LOTS: 64

HELEN BOGDANOS, P.E.

121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626

SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE ATTACHED GARAGES, 2 A/CS,

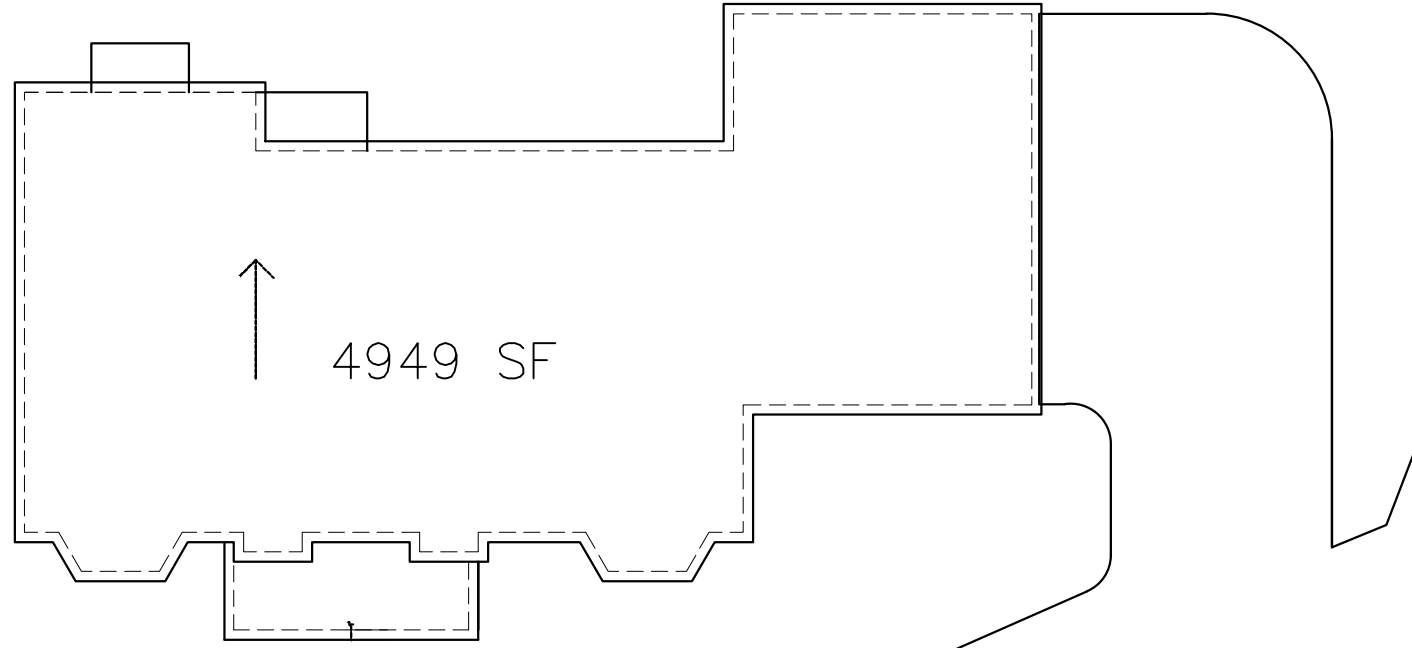


REVISIONS

DATE	DESCRIPTION
5.12.25	AS PER COMMENTS 4-17-25
12.31.24	AS PER COMMENTS 9-20-24
3.20.24	FIRST FILING
DRAWN BY: D.K/I.T	DRAWING NO. T-1
CHECKED BY: HELEN B	
DATE: 3.20.24	
SCALE: AS NOTED	

RBLD-24-20382

THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING INSPECTIONS  
\*\*\*\*\*IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER, YOU CAN LOG ON TO THE PORTAL, GO TO INSPECTION STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS "NEW APPOINTMENT" TO REQUEST AN INSPECTION.  
IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024, PLEASE EMAIL: bldginspect@huntingtonny.gov TO SCHEDULE BUILDING INSPECTIONS.  
PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

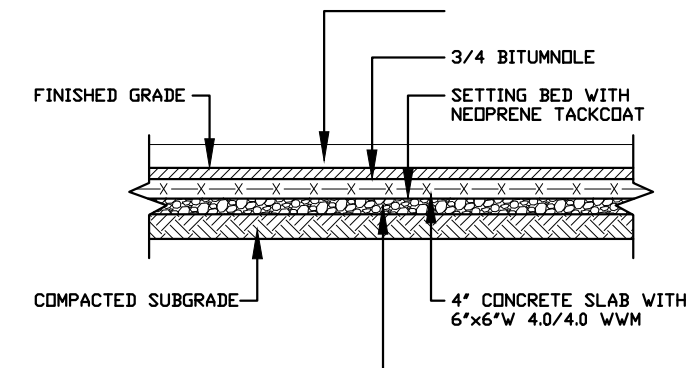
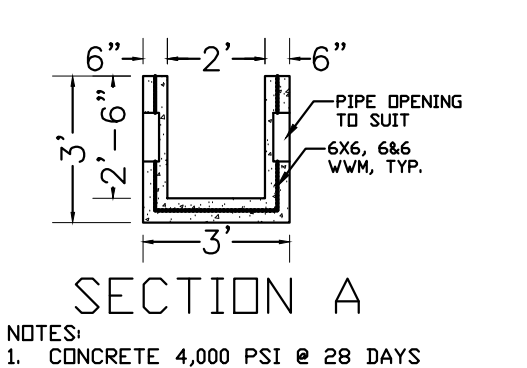
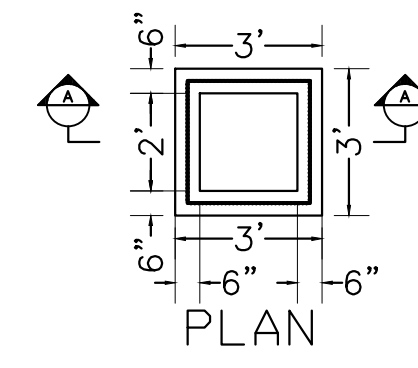


EASEMENT COVENANT'S AND RESTRICTIONS TO BE FILED WITH SUFFOLK COUNTY

SCDHS APPROVAL: R-23-1451 6 BEDROOMS MAXIMUM

CURB CUT & TRENCH DRAIN DETAIL

N.T.S.



WALKWAY PAVER DETAIL

N.T.S.

COMPLETED PRE-SITE INSPECTION REQUIRED TO ISSUE BUILDING PERMIT

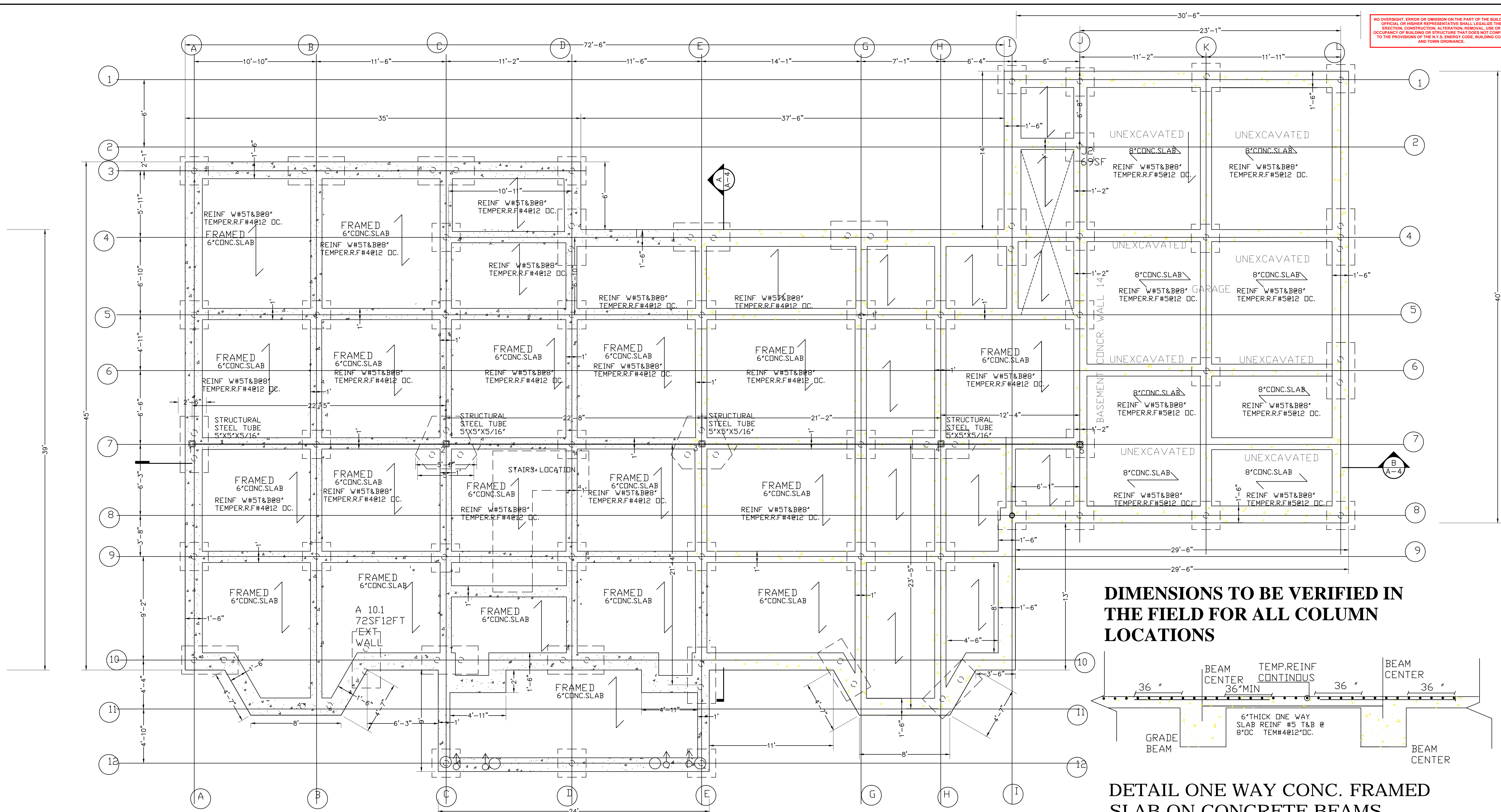
ZONING ANALYSIS		
ADDRESS: 200 BAGATELLE MELVILLE NY	MUNICIPALITY: TOWN OF HUNTINGTON	ZONE: R40
SECTION: 273	BLOCK: 0003	LOT: 64
ITEM	REQ./PERMITTED	PROPOSED
LOT AREA	43,650 SF	60,065 SF
LOT WIDTH	100 FT.	261 FT.
LOT FRONTAGE	40 FT.	261 FT.
FRONT YARD	50 FT	55 FT
AVG. FRONT YARD	56 FT	56 FT.
STREET SIDE YARD [SOUTH SIDE]	50 FT	65 FT.
INTERIOR SIDE YARD	25 FT	93 FT.
REAR YARD	50 FT. MIN.	117 FT.
MAX. HEIGHT	35 FT. MAX	35 FT.
LOT COVERAGE		4,501 FT.
CELLAR SF	3343 SF	SECOND FLOOR SF 3103 SF
FIRST FLOOR SF	4309 SF	TOTAL FLOOR AREA 7412 SF



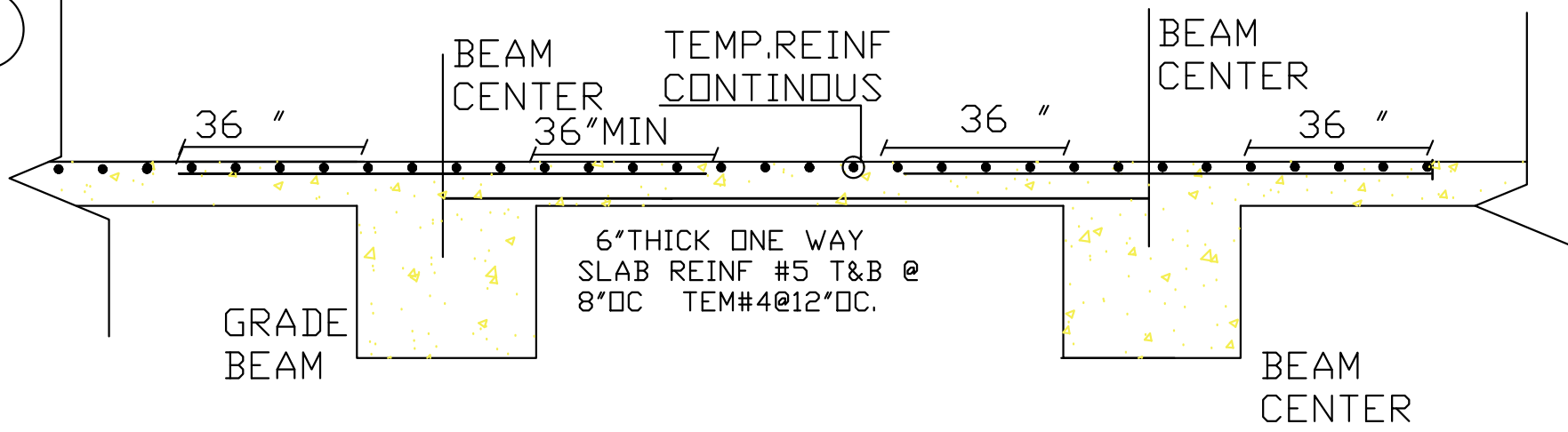




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**DIMENSIONS TO BE VERIFIED IN THE FIELD FOR ALL COLUMN LOCATIONS**



**DETAIL ONE WAY CONC. FRAMED SLAB ON CONCRETE BEAMS**

**FOUNDATION PLAN FRAMED CONC SLAB & GRADE BEAMS[SEE DRW F-2,F-3 FOR MORE INFO FOR PILES]**

SCALE 1/4" = 1'-0"

LOAD BEARING WALL

NEW CONCRETE WALL AND FOOTING, SEE PLANS FOR SIZES

NEW 2x4 PARTITION, SEE WALL LEGEND FOR MORE INFO

NEW ROOF RAFTERS, FLOOR OR CEILING JOISTS, SEE PLANS FOR SIZES

PROPOSED DOOR, SIZES IN FEET AND INCHES, E.G. 2'6" IS 2'-6" W x 6'-8" H

CX14 NEW WINDOW AND MODEL

NEW WOOD HEADER

NEW STEEL BEAM

COLUMN DIRECTION: UP & DOWN

COLUMN DIRECTION: UP

COLUMN DIRECTION: DOWN

SMOKE AND CARBON MONOXIDE DETECTORS WIRED IN SERIES

EXHAUST FAN

DETAIL NO. DETAIL DESIGNATION DRAWING NO.

SECTION NO. SECTION DRAWING NO.

3 - 1/2 X 5 - 1/2 ENGINEERING COLUMN

NEW EXTRA STRONG 3 - 1/2" DIAM. STEEL PIPE

3 - 1/2 X 3 - 1/2 ENGINEERING COLUMN

NEW EXTRA STRONG 4" x 4" DIAM. STEEL TUBE

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SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]



REVISIONS	
5.12.25	AS PER COMMENTS 4-17-24
1.31.24	REFILING AS PER COMMENTS
3.20.24	FIRST FILING
DATE	DESCRIPTION
DRAWN BY: D.K/I.T.	DRAWING NO. F-1
CHECKED BY: HELEN B	
3.20.24	
SCALE: AS NOTED	



GENERAL NOTES

- 1) DO NOT BACKFILL AGAINST GRADE BEAMS/CONCR WALLS GROUND FLOOR AND LOWER LEVEL SLABS HAVE BEEN PLACED AND THE CONCRETE HAS ATTAINED FULL DESIGN STRENGTH.
- 2) SEE ARCHITECTURAL DRWS FOR ALL WATERPROOFING AND DAMP PROOFING
- 3)DRAWING ARE NOT TO SCALE .FOR ALL DIMENSIONS SEE ARCHITECTURAL DRWS.

DO NOT INSTALL CONCRETE PRIOR TO HELICAL PILES APPROVAL

HELICAL PILE LOG REQUIRED AT INSPECTION

FOUNDATION CONCRETE NOTES

- 1)ALL CONCRETE CAST IN PLACE SHALL HAVE 4000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH.
- 2)ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO THE STANDARDS OF ASTM A615,GRADE 60.
- 3)ALL WELDED WIRE FABRIC SHALL CONFORM TO THE STANDARDS OF A105.
- 4) ALL CONCRETE REINFORCEMENT SHALL BE DETAILED,FABRICATED,LABELED,SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS AS DESCRIBED IN THE LATEST EDITION OF BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI,AND THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI 315.
- 5) NO PILE CAP OR SLAB SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER ,FROST OR ICE.SHOULD WATER OR FROST ENTER PILE CAP OR FOOTING EXCAVATION AFTER SUBGRADE APPROVAL ,THE SUBGRADE SHOULD BE RE-INSPECTED AFTER REMOVAL OF WATER OR FROST BEFORE PLACING OF CONCRETE
- 6)CHECKED SHOP DRAWING SHOWING REINFORCING DETAILS,INCLUDING STEEL BAR SIZES ,SPACING AND PLACEMENT,SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR FABRICATION (IF SHOP DRAWING AVAILABLE).
- 7) ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO FULL MESH PANELS MIN AND TIED TOGETHER SECURELY.
- 8) PLACE SLABS-ON-GRADE IN ACCORDANCE WITH ACI 302 \*GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION.
- 9) WHERE REQUIRED DOWELLS SHALL MATCH SIZE AND NUMBER OF MAIN REINFORCEMENT.
- 10)ALL GRADE BEAMS TO BE POURED MONOLITHICALLY WITH SLAB

HELICAL PILES NOTES

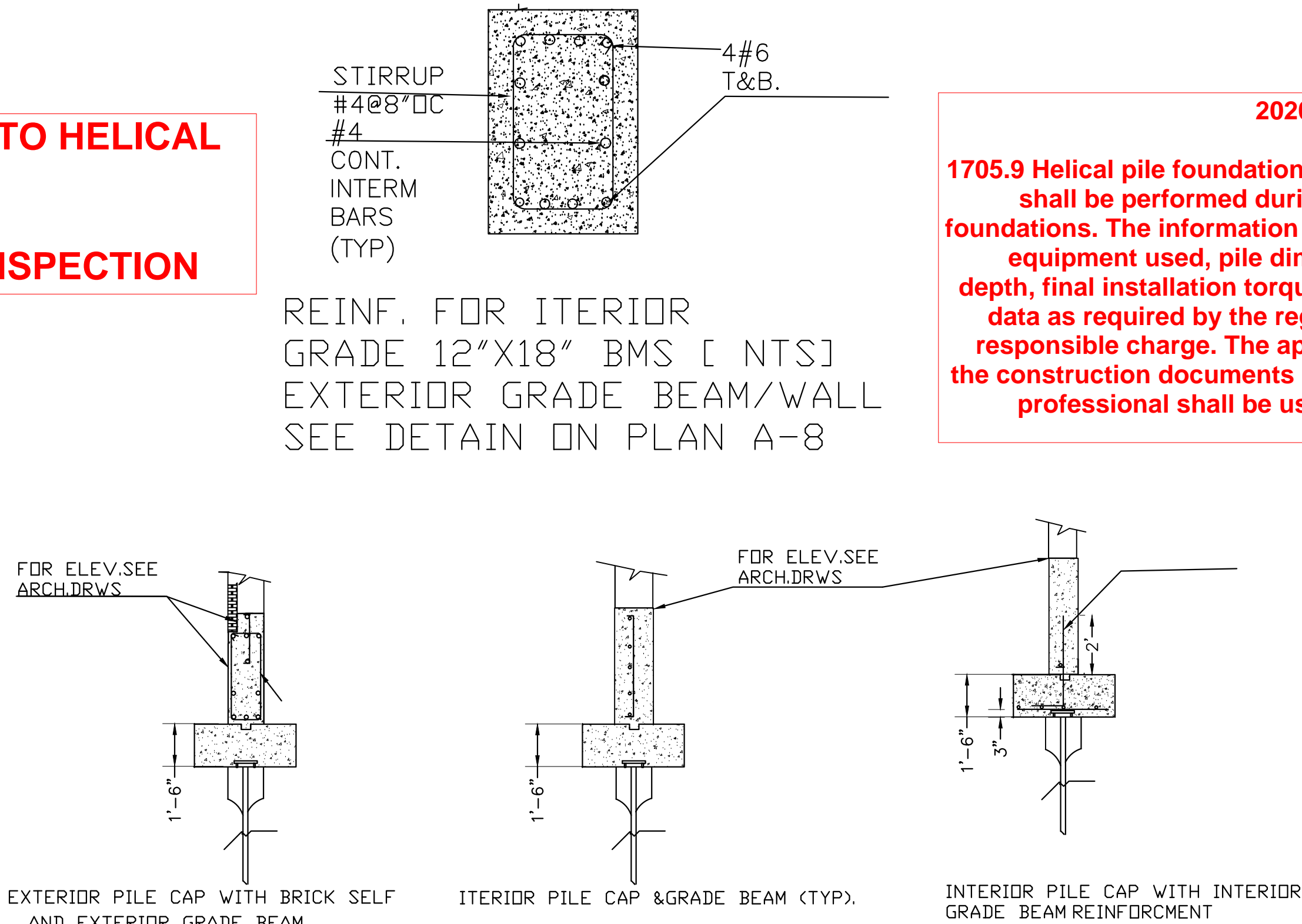
1. ALL PILES SHALL BE PATENTED HELICAL PILES AND APPURTENANCES AS FURNISHED EXCLUSIVELY BY PREMIUM TECHNICAL SERVICES.
- ALL HELICAL PILES TO BE INSTALLED BY A FACTORY CERTIFIED INSTALLER ALL PILES TO BE P1=30 KIPS P-2=KIPS CAPACITY MIN 8X"DIAM.
2. HELICAL PILES,EXTENSIONS AND APPURTENANCES SHALL BE HOT-DIPPED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A 153 (LATEST REVISION)
3. ALL PILE INSTALLATION OPERATIONS SHALL BE SUPERVISED BY A LICENSED ENGINEER. THE INSPECTOR SHALL KEEP A COMPLETE RECORD OF THE PILE INSTALLATION OPERATION.
- 4.HELICAL PILES SHOULD BE INSTALLED AS SHOWN ON THE ENGINEER PLAN. ALL CHANGES IN PILE LOCATION MUST BE APPROVED BY THE ENGINEER.
5. HELICAL PILES SHALL BE INSTALLED TO A MINIMUM DEPTH OF FEET AND A MINIMUM TORQUE OF FT-LBS, SUBJECT TO THE FOLLOWING PROVISIONS:
- A)IF THE MINIMUM TORQUE REQUIREMENT HAS NOT BEEN SATISFIED AT THE MINIMUM DEPTH LEVEL,THE CONTRACTOR SHALL HAVE THE FOLLOWING OPTIONS:
- a) INSTALL THE PILE DEEPER USING ADDITIDAL EXTENSIONS UNTIL THE SPECIFIED TORQUE LEVEL IS OBTAINED.
- b)REMOVE THE EXISTING PILE AND INSTALL A PILE WITH LARGER AND/OR MORE HELICES. THE REVISED PILE SHALLBE INSTALLED BEYOND THE TERMINATION DEPTH OF THE ORIGINAL PILE. AS DIRECTED BY THE ENGINEER.
- c)ADD ADDITIONAL PILES AS RECOMENDED BY THE ENGINEER.
- B) IF THE MAXIMUM TORQUE RATING OF THE PILE AND/OR INSTALLING UNIT HAS BEEN REACHD PRIOR TO SATISFYING THE MINIMUM DEPTH REQUIREMENT THE CONTRACTOR SHALL HAVE,ΔTHE OPTION TO INCREASE THE TERMINAL TORQUE TO A MAXIMUM OF FT.LBS ( ) FT.LBS WITH HAND HELD EQUIPMENT. ΔAFTER CONSULTING WITH THE ENGINEER OF RECORD,THE CONTRACTOR MAY REDUCE THE SIZE OF THE HELIX AS REQUIRED TO ACHIEVE THE MINIMUM DEPTH WHILE STILL ACHIEVING THE MINIMUM TORQUE.
6. IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING INSTALLATION,THE CONTRACTOR SHALL HAVE THE OPTION OF REMOVING THE OBSTRUCTION IF POSSIBLE OR RELOCATING THE PILE WITH ENGINEER'S APPROVAL.THE LATTER OPTION MAY REQUIRE THE RELOCATION OF ADJUCENT PILES.
- 7) THE HELICAL PILE SHALL BE CONNECTED TO THE STRUCTURE USING A PTS APPROVED STEEL BRACKET OR SLAB -SUPPORTING CHANNEL AS THE CASE MAY BE-AS SHOWN ON ENGINEER'SPLAN .THESE CONNECTIONS SHALL BE CAPABLE OF SAFELY TRANSFERING THE STRUCTURAL LOADS TO THE HELICAL PILE.
- 8) WRITTEN INSTALLATION RECORDS SHALL BE OBTAINED FOR EACH HELICAL PILE. THESE RECORDS SHALL INCLUDE,BUT ARE NOT LIMITED TO THE FOLLOWING
- a)PROJECT NAME AND/ LOCATION.
- b) NAME OF CCONTRACTOR'S FOREMAN OR REPRESENTATIVE WHO WITNESSED THE INSTALLATION.
- c)DATE AND TIME OF INSTALLATION.
- d) LOCATION AND REFERENCE NUMBER OF EACH PILE.
- e) DESCRIPTION OF LEAD SECTION AND EXTENSIONS INSTALLED.
- f)OVERALL DEPTH OF INSTALLATIONS REFERENCED FROM BOTTOM OF GRADE BEAM.
- g)TORQUE READING FOR THE LAST THREE FEET OF INSTALLATION IN PRACTICAL. IN LIEU OF THIS REQUIREMENT, THE TERMINAL TORQUE SHALL BE RECORDED AS MINIMUM.
- h)ANY OTHER RELEVANT INFORMATION RELATED TO THE INSTALLATION.
- 9) HELICAL PILE LEAD SECTIONS SHALL BE MODEL WITH A SOARE SHAFT 1 1/2" AND A DIAMETER HELIX. LEAD SECTIONS SHALL BE HELIX PILE EXTENSION MAY BE 5, 7 OR 10 FEET LONG DEPENDING ON VERTICAL CLEARANCE

2020 NYSBC

1810.4.11 Helical piles. Helical piles shall be installed to specified embedment depth and torsional resistance criteria as determined by a registered design professional. The torque applied during installation shall not exceed the maximum allowable installation torque of the helical pile.

1810.4.12 Special inspection. Special inspections in accordance with Sections 1705.7 and 1705.8 shall be provided for driven and cast-in-place deep foundation elements, respectively. Special inspections in accordance with Section 1705.9 shall be provided for helical piles.

CONSTRUCTION LEGEND



2020 NYSBC

1705.9 Helical pile foundations. Continuous special inspections shall be performed during installation of helical pile foundations. The information recorded shall include installation equipment used, pile dimensions, tip elevations, final depth, final installation torque and other pertinent installation data as required by the registered design professional in responsible charge. The approved geotechnical report and the construction documents prepared by the registered design professional shall be used to determine compliance

RBLD-24-20382

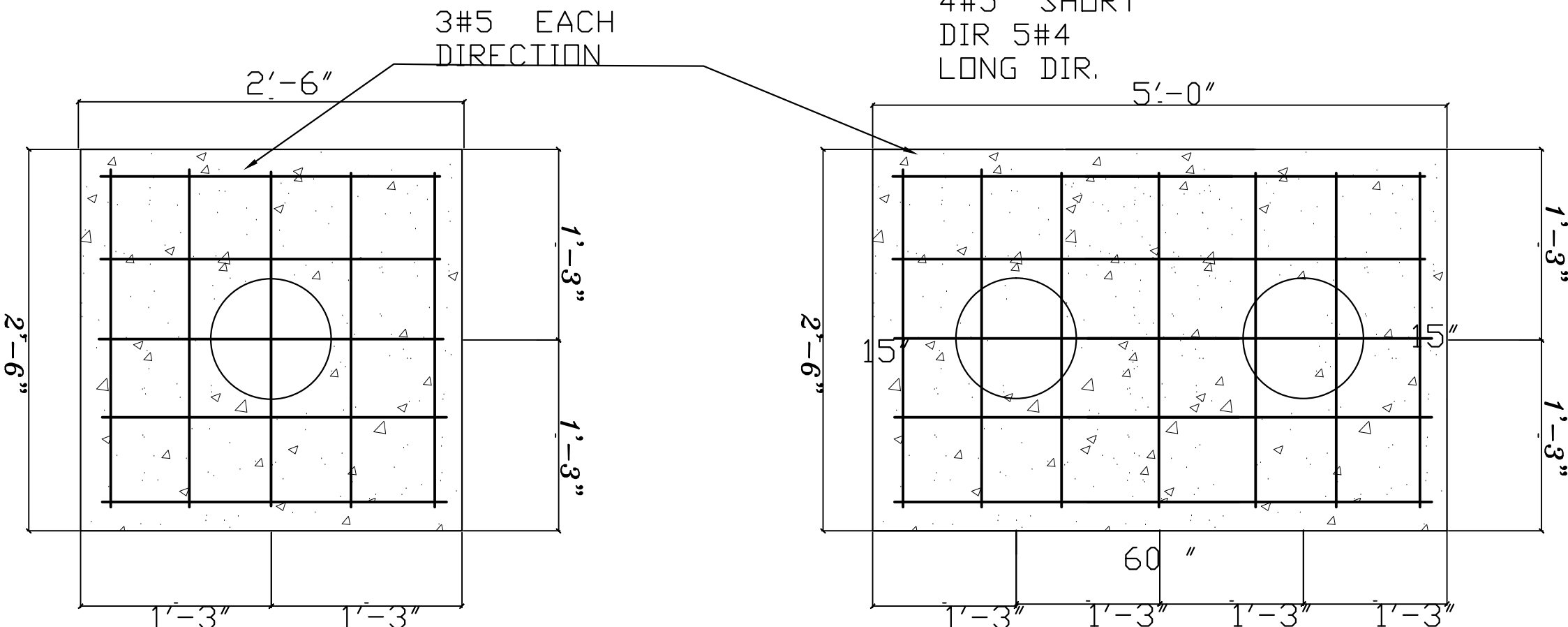
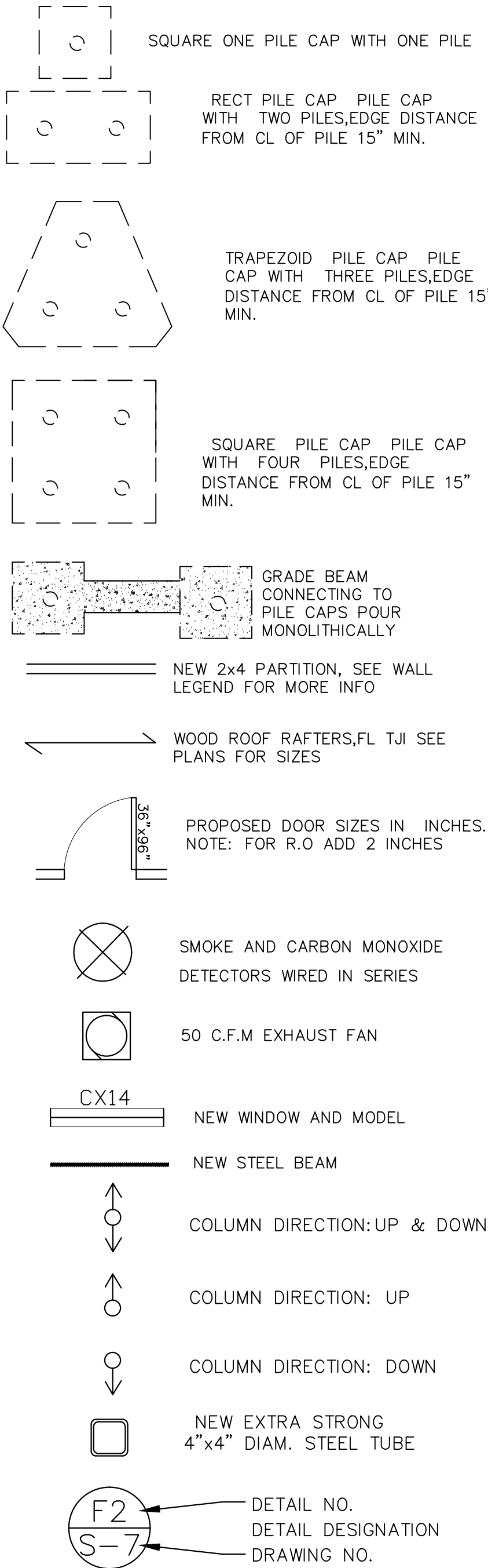
THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING INSPECTIONS

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PLEASE EMAIL: bldginspect@huntingtonny.gov TO SCHEDULE BUILDING INSPECTIONS.

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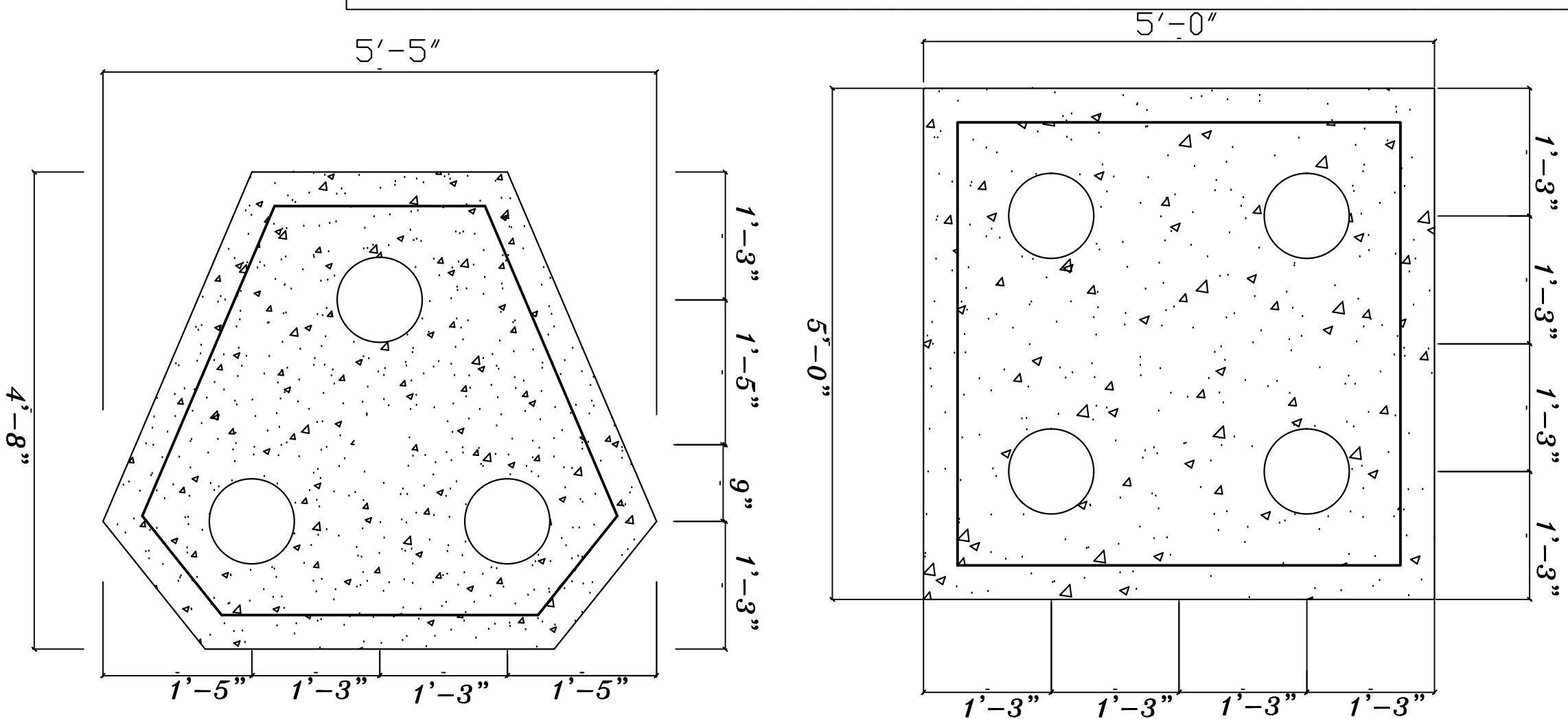
SQUARE PILE CAP 2'-6"X2'-6"X 1'-6"

RECTANGULAR PILE CAP 2-6" FTX 5 FTX 1'-6"DEEP

ALL PILES TO BE LOCATED ON PILE CAP AS SHOWN

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NOT TO SCALE



TRAPEZOID PILE CAP AS SHOWN 20" DEEP

SQUARE PILE CAP 5FTX5FTX 19" DEEP

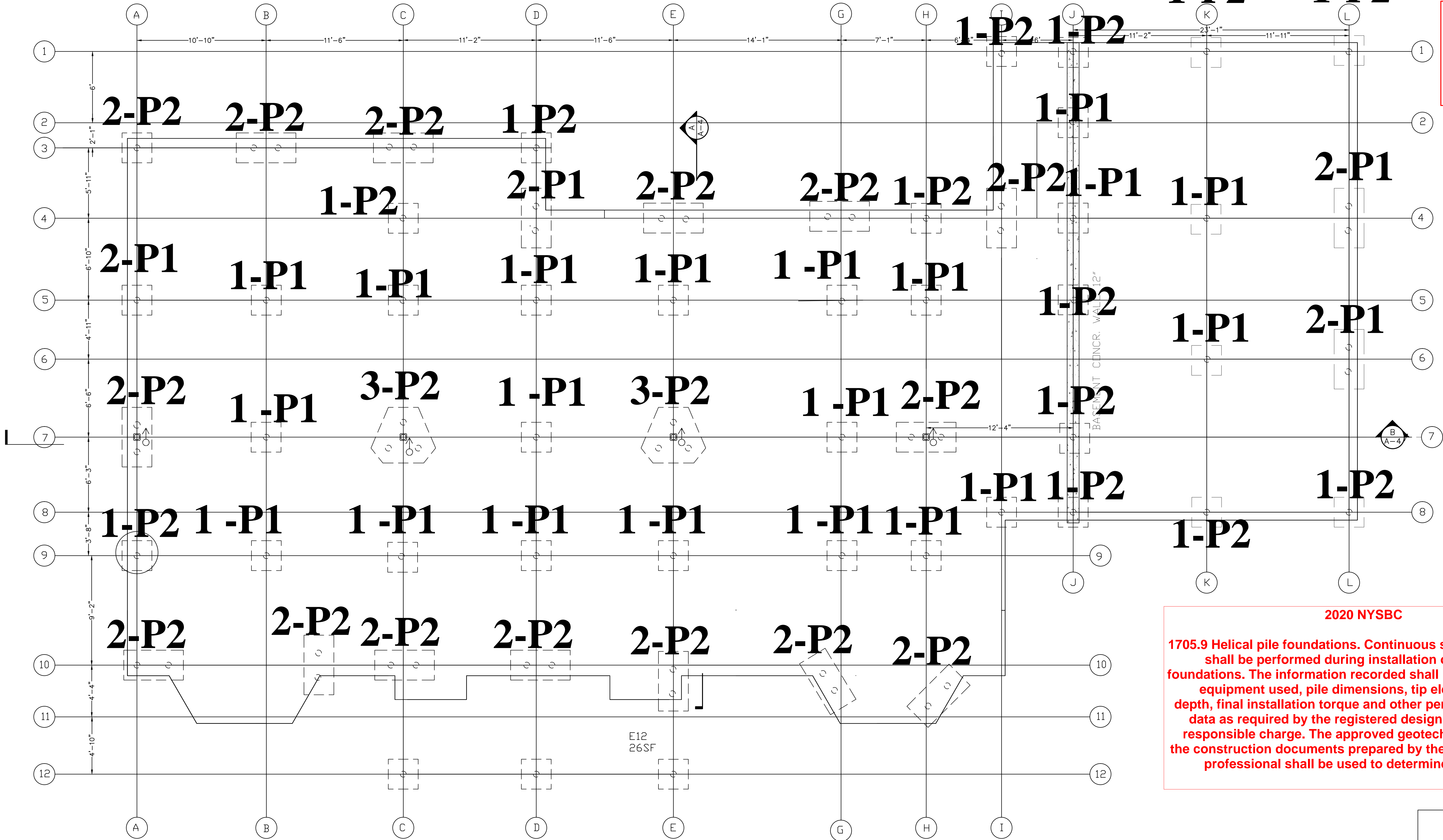
PROPERTY INFORMATION			REVISIONS	
ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747			5.12.25	AS PER COMMENTS 4-17-24
SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40			12.31.24	AS PER COMMENTS 9-20-24
TAX MAP No: SECTION:273 BLOCK:0003 LOTS: 64			3.20.24	FIRST FILING
HELEN BOGDANOS, P.E.			DATE	DESCRIPTION
121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626			DRAWN BY: D.K/I.T.	DRAWING NO.
SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]			CHECKED BY: HELEN B	F-2
			DATE: 3.20.24	
			SCALE: AS NOTED	



PILE1=30K PILE2=45K

ALL LOADS IN KIPS 10.16.23

RBLD-24-20382



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PLEASE EMAIL: hldginspect@huntingtonny.gov TO SCHEDULE BUILDING INSPECTIONS.  
PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

2020 NYSBC

1705.9 Helical pile foundations. Continuous special inspections shall be performed during installation of helical pile foundations. The information recorded shall include installation equipment used, pile dimensions, tip elevations, final depth, final installation torque and other pertinent installation data as required by the registered design professional in responsible charge. The approved geotechnical report and the construction documents prepared by the registered design professional shall be used to determine compliance

FOUNDATION PLAN [SEE DRW F-2,F-3 FOR

MORE INFO ON PILES

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SCALE 1/4" = 1'-0

PROPERTY INFORMATION  
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SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40  
TAX MAP No. SECTION: 273 BLOCK: 0003 LOTS: 64  
HELEN BOGDANOS, P.E.  
121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626



SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]

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DATE	DESCRIPTION
DRAWN BY: D.K/I.T.	DRAWING NO.
CHECKED BY: HELEN B	F-3
3.20.24	
SCALE: AS NOTED	



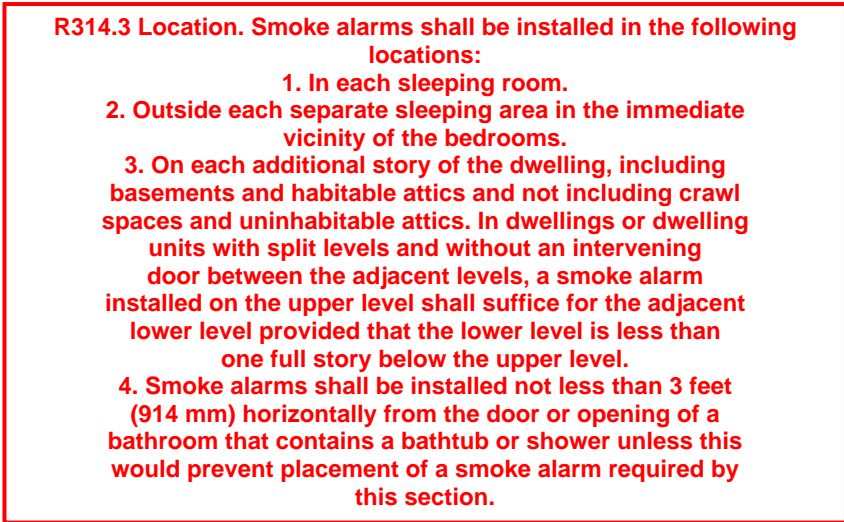
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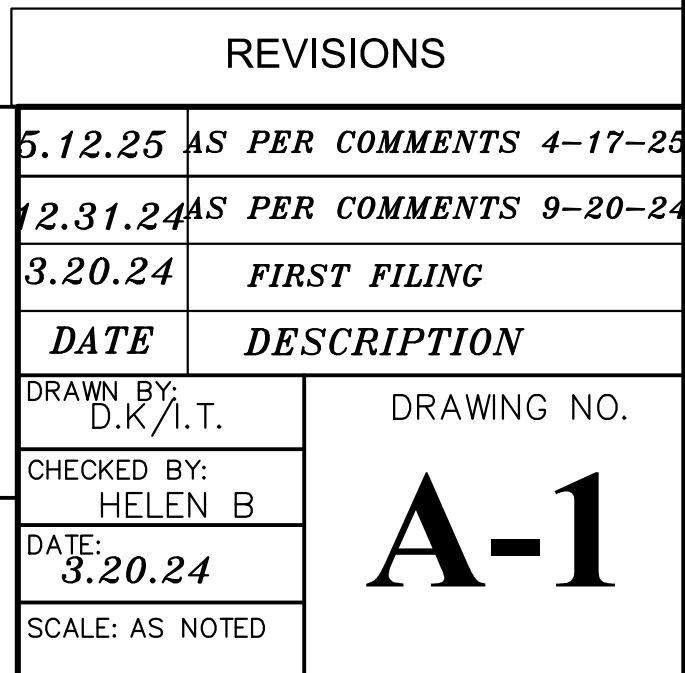
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**R-310 -EMERGENCY ESCAPE & RESCUE OPENINGS:**  
BASEMENTS, HABITABLE ATTICS AND EVERY  
SLEEPING ROOM SHALL HAVE NOT LESS THAN (1)  
ONE EMERGENCY ESCAPE & RESCUE OPENING.  
MIN. 5.0 SQ. FT. OPENING FOR 1ST FLOOR/ BELOW  
GRADE AND 5.7 SQ. FT. ON OTHER FLOORS.

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SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR  
ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]



RBLD-24-20382

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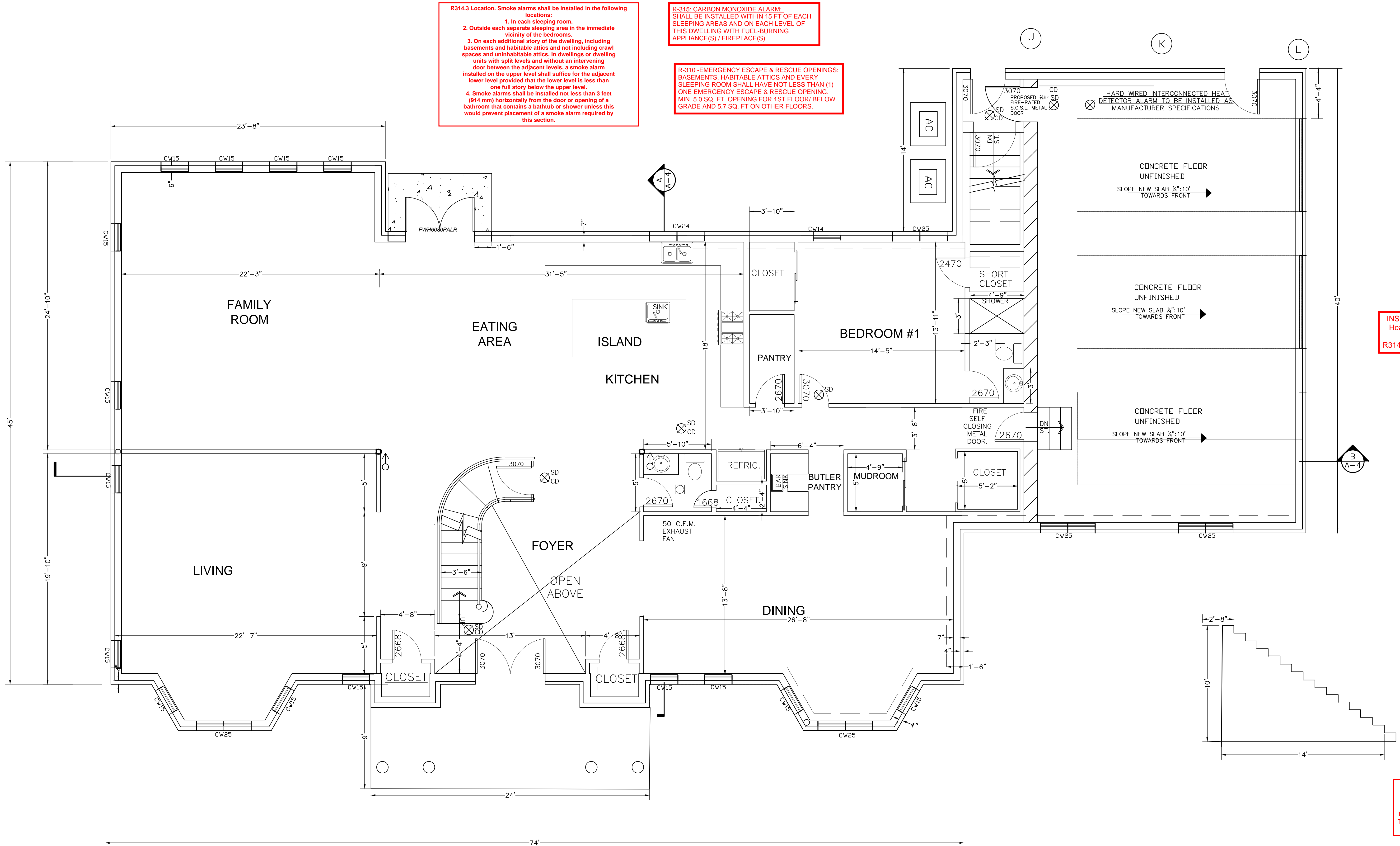
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INSPECTOR TO VERIFY  
Heat Detector Required  
2020 NYSRC  
R314.2.3. Attached Garage

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ARCHITECTURAL FIRST FLOOR

PROPERTY INFORMATION		REVISIONS	
ADDRESS:	200 BAGATELLE RD, MELVILLE, NY 11747	5.12.25	AS PER COMMENTS 4-17-25
SITE DATA:	BUILDING USE: 1 FAM. RES. ZONING: R-40	12.31.24	AS PER COMMENTS 9-20-24
TAX MAP No:	SECTION: 273 BLOCK: 0003 LOTS: 64	3.20.24	FIRST FILING
HELEN BOGDANOS, P.E.		DATE	DESCRIPTION
121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626		DRAWN BY:	DRAWING NO.
		D.K./I.T.	A-2
		CHECKED BY:	
		HELEN B	
SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]		DATE:	
		3.20.24	
		SCALE: AS NOTED	



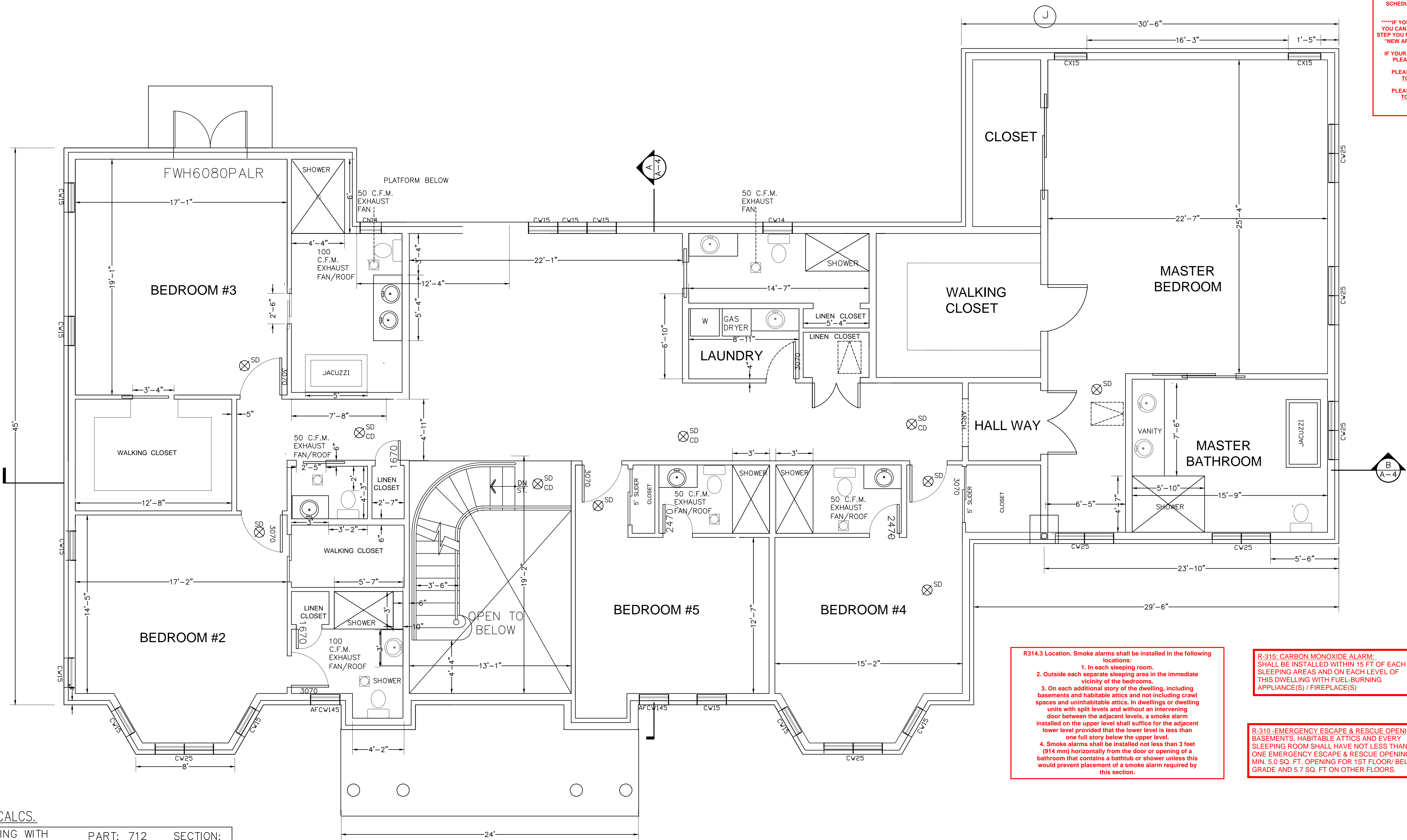
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R314.3 Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by this section.

R-315: CARBON MONOXIDE ALARM: SHALL BE INSTALLED WITHIN 15 FT OF EACH SLEEPING AREAS AND ON EACH LEVEL OF THIS DWELLING WITH FUEL-BURNING APPLIANCE(S) / FIREPLACE(S)

R-310-EMERGENCY ESCAPE & RESCUE OPENINGS: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN (1) ONE EMERGENCY ESCAPE & RESCUE OPENING. MIN. 5.0 SQ. FT. OPENING FOR 1ST FLOOR/ BELOW GRADE AND 5.7 SQ. FT ON OTHER FLOORS.

LIGHTING & VENTING CALCS.

HAB. SPACE CONFORMING WITH PART: 712 SECTION: 712.1 " LIGHT & VENTILATION USE " PART: 714 SECTION: 714.1 " OPENING FOR EMERGENCY USE "						
HAB. SPACE	TOTAL SQ. FT.	S.F. LIGHT .08 REQ'D	S.F. VENT .04 REQ'D	S.F. EGRESS REQ'D	TOTAL LIGHT PROPOSED	TOTAL VENT PROPOSED
FIRST FLOOR						
BEDROOM # 1	209 SF	16.72 SF	8.36 SF	5.0 SF	18.3 SF	16.7 SF
SECOND FLOOR						
BEDROOM # 2	284 SF	22.7 SF	12 SF	5.7 SF	55.1 SF	50.3 SF
BEDROOM # 3	323 SF	26 SF	13 SF	5.7 SF	36.56	44.24
BEDROOM # 4	228 SF	18.2 SF	9.1 SF	5.7 SF	36.7 SF	33.5 SF
BEDROOM #5	233 SF	18.6 SF	9.3 SF	5.7 SF	18.6 SF	8.4 SF
MASTER BED.	585 SF	47 SF	24 SF SF	5.7 SF	51.8 SF	50.4 SF
*AGG. 3.0 S.F. GLAZING IN BATHROOMS, WATER CLOSETS, AND SIMILAR COMPARTMENTS AND HALF OF THAT (1.5 S.F. VENT) HAS TO BE OPENABLE AS PER R303.3 (IRC 2015). **EXCEPTION: GLAZING SHALL NOT BE REQUIRED IN BATHROOMS WHERE SUFFICIENT ARTIFICIAL LIGHT AND MECHANICAL VENTILATION ARE PROVIDED						

ARCHITECTURAL SECOND FLOOR

SCALE 1/4" = 1'-0

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PROPERTY INFORMATION

ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747

SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40

TAX MAP No.: SECTION: 273 BLOCK: 0003 LOTS: 64

HELEN BOGDANOS, P.E.

121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626

SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]



REVISIONS		DRAWING NO.
5.12.25	AS PER COMMENTS 4-17-24	
12.31.24	AS PER COMMENTS 9-20-24	A-3
3.20.24	FIRST FILING	
DATE	DESCRIPTION	
DRAWN BY: D.K./I.T.	CHECKED BY: HELEN B	
DATE: 3.20.24	SCALE: AS NOTED	

RBLD-24-20382

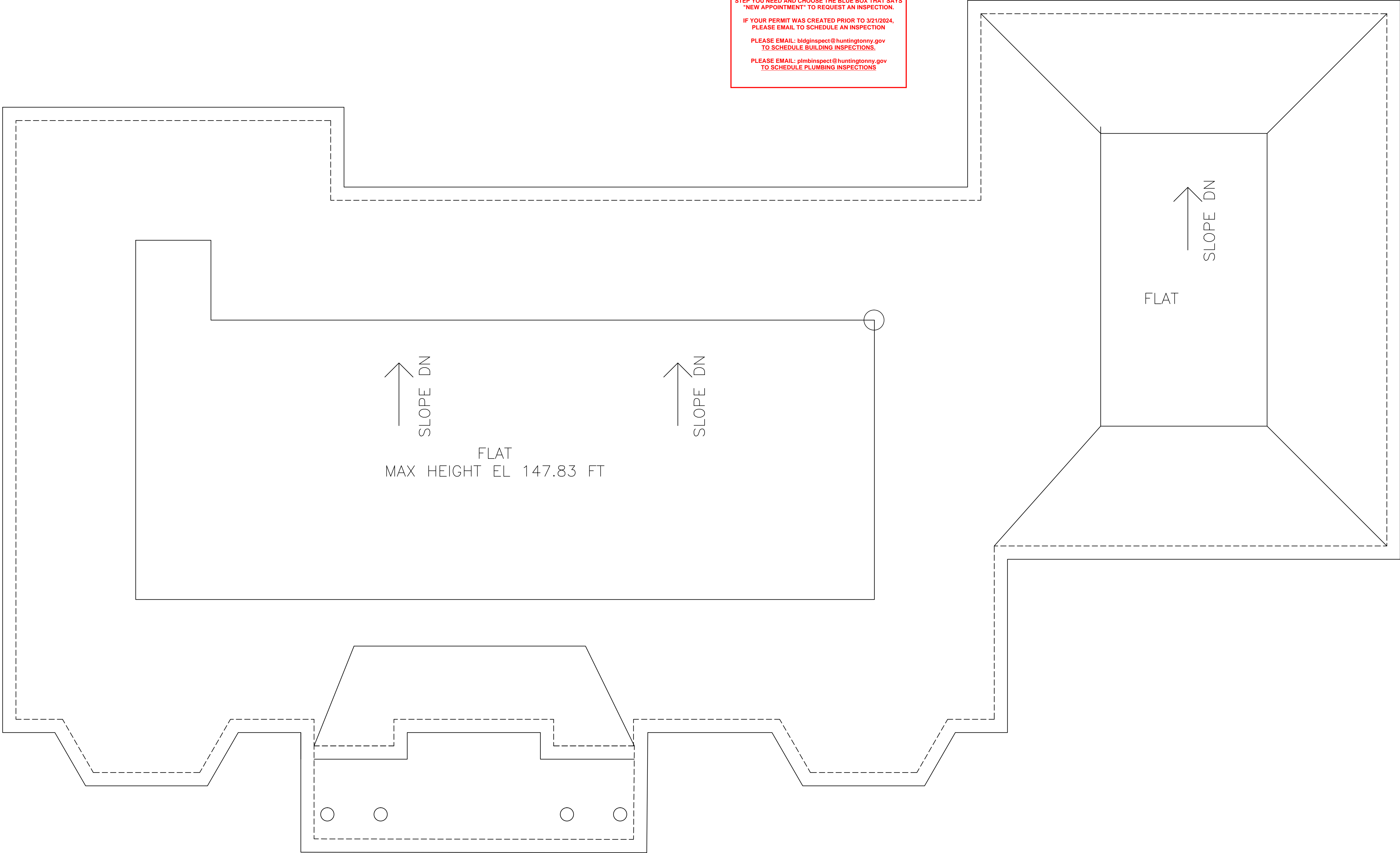
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ROOF PLAN

SCALE 1/4" = 1'-0

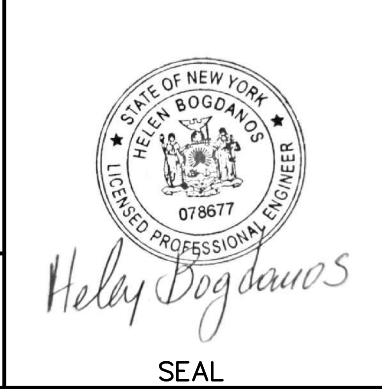
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SITE DATA: BUILDING USE: 1 FAM. RES, ZONING: R-40

TAX MAP No: SECTION: 273 BLOCK: 0003 LOTS: 64



HELEN BOGDANOS, P.E.

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SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]

REVISIONS	
5.12.25	AS PER COMMENTS 4-17-24
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3.20.24	FIRST FILING
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DRAWN BY: D.K./I.T.	DRAWING NO.
CHECKED BY: HELEN B	A-4
DATE: 3.20.24	
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				7.31.24 AS PER COMMENTS 9-20-2									
				3.20.24 FIRST FILING									
				<table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>DRAWN BY: D.K./J.T.</td> <td rowspan="3">DRAWING NO.  <b>A-5</b></td> </tr> <tr> <td>CHECKED BY: HELEN B</td> </tr> <tr> <td>DATE: 3.20.24</td> </tr> <tr> <td colspan="2">SCALE: AS NOTED</td> <td></td> </tr> </tbody> </table>	DATE	DESCRIPTION	DRAWN BY: D.K./J.T.	DRAWING NO.  <b>A-5</b>	CHECKED BY: HELEN B	DATE: 3.20.24	SCALE: AS NOTED		
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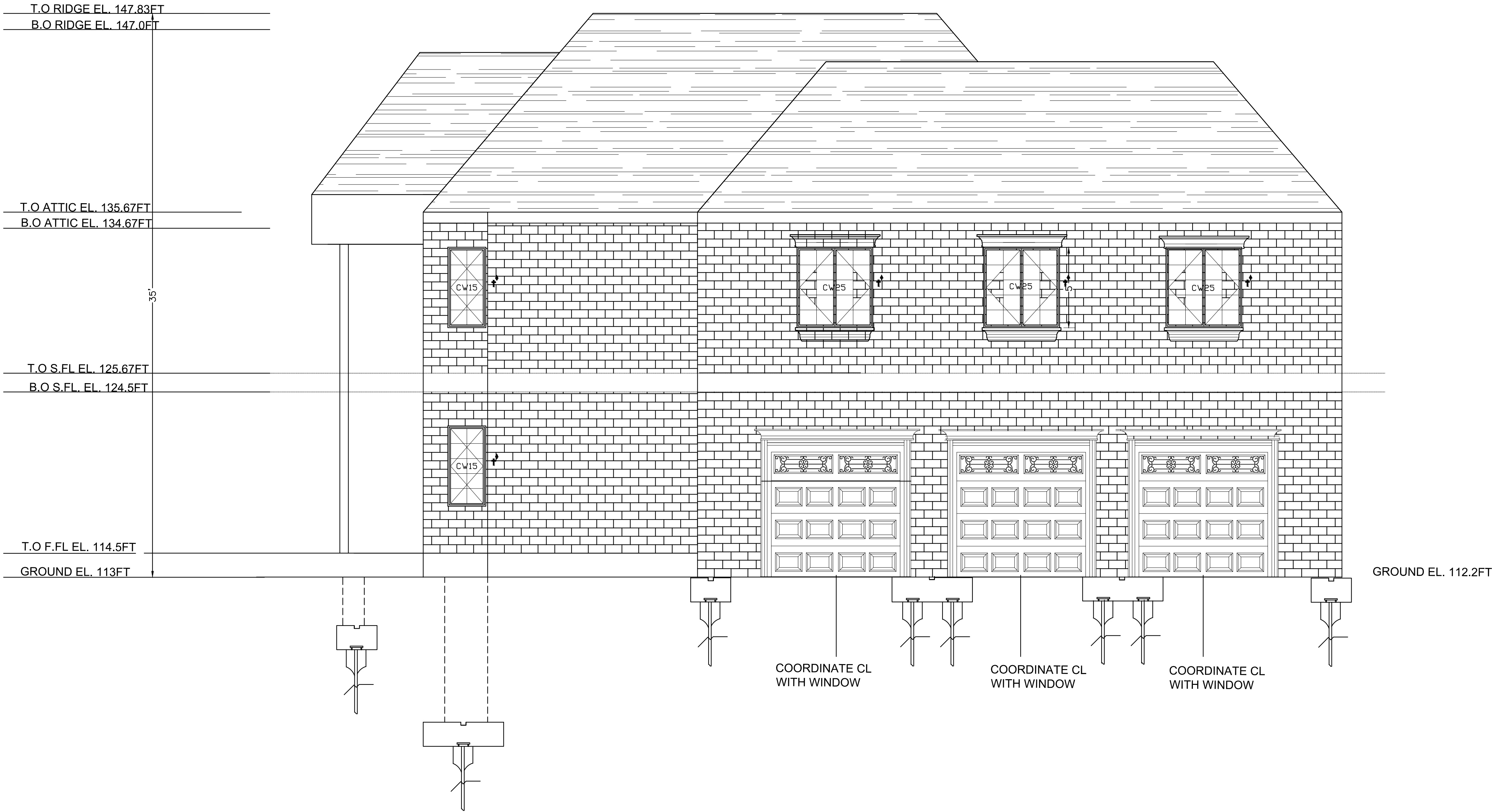
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RIGHT ELEVATION

SCALE 1/4" = 1'-0

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<b>HELEN BOGDANOS, P.E.</b> 121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626		DATE	DESCRIPTION
		DRAWN BY: D.K./I.T.	DRAWING NO. <b>A-6</b>
		CHECKED BY: HELEN B	
		DATE: 3.20.24	
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REAR ELEVATION

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		DRAWN BY: D.K./I.T.	DRAWING NO.
		CHECKED BY: HELEN B	<b>A-7</b>
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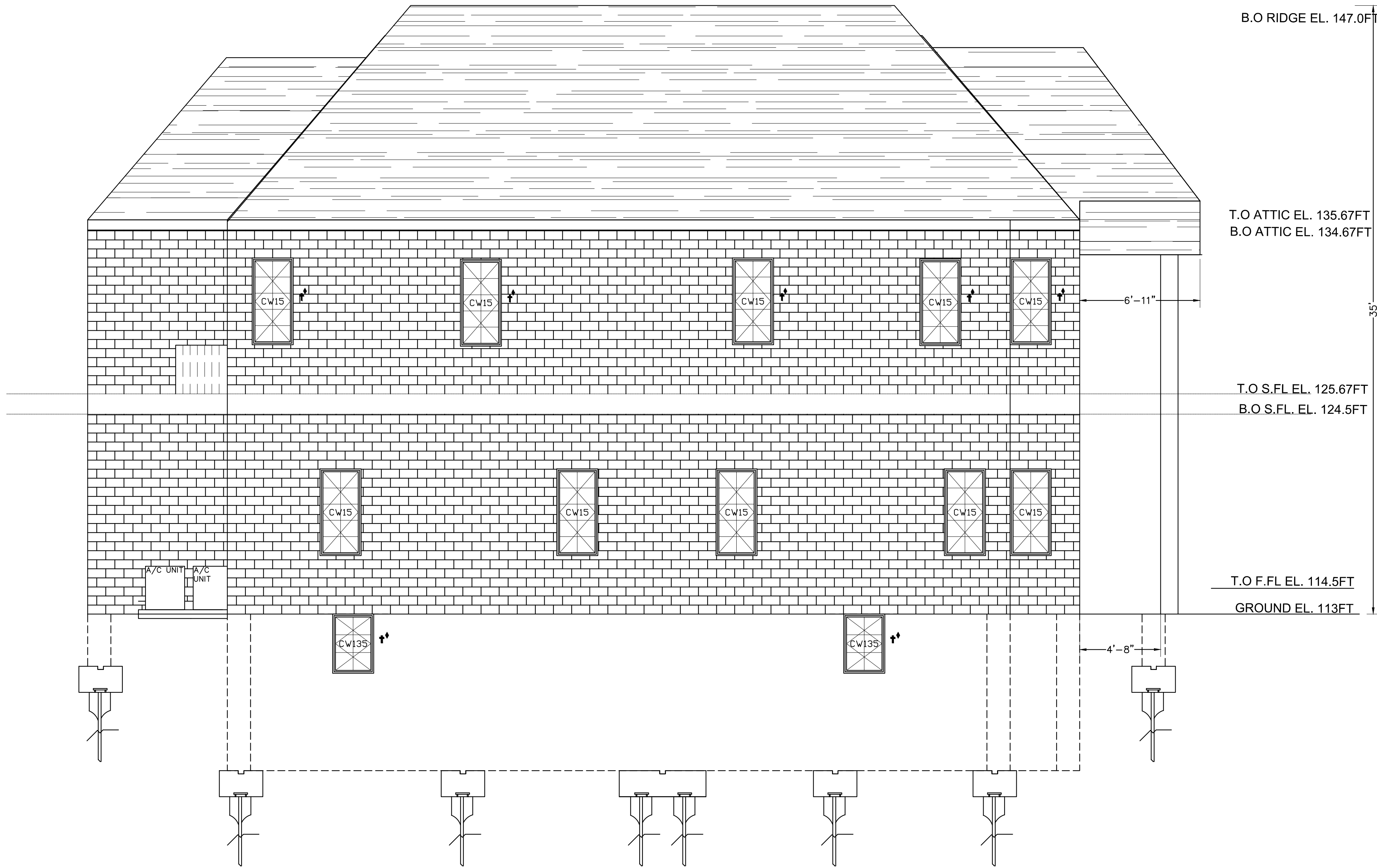
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LEFT ELEVATION

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SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40		2.31.24	AS PER COMMENTS 9-20-24
TAX MAP No: SECTION: 284 BLOCK: 0003 LOTS: 64		3.20.24	FIRST FILING
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121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626		DRAWN BY: D.K./I.T.	DRAWING NO. A-8
SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]		CHECKED BY: HELEN B	
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		SCALE: AS NOTED	







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**"IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION 'EP' YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS 'NEW APPOINTMENT' TO REQUEST AN INSPECTION.**

**IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024, PLEASE EMAIL TO SCHEDULE AN INSPECTION**

**PLEASE EMAIL: [bdginspect@huntingtonny.gov](mailto:bdginspect@huntingtonny.gov) TO SCHEDULE BUILDING INSPECTIONS.**

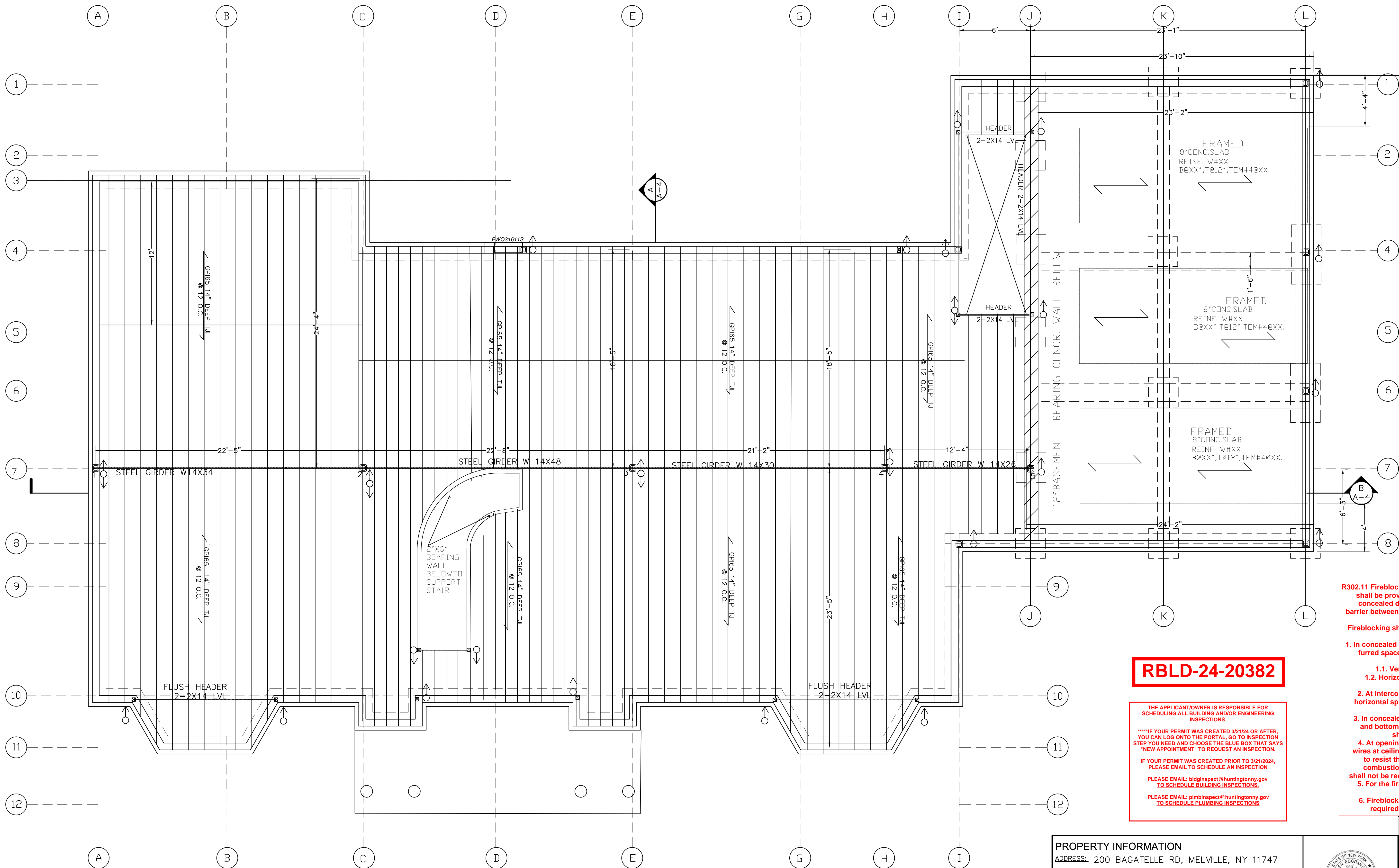
**PLEASE EMAIL: [pimbsinspect@huntingtonny.gov](mailto:pimbsinspect@huntingtonny.gov) TO SCHEDULE PLUMBING INSPECTIONS**



**NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING CODE AND TOWN ORDINANCE.**

# A-10





**2020 NYSRC**  
**R302.11 Fireblocking.** In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.  
Fireblocking shall be provided in wood-framed construction in the following locations:  
1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:  
1.1. Vertically at the ceiling and floor levels.  
1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).  
2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.  
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.  
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.  
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.  
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

**RBLD-24-20382**

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IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024, PLEASE EMAIL TO SCHEDULE AN INSPECTION  
PLEASE EMAIL: bldgsinspect@huntingtonny.gov TO SCHEDULE BUILDING INSPECTIONS.  
PLEASE EMAIL: plmbinspect@huntingtonny.gov TO SCHEDULE PLUMBING INSPECTIONS

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**FIRST FLOOR STRUCTURAL**

SCALE 1/4" = 1'-0"

**PROPERTY INFORMATION**  
ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747  
SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40  
TAX MAP No.: SECTION: 273 BLOCK: 0003 LOTS: 64



**HELEN BOGDANOS, P.E.**  
121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626

SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]

REVISIONS	
5.12.25	AS PER COMMENTS 4-17-25
12.31.24	AS PER COMMENTS 9-20-24
3.20.24	FIRST FILING
DATE	DESCRIPTION
DRAWN BY: D.K./I.T.	DRAWING NO. S-1
CHECKED BY: HELEN B	
DATE: 3.20.24	
SCALE: AS NOTED	



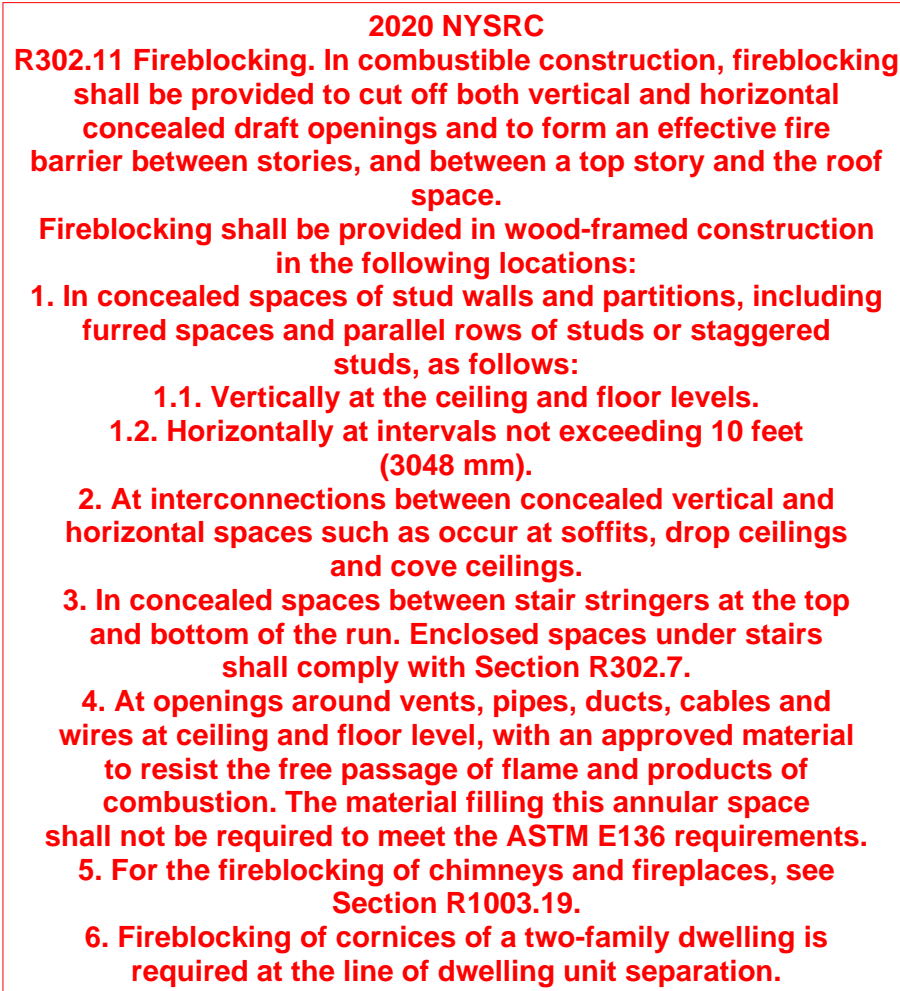
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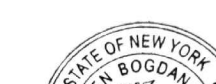
PLEASE EMAIL: [bidginspect@huntingtonny.gov](mailto:bidginspect@huntingtonny.gov)  
TO SCHEDULE BUILDING INSPECTIONS

PLEASE EMAIL: [pmbinspect@huntingtonny.gov](mailto:pmbinspect@huntingtonny.gov)  
TO SCHEDULE PLUMBING INSPECTIONS



## SECOND FLOOR STRUCTURAL

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<b>PROPERTY INFORMATION</b> <u>ADDRESS:</u> 200 BAGATELLE RD, MELVILLE, NY 11747 <u>SITE DATA:</u> BUILDING USE: 1 FAM. RES. ZONING: R-40 <u>TAX MAP No.</u> SECTION: 273 BLOCK: 0003 LOTS: 64		 <i>Helen Bogdanos</i> SEAL		5.12.25 AS PER COMMENTS 4-17- 12.31.24 AS PER COMMENTS 9-20-2	
<b>HELEN BOGDANOS, P.E.</b> 121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626		3.20.24 FIRST FILING DATE DESCRIPTION		DRAWN BY: D.K./I.T. DRAWING NO.	
		CHECKED BY: HELEN B DATE: 3.20.24 SCALE: AS NOTED		<b>S-2</b>	
<b>SCOPE:</b> PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]					



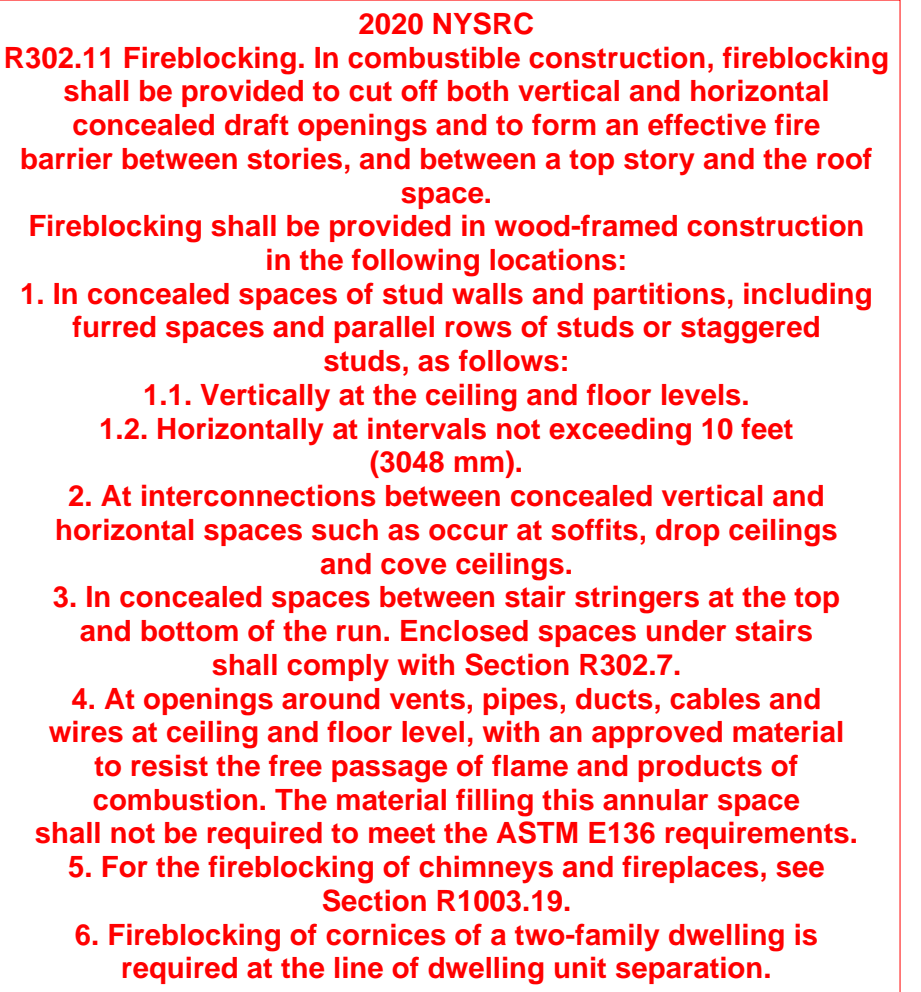
**THE APPLICANT/OWNER IS RESPONSIBLE FOR  
SCHEDULING ALL BUILDING AND/OR ENGINEERING  
INSPECTIONS**

**\*\*\*\*\*IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER,  
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STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS  
"NEW APPOINTMENT" TO REQUEST AN INSPECTION.**

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**PLEASE EMAIL: [bidingspect@huntingtonny.gov](mailto:bidingspect@huntingtonny.gov)  
TO SCHEDULE BUILDING INSPECTIONS.**

**PLEASE EMAIL: [plmbinspect@huntingtonny.gov](mailto:plmbinspect@huntingtonny.gov)  
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<div>PROPERTY INFORMATION</div> <div><div>ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747</div><div>SITE DATA: BUILDING USE: 1 FAM. RES, ZONING: R-40</div><div>TAX MAP No. SECTION: 273 BLOCK: 0003 LOTS: 64</div></div> <div><div><div>HELEN BOGDANOS, P.E.</div><div>121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626</div></div><div><div><div><div>SEAL</div><div><div><div>STATE OF NEW YORK</div><div>CITY AND COUNTY OF QUEENS</div><div>DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT</div><div>018677</div></div><div><div>Helen Bogdanos</div></div></div></div></div></div></div>		<div>REVISIONS</div> <div><div>5.12.25</div><div>AS PER COMMENTS 4-17-25</div></div> <div><div>12.31.24</div><div>AS PER COMMENTS 9-20-24</div></div> <div><div>3.20.24</div><div>FIRST FILING</div></div> <div><div>DATE</div><div>DESCRIPTION</div></div> <div><div><div>DRAWN BY: D.K./I.T.</div><div>CHECKED BY: HELEN B</div><div>DATE: 3.20.24</div><div>SCALE: AS NOTED</div></div><div><div>DRAWING NO.</div><div>S-3</div></div></div>	
<div>SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]</div>			



**R905.1.2 Ice barriers.** In areas where there has been a history of ice forming along the eaves causing a backup of water as designated in Table R301.2(1), an ice barrier shall be installed for asphalt shingles, metal roof shingles, mineral-surfaced roll roofing, slate and slate-type shingles, wood shingles and wood shakes. The ice barrier shall consist of not fewer than two layers of underlayment cemented together, or a self-adhering polymer-modified bitumen sheet shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point not less than 24 inches (610 mm) inside the exterior wall line of the building. On roofs with slope equal to or greater than eight units vertical in 12 units horizontal (67-percent slope), the ice barrier shall also be applied not less than 36 inches (914 mm) measured along the roof slope from the eave edge of the building.  
Exception: Detached accessory structures not containing conditioned floor area.

# ROOF STRUCTURAL PLAN

SCALE 1/4" = 1'-0"

**RBLD-24-20382**

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PLEASE EMAIL: [plmbinspect@huntingtonny.gov](mailto:plmbinspect@huntingtonny.gov) TO SCHEDULE PLUMBING INSPECTIONS

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TAX MAP No.: SECTION:273 BLOCK: 0003 LOTS: 64

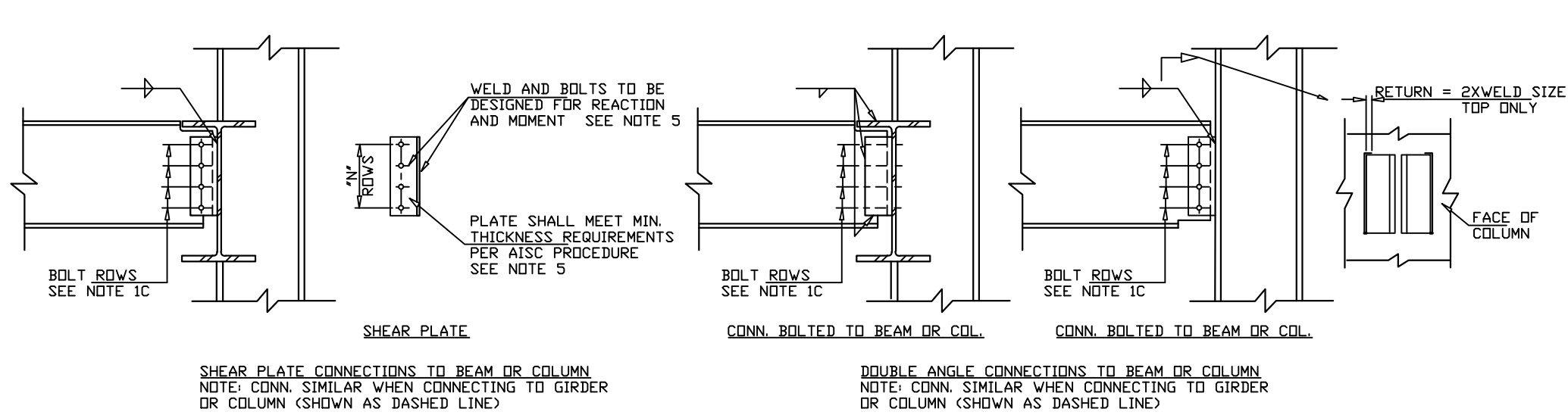


HELEN BOGDANOS, P.E.  
121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626

SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]

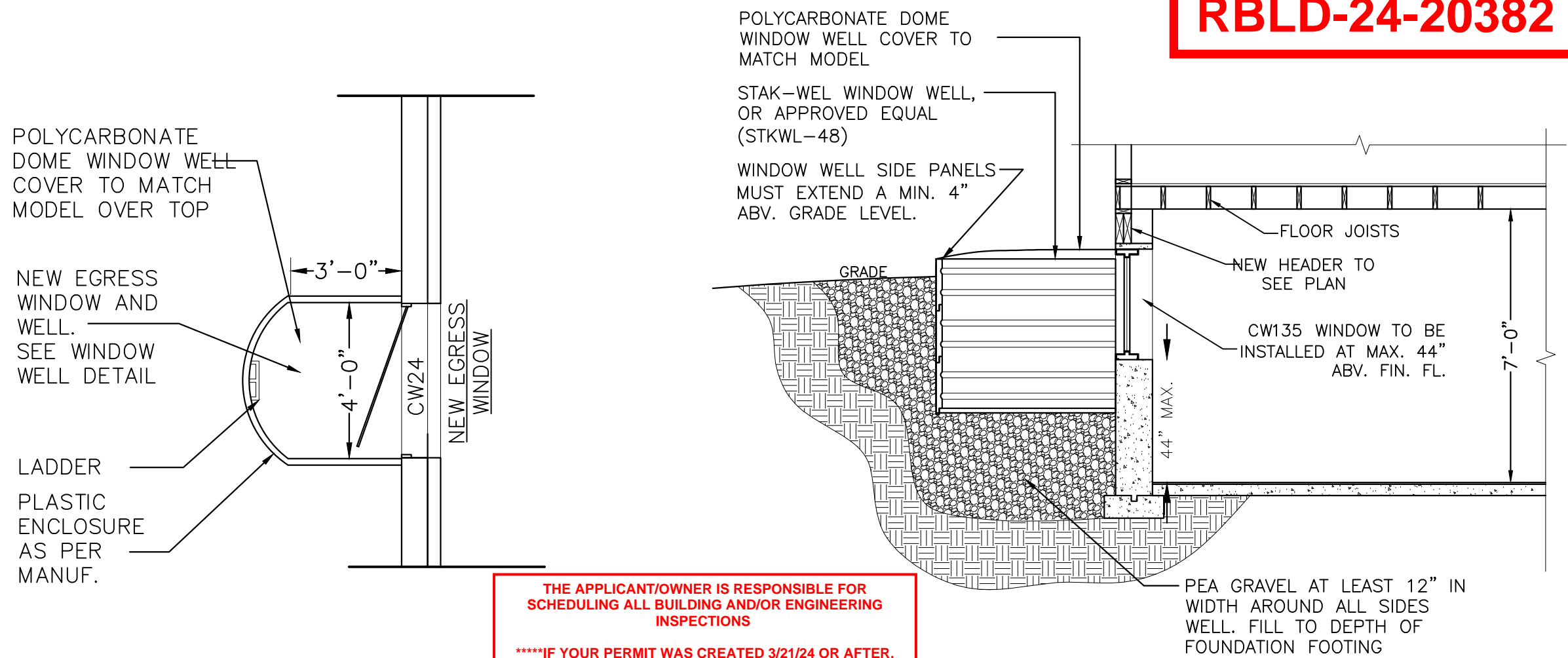
REVISIONS	
5.12.25	AS PER COMMENTS 4-17-20
12.31.24	AS PER COMMENTS 9-20-24
3.20.24	FIRST FILING
DATE	DESCRIPTION
DRAWN BY: D.K./I.T.	DRAWING NO. S-4
CHECKED BY: HELEN B	
DATE: 3.20.24	
SCALE: AS NOTED	





- NOTES:
1. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE REACTION SHOWN ON THE DRAWINGS OR THE GREATEST OF THE FOLLOWING:  
a. FOR COMPOSITE BEAMS, REACTION FROM AISC LRFD UNIFORM LOAD TABLES FOR BEAMS FOR APPLICABLE BEAM MATERIAL, MULTIPLIED BY 2.0.  
b. FOR NON-COMPOSITE BEAMS, REACTION FROM AISC LRFD UNIFORM LOAD TABLES FOR MEANS FOR APPLICABLE BEAM MATERIAL, MULTIPLIED BY 1.3  
c. MINIMUM NUMBER OF BOLT ROWS AND MINIMUM CONNECTION CAPACITY, SEE TABLE.
  2. BOLTS SHALL BE  $\frac{3}{4}$ " DIAMETER A325 MINIMUM (U.D.N.).
  3. ALL BOLTS SHALL BE FULLY PRE-TENSIONED.
  4. PROVIDE WEB REINFORCING AS REQUIRED DUE TO WEB CUTS, COPES AND ETC.
  5. DESIGN OF DOUBLE ANGLE AND SHEAR PLATE CONNECTIONS SHALL BE BASED UPON THE LATEST AISC PROCEDURES SHOWN IN THE AISC MANUAL OF STEEL CONSTRUCTION, VOLUME II CONNECTIONS.
  6. FACTOR FOR CONVERSION OF LOADS FROM SERVICE TO ULTIMATE SHALL BE EQUAL TO 1.3.
  7. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED, ETC.) MAY BE USED ONLY UPON SPECIFIC APPROVAL OF THE ENGINEER OF RECORD. DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE ARCHITECT AND ENGINEER OF RECORD.

TYPICAL SIMPLE SHEAR CONNECTION DETAILS



PLAN DETAIL

SCALE: NTS

TABLE 3.1 (NAILING SCHDULE)		
JOINT DESCRIPTION	# OF NAILS	NAIL SPACING
ROOF FRAMING		
Rafter to Top Plate (Toe-nailed)	3- 8d	per rafter
Ceiling Joist to Top Plate (Toe-nailed)	3- 8d	per joist
Ceiling Joist to Parallel Rafter (Face-nailed)	3- 16d	each lap
Ceiling Joist Laps over Partitions (Face-nailed)	3- 16d	each lap
Collar Tie to Rafter (Face-nailed)	3- 10d	per tie
Blocking to Rafter (Toe-nailed)	2- 8d	each end
Rim Board to Rafter (End-nailed)	2- 16d	each end
WALL FRAMING		
Top plate to Top Plate (Face-nailed)	2- 16d	per foot
Top Plate at Intersections (Face-nailed)	4- 16d	joints - each side
Stud to Stud (Face-nailed)	4- 16d	24" o.c.
Header to Header (Face-nailed)	16d	16" o.c. along edges
Top or Bottom Plate to Stud (End-nailed)	2- 16d	per 2 x 4 stud
	3- 16d	per 2 x 6 stud
	4- 16d	per 2 x 8 stud
Bottom Plate to Floor Joist, Band Joist, End Joist or blocking (Face-nailed)	2- 16d	per foot
FLOOR FRAMING		
Joist to Sill, Top Plate or Girder (Toe-nailed)	4- 8d	per joist
Bridging to Joist (Toe-nailed)	2- 8d	each end
Blocking to Joist (Toe-nailed)	2- 8d	each end
Blocking to Sill or Top Plate (Toe-nailed)	3- 16d	each block
Ledger Strip to Beam (Face-nailed)	3- 16d	each joist
Joist on Ledger to Beam (Toe-nailed)	3- 8d	per joist
Band Joist to Joist (End-nailed)	2- 16d	per joist
Band Joist to Sill or Top Plate (Toe-nailed)	3- 16d	per foot
ROOF SHEATHING		
Structural Panels	8d	12" o.c.
Diagonal Board Sheathing	2- 8d 3- 8d	per support per support
1"x6" or 1"x8" 1"x10" or wider		
CEILING SHEATHING		
Gypsum Wallboard	5d coolers	7" edge/10" field
WALL SHEATHING		
Structural Panels	8d	12" o.c.
Fiberboard Panels	7/16" 25/32"	3" edge/6" field 3" edge/6" field
Gypsum Wallboard	5d coolers	7" edge/10" field
Hardboard	8d	12" o.c.
Particleboard Panels	8d	12" o.c.
Diagonal Board Sheathing	2- 8d 3- 8d	per support per support
1"x6" or 1"x8" 1"x10" or wider		
FLOOR SHEATHING		
Structural Panels	8d	6" edge/12" field
1" or less greater than 1"	10d	6" edge/6" field
Diagonal Board Sheathing	2- 8d 3- 8d	per support per support
1"x6" or 1"x8" 1"x10" or wider		

- A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- B. NAILS SPACED AT 6" OC AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT SUPPORTS WHERE SPANS ARE 48" OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLE BOARD DIAGRAMMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- C. COMMON OR DEFORMED SHANK.
- D. COMMON.
- E. DEFORMED SHANK.
- F. CORROSION RESISTANT SIDING OR CASING NAILS.
- G. FASTENERS SPACED 3" OC AT EXTERIOR EDGES AND 6" OC AT INTERMEDIATE SUPPORT.
- H. CORROSION RESISTANT ROOFING NAILS WITH  $\frac{3}{16}$ " DIA HEAD AND 1  $\frac{1}{2}$ " LENGTH FOR 3" SHEATHING AND 1  $\frac{1}{2}$ " LENGTH FOR  $\frac{5}{8}$ " SHEATHING.
- I. CORROSION RESISTANT STAPLES WITH NOMINAL  $\frac{3}{16}$ " CROWN AND 1  $\frac{1}{2}$ " LENGTH FOR 3" SHEATHING AND 1  $\frac{1}{2}$ " LENGTH FOR  $\frac{5}{8}$ " SHEATHING. PANEL SUPPORTS AT 16" (20" OF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- J. CASING OR FINISH NAILS SPACED 6" ON PANEL EDGES, 12" AT INTERMEDIATE SUPPORT.
- K. PANEL SUPPORTS AT 24". CASING OR FINISH NAILS SPACED 6" ON PANEL EDGES, 12" AT INTERMEDIATE SUPPORTS.
- L. FOR ROOF SHEATHING APPLICATIONS, 8D NAILS ARE THE MIN. REQ'D FOR WOOD STRUCTURAL PANELS.
- M. STAPLES SHALL HAVE MIN. CROWN WIDTH OF  $\frac{3}{16}$ ".
- N. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4" OC AT EDGES, 8" AT INTERMEDIATE SUPPORTS.
- O. FASTENERS SPACED 4" OC AT EDGES, 8" OC AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3" OC AT EDGES, 6" AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- P. FASTENERS SPACED 4" OC AT EDGES, 8" AT INTERMEDIATE.

MINIMUM UNIFORM DISTRIBUTED DESIGN LOADS		
(REFER TO TABLE R301.2.2.1 FOR DEAD LOAD & R301.5 FOR LIVE LOAD)		
USE	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES	60	10
DECKS	40	10
PASSENGER VEHICLE GARAGES	50	PER PLAN
ATTICS WITHOUT STORAGE (ROOF BELOW 3 PITCH)	10	10
ATTICS WITH STORAGE (ROOF BELOW 3 PITCH)	20	10
ATTICS WITH FIXED STAIRS	30	10
ROOMS OTHER THAN SLEEPING ROOMS	40	10
SLEEPING ROOMS	30	10
STAIRS	40	10
GUARDRAILS AND HANDRAILS	200	10
ROOF LOADING LIVE- GROUND SNOW LOAD	20	

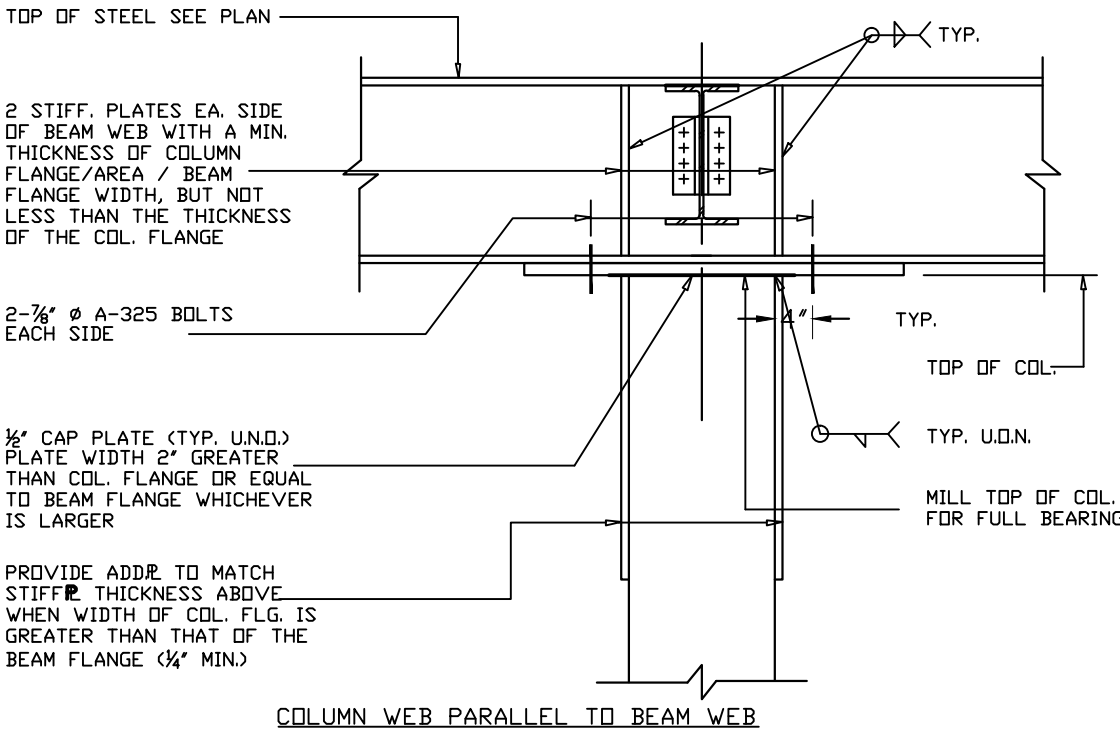
DESIGN CRITERIA IN ACCORDANCE WITH AMERICAN FOREST & PAPER ASSOCIATION, (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAM. DWELLING, (WFCM)1995 EDITION

R905.25 FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MIN. 12 GAGE SHANK W/ A MIN.  $\frac{3}{16}$ " HEAD

ASTMF1667, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MIN. OF  $\frac{3}{4}$ " INTO THE ROOF SHEATHING. WHERE THE ROOF SHEATHING IS LESS THAN  $\frac{3}{4}$ " THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING R905.26 ASPHALT

ROOF SHINGLES SHALL HAVE A MIN. OF SIX FASTENERS PER SHINGLE



TYPICAL DETAIL OF BEAM BEARING ON COLUMN

- NOTES:
1. BOLTS SHALL BE  $\frac{3}{4}$ " DIAMETER A325 MINIMUM (U.O.N).

2. ALL BOLTS SHALL BE FULLY PRE-TENSIONED.

3. PROVIDE WEB REINFORCING AS REQUIRED DUE TO WEB CUTS, COPES AND ETC.

4. DESIGN OF DOUBLE ANGLE AND SHEAR PLATE CONNECTIONS SHALL BE BASED UPON THE LATEST AISC PROCEDURES SHOWN IN THE AISC MANUAL OF STEEL CONSTRUCTION, VOLUME II CONNECTIONS.

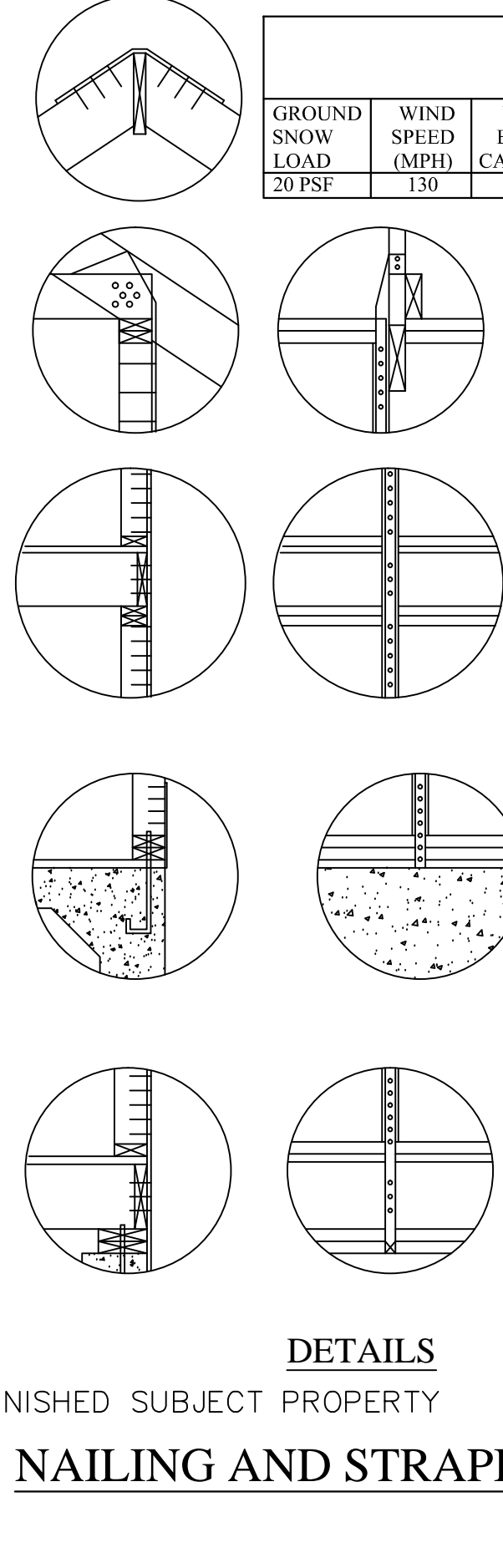
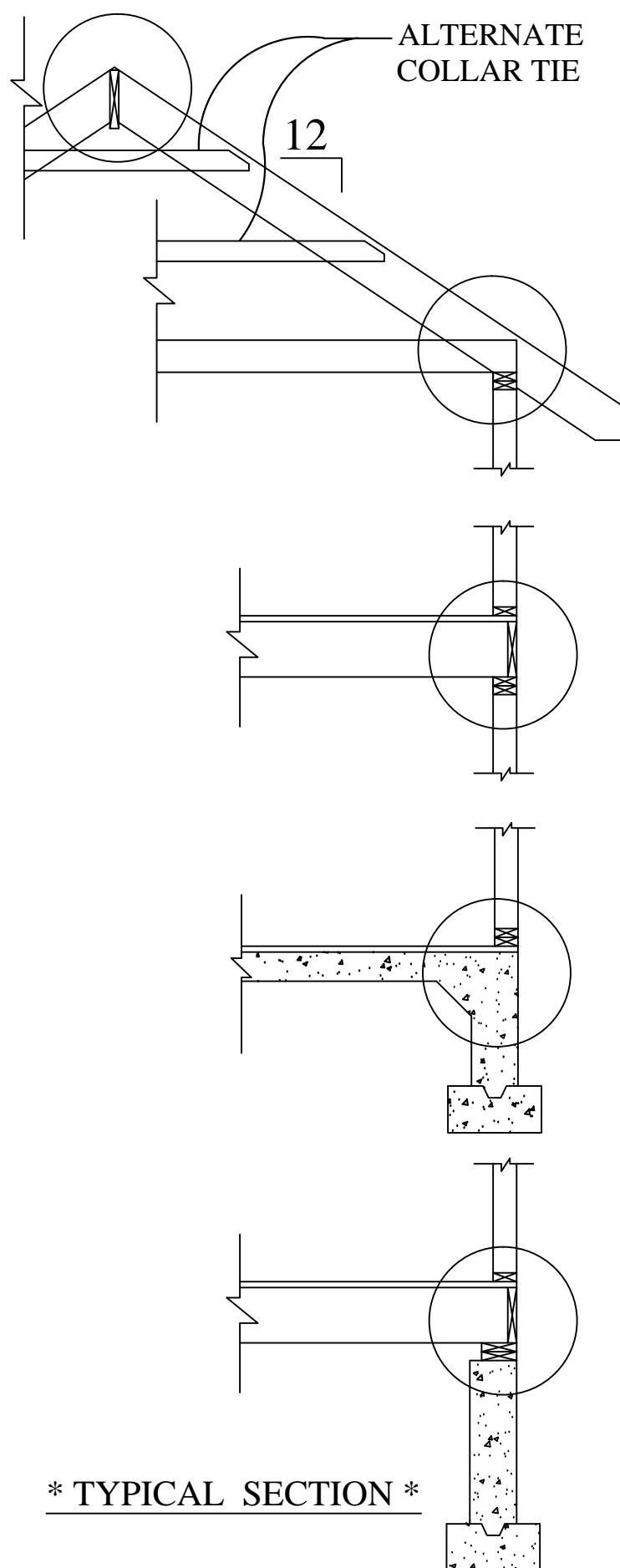
5. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED, ETC.) MAY BE USED ONLY UPON SPECIFIC APPROVAL OF THE ENGINEER OF RECORD. DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE ARCHITECT AND ENGINEER OF RECORD.

6. FACTOR FOR CONVERSION OF LOADS FROM SERVICE TO ULTIMATE SHALL BE EQUAL TO 1.3

7. ALTERNATE CONNECTION SYSTEM (SINGLE ANGLE, SEATED, ETC.) MAY BE USED ONLY UPON SPECIFIC APPROVAL OF THE ENGINEER OF RECORD. DETAILER SHALL SUBMIT WRITTEN REQUESTS FOR USE OF ALTERNATE CONNECTIONS TO THE ARCHITECT AND ENGINEER OF RECORD.

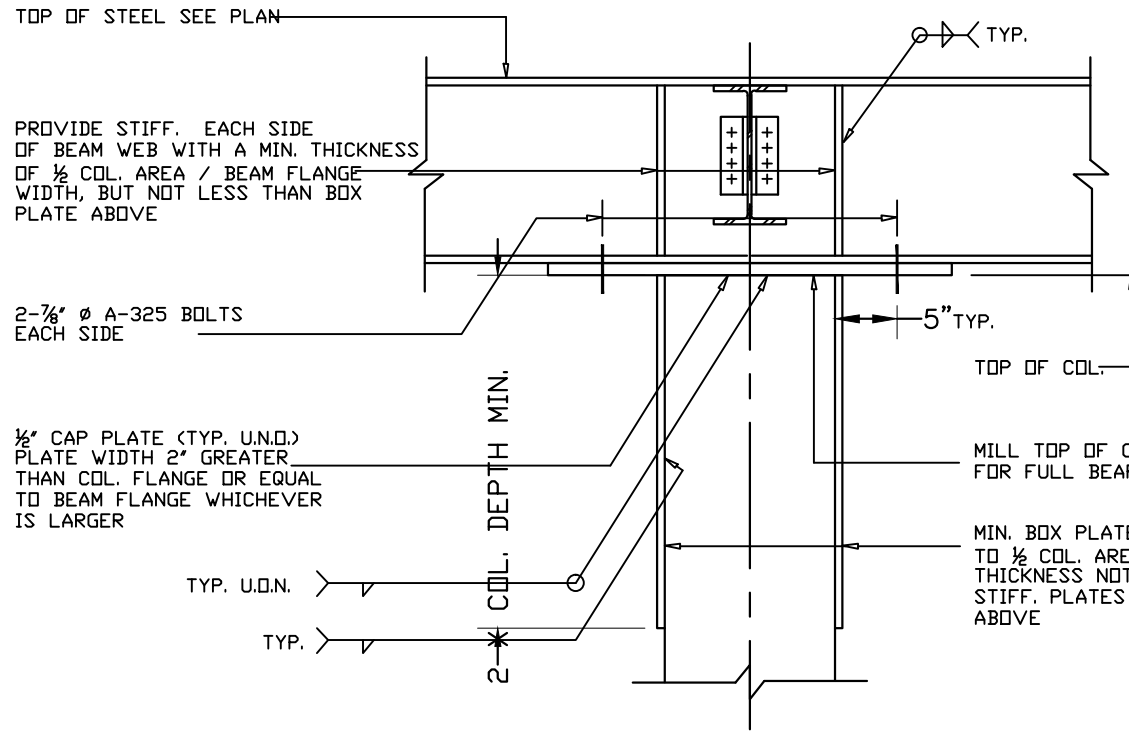
8. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE MINIMUM NUMBER OF BOLT ROWS AND MINIMUM CONNECTION CAPACITY,SEE TABLE.
- NOTES:

1. SIMPLE SHEAR CONNECTIONS SHALL BE DESIGNED FOR THE MINIMUM NUMBER OF BOLT ROWS AND MINIMUM CONNECTION CAPACITY,SEE TABLE.
2. BOLTS SHALL BE  $\frac{3}{4}$ " DIAMETER A325 MINIMUM (U.O.N).
3. ALL BOLTS SHALL BE FULLY PRE-TENSIONED.



DETAILS  
FINISHED SUBJECT PROPERTY  
NAILING AND STRAPING

\* TYPICAL SECTION \*



TYPICAL HEADER BEAM DETAIL AT STAIR

STRUCTURAL STEEL NOTES:

1. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.

2. ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN", LATEST EDITION.

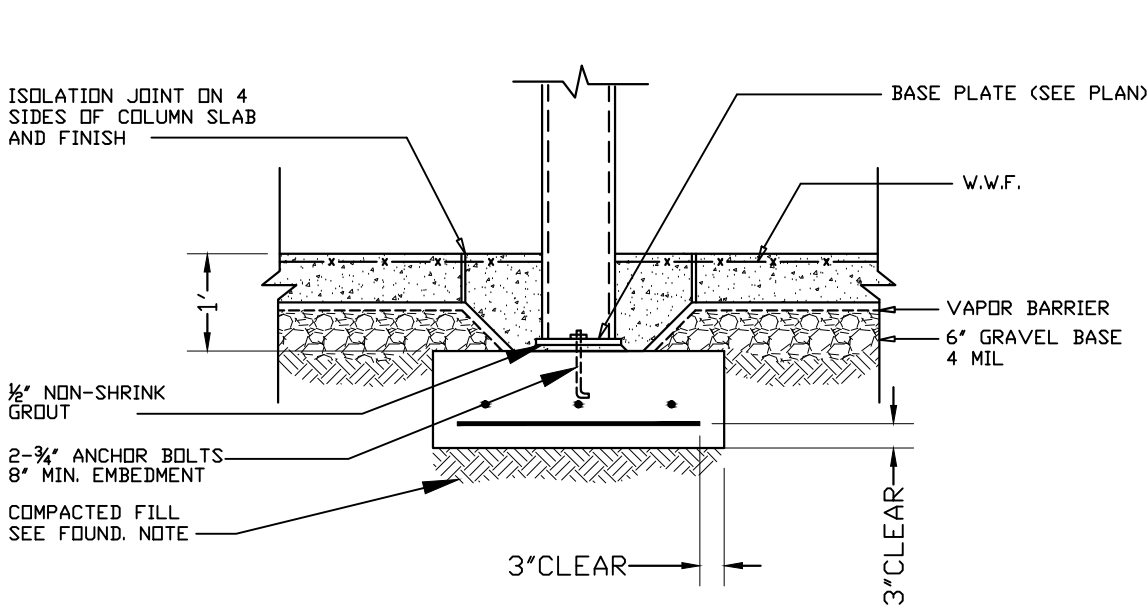
3. NEW STEEL TUBE POST SHALL CONFORM TO ASTM STANDARD A-500 WITH A MINIMUM YIELD STRENGTH OF 46 KSI.

4. ALL CONNECTION MATERIAL, PLATES AND ANGLE, SHALL CONFORM TO ASTM A-36 WITH A MINIMUM YIELD STRENGTH OF 36 KSI.

5. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE IS GRANTED, HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTABILITY AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIC DETAILS SHOWN ON THE DRAWINGS. IN ANY EVENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY ALTERNATE DETAILS WHICH HE PROPOSES.

MIN. NO OF BOLTS AND MIN. CONNECTION CAPACITY			
BEAM SIZE	"N"	"V"	
W14	3	30	
W12	2	20	
W10	2	20	
W8	2	20	

"V" = MINIMUM CONN. SERVICE LOAD CARRYING CAPACITY IN KIPS, U.D.N.  
"N" = MINIMUM NUMBER OF BOLT ROWS



DETAIL FOR INTERIOR STEEL COLUMN ON CONCRETE FOOTING N.T.S

6. ALL WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS IN ACCORDANCE WITH A.W.S. SPECIFICATIONS, LATEST EDITION.

7. ALL WELDING ELECTRODES, FOR NEW STEEL FABRICATION, SHALL CONFORM TO A.W.S. A5.1 GRADE E-70 BARE ELECTRODES AND GRANULAR FLUX SHALL CONFORM TO A.W.S. A5.17, F-70 A.W.S. FLUX CLASSIFICATION.

8. ALL EXTERIOR STEEL ELEMENTS NOT SPECIFIED TO BE GALVANIZED SHALL RECEIVE TWO SHOP COATS OF TNEPEC NO. 50-330 POLY-URA-PRIME AT 2.0-3.0 MILS DRY.

9. ALL BEAM TO GIRDER CONNECTIONS SHALL BE BOLTED CONNECTIONS USING  $\frac{3}{4}$ " ON CENTER BOLTS IN STANDARD HOLES OR SLIP CRITICAL BOLTS IN OVERSIZED OR SLOTTED HOLES.

10. THE STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF FOOTING AND TOP OF WALL ELEVATION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MORE STRINGENT REQUIREMENTS.

11. ALL WELDS NOT SPECIFICALLY CALLED OUT SHALL BE AT LEAST THE MINIMUM WELD SIZE AS SPECIFIED BY CURRENT AISC MANUAL OF STEEL DESIGN.

12. THE STRUCTURAL STEEL CONTRACTOR SHALL VERIFY AND COORDINATE THE LOCATIONS OF BEAMS AND GIRDERS AROUND ELEVATORS WITH THE MECHANICAL DRAWINGS.

LINTELS SCHEDULE


CONTRACTOR SHALL FURNISH ONE (1) LINTEL ANGEL FOR EACH 4" OR 6" OF MASNRY FOR THE FOLLOWING OPENING SIZES PER THE FOLLOWING SCHEDULE UNLESS OTHERWISE NOTED.

ALL LINTEL ANDLES TO HAVE 6" MINIMUM BAREING

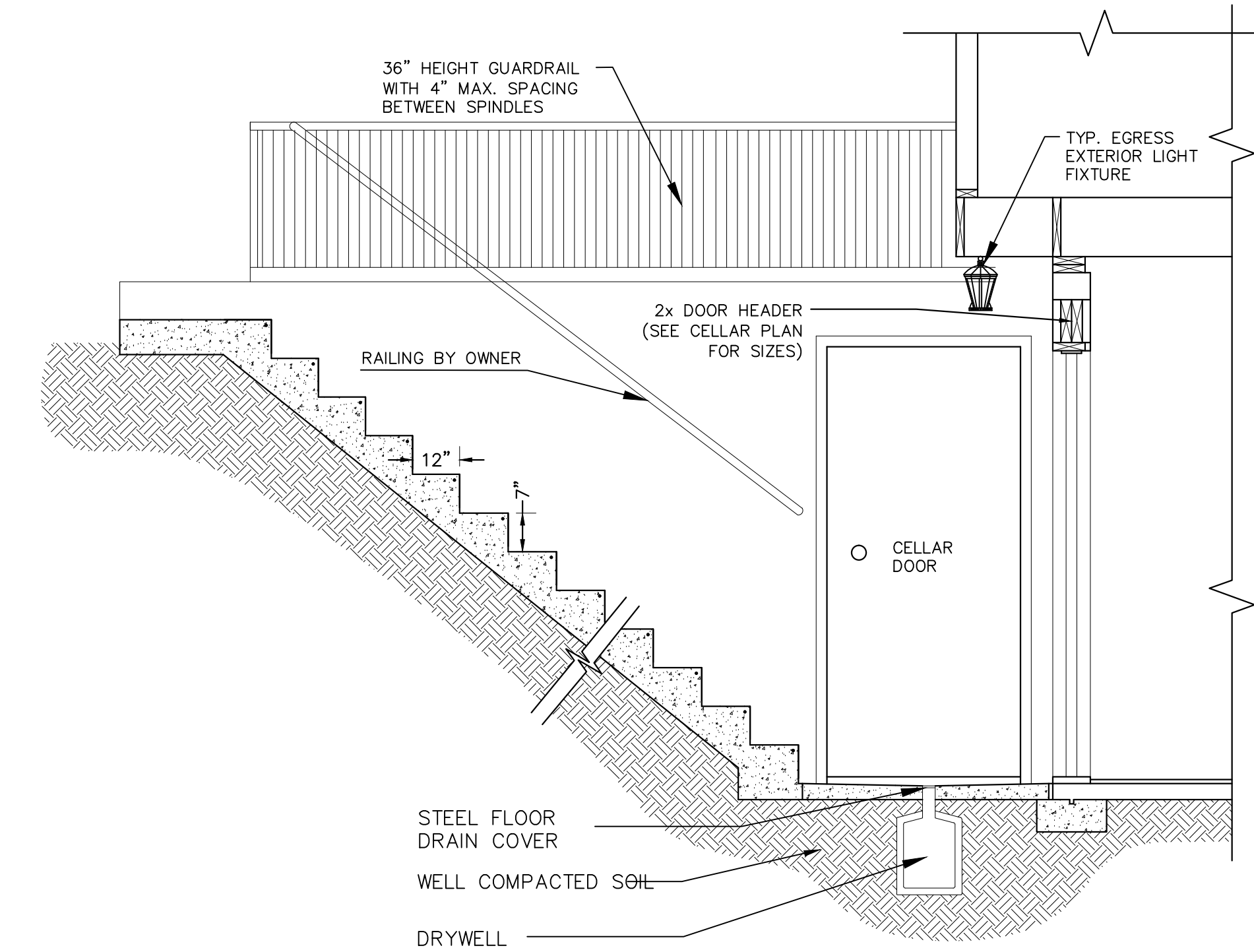
MASONRY OPENING	LINTEL ANGLE SIZE (INCHES) (4" & 8" WALLS)	LINTEL ANGLE SIZE (6" WALLS)
UP TO 6'-6"	4x3 $\frac{1}{2}$ x $\frac{5}{16}$ (3 $\frac{1}{2}$ O.S.1)	5x5 x $\frac{5}{16}$
UP TO 8'-0"	5x3 $\frac{1}{2}$ x $\frac{5}{16}$ (3 $\frac{1}{2}$ O.S. 1)	5x5x $\frac{5}{16}$
UP TO 12'-0"	5x3 $\frac{1}{2}$ x $\frac{5}{16}$ (3 $\frac{1}{2}$ O.S. 1)	6x6x $\frac{5}{16}$

FOR 10" WALLS CONTRACTOR SHALL FURNISH TWO (2) LINTEL ANGLES FOR THE FOLLOWING OPENING SIZES UNLESS OTHERWISE NOTED.

MASONRY OPENING	LINTEL ANGLE SIZE (INCHES) (10" WALLS)
UP TO 6'-6"	4x4x $\frac{5}{16}$
UP TO 8'-0"	6x4x $\frac{5}{16}$ (4" O.S. 1)
UP TO 12'-0"	8x4x $\frac{5}{16}$ (4" O.S.1)

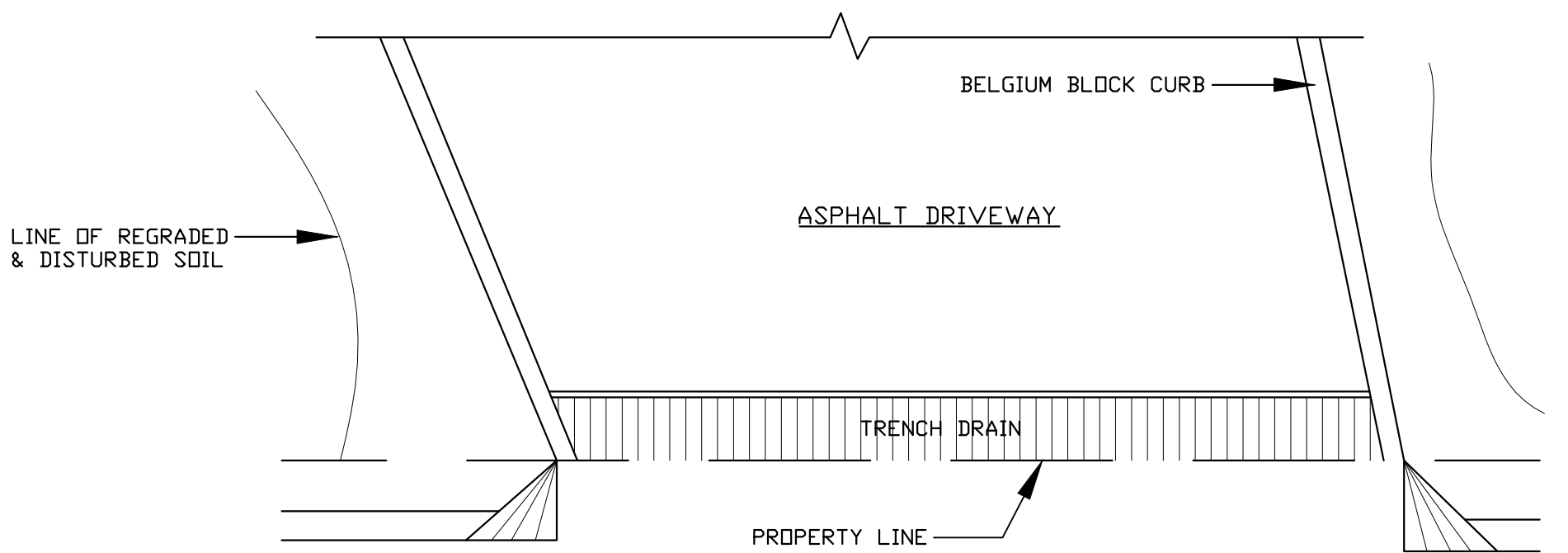
PROPERTY INFORMATION		 <i>Helen Bogdanos</i> SEAL	5.12.25 AS PER COMMENTS 4-17-2	
ADDRESS: 200 BAGATELLE RD, MELVILLE, NY 11747			12.27.24 AS PER COMMENTS 9-20-24	
SITE DATA: BUILDING USE: 1 FAM. RES. ZONING: R-40			3.20.24 FIRST FILING	
TAX MAP No. SECTION: 273 BLOCK: 0003 LOTS: 64			DATE DESCRIPTION	
HELEN BOGDANOS, P.E. 121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 933 2626		SEAL	DRAWN BY: D.K./I.T.	DRAWING NO.
SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/Cs [CAC]			CHECKED BY: HELEN B	D-1
			DATE: 3.20.24	
			SCALE: AS NOTED	





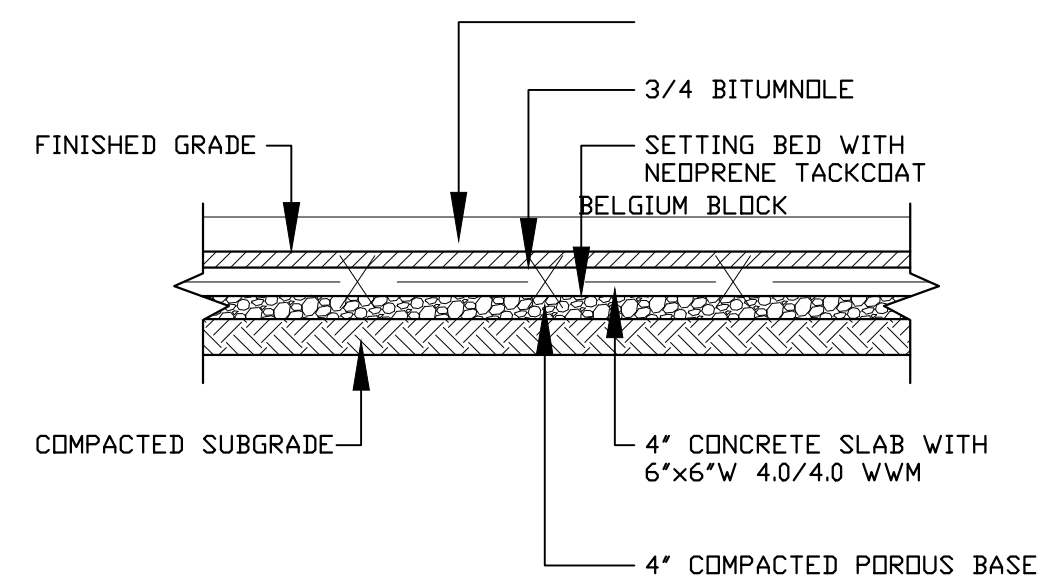
CELLAR STAIR CROSS SECTION "C"

SCALE: 1/2"=1'-0"



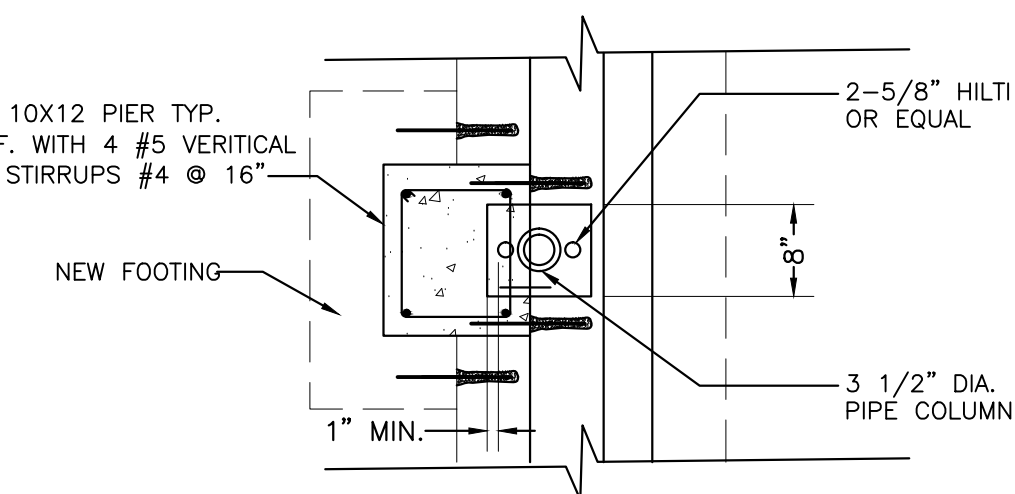
CURB CUT DETAIL PLAN

N.T.S.



WALKWAY PAVER DETAIL

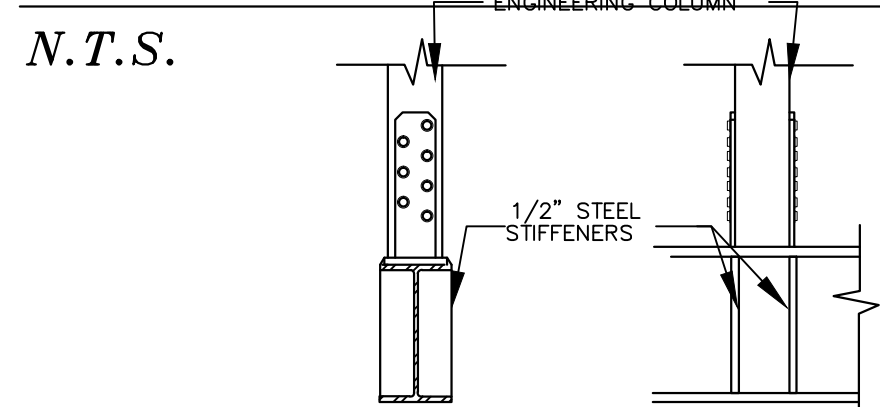
N.T.S.



TYP. STEEL COLUMN ON CONCRETE PIER/GRADE BEAM

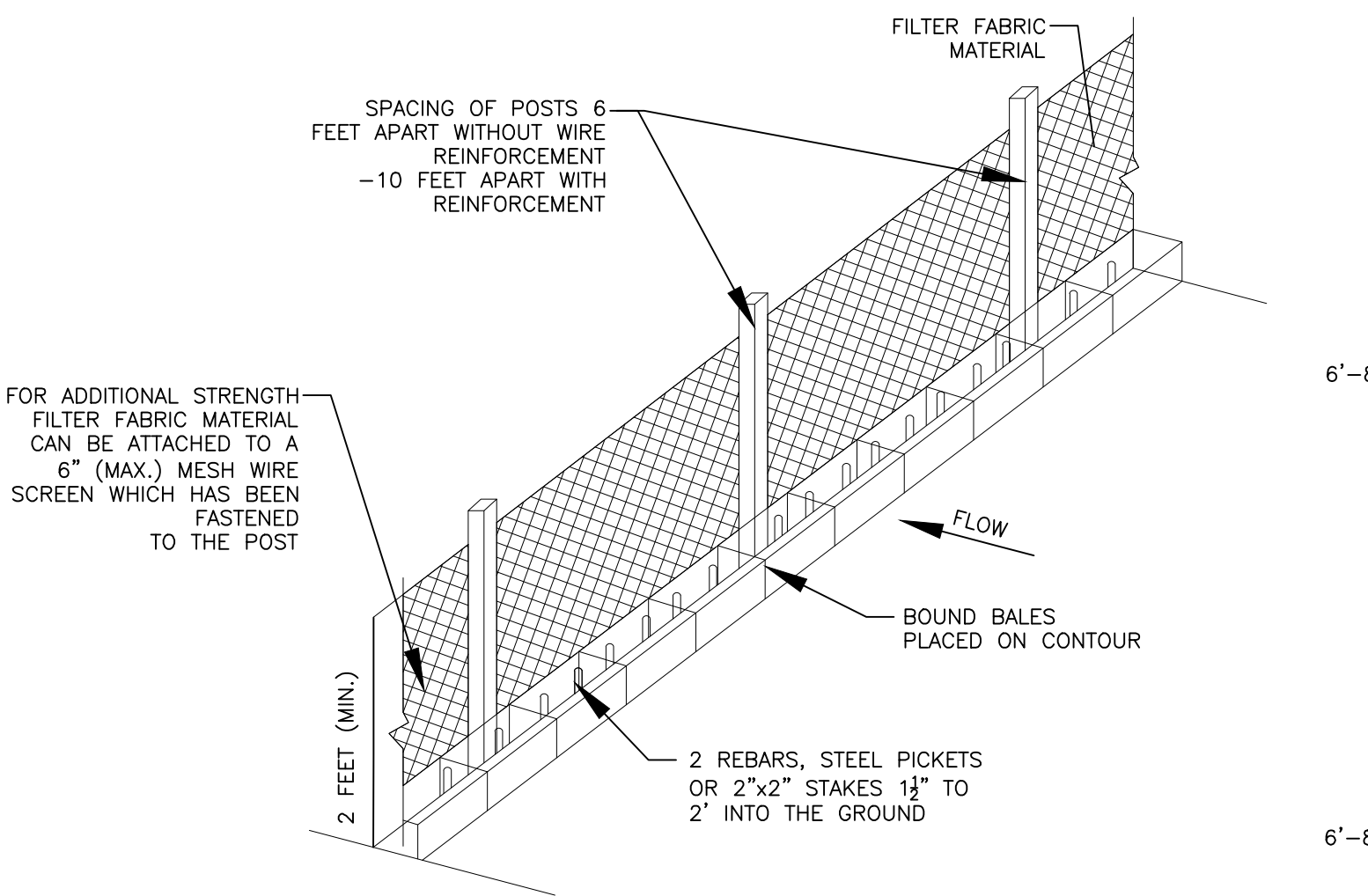
CURB CUT & TRENCH DRAIN DETAIL

N.T.S.



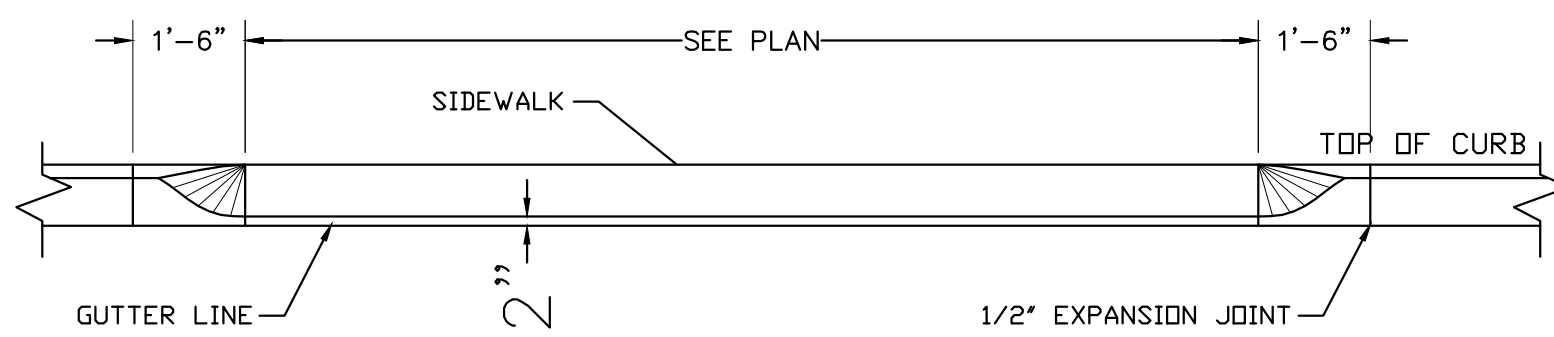
TYPICAL DETAILS FOR ENGINEERING COLUMN TO BE SUPPORTED BY STEEL BEAM

SCALE: N.T.S.



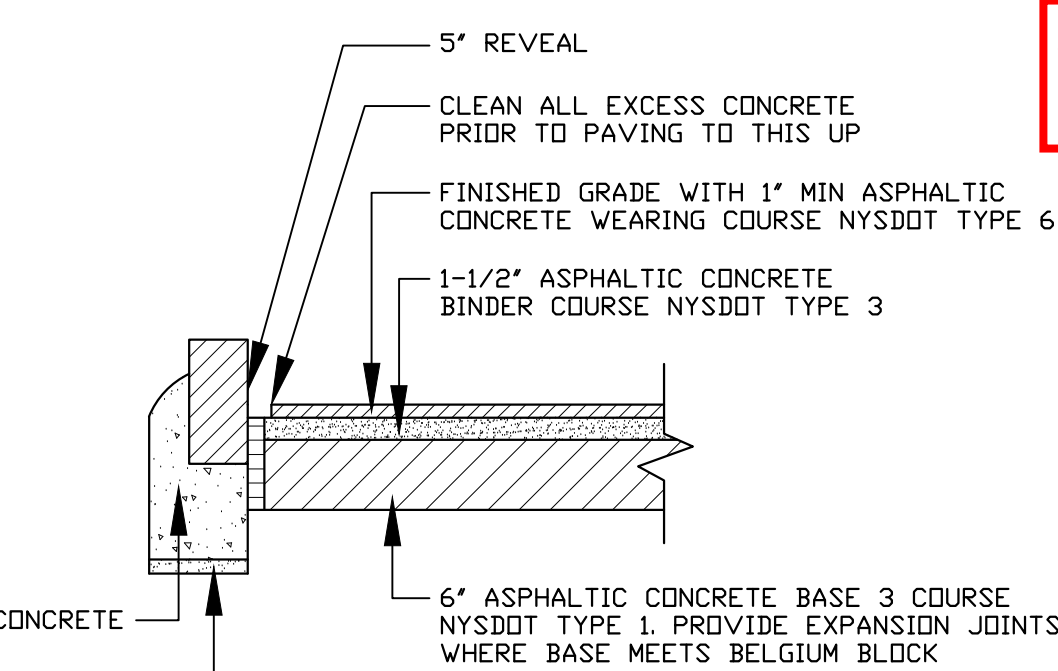
SILT FENCE DETAIL

N.T.S.



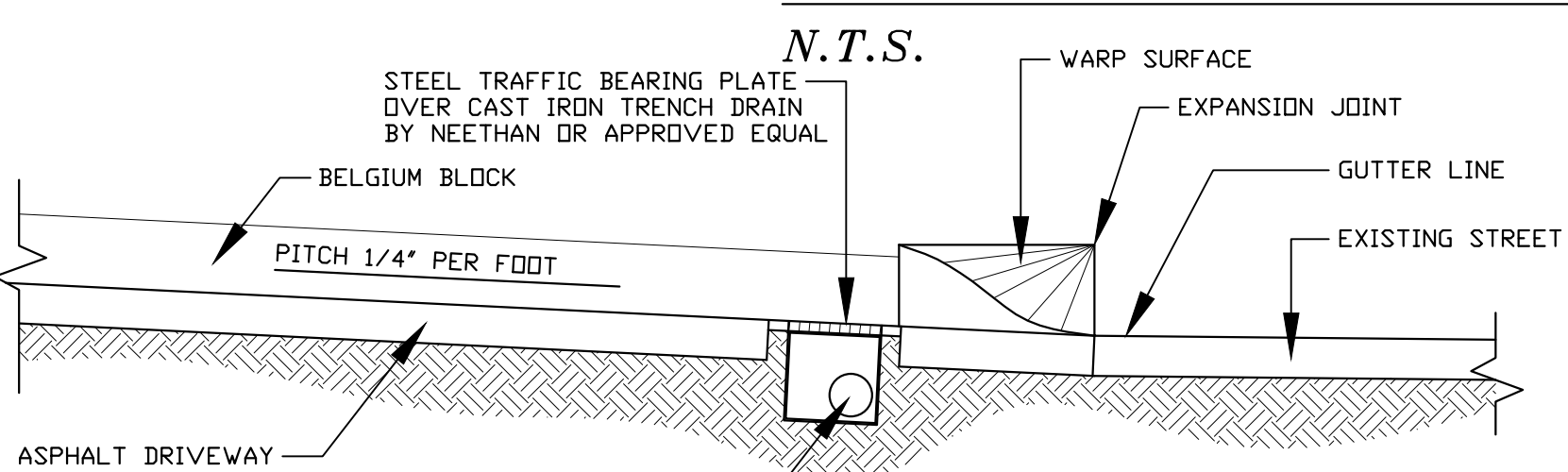
CURB CUT DETAIL ELEVATION

N.T.S.



BELGIUM BLOCKS DETAIL

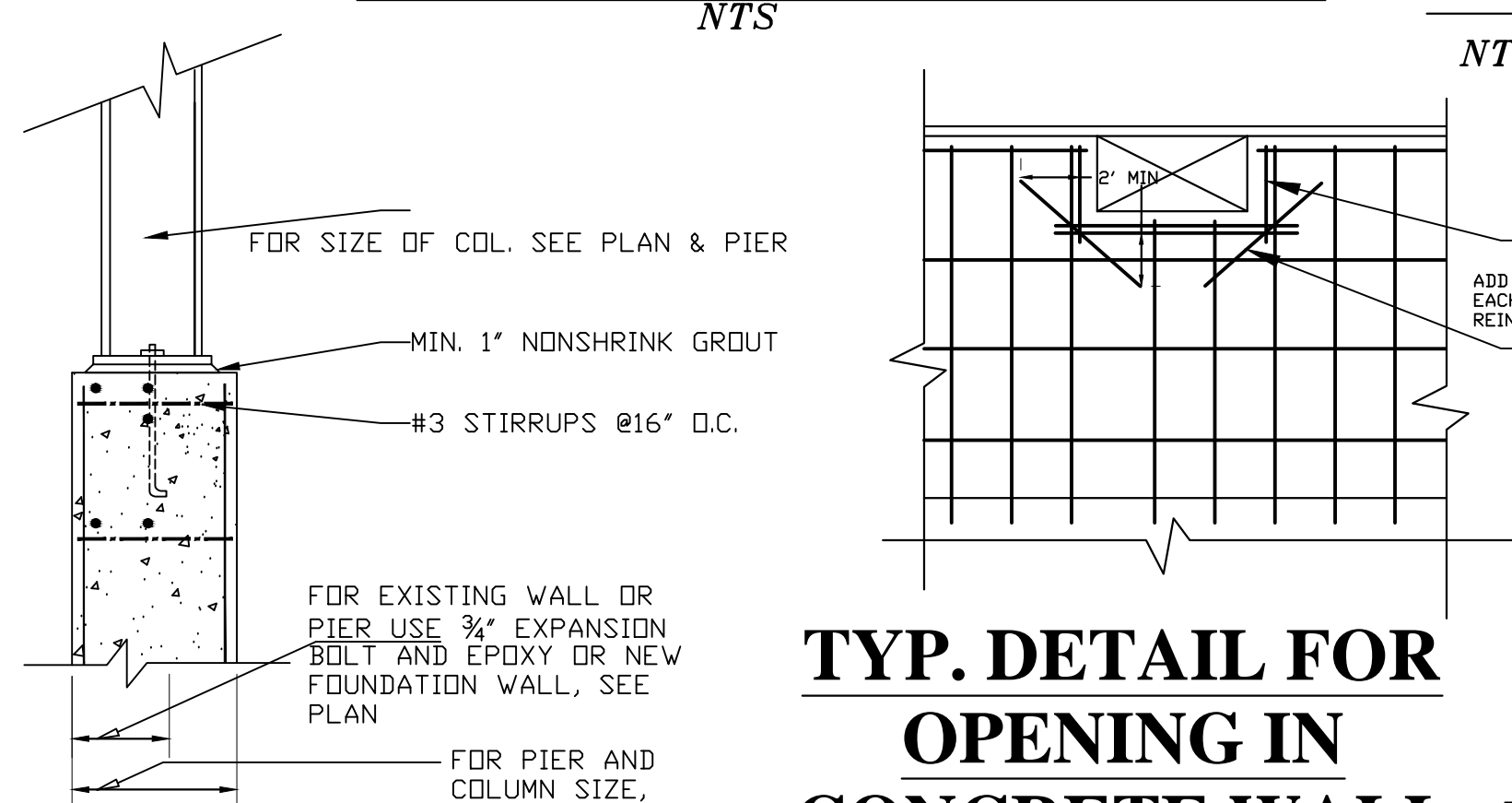
N.T.S.



FASTENERS, HANGERS AND TIE-DOWN CONNECTORS THAT COME INTO CONTACT WITH TREATED LUMBER MUST BE DESIGNED FOR SUCH USE (CHECK MANUFACTURERS SPECIFICATIONS)

TYPICAL CORNER DETAIL

N.T.S.

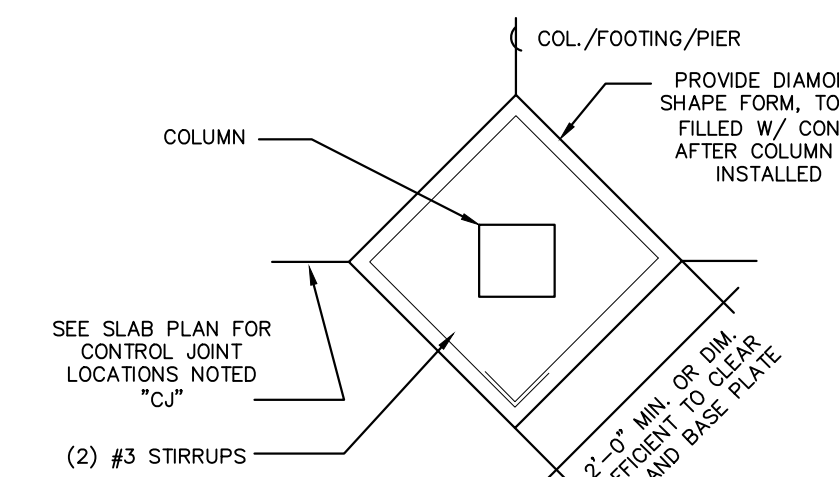


TYP. DETAIL FOR OPENING IN CONCRETE WALL

N.T.S.

TYP. DETAIL STEEL COL, BEARING ON FOUNDATION WALL/GRADE BEAM

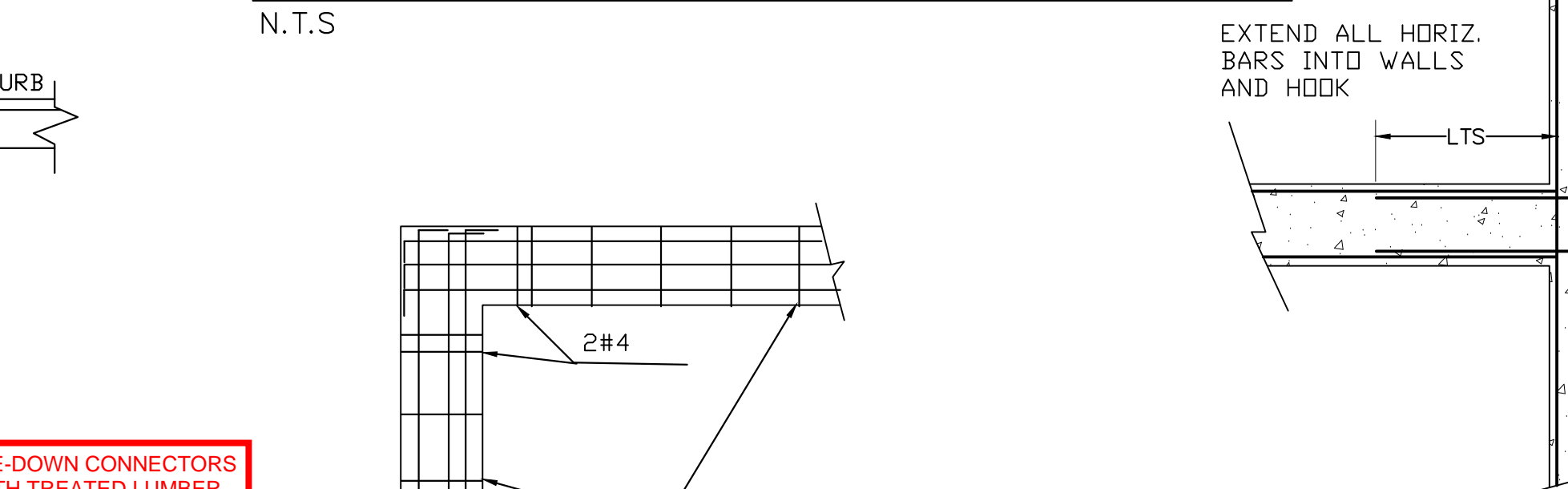
N.T.S.



PLAN SLAB TO COLUMN DETAIL

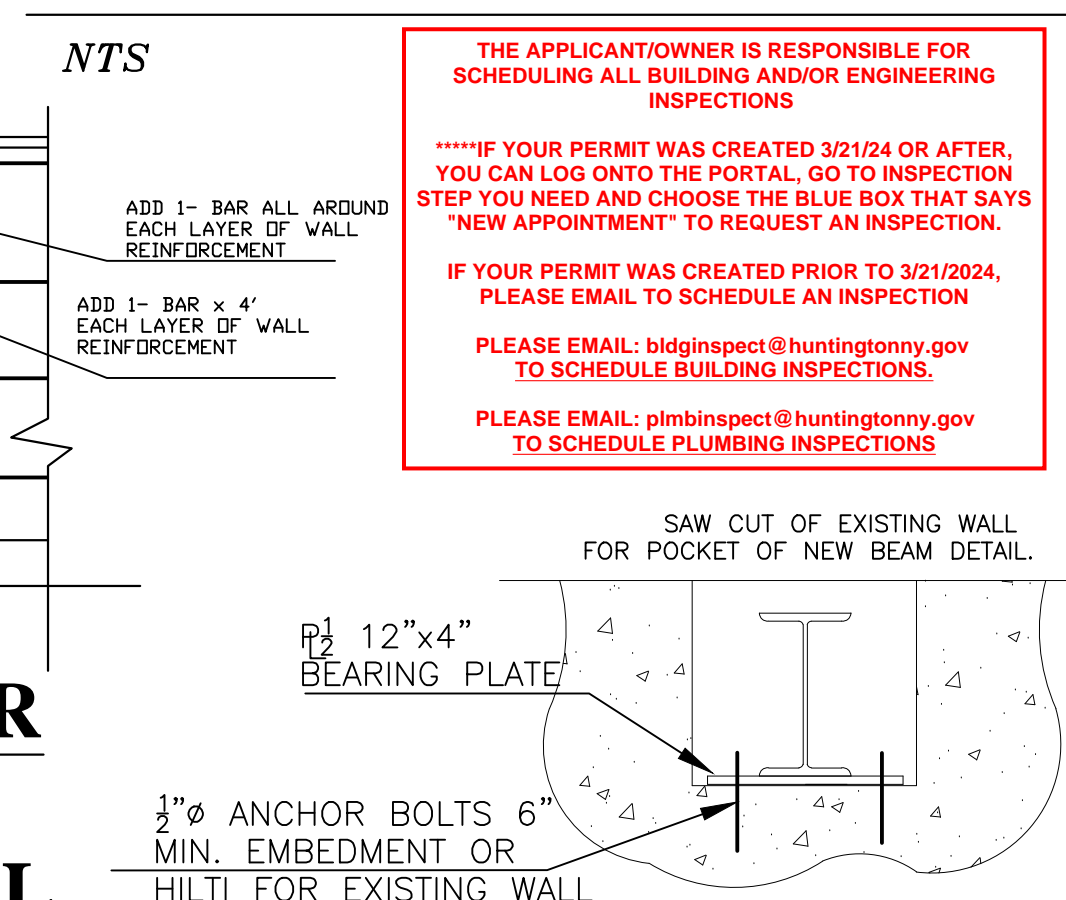
TYP. STAIR DETAILS AND NOTES

N.T.S.



HORIZONTAL WALL T-INTERSECTION REINFORCEMENT DETAIL

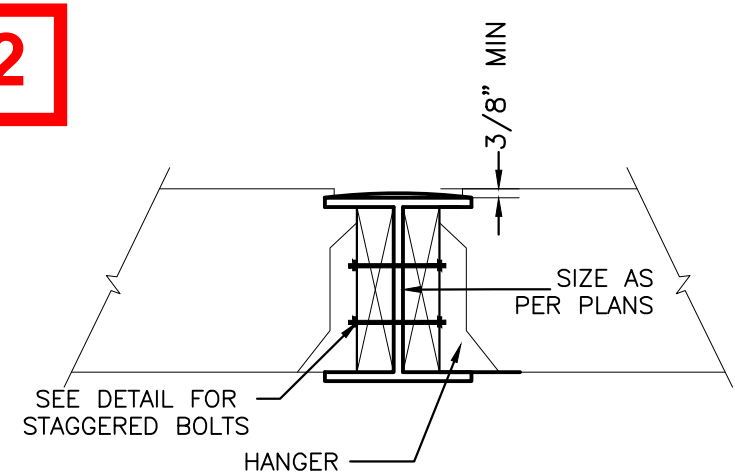
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BEAM POCKET DETAIL

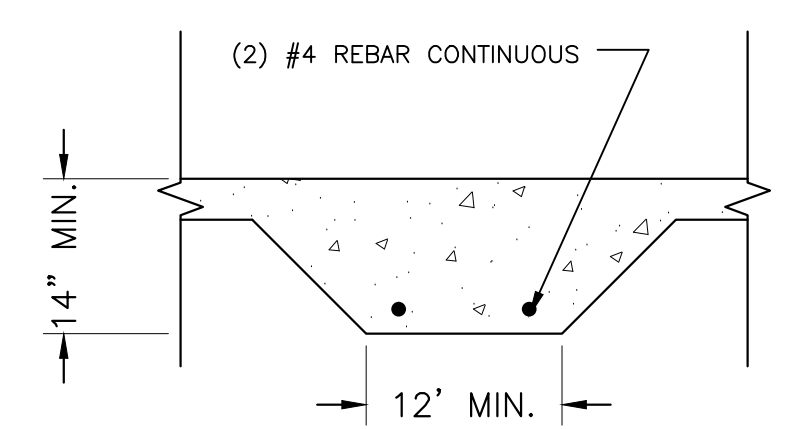
N.T.S.

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING OFFICIAL OR HIS/HER REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE N.Y.S. ENERGY CODE, BUILDING CODE AND TOWN ORDINANCE.



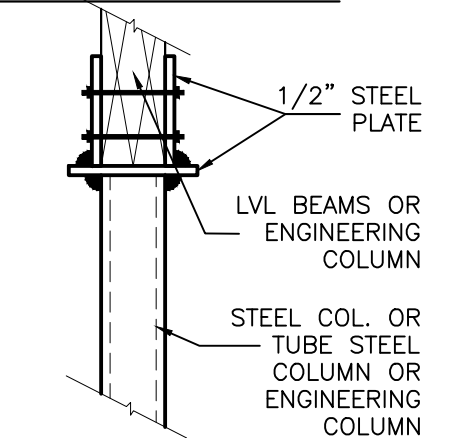
DETAIL FOR WOOD BM FRAMING INTO STL. BM.

N.T.S.



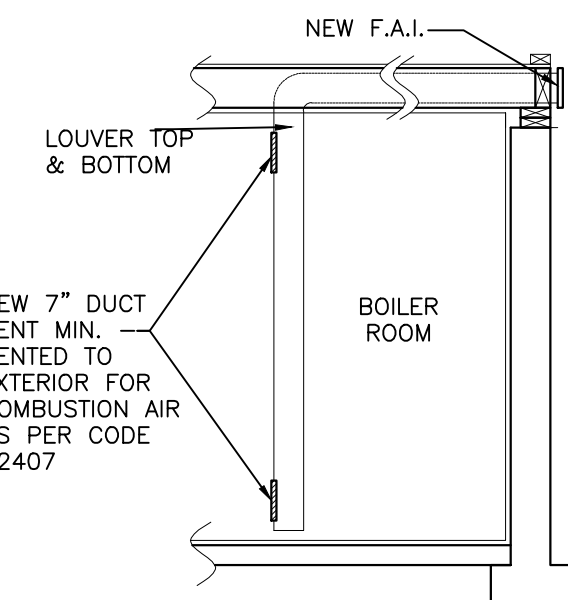
HAUNCH DETAIL

N.T.S.



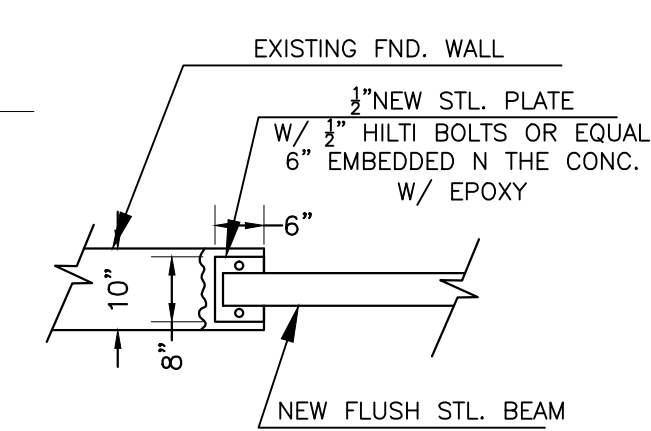
SUPPORTING FOR LVL'S ON STEEL OR ENGINEERING COLUMN DETAIL

N.T.S.

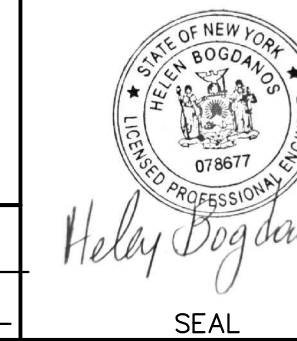


TYP. VENTING DETAIL

N.T.S.

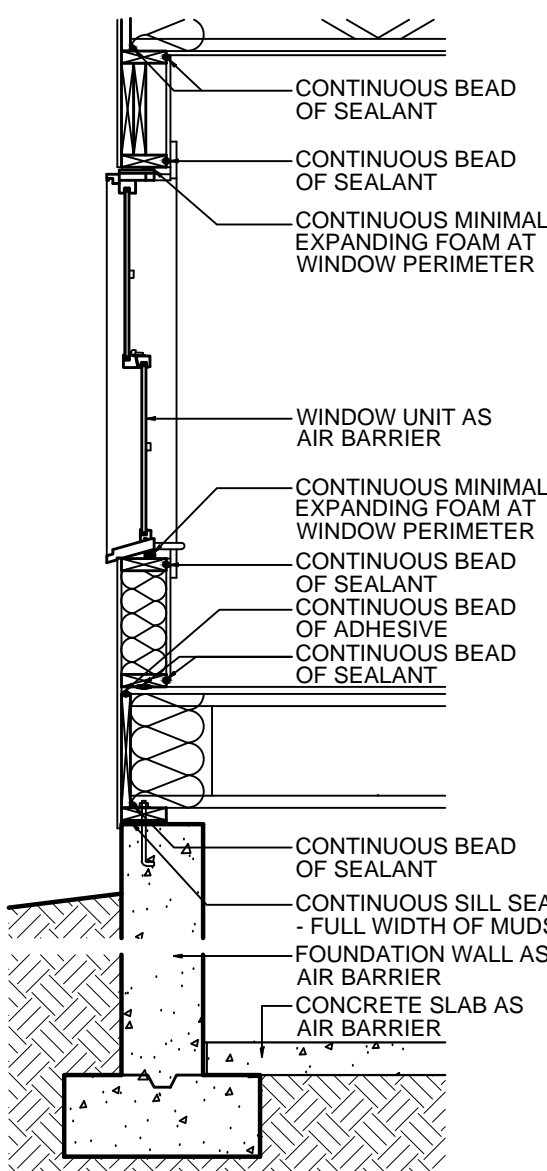


PROPERTY INFORMATION	
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TAX MAP No: SECTION: 273 BLOCK: 0003 LOTS: 64	
HELEN BOGDANOS, P.E.	
121 NEWBRIDGE ROAD, HICKSVILLE, NY 11801 PHONE 516 333 2626	
SCOPE: PROPOSED: 2 STORY ONE FAMILY NEW DWELLING W/ CELLAR ENTRANCE, THREE CAR ATTACHED GARAGES, 2 A/C'S [CAC]	

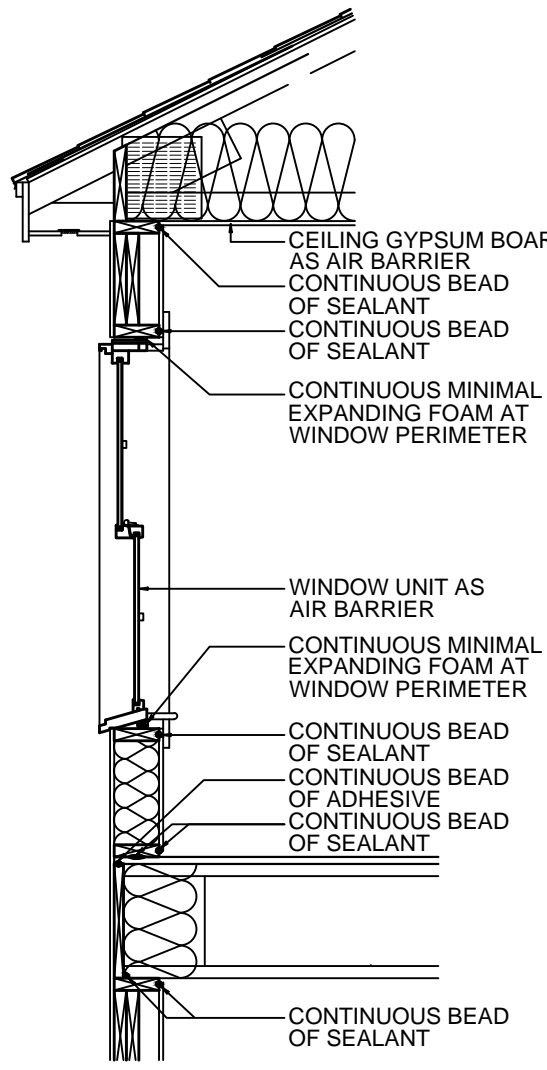


REVISIONS	
5.12.25	AS PER COMMENTS 4-17-25
12.27.24	AS PER COMMENTS 9-20-24
3.20.24	FIRST FILING
DATE	DESCRIPTION
DRAWN BY: D.K./I.T.	DRAWING NO.
CHECKED BY: HELEN B	D-2
DATE: 3.20.24	
SCALE: AS NOTED	

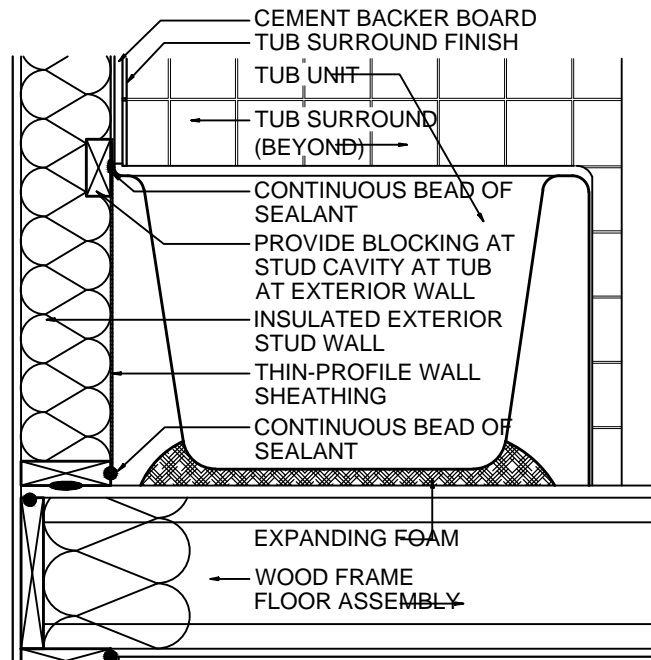




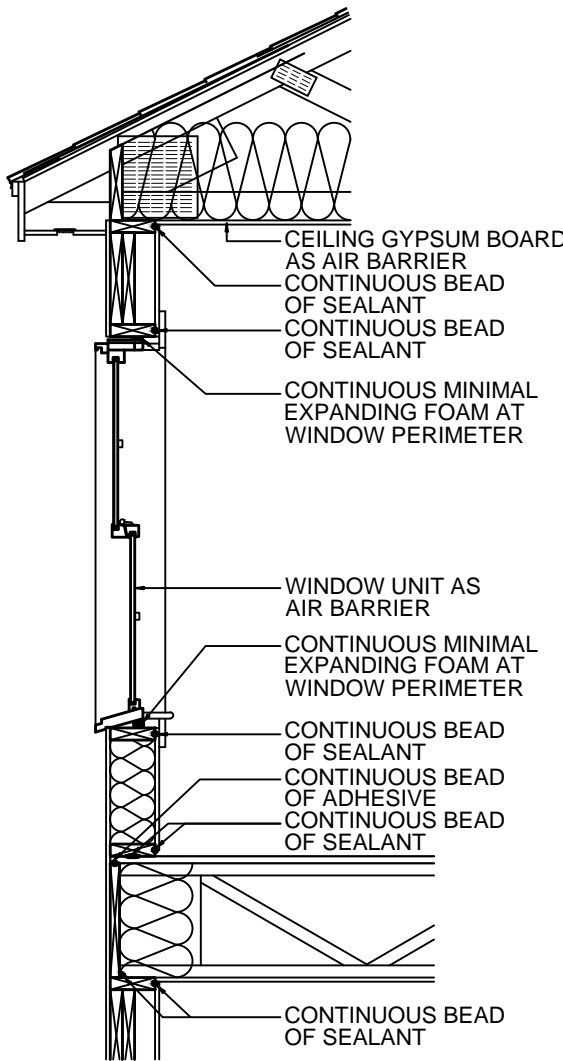
CONCEPTUAL AIR SEALING STRATEGY // LOWER WALL SECTION  
Scale: NTS



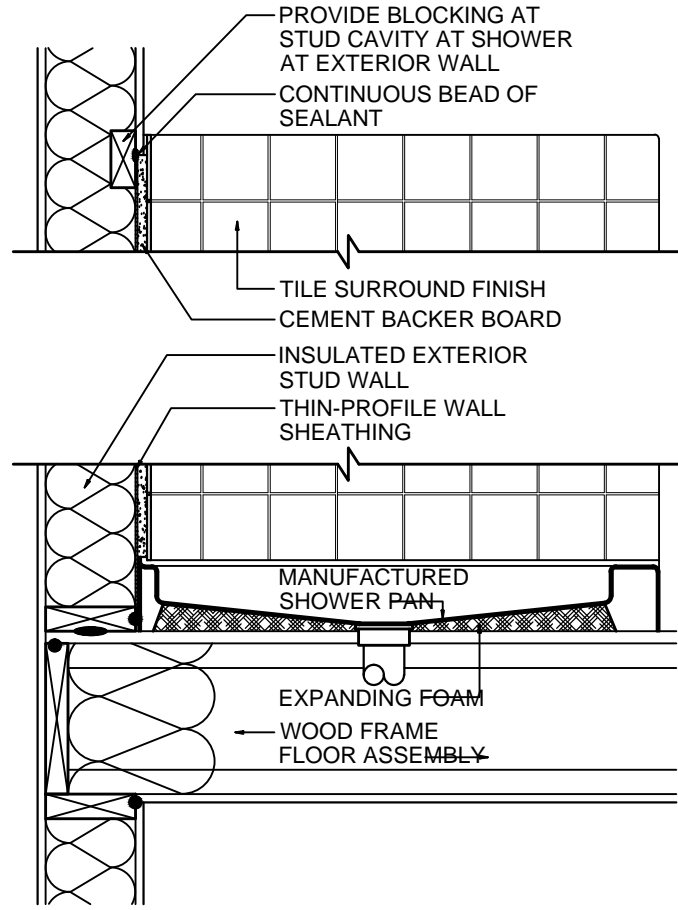
UPPER WALL SECTION  
CONCEPTUAL AIR SEALING STRATEGY // Scale: NTS



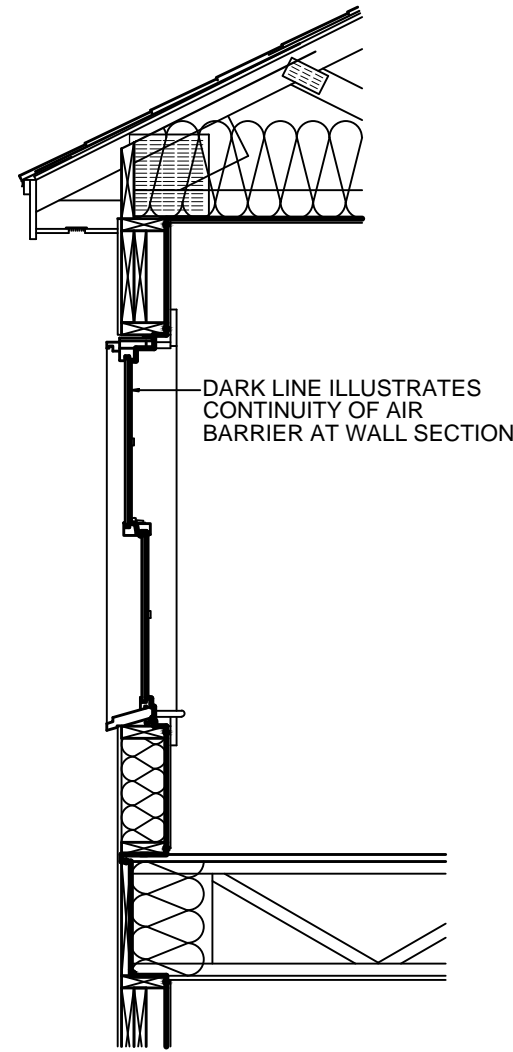
AIR SEALING BEHIND TUB WITH THIN-PROFILE SHEATHING // SECTION



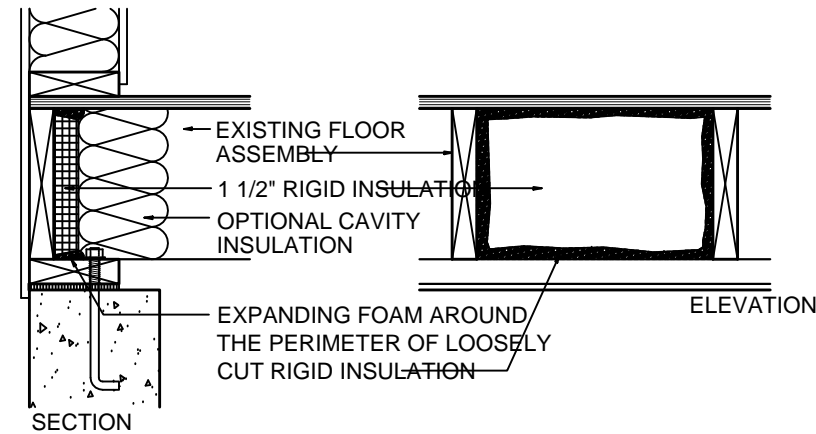
CONCEPTUAL AIR SEALING STRATEGY // UPPER WALL SECTION



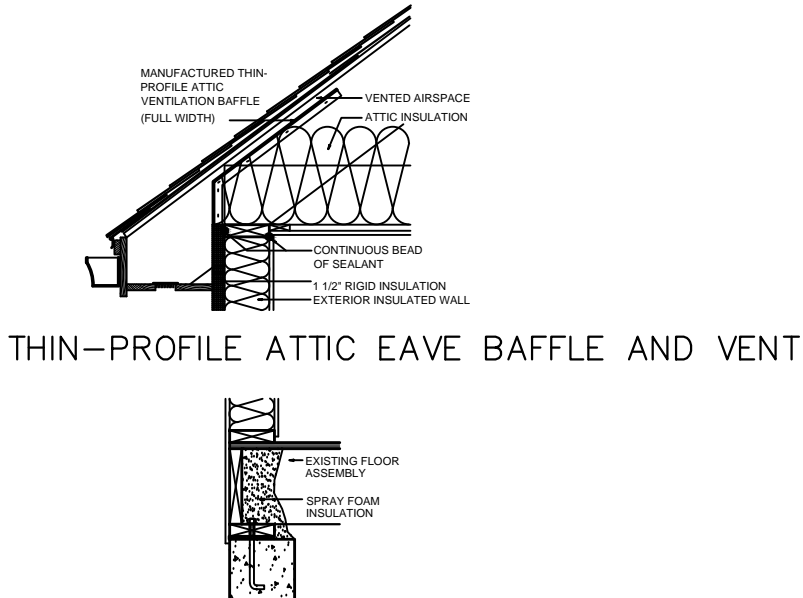
AIR SEALING BEHIND SHOWER WITH THIN-PROFILE SHEATHING



CONCEPTUAL LINE OF CONTINUOUS AIR BARRIER // UPPER WALL SECTION

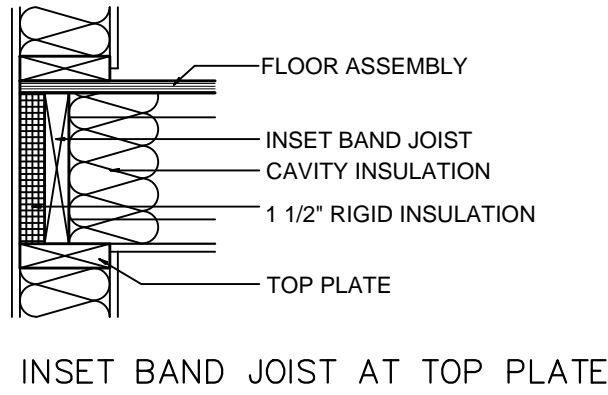


EXISTING BAND JOIST INSULATION RETROFIT WITH 1 1/2" RIGID INSULATION

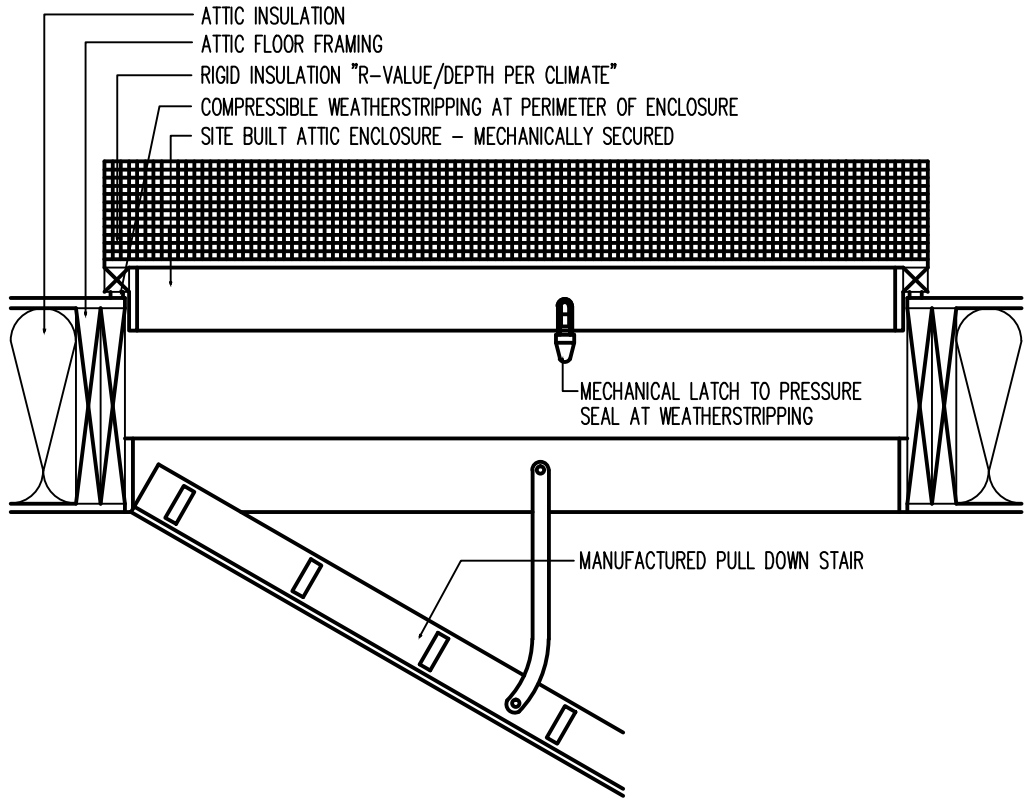


THIN-PROFILE ATTIC EAVE BAFFLE AND VENT

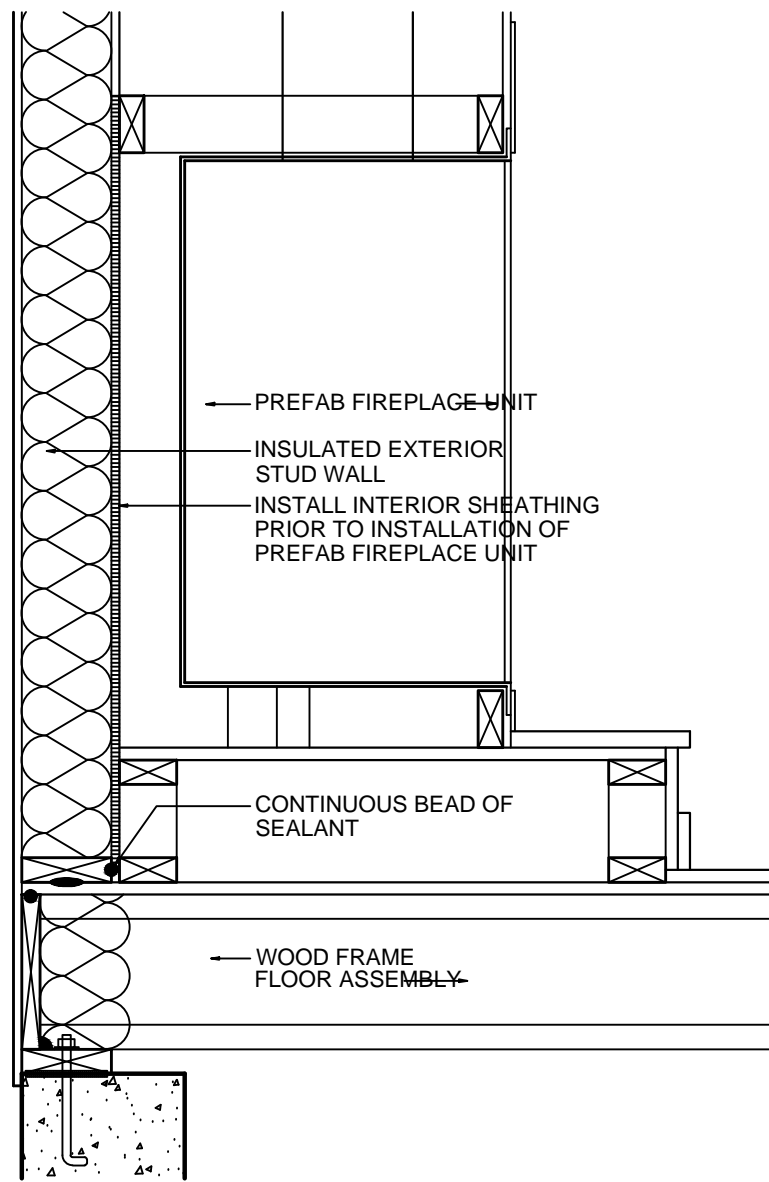
EXISTING BAND JOIST INSULATION RETROFIT WITH SPRAY FOAM



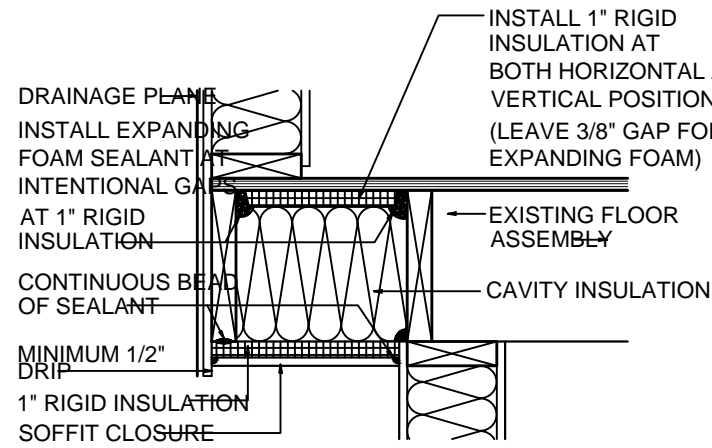
INSET BAND JOIST AT TOP PLATE



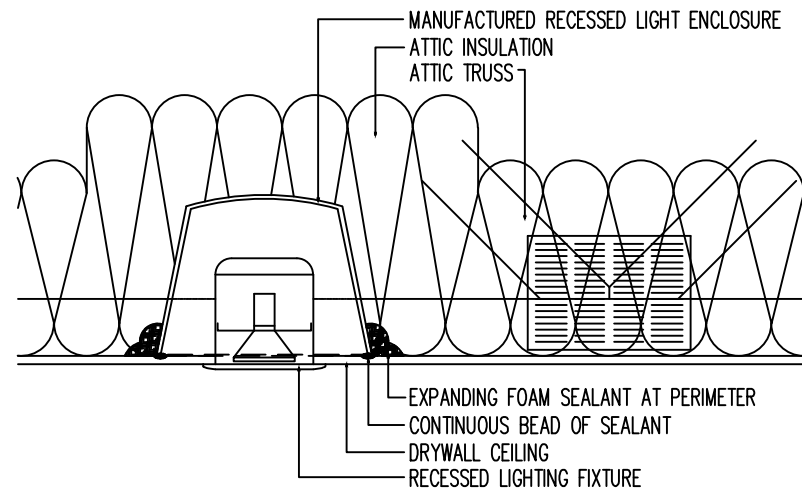
AIR SEALING AT ATTIC PULL DOWN ATTIC STAIR



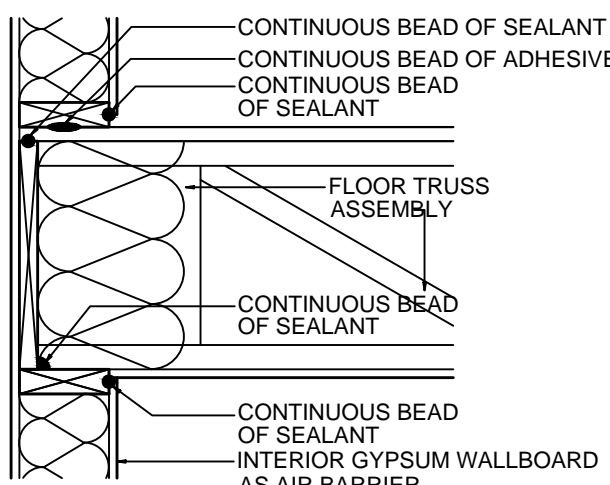
AIR SEALING AT PLATFORM FOR MANUFACTURED FIREPLACE ASSEMBLY



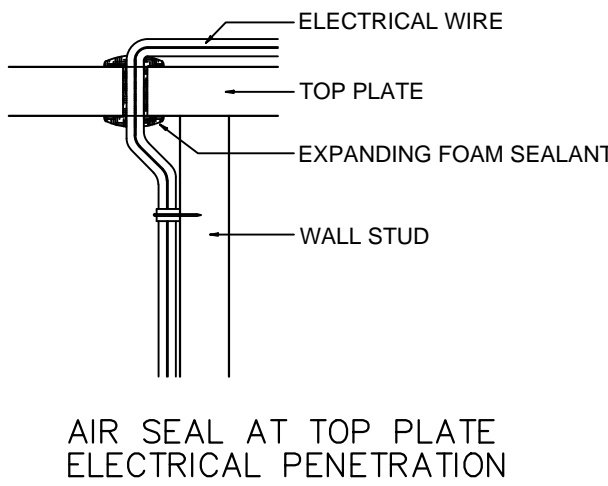
INSULATED CANTILEVER FLOOR // CAVITY INSULATION WITH 1" RIGID INSULATION CLOSURE



AIR SEALING AT RECESSED LIGHTING IN ATTIC



CONCEPTUAL AIR SEALING STRATEGY AT UPPER FLOOR BAND JOIST



AIR SEAL AT TOP PLATE ELECTRICAL PENETRATION

G.C. TO ARRANGE FOR A TEST PRIOR TO CONSTRUCTION ACH 50 AND ADDITIONAL DOOR BLOWER TEST AFTER ALL INSULATION WORK HAS BEEN COMPLETED. G.C. IS RESPONSIBLE FOR RECTIFYING ANY DIFFERENCES (BELOW STATED N.Y.S. APPROVED READINGS)

TABLE R402.1.2: INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWLSPACE WALL R-VALUE
OPTION 1	0.32	0.55	0.4	49/38 <sup>a</sup>	20+5 or 13+10 <sup>e</sup>	15/20 <sup>b</sup>	30 <sup>f</sup>	15/19 <sup>c</sup>	10, 4 ft <sup>d</sup>	15/19 <sup>c</sup>

a. R-38 insulation is allowed in lieu of R-49 if entire surface of attic is covered with insulation and it goes over sill plates

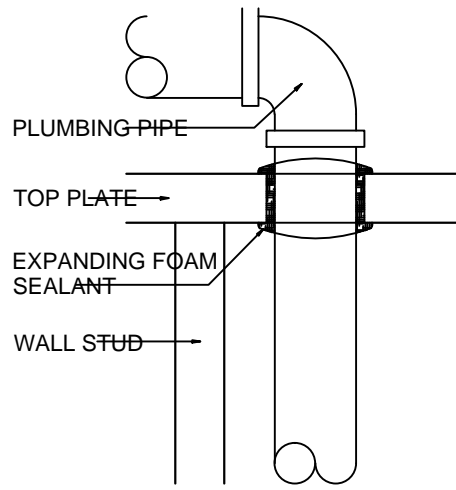
b. The second R-value applies when more than half the insulation is on the interior of the mass wall

c. "15/19" means R-40 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

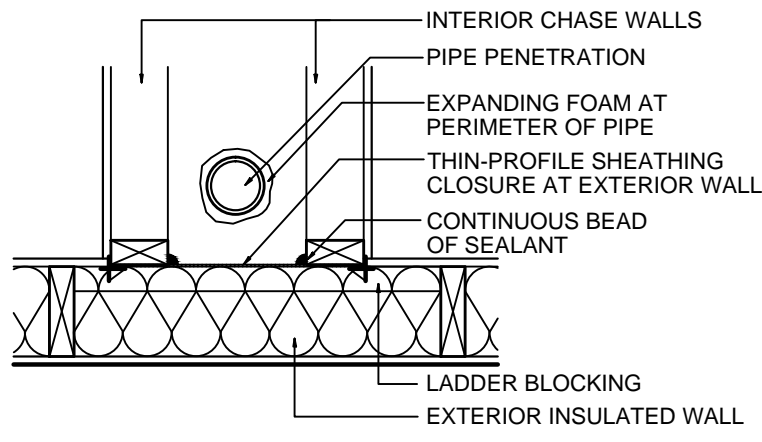
d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.

i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.



AIR SEAL AT TOP PLATE PIPE PENETRATION



AIR SEAL AT CHASE WALLS // PLAN

RBLD-24-20382

THE APPLICANT/OWNER IS RESPONSIBLE FOR SCHEDULING ALL BUILDING AND/OR ENGINEERING INSPECTIONS

\*\*\*\*\*IF YOUR PERMIT WAS CREATED 3/21/24 OR AFTER, YOU CAN LOG ONTO THE PORTAL, GO TO INSPECTION STEP YOU NEED AND CHOOSE THE BLUE BOX THAT SAYS "NEW APPOINTMENT" TO REQUEST AN INSPECTION.

IF YOUR PERMIT WAS CREATED PRIOR TO 3/21/2024, PLEASE EMAIL TO SCHEDULE AN INSPECTION

PLEASE EMAIL: [blginspect@huntingtonny.gov](mailto:blginspect@huntingtonny.gov) TO SCHEDULE BUILDING INSPECTIONS.

PLEASE EMAIL: [plmbinspect@huntingtonny.gov](mailto:plmbinspect@huntingtonny.gov) TO SCHEDULE PLUMBING INSPECTIONS

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12.27.24 AS PER COMMENTS 9-20-24

3.20.24 FIRST FILING

DATE DESCRIPTION

DRAWN BY: D.K./I.T.

CHECKED BY: HELEN B

DATE: 3.20.24

SCALE: AS NOTED

DRAWING NO.

D-3







