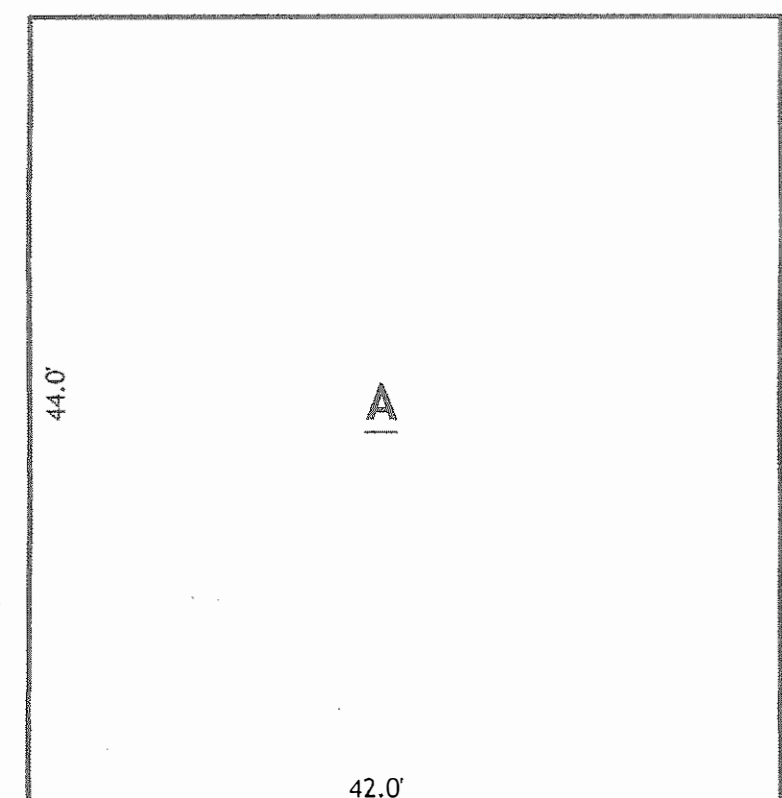
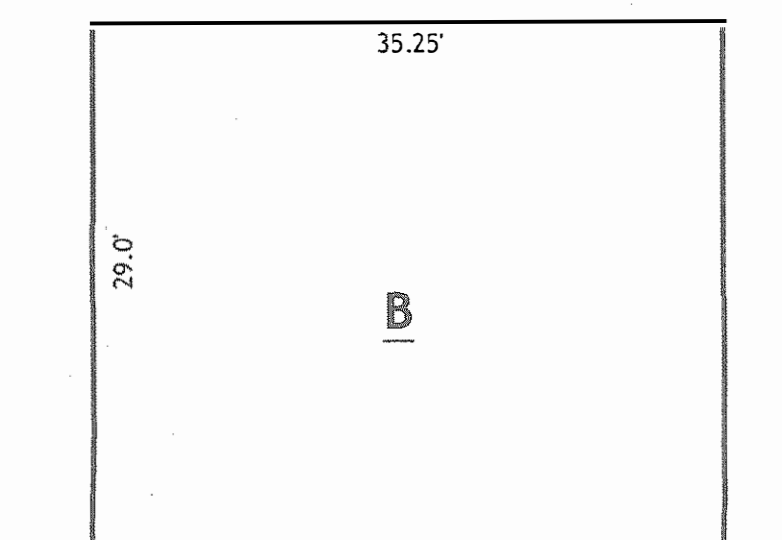


### FLOOR AREA DIAGRAM & CALCULATIONS

**Floor Area:**  
 Area A: 44.00' x 42.00' = 1,848.00 Sq Ft  
 Area B: 35.25' x 29.00' = 1,022.25 Sq Ft  
**Total Floor Area:** (3 x 1,848) + 1,022.25 = 6,566.25 Sq Ft



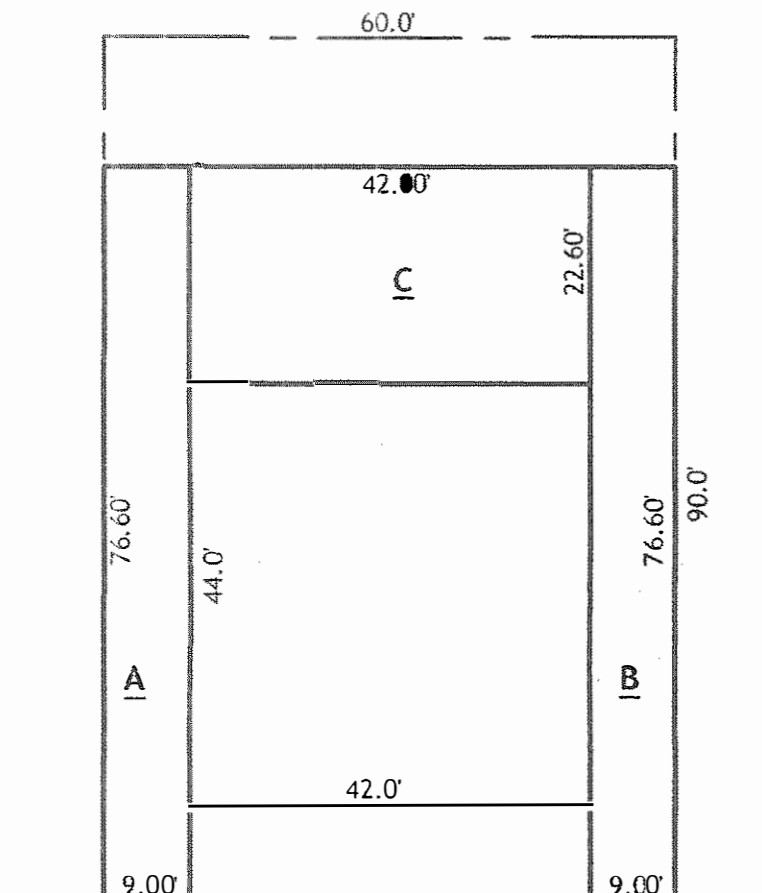
**Typical FLOOR**  
 3/32" = 1'-0"



**4th FLOOR**  
 3/32" = 1'-0"

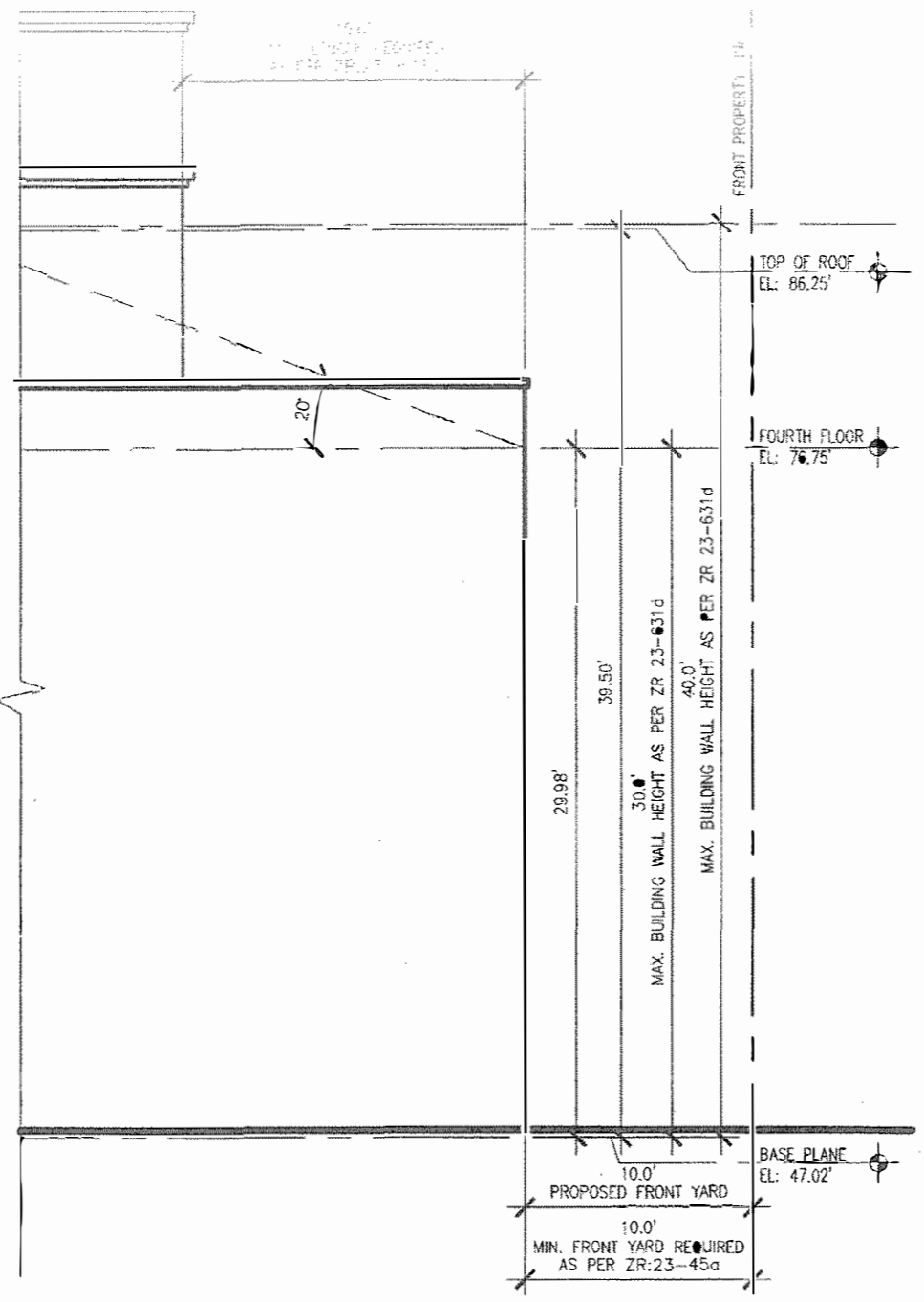
### Plot Area Diagram & CALCULATIONS

**Plot Area:** 60.0' x 90.0' = 5,400.00 Sq Ft  
**Building Area:** 42.0' x 44.7' = 1,878.00 Sq Ft  
**Drive-way Area:** 9.00' x 76.60' = 689.40 Sq Ft  
**Area A:** 9.00' x 76.60' = 689.40 Sq Ft  
**Area B:** 9.00' x 76.60' = 689.40 Sq Ft  
**Area C:** 22.60' x 42.00' = 949.20 Sq Ft  
**Total:** 2,328.00 Sq Ft



**Plot Plan**  
 1" = 20'

### SKY EXPOSURE PLANE



### CONTROLLED INSPECTIONS

<b>TR 1: (Special Inspection Items)</b>	
Structural Steel-Welding	BC 1704.3.1
Structural Steel-Details	BC 1704.3.2
Structural Steel-High Strength Bolting	BC 1704.3.3
Structural Cold-Formed Steel	BC 1704.3.4
Concrete Casting in Place	BC 1704.4
Masonry	BC 1704.5
Subgrade Inspection	BC 1704.7.1
Wall Panels, Curtain Walls, and Veneers	BC 1704.10
Excavation-Sheeting, Shoring & Bracing	BC 1704.13
Underpinning	BC 1704.20.2, BC 1814
Mechanical Systems	BC 1704.15
Soil Percolation Test-Drywell	BC 1704.20.1
Sprinkler Systems	BC 1704.21
Heating Systems	BC 1704.25
Fire-resistant Penetrations & Joints	BC 1704.27
Concrete Design Mix	BC 1905.3, BC 1913.5
Concrete Sampling and Testing	BC 1905.6, BC 1913.10

<b>TR 8: (Energy Code Progress Items)</b>	
Preliminary	28-116.2.1, BC 110.2
Footing and Foundation	BC 110.3.1
Energy Code Compliance Inspection	BC 110.3.5
Fire - Resistance Rated Construction	BC 110.3.4

<b>TR 8: (Energy Code Progress Items)</b>	
Protection exposed foundation insulation	(IA1), (IA1)
Insulation placement & R values	(IA2), (IA2)
Fenestration U-factor & product ratings	(IA3), (IA3)
Fenestration air leakage	(IA4), (IA4)
Fenestration areas	(IA5), (IA5)
Air sealing & insulation - visual	(IA6), (IA6)
Vestibules	(IA9)
Electric energy consumption	(IC1), (IC1)
Lighting in dwelling units	(IC2), (IC3)
Interior lighting power	(IC3)
Exterior lighting power	(IC4)
Lighting controls	(IC5)
Exist signs	(IC6)
Maintenance information	(ID1), (ID1)

### NOTES:

**NYCBC NOTES:**  
 A) BUILDINGS WITH ONE EXIT AS PER 1018.2 BUILDINGS OF GROUP R-2 OCCUPANCY WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE BUILDING DOES NOT EXCEED FOUR STORIES;  
 - PROPOSED FOUR STORY BUILDING.
2. THE BUILDING CONTAINS NOT MORE THAN THREE DWELLING UNITS PER STORY;  
 - PROPOSED TWO DWELLING UNITS FOR 1ST, 2ND & 3RD & ONE DWELLING UNIT FOR 4TH FLOOR
3. THE BUILDING IS OF CONSTRUCTION TYPE I OR II;  
 - PROPOSED BUILDING CONSTRUCTION TYPE IS II
4. THE BUILDING DOES NOT EXCEED 2,500 SQUARE FEET (232 M<sup>2</sup>) PER STORY;  
 - PROPOSED BUILDING FLOOR AREA FOR 1ST, 2ND & 3RD ARE 1,848 SQ FT & 4TH FLOOR IS 1,022.25 SQ FT
5. EACH DWELLING UNIT HAS AT LEAST ONE WINDOW FACING THE STREET, OR FACING A LAWFUL YARD WITH OPEN, UNOBSTRUCTED, AND DIRECT ACCESS TO THE STREET;  
 - PROPOSED DWELLING UNITS HAVE AT LEAST ONE WINDOW FACING THE STREET
6. THE STAIRWAY EXTENDS TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH SECTION 1509.2 PROVIDED THE ROOF HAS A SLOPE NOT STEEPER THAN 20 DEGREES (0.35 RAD); IN LIEU OF THE STAIRWAY BULKHEAD, THE STAIR MAY BE CONSTRUCTED AGAINST THE STREET WALL WITH ONE WINDOW FACING THE STREET AT EVERY LANDING AND ACCESS TO THE ROOF IS PROVIDED VIA A SCUTTLE WITH A STATIONARY, NONCOMBUSTIBLE ACCESS LADDER;  
 - PROPOSED BUILDING HAS STAIRWAY EXTENDS TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH SECTION 1509.2
7. THE STAIRWAY IS ENCLOSED IN 2-HOUR FIRE-RATED WALLS WITH ALL EXIT DOORS LEADING INTO THE STAIRWAY HAVING AT LEAST 1 1/2-HOUR FIRE RATING;  
 - PROPOSED STAIRWAY IS ENCLOSED IN 2-HOUR FIRE-RATED WALLS WITH ALL EXIT DOORS LEADING INTO THE STAIRWAY HAVING AT LEAST 1 1/2-HOUR FIRE RATING
8. THE BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2.  
 - PROPOSED BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2.

B) MAXIMUM TRAVEL DISTANCE AS PER NYCBC TABLE 1015.1 - BUILDING WITH SPRINKLER SYSTEM = 200.0'

C) MAXIMUM OCCUPANCY AS PER NYCBC TABLE 1004.1.2 - 200 SQ FT PER OCCUPANT WITHIN DWELLING UNITS.

### CURB CUT NOTES:

1. CURB REVEALS MATCH EXISTING DEVELOPMENTS; OR 4" OR 7" PROVIDED FOR VIRGIN DEVELOPMENT
2. METAL FACED CURBS PROVIDED FOR DISTRICTS C, M, R7 AND UP, AND FOR CORNER QUADRANTS IN ALL DISTRICTS, WITH EXTENT OF CORRESPONDING ROADWAY REPAIRS INDICATED
3. NO WATER PONDING SITUATIONS CREATED BY PROPOSED BOTTOM CURB ELEVATIONS
4. MEANS OF STORM DRAINAGE PROVIDED, DOES NOT DRAIN ACROSS PUBLIC RIGHT OF WAY
5. MINIMUM CLEARANCES BETWEEN CURB CUT AND SIDEWALK ENCROACHMENTS PROVIDED (FROM TRAFFIC SIGNS, 5' FROM ADJACENT CURB CUTS ON SAME LOT, 7' FROM TREE, POLES, HYDRANTS, 10' FROM MAILBOXES AND PHONE BOOTHS, BUS STOPS, RIGHT OF WAY, ETC.)
6. EXPANSION JOINTS SHALL BE ONE-QUARTER (1/4) INCH IN WIDTH MIN. TO (1/2) INCH MAX. AND SHALL BE FILLED WITH PERFORMED JOINT FILLER TO WITHIN ONE (1) INCH OF SIDEWALK SURFACE. THE TOP ONE (1) INCH SHALL BE SEALED WITH POURED JOINT FILLER.
7. ALL LISTED DETAILS REFERENCED MUST COMPLY WITH THE LATEST D.O.T. STANDARDS FOR CONSTRUCTION.

### ZONING ANALYSIS

576 LENOX RD BROOKLYN, NY  
 LOT SIZE: 50.0' X 60.0' = 5,400 SQ FT  
 BLOCK: 4862  
 LOT(S): 4  
 ZONING DISTRICT: R-5  
 MAP #: 17b  
 USE GROUP: 2  
 OCCUPANCY GROUP: R2  
 CONSTRUCTION CLASS: 2A

**-ZR:23-142**  
**BULK REGULATIONS**  
 MAX. LOT COVERAGE: 55%  
 55% X 5,400 = 2,970 SQ FT  
 PROPOSED LOT COVERAGE = 1,848 SQ FT 34% < 55% (ok)

FAR: 1.25  
 MAX. PERMITTED FLOOR AREA:  
 5,400 X 1.25 = 6,750 SQ FT

Floor Level	Proposed Floor Area
1st Fl.	1,848.00 SQ FT
2nd Fl.	1,848.00 SQ FT
3rd Fl.	1,848.00 SQ FT
4th Fl.	1,022.25 SQ FT
<b>TOTAL</b>	<b>6,566.25 SQ FT &lt; 6,750 SQ FT (ok)</b>

MIN. OPEN SPACE REQUIRED: 45%  
 45% X 5,400 = 2,430 SQ FT  
 PROPOSED OPEN SPACE = 5,400 - 1,848 = 3,552 SQ FT 66% > 45% (ok)

33% OF THE REQUIRED O.S. WITH MIN. 12.0' EXCEPT FRONT YARD  
 33% X 2,430 = 802 SQ FT  
 PROPOSED = 60.0' X 13.4' = 804 SQ FT > 802 SQ FT (ok)

**YARD REGULATIONS**  
 MIN. FRONT YARD REQUIRED: 10.0' PROPOSED: 10.0'  
 MIN. SIDE YARD REQUIRED: 8.0' & 8.0' PROPOSED: 9.0' & 9.0'  
 MIN. REAR YARD REQUIRED: 30.0' PROPOSED: 36.0'

**PLANTING REQUIREMENT**  
 50% OF FRONT YARD TO BE PLANTED  
 5 X 10.0 X 60.0 = 300 SQ FT  
 PLANTING AREA PROVIDED: 10.0' X (15.0' + 15.0') = 300 SQ FT > 300 SQ FT (ok)

**MAX. NUMBER OF DWELLING UNITS**  
 6,750 / 780 = 8 DU; PROPOSED DU = 8

**HEIGHT REGULATIONS**  
 MAX. BASE HEIGHT REQUIRED: 40.0' PROPOSED: 39.50'  
 MAX. STREET WALL HEIGHT: 30.0' PROPOSED: 29.98'

**LEGAL WINDOW DISTANCE REQUIREMENT**  
 MIN. DISTANCE TO REAR YARD: 30.0' PROPOSED: 36.0'  
 MIN. DISTANCE TO SIDE YARD: 15.0' PROPOSED: (NO LEGAL WINDOWS ON SIDE YARDS)

**PARKING REQUIREMENTS**  
 1 PARKING SPACE FOR EACH D.U. = 8, PROPOSED 8 SPACES PROVIDED ATTENDANT PARKING WITH ATTENDANT BOOTH LOCATED IN CELLAR LEVEL.

**RESTRICTION ON USE OF OPEN SPACE FOR PARKING**  
 MAX. 66% OF OPEN SPACE: 0.66 X 3,552 SQ FT = 2,344.32 SQ FT  
 PROPOSED DRIVEWAY AREA: 2,328 SQ FT 65.5% < 66% (ok)

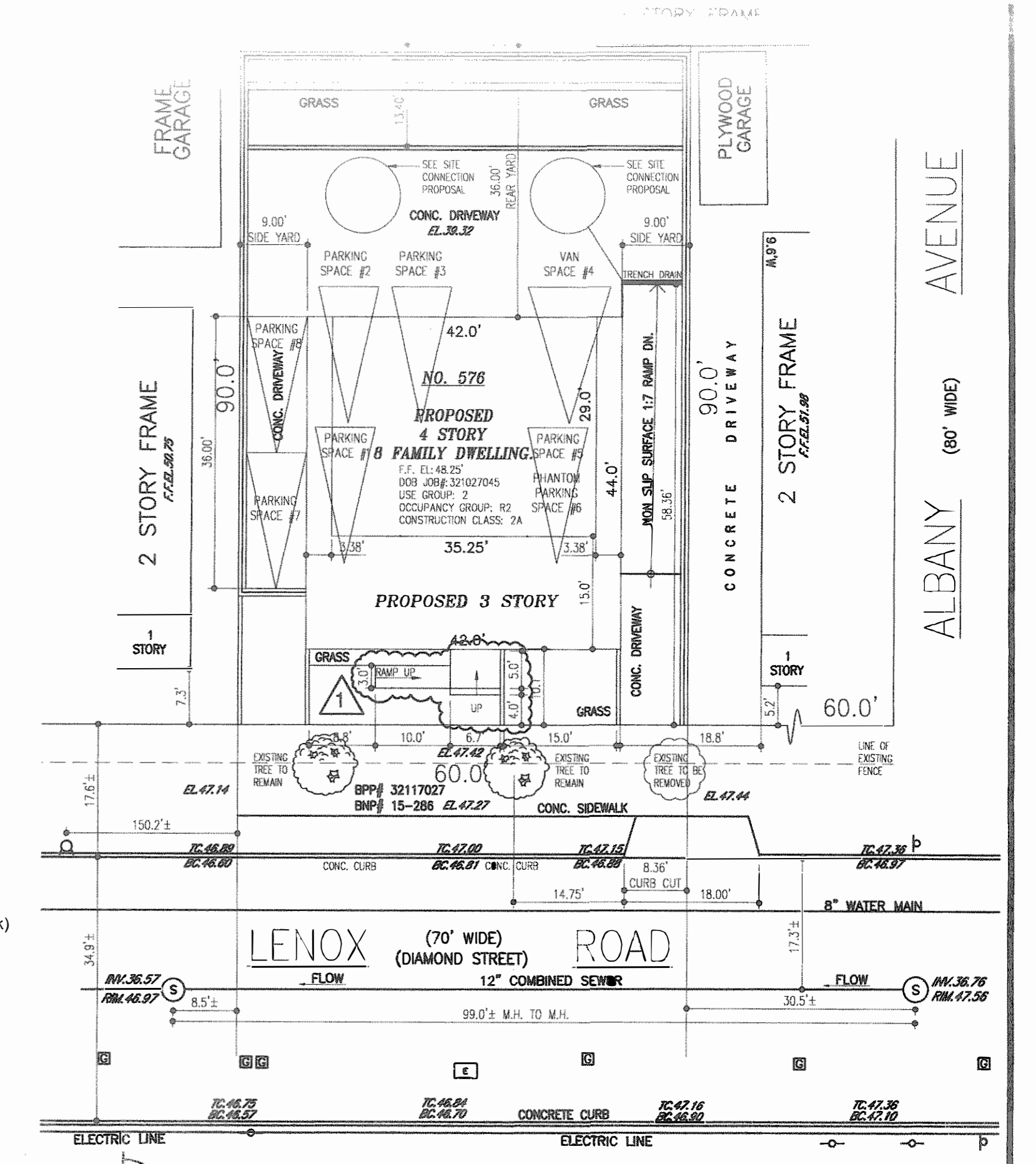
**ENCLOSED BICYCLE PARKING SPACES**  
 1 PER 2 D.U.'S D.U. / 2 = 4 SPACES REQUIRED BICYCLE PARKING REQUIREMENTS WAIVED FOR 10 OR LESS D.U. AS PER SEC 25-811(a)

**STREET TREE PLANTING**  
 REQUIRED 1 TREE FOR EVERY 25.0'. 2 TREE REQUIRED MAINTAIN EXISTING 2 TREES

### LEGEND

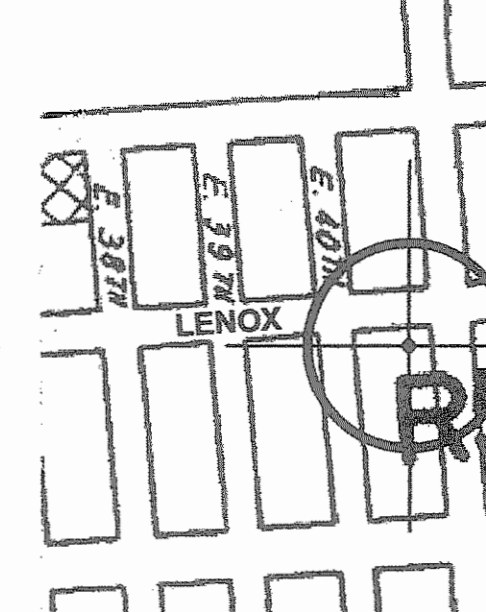
- POURED CONCRETE, SEE PLANS FOR THICKNESS WITH 1 1/2" METAL STUDS @ 16" O.C. AND 1 1/2" THICK EXTRUDED POLYSTYRENE INSULATION (XPS) R-7.5 & 3/4" TYPE 'X' GYPSUM BOARD
- EXTERIOR WALL:** EXTERIOR SIDE: 8" SOLID CONCRETE BLOCK WITH 2 1/2" THICK EPS INSULATION R-9.5 & STUCCO VENEER (SIDES). INTERIOR LAYER: 1 1/2" METAL STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD, TWO HOUR FIRE RATED
- EXTERIOR WALL:** EXTERIOR SIDE: FIBER CEMENT @ FRONT AND 2" THICK EPS INSULATION R-7.5 & STUCCO VENEER @ REAR WITH 5/8" EXTERIOR TYPE GWB SHEATHING & ONE LAYER OF #15 BUILDERS PAPER. INTERIOR LAYER: 16 GA 3" METAL STUDS @ 16" O.C. WITH R-13 BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD, ONE HOUR FIRE RATED
- 8" SOLID CONCRETE BLOCK FURRED OUT ON BOTH SIDES WITH 1 1/2" METAL STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE, TWO HOURS FIRE RATED
- 16 GA 3" METAL STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GWB BOTH SIDES, WITH R-11 INSULATION, 1 HR FIRE RATED
- DIRECTION OF FRAMING
- HARDWIRED INTERCONNECTED SMOKE ALARM
- HARDWIRED INTERCONNECTED CARBON MONOXIDE ALARM
- 60 CFM BATHROOM & 150 CFM KITCHEN MECHANICAL VENTILATION
- PROGRAMMABLE THERMOSTAT WITH AUTOMATIC SETBACK & SHUTDOWN CONTROL CAPABILITIES.

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.



**SITE PLAN**  
 1/16" = 1'-0"  
 BASE PLANE CALCULATIONS  
 47.15' + 46.89' + 47.00' = 141.04'  
 141.04' + 3' = 144.04'

### ZONING MAP

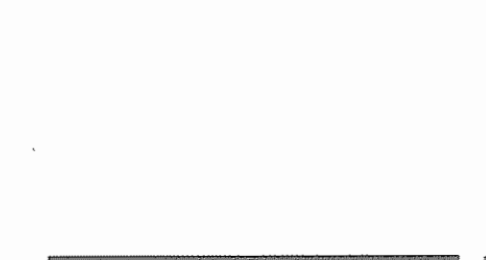


### SITE LEGEND

- GAS VALVE
- WATER VALVE
- ELECTRIC VALVE
- BOTTOM OF CURB ELEVATION
- TOP OF CURB ELEVATION
- LEGAL GRADE
- MAINE HOLE
- HYDRANT
- LIGHT POLE
- SIGN
- EXISTING TREE TO BE REMOVED
- NEW TREE

### Scope of Work:

New 4 story 8 family building on one zoning lot.



No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.08.21	SUPERSEDING AND PAA

Project Information:  
**Proposed New Structure**  
 576 Lenox Road, Brooklyn, NY  
 Block: 4862  
 Lot(s): 4  
 Zone: R5  
 Map#: 17b  
 Lot Size: 5,400 Sq Ft

Drawing Name:  
**SITE PLAN, NOTES & DIAGRAMS**

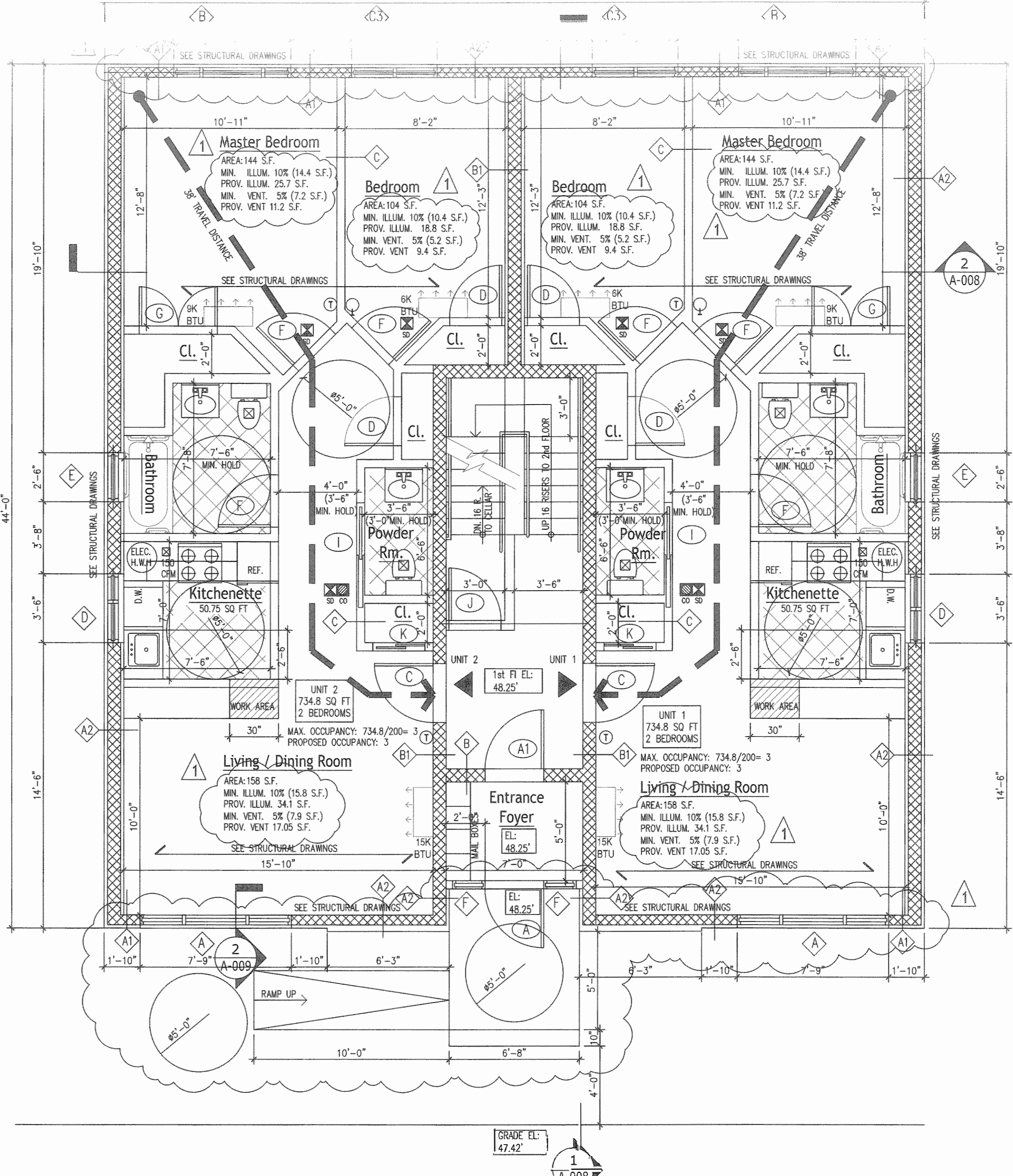
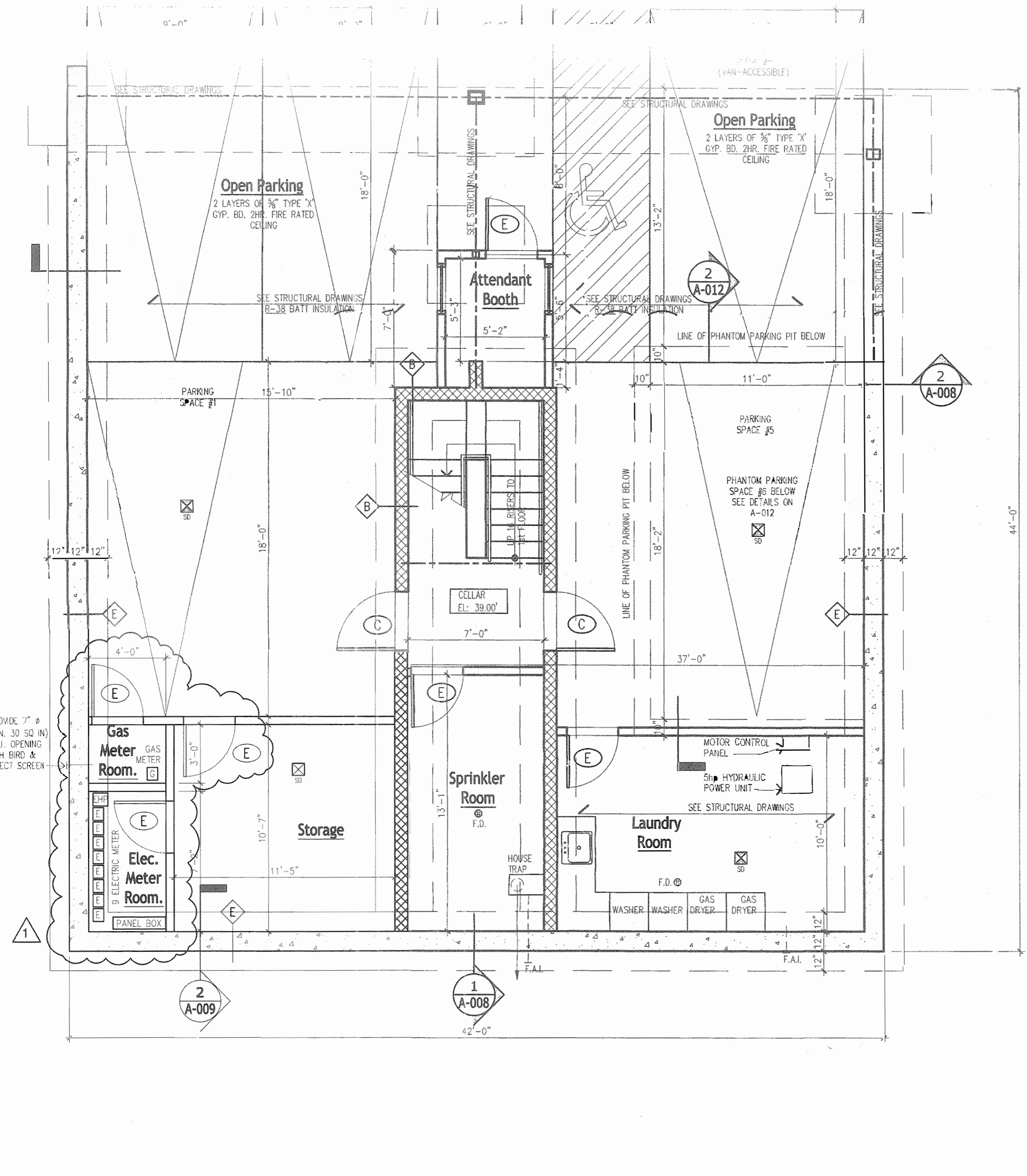
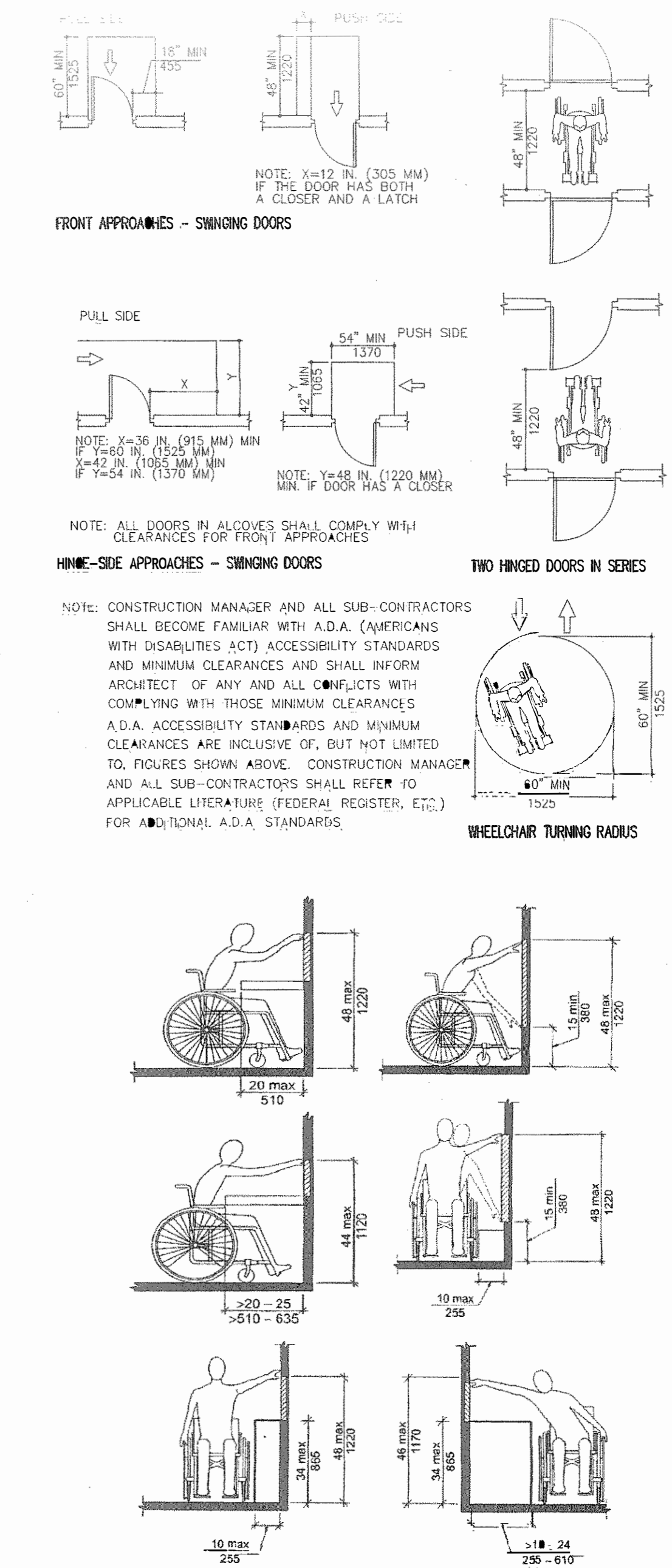
Job No: 1410  
 Date: 6/26/14  
 Drawn By: ER  
 Drawing Number:

satwin architect, pc  
 60-30 67 ave ridgewood ny 11385  
 tel: (646) 641-6944  
 info@satwinarchitect.com

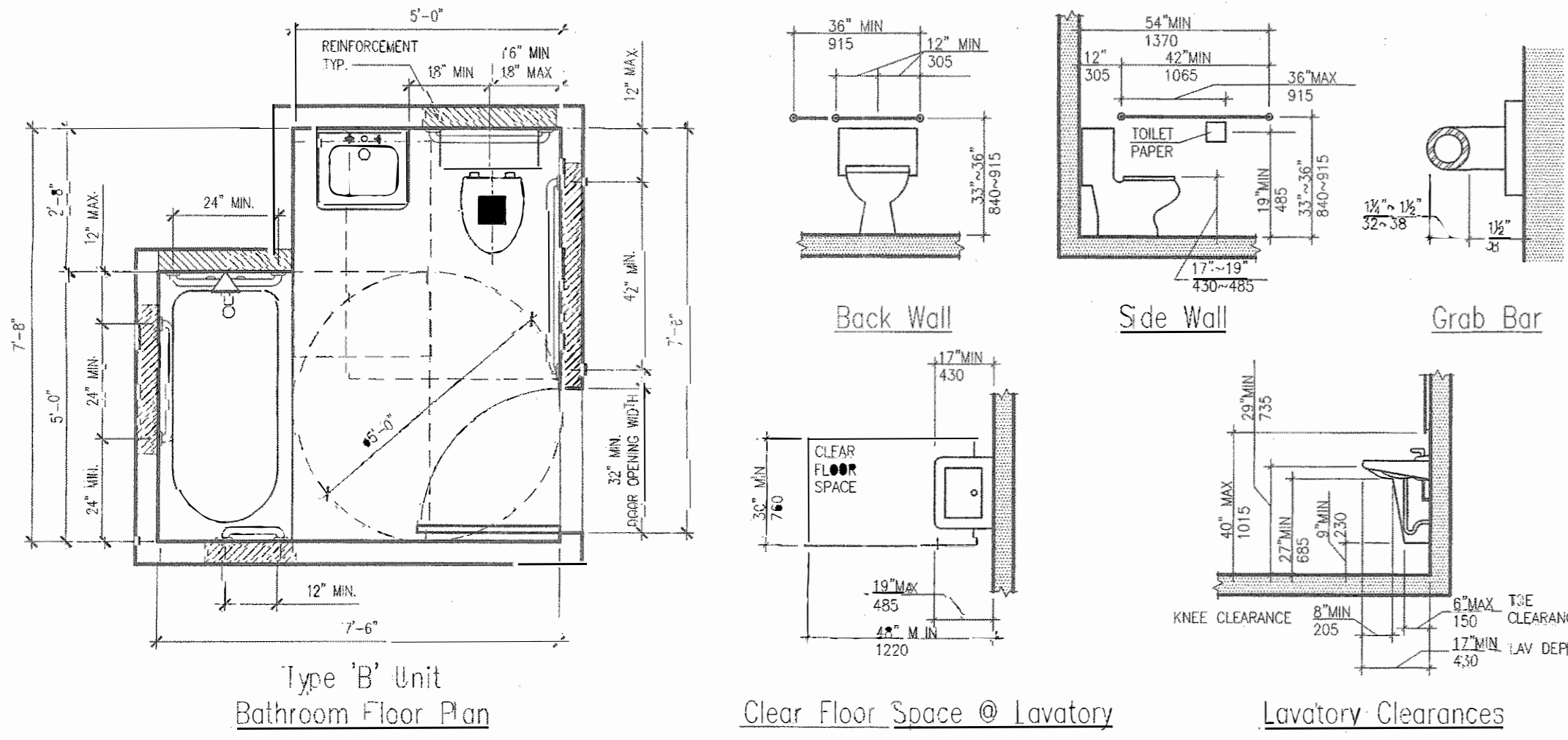


IT IS A VIOLATION OF THE NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. THE ARCHITECT SHALL NOT HAVE CONTROL, OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES OR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SEALED. BHARRY ARCHITECTURE PC, ITS PRINCIPALS AND EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

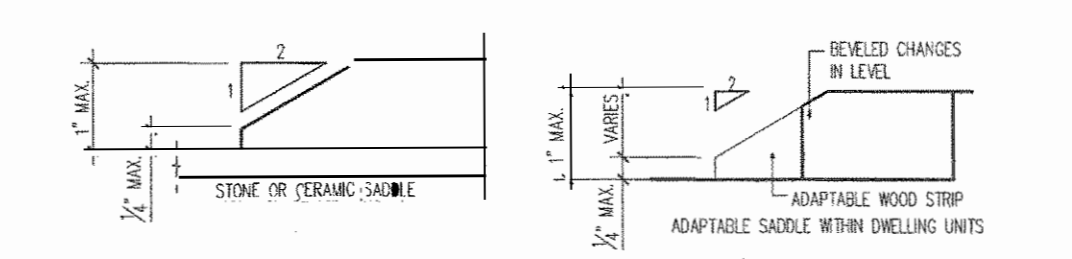
**ADA DESIGN STANDARDS**



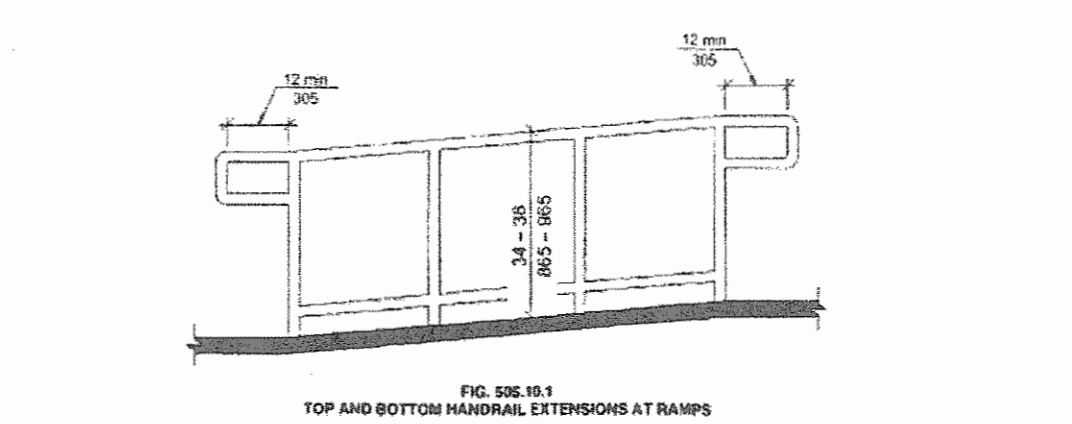
**ADA ADAPTABLE BATHROOM & KITCHENETTE**



**ADA FRONT DOOR SADDLE DETAIL**



**ADA HANDRAIL RAMP DETAIL**



SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft



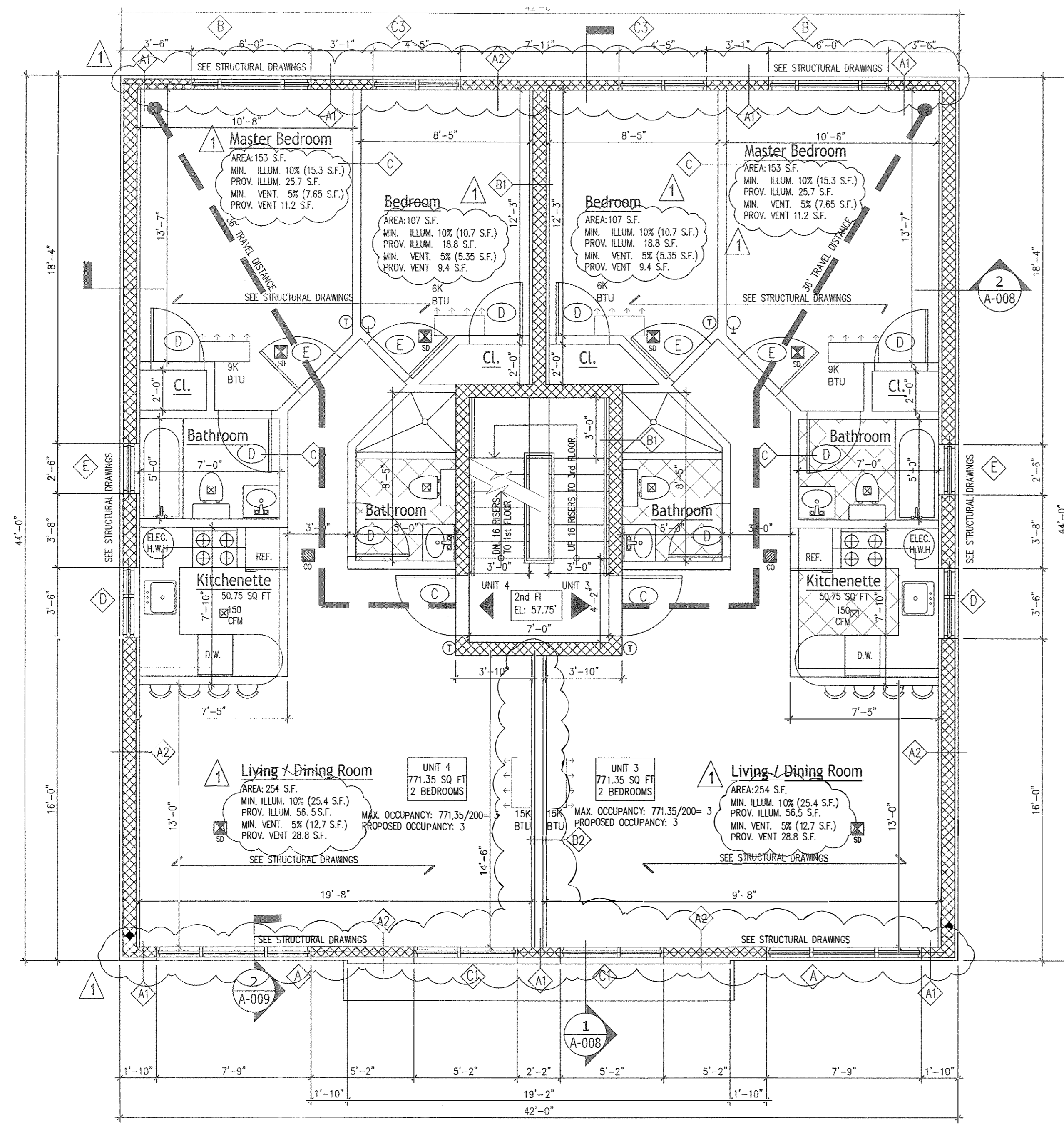
No.	Date	Revision
1	11.14.18	INITIAL DOB APPROVAL
2	04.08.21	SUPERSEDING AND PAA A

Drawing Name: **FLOOR PLANS**

Job No: 1410  
Date: 6/26/14  
Drawn By: ER  
Drawing Number:

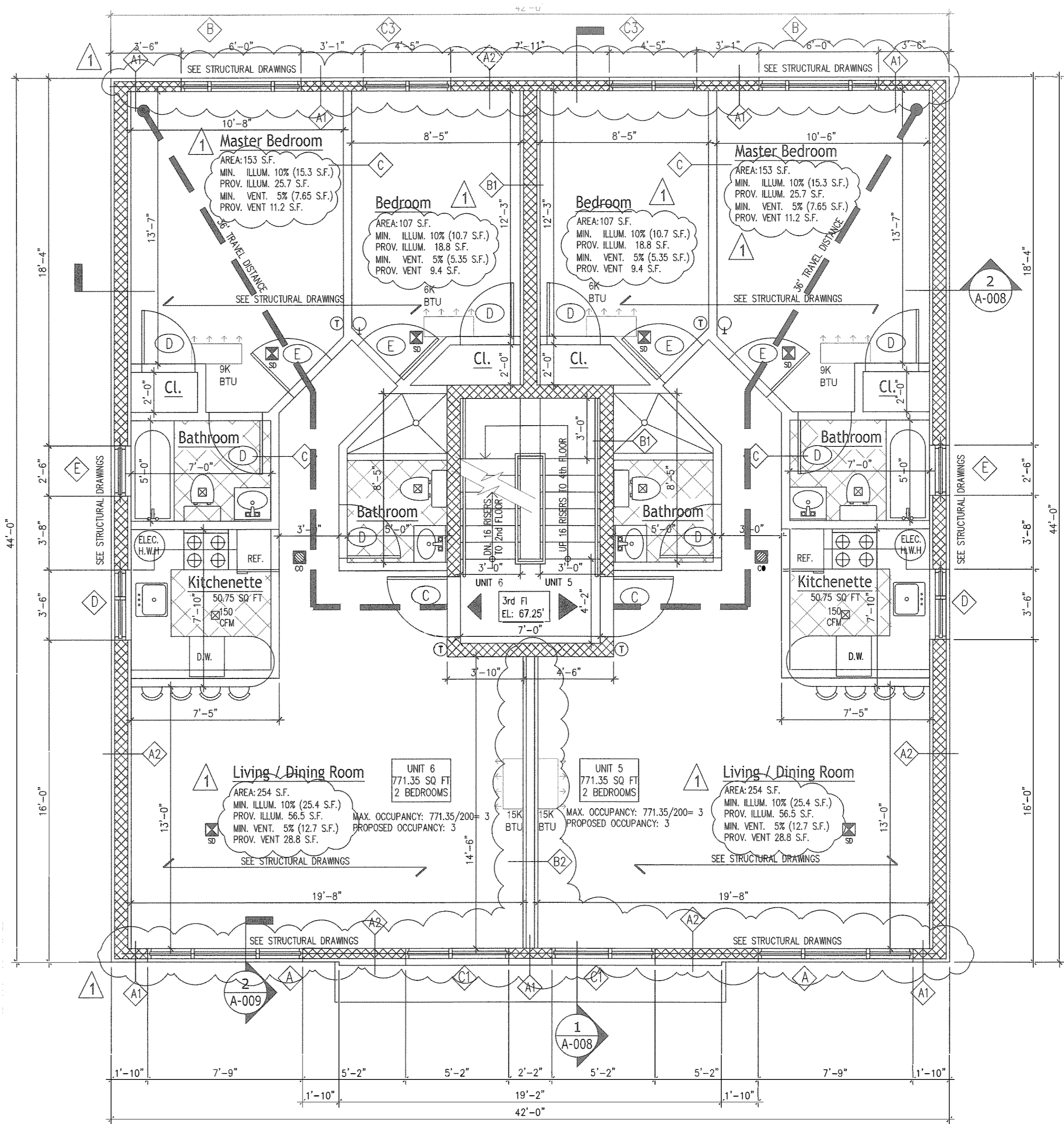
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**A-002.01**  
2 of 13



**SECOND FLOOR PLAN**

1/4" = 1'-0"



**THIRD FLOOR PLAN**

1/4" = 1'-0"

MECHANICAL EQUIPMENT	QUANTITY	LOCATION	MANUFACTURER	MODEL NUMBER	REMARKS
ELECT. H.W.H.	8	KITCHENETTE	A.O. SMITH	ENL8-40	35-GALLON, EFF. 0.95, MAX. INPUT 6 KBTU
MINI SPLIT INDOOR FAN UNITS BY MITSUBISHI OR APPROVED EQ.	8K-8 9K-6 15K-8	LIVING ROOM/ BEDROOM	MITSUBISHI	6K BTUH MSZ-GL09NA-UH 9K BTUH MSZ-GL09NA-UH 15K BTUH MSZ-GL15NA-UH	EFFICIENCY: 12.4 EER
MINI SPLIT UNITS BY MITSUBISHI OR APPROVED EQ.	24K-2 30K-6	ROOF	MITSUBISHI	24K BTUH MDZ-3C-24NAHZ 30K BTUH MDZ-3C-30NAHZ	EFFICIENCY: 18.0 SEER

DOOR NO.	SIZE	QUANTITY	LOCATION	MATERIAL	REMARKS	U-FACTOR	SHGC	AIR LEAKAGE
A	3'-0" x 7'-6"	1	FRONT ENTRANCE	ALUM./GLASS	THERMAL BREAK, DOUBLE GLASS LOW-E, SELF-CLOSER	0.30	0.29	0.1
A1	3'-0" x 7'-0"	1	VESTIBULE	ALUM./GLASS	90 MIN., SELF-CLOSER			
B	3'-0" x 6'-8"	2	4th FLOOR	HM	INSULATED METAL (> 50% GLAZING)	0.50		0.1
C	3'-0" x 6'-8"	10	CORRIDOR, UNITS ENTRANCE	HM	90 MIN. S/C			
D	2'-6" x 6'-8"	32	CLOSET, BATHROOM	HW				
E	2'-8" x 6'-8"	14	BEDROOM, STORAGE & METER ROOM	HW				
F	2'-10" x 6'-8"	6	1ST FLOOR BATHROOMS & BEDROOMS	HW	H.C. ACCESSIBLE REQUIREMENT			
G	4'-0" x 6'-8"	2	CLOSET	HW				
H	4'-0" x 6'-8"	2	CLOSET	HW	SLIDING DOOR			
I	2'-8" x 6'-8"	2	POWDER ROOM	HW	POCKET SLIDING DOOR			
J	2'-8" x 6'-8"	1	CELLAR ENTRANCE	HW	90 MIN. S/C			

NOTES: 1. PROVIDE WEATHER STRIPPING ON ALL EXTERIOR DOORS.  
2. PROVIDE EXPANDABLE SPRAY-APPLIED POLYURETHANE FOAM SEALANT, CONTINUOUS @ WINDOW AND DOOR ROUGH OPENINGS.

WINDOW NO.	SIZE	QUANTITY	TYPE	MATERIAL	REMARKS	U-FACTOR	SHGC	AIR LEAKAGE
A	7'-9" x 7'-0"	6	(T) (2) CASEMENT 2'-0"W x 5'-0"H (B) (1) FIXED 3'-0"W x 5'-0"H, SPANDREL GLASS AT BOTTOM	ALUMINUM	(T) DOUBLE GLASS LOW-E (B) DOUBLE GLASS LOW-E, TEMPERED	0.30	0.29	0.1
B	6'-0" x 7'-0"	6	(T) (2) CASEMENT 1'-2"W x 5'-0"H (B) (1) FIXED 3'-0"W x 5'-0"H, SPANDREL GLASS AT BOTTOM	ALUMINUM	(T) DOUBLE GLASS LOW-E (B) DOUBLE GLASS LOW-E, TEMPERED 1ST FLOOR TYPE B DWELLING SHALL HAVE OPERABLE PARTS COMPLYING WITH SECTION 309 (OPERABLE PARTS) OF ICC A117.1	0.30	0.29	0.1
C1	5'-2" x 7'-0"	4	(T) (1) CASEMENT 2'-0"W x 5'-0"H (B) (1) FIXED 2'-8"W x 5'-0"H, SPANDREL GLASS AT BOTTOM	ALUMINUM	(T) DOUBLE GLASS LOW-E (B) DOUBLE GLASS LOW-E, TEMPERED	0.30	0.29	0.1
C2	4'-8" x 7'-0"	2	(T) (1) CASEMENT 3'-0"W x 5'-0"H (B) (1) FIXED 1'-2"W x 5'-0"H, SPANDREL GLASS AT BOTTOM	ALUMINUM	(T) DOUBLE GLASS LOW-E (B) DOUBLE GLASS LOW-E, TEMPERED	0.30	0.29	0.1
C3	4'-5" x 7'-0"	8	(T) (2) CASEMENT 1'-11"W x 5'-0"H SPANDREL GLASS AT BOTTOM	ALUMINUM	(T) DOUBLE GLASS LOW-E (B) DOUBLE GLASS LOW-E, TEMPERED	0.30	0.29	0.1
D	3'-6" x 4'-3"	8	1 CASEMENT, 1 PICTURE	ALUMINUM	DOUBLE GLASS LOW-E	0.30	0.29	0.1
E	2'-6" x 4'-3"	6	1 CASEMENT	ALUMINUM	DOUBLE GLASS LOW-E	0.30	0.29	0.1
F	1'-0" x 7'-6"	2	1 FIXED W/ SPANDREL GLASS	ALUMINUM	DOUBLE GLASS LOW-E	0.30	0.29	0.1
G	4'-0" x 5'-0"	1	VENTILATING SKYLIGHT	ALUMINUM	DOUBLE GLASS LOW-E	0.53	0.35	0.1

NOTE: GC TO FIELD VERIFY ALL R.O.'S AND PROPOSED WINDOW SIZES PRIOR TO WINDOW ORDER

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

satwin architect, pc  
60-30 67 ave Ridgewood ny 11385  
tel: (646) 641-8664  
info@satwinarchitect.com



Project Information:  
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

Drawing Name:  
**FLOOR PLANS**

Building Department Certification:

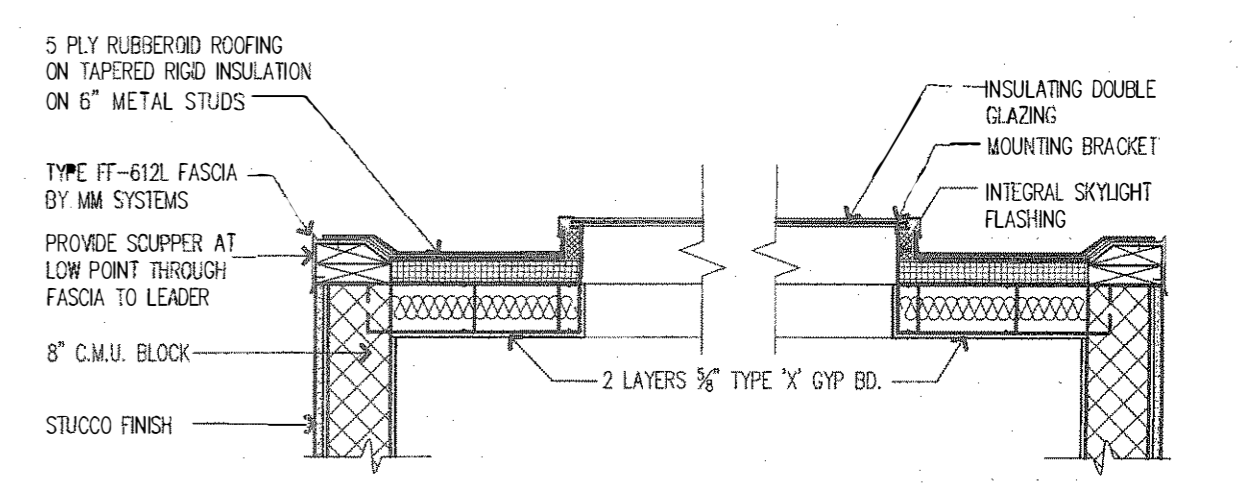
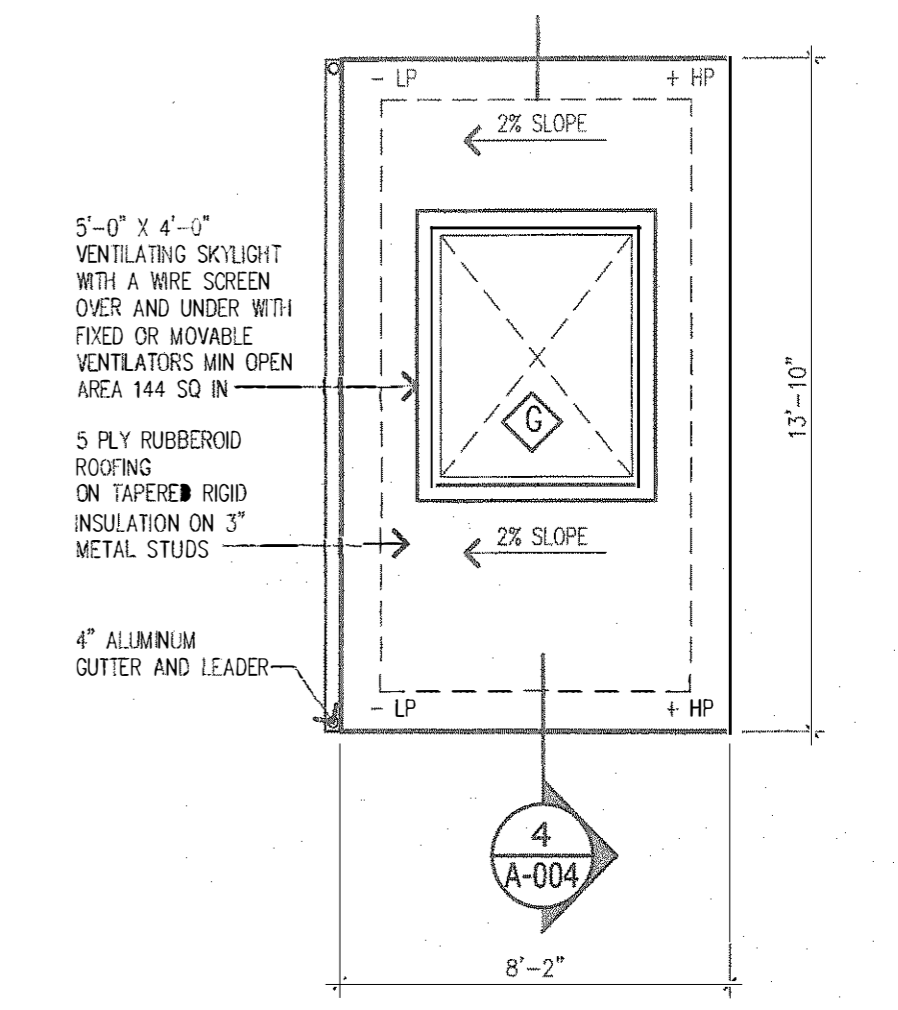
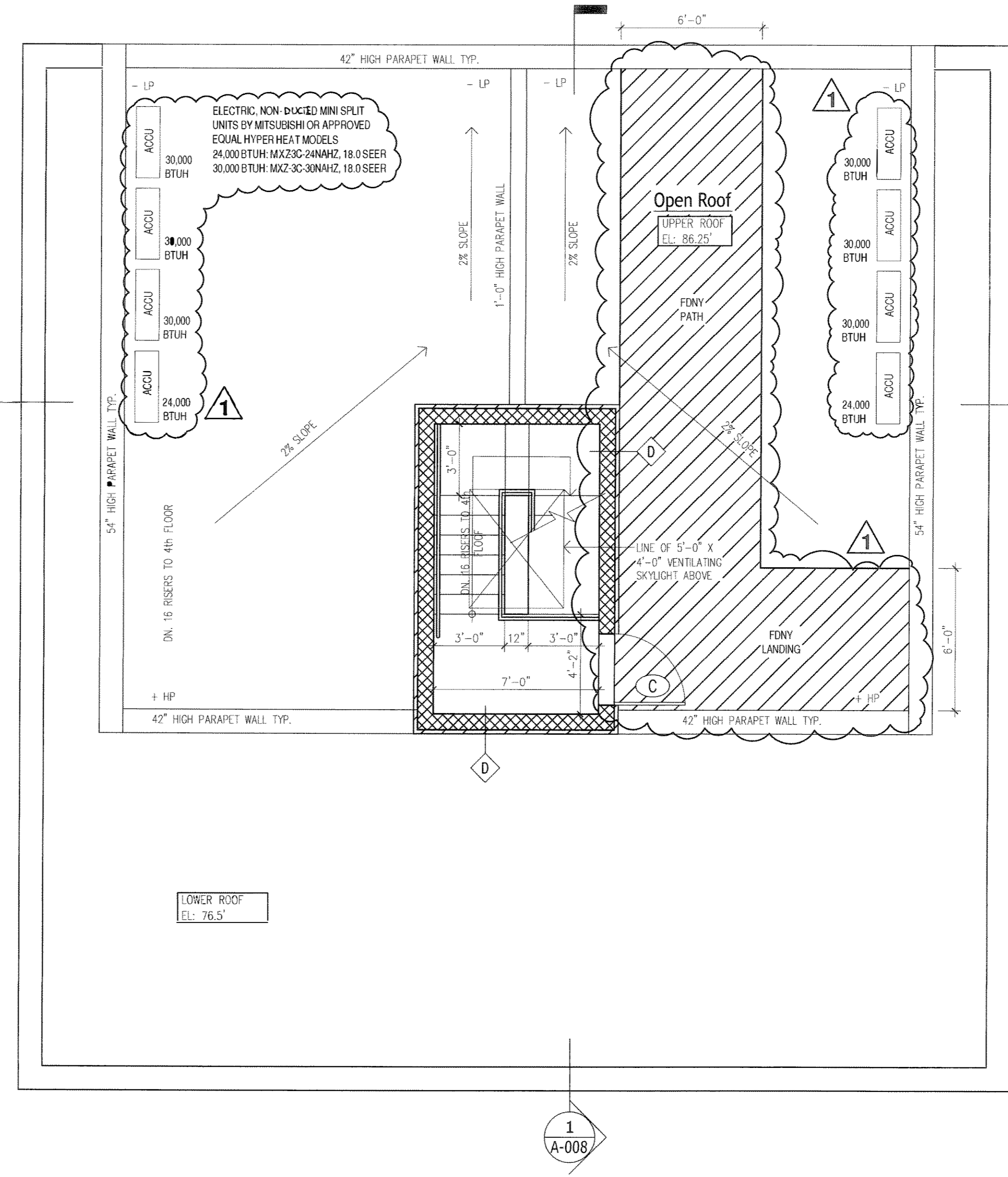
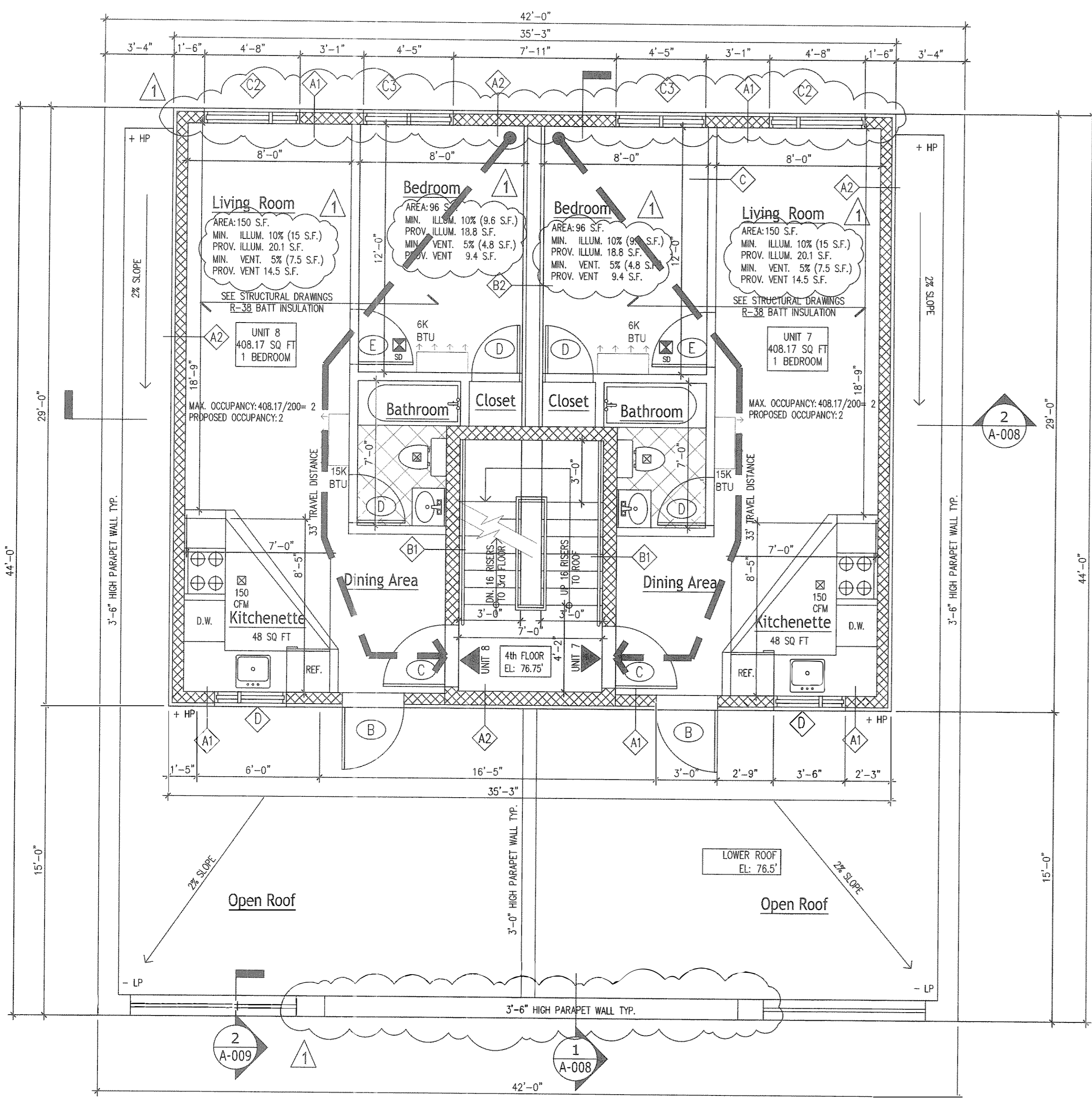


No.	Date	REVISION
1	11.14.16	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

Job No: 1410  
Date: 6/26/14  
Drawn By: ER

Drawing Number:  
**A-003.01**  
3 of 13

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SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

**satwin architect, pc**  
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tel: (646) 641-8564  
info@satwinarchitect.com



Project Information:  
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

No.	Date	Revision
1	11.14.16	INITIAL BOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

Drawing Name:  
**FOURTH FLOOR & ROOF PLAN**

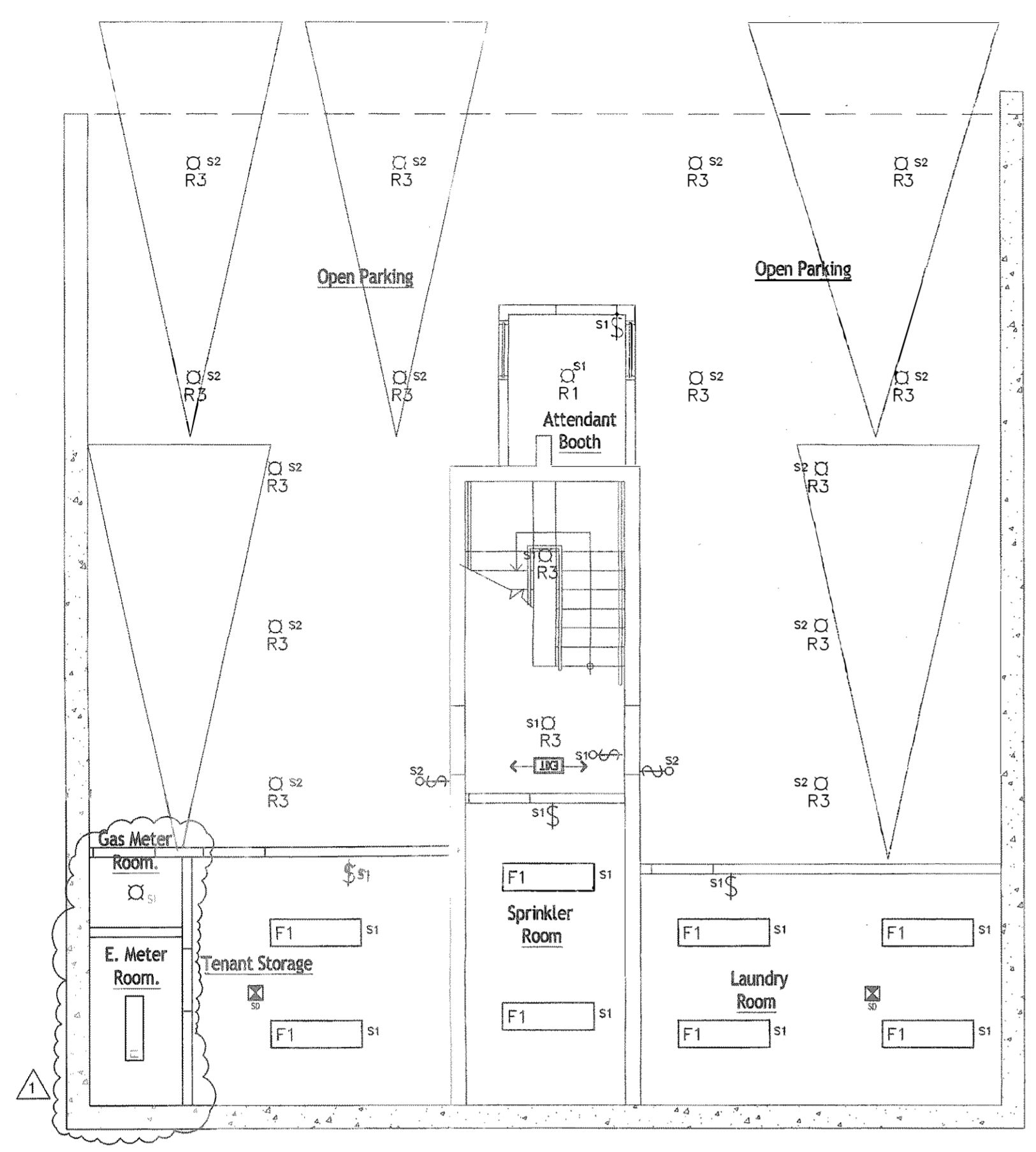
Job No: 1410  
Date: 6/26/14  
Drawn By: ER  
Drawing Number:

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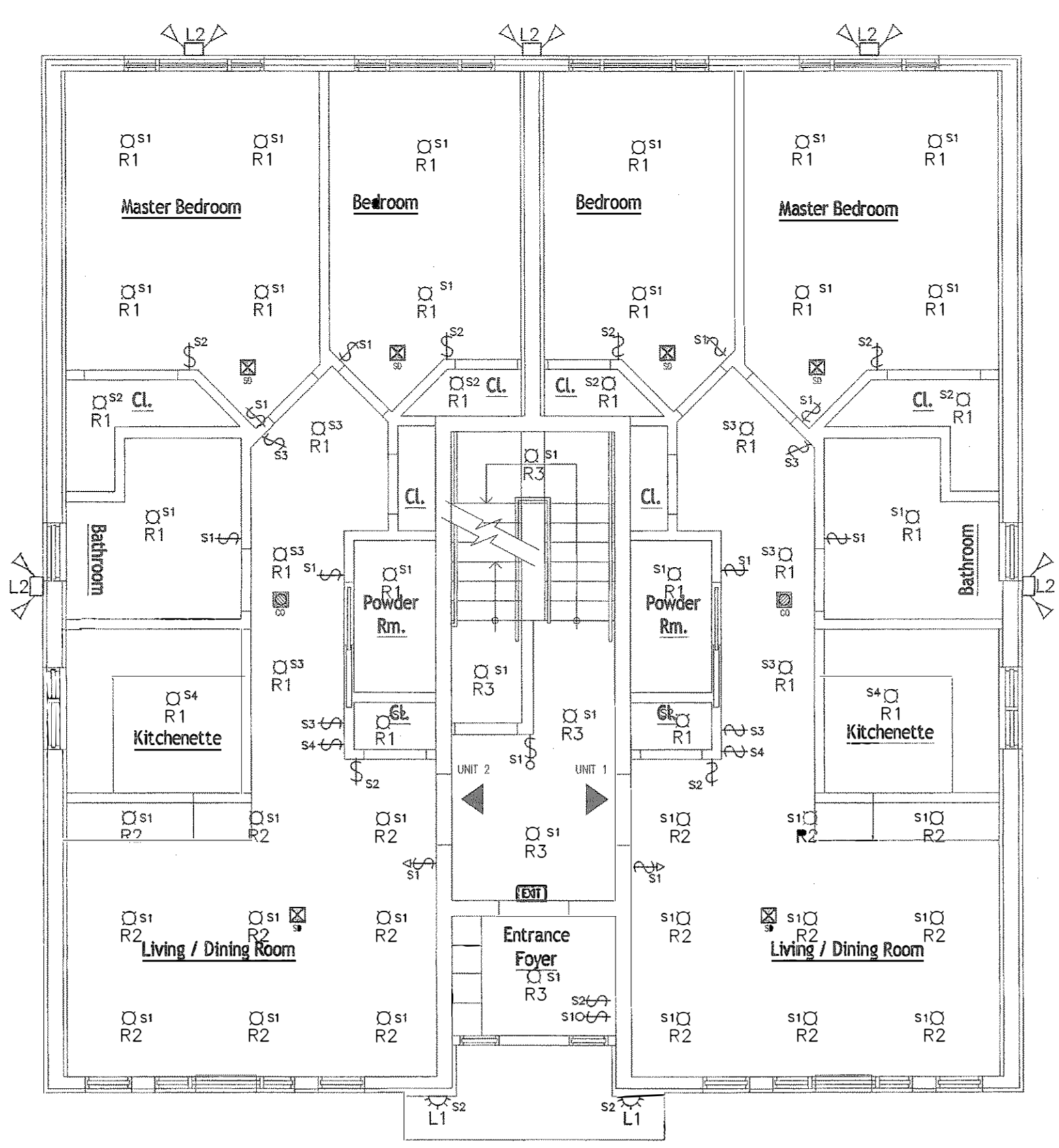
**A-004.01**  
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Building Department Certification:

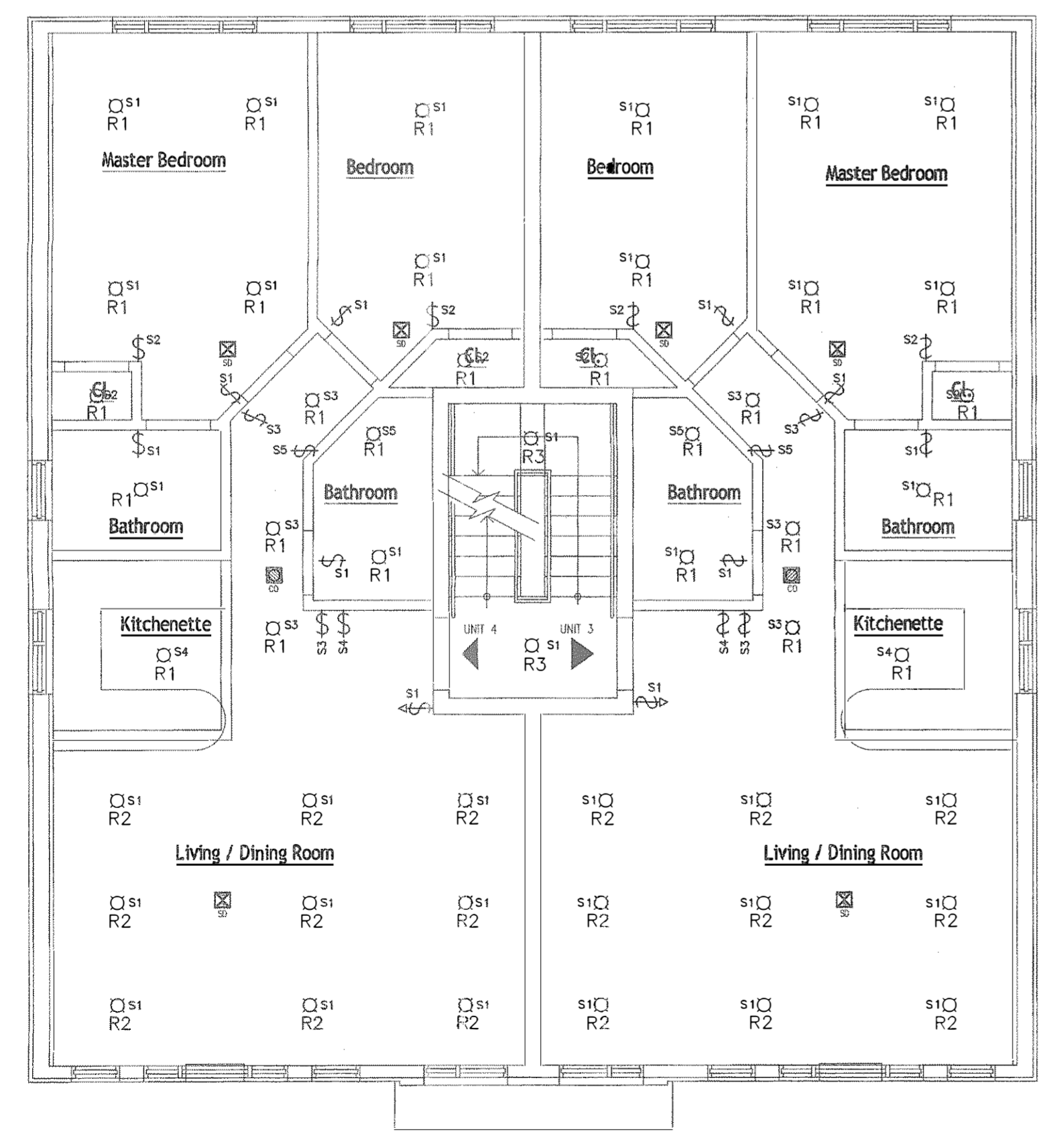




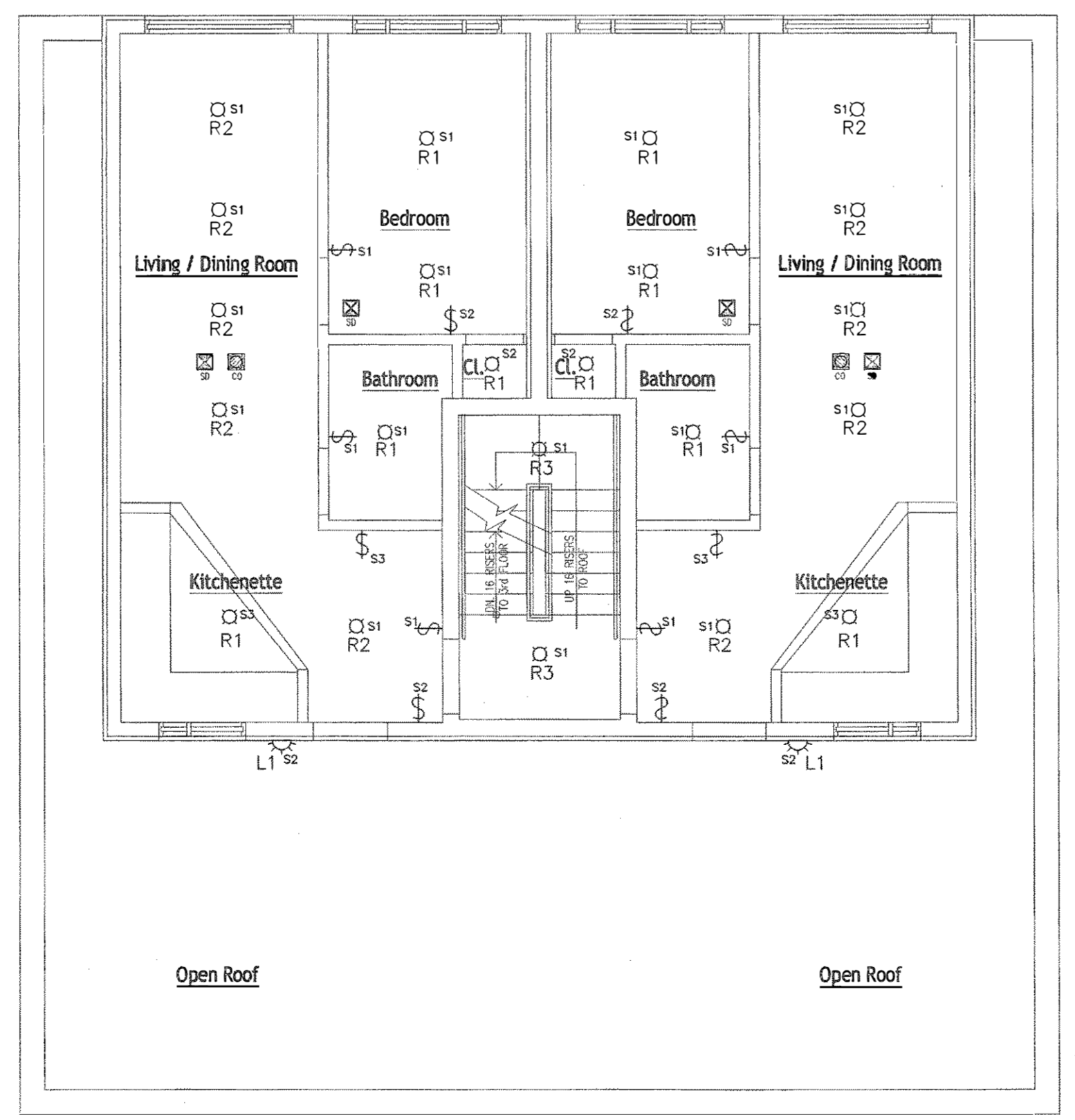
**CELLAR REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**FIRST FLOOR REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**TYPICAL FLOOR REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**FOURTH FLOOR REFLECTED CEILING PLAN**  
1/4" = 1'-0"

**LIGHTING SCHEDULE**

TYPE	QUANTITY	DESCRIPTION	SYSTEM WATTS	TOTAL WATTS	CONTROL INTENT
F1	9	FIXTURE: 1-LIGHT WHITE FLUORESCENT STRIP LIGHT (Model # MNSB13120REMS) LAMP: (1) 48" 18 32W [2800 LUMENS] [G.E.] (Model # F32T8/SP/30/ECO)	32	288	LOCAL SWITCHES. 100% OF FIXTURES TO REMAIN ENERGIZED AT ALL TIMES. (505.2.21 EXCEPTIONS: 1, 3 & 5)
R1	72	FIXTURE: RF CFL SERIES SINGLE-LIGHT 5-INCH RECESSED LIGHT FIXTURE (Model # BAZZ CFL400) LAMP: (1) T3 SPIRAL 15W [6500K] [900 LUMENS] [SUNLITE] (Model # 05569-SU AP15/65K 15W)	20	1440	LOCAL SWITCHES. 100% OF FIXTURES TO REMAIN ENERGIZED AT ALL TIMES. (505.2.21 EXCEPTIONS: 1, 3 & 5)
R2	46	FIXTURE: RF CFL SERIES SINGLE-LIGHT 5-INCH RECESSED LIGHT FIXTURE (Model # BAZZ CFL400) LAMP: (1) T3 SPIRAL 20W [2700K] [1350 LUMENS] [SUNLITE] (Model # 05467-SU SL20/27K/D 20W)	20	920	LOCAL SWITCHES WITH ASTRONOMICAL TIMECLOCK AUTOMATIC ON/OFF 50% OF FIXTURES. 50% OF FIXTURES TO REMAIN ENERGIZED AT ALL TIMES
R3	25	FIXTURE: RF CFL SERIES SINGLE-LIGHT 5-INCH RECESSED LIGHT FIXTURE (Model # BAZZ CFL400) LAMP: (1) T3 SPIRAL 20W [2700K] [1350 LUMENS] [SUNLITE] (Model # 05467-SU SL20/27K/D 20W)	20	500	LOCAL SWITCHES WITH DUAL TECHNOLOGY OCCUPANCY SENSOR & ASTRONOMICAL TIMECLOCK AUTOMATIC ON/OFF 50% OF FIXTURES. 50% OF FIXTURES TO REMAIN ENERGIZED AT ALL TIMES
EO	4	FIXTURE: HINKLEY CASCADE BRONZE 1 1/2" LED OUTDOOR WALL LIGHT (Model # 183082) LAMP: (1) PAR38 LED 18W [2700K] [1200 LUMENS] [G.E.] (Model # 90154LED180P38W27/25)	18	72	LOCAL SWITCHES WITH DUAL TECHNOLOGY OCCUPANCY SENSOR & PHOTOCELL AUTOMATIC ON/OFF.
ES	5	FIXTURE: LED SMART BULLET FLOOD WITH MOTION SENSOR BY RAB LIGHTING (MODEL # SMSBULLETX12NA) LAMP: (2) PAR38 LED 12W [3700K] [950 LUMENS] [G.E.] (Model # 90151LED12DP382W8.3035)	24	120	MOTION SENSOR & PHOTOCELL AUTOMATIC ON/OFF.
EXIT	2	COOPER LIGHTING - PRO SERIES EXIT (APX6/APX7) WITH LED LAMPS		1.74	3.48

TOTAL CONNECTED LOAD OF INTERIOR LIGHTING: 288+1440+920+500+3.48 = 3152 WATTS  
TOTAL CONNECTED LOAD OF EXTERIOR LIGHTING: 120+72 = 192 WATTS

**NOTES:**

- ELECTRICAL NOTES:**
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO ALL NYS CODES AND REGULATIONS.
  - ELECTRICAL CONTRACTOR SHALL FOLLOW LIGHTING AND ELECTRICAL LAYOUT EXACTLY AS PER PLAN. SHOULD ANY DISCREPANCIES ARISE DUE TO PLUMBING OR JOIST LOCATIONS, CONSULT THE ARCHITECT.
  - ALL OUTLETS ARE TO BE PLACED 12" AFF. O.C. SWITCHES ARE TO BE PLACED 48" AFF. O.C. UNLESS OTHERWISE NOTED.
  - ALL OUTLET AND SWITCHES ARE TO BE "DECORA" STYLE.
  - NECESSARY ELECTRICAL IS TO BE PROVIDED FOR ALL MECHANICAL EQUIPMENT AND APPLIANCES SPECIFIED ON THESE DRAWINGS.
  - CONSULT OWNER FOR THE QUANTITY AND GROUPING OF AUTOMATIC TIME CLOCKS.

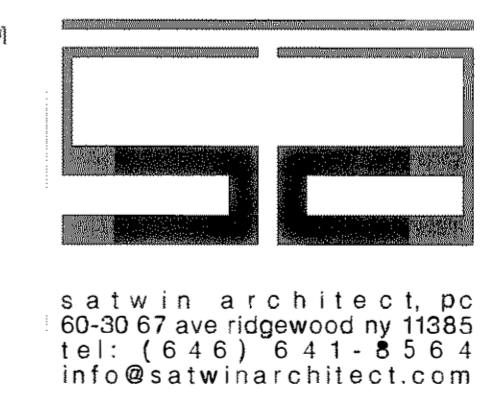
**LIGHTING / POWER NOTES:**

- ALL WORK SHOWN SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES, ORDINANCES, ETC.
- CEILING LIGHTS ARE TO BE HUNG FROM THE BAR JOIST MEMBERS AT THE DIAGONAL CORNERS.
- CONDUIT SHALL BE ELECTRICAL METALLIC (STEEL) TUBING (EMT), RIGID STEEL (SIZE IN ACCORDANCE WITH NEC), OR MC CABLE WHERE ALLOWED BY CODE. WHERE MC CABLE IS USED, PROPER SECUREMENT AND SUPPORT (AT INTERVALS NOT EXCEEDING 6 FEET) SHALL BE FOLLOWED PER NEC ART. 330-30.
- COORDINATE LIGHTING WITH SPRENNELER & MECHANICAL DRAWING.
- REFERENCE TO HEIGHT OF OUTLET OR RECEPTACLE SHALL BE MEASURED FROM FINISHED FLOOR TO CENTER OF OUTLET OR RECEPTACLE.
- ALL RECEPTACLES SHALL BE GROUNDING TYPE.
- ALL RECEPTACLES AND SWITCHES SHALL HAVE TWO (2) REVOLUTIONS OF ELECTRICAL TAPE (SCOTCH 33+) OVER ALL THE TERMINALS, TO PREVENT ACCIDENTAL CONTACT WITH THE JUNCTION BOX OR OUTLET BOX.
- PVC CONDUIT AND FITTINGS ARE ACCEPTABLE ONLY BELOW SUBBASE MATERIAL OF GROUND BEARING FLOOR SLABS WHERE SUCH USE IS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. CONDUIT SIZE TO BE IN ACCORDANCE WITH NEC.
- CONDUIT SHALL BE ELECTRICAL METALLIC (STEEL) TUBING (EMT), RIGID STEEL (SIZE IN ACCORDANCE WITH NEC), OR MC CABLE WHERE ALLOWED BY CODE. WHERE MC CABLE IS USED, PROPER SECUREMENT AND SUPPORT (AT INTERVALS NOT EXCEEDING 6 FEET) SHALL BE FOLLOWED PER NEC ART. 330.
- DIMENSION IS FROM FINISHED WALL. SEE ARCHITECTURAL FOR WALL THICKNESS.
- FIELD COORDINATE EXACT LOCATION OF OUTLETS AS DETERMINED BY THE ACTUAL FURNITURE LAY OUT. VERIFY WITH FIXTURE PLAN.
- COORDINATE WITH OTHER DISCIPLINES FOR ELECTRICAL REQUIREMENTS OF EQUIPMENT NOT SHOWN ON DETAILS (i.e. ROOF-TOP UNITS, UNIT HEATERS, FANS, ETC.).

**LEGEND**

- Ⓢ LIGHT CONTROL SWITCHES (MANUAL)
- Ⓢ LIGHT CONTROL SWITCHES (ASTRONOMICAL TIMECLOCK AUTOMATIC)
- Ⓢ LIGHT CONTROL SWITCHES (TECHNOLOGY OCCUPANCY SENSOR & ASTRONOMICAL TIMECLOCK AUTOMATIC ON/OFF)
- Ⓢ RECESSED HIGH EFFICACY CFL LIGHT FIXTURE SEE LIGHTING SCHEDULE
- Ⓢ EXTERIOR FLOOD LIGHT FIXTURE SEE LIGHTING SCHEDULE
- Ⓢ EXTERIOR LIGHT FIXTURE SEE LIGHTING SCHEDULE
- Ⓢ 2'x4' FLUORESCENT LIGHT FIXTURE SEE LIGHTING SCHEDULE
- EXIT EMERGENCY EXIT LIGHT SEE LIGHTING SCHEDULE
- Ⓢ HARD WIRED INTERCONNECTED SMOKE ALARM
- Ⓢ HARD WIRED INTERCONNECTED CARBON MONOXIDE ALARM

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.



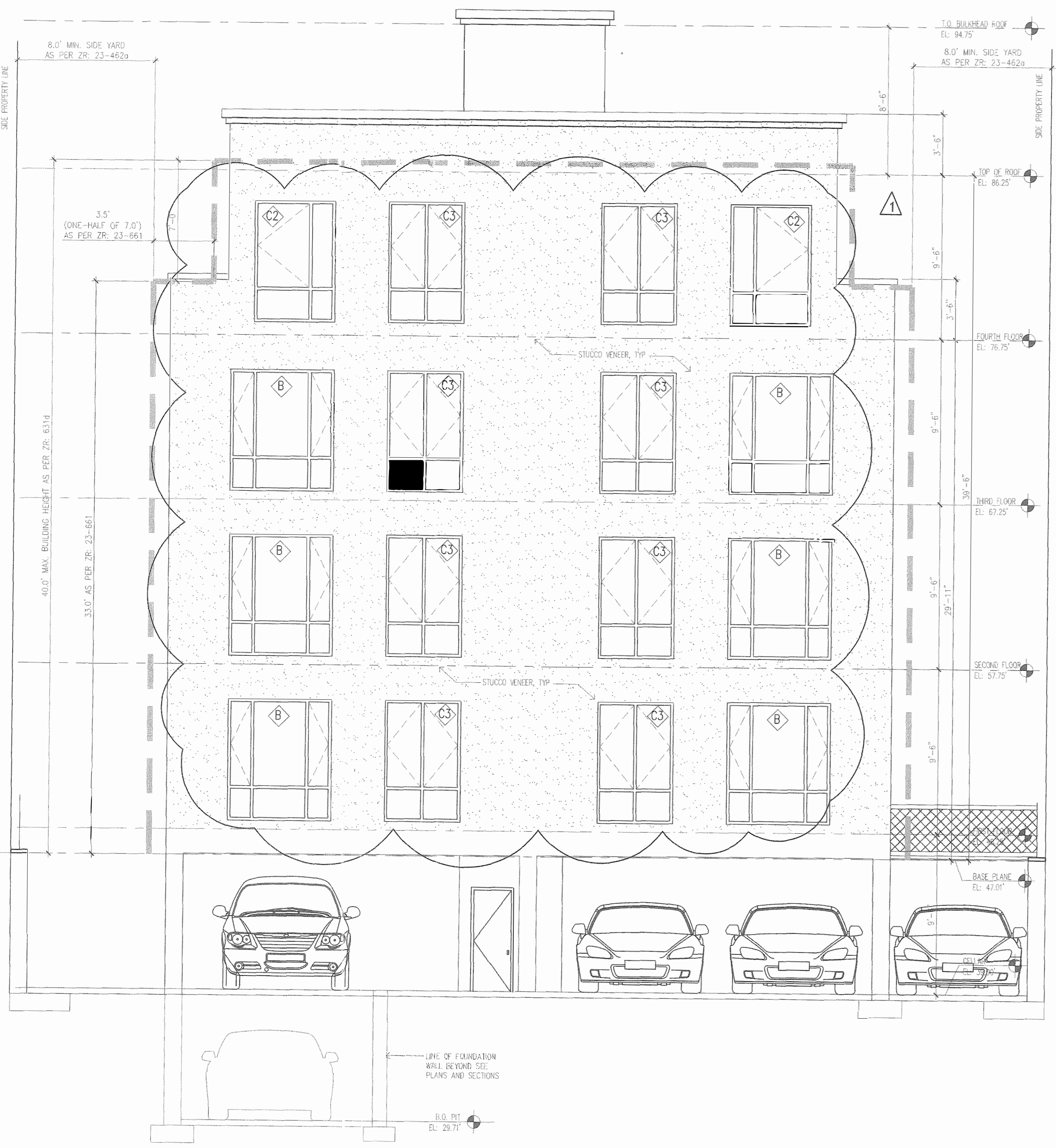
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

Job No: 1410  
Date: 6/26/14  
Drawn By: ER

**REFLECTED CEILING PLANS**

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**REAR ELEVATION**  
1/4" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

**satwin architect pc**  
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info@satwinarchitect.com



**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

Drawing Name:  
**ELEVATIONS**

No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND FAA

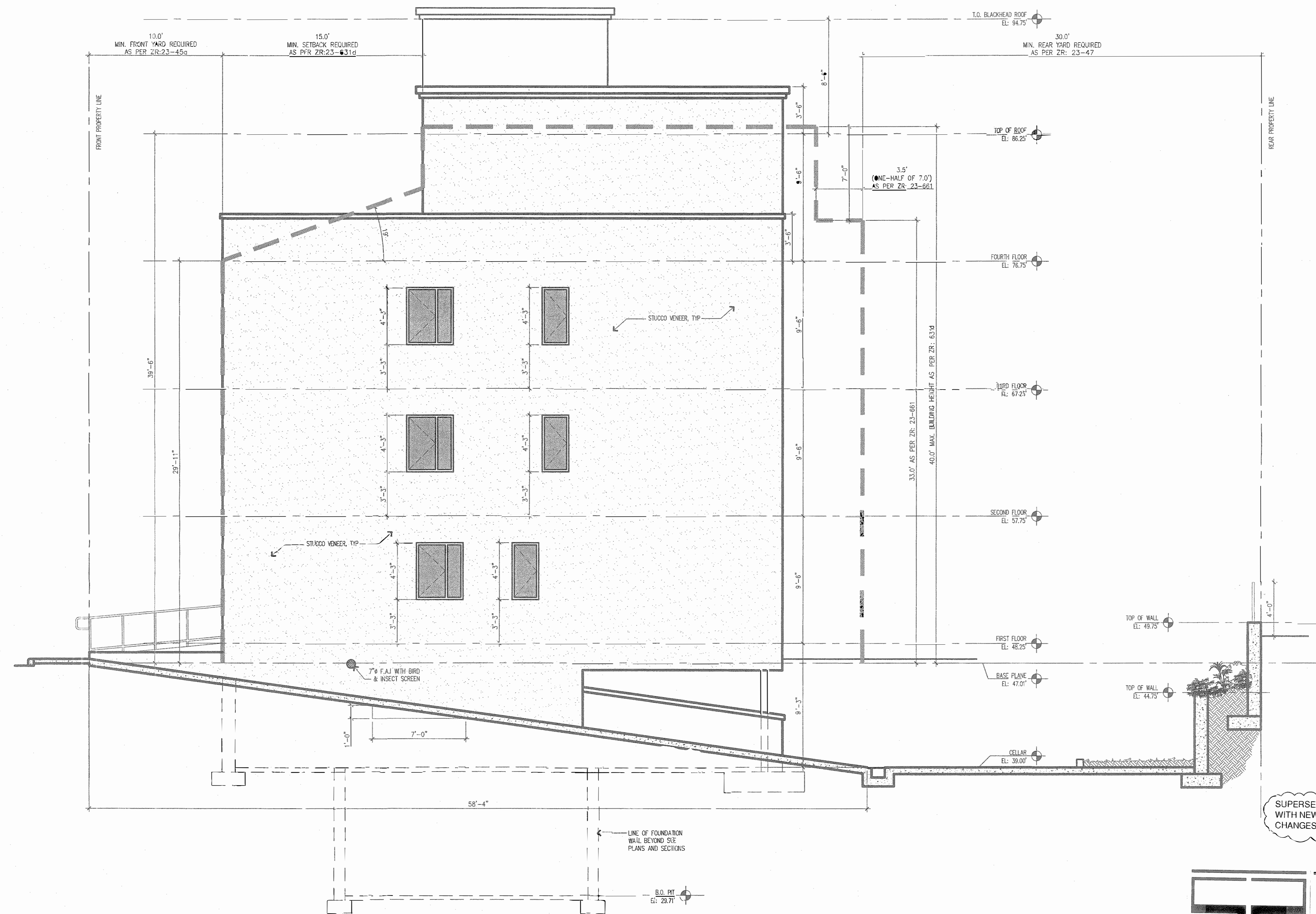
Job No: 1410  
Date: 6/26/14  
Drawn By: ER

Drawing Number:

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**A-006.01**  
6 of 13

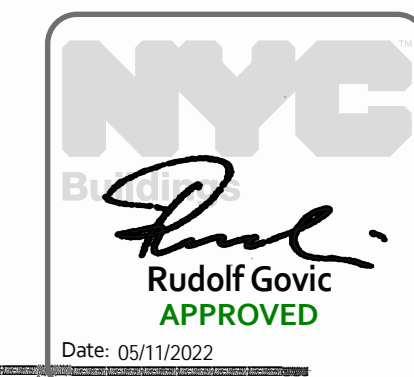




1 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

Building Department Certification:



**SATWIN ARCHITECT**  
60-30 67 ave ridgewood ny 11385  
tel: (646) 641-8582  
info@satwinarchitect.com



Project Information:  
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

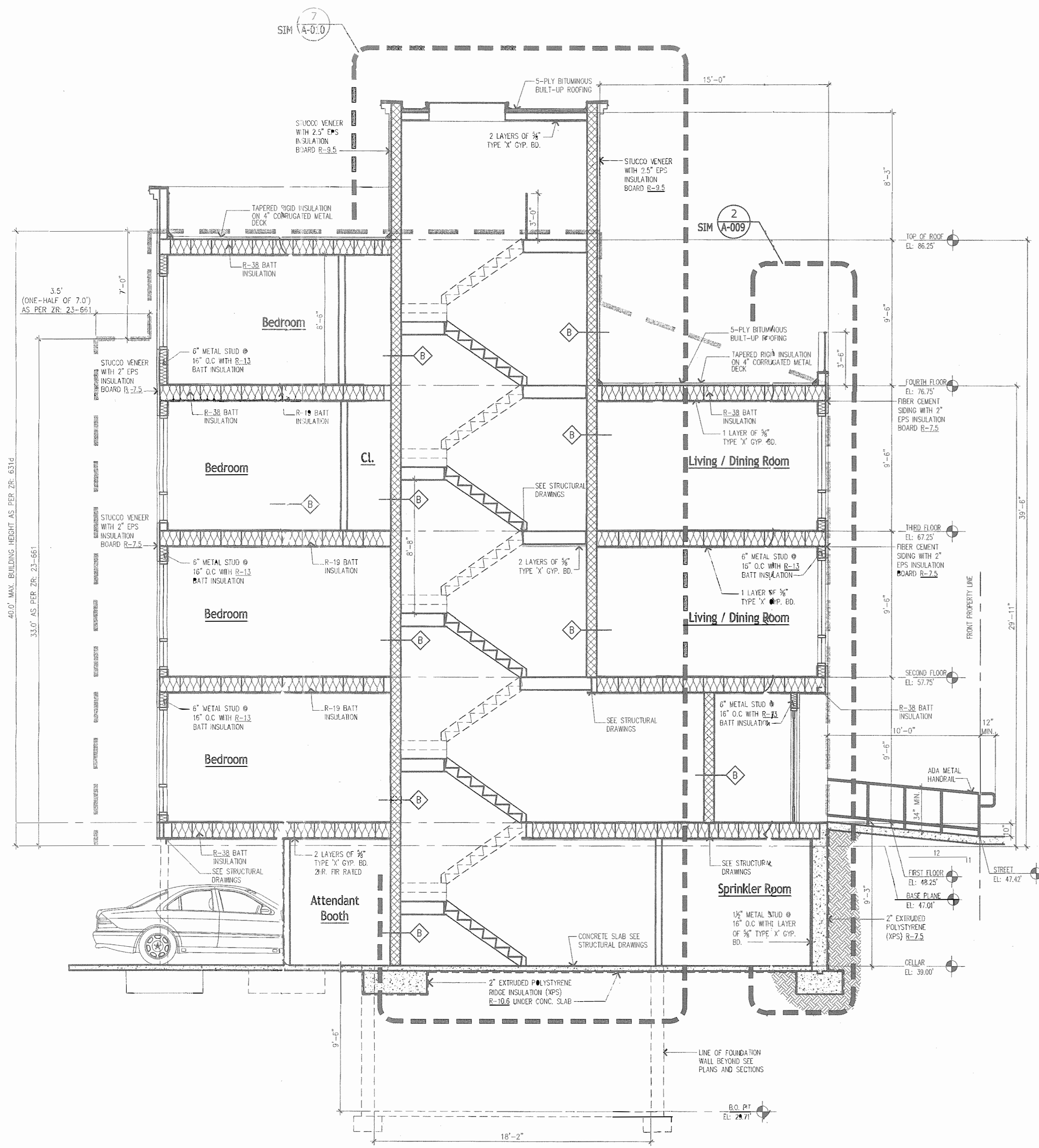
No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

Drawing Name:  
**ELEVATION**

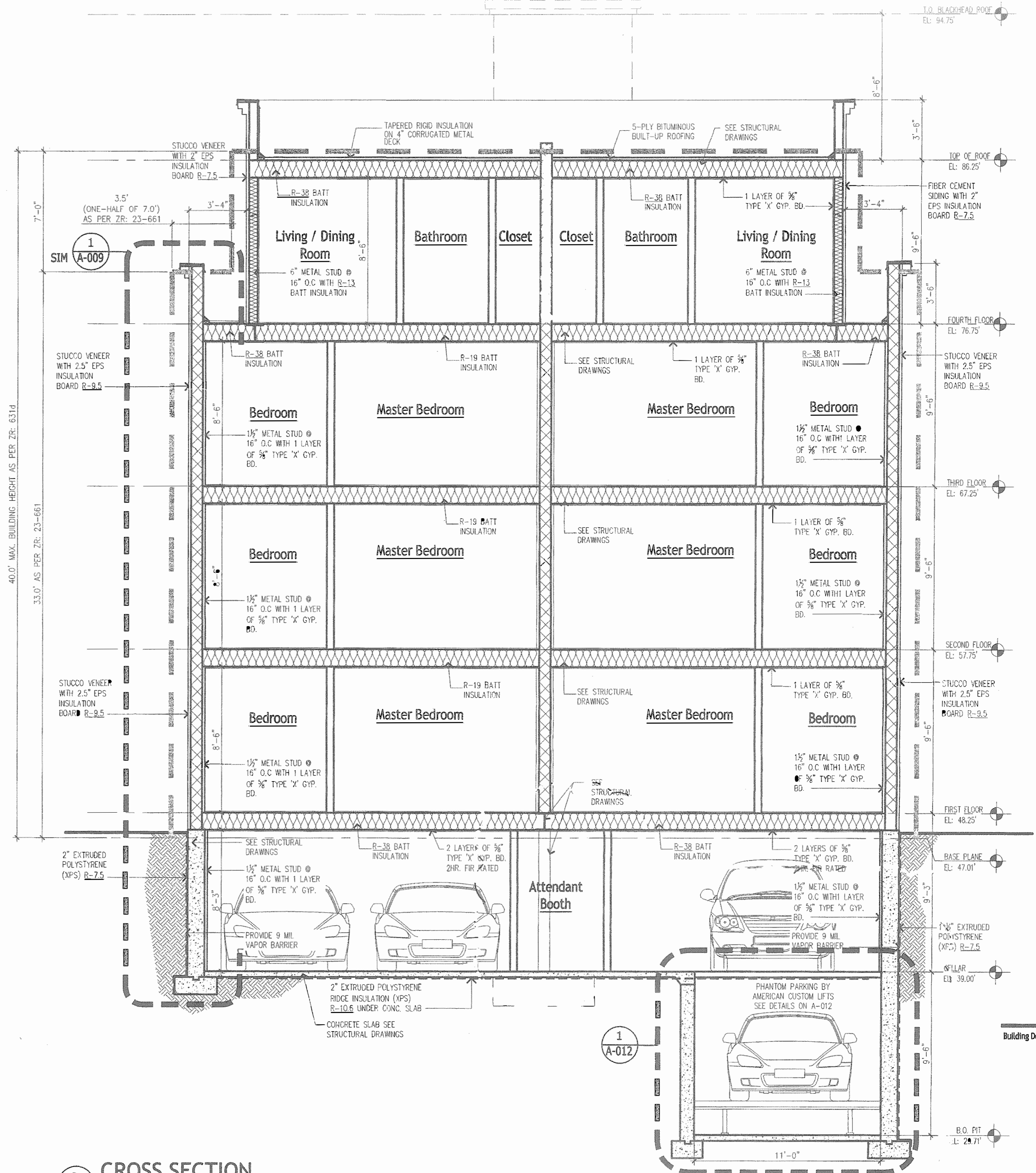
Job No: 1410  
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Drawing Number:  
**A-007.01**  
7 of 13

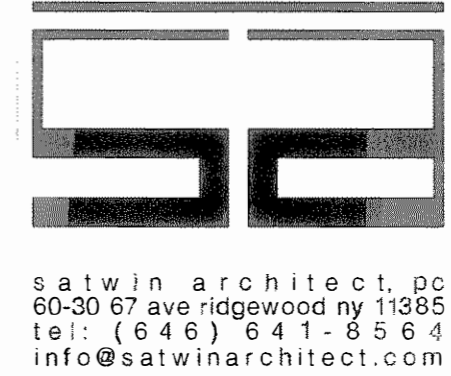


**1 LONGITUDINAL SECTION**  
1/4" = 1'-0"



**2 CROSS SECTION**  
1/4" = 1'-0"

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.



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t: (946) 641-5634  
info@satwinarchitect.com



**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

SECTIONS

Building Department Certification:



No.	Date	Revision
1	11.14.18	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

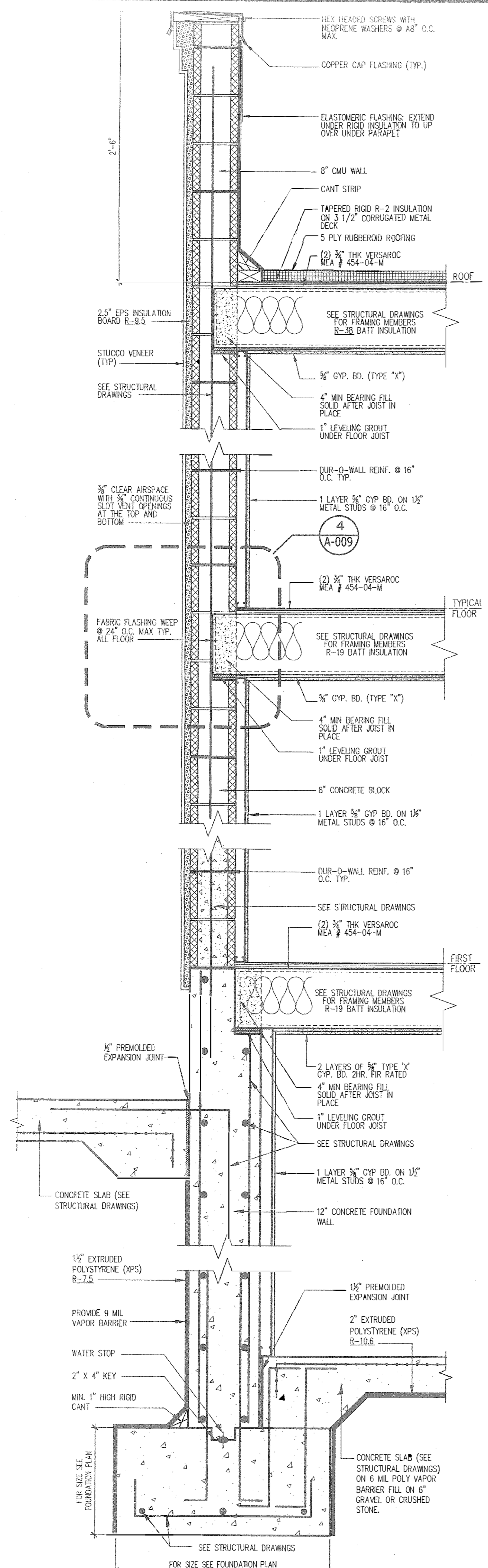
Job No: 1410  
Date: 6/26/14  
Drawn By: ER

Drawing Number:

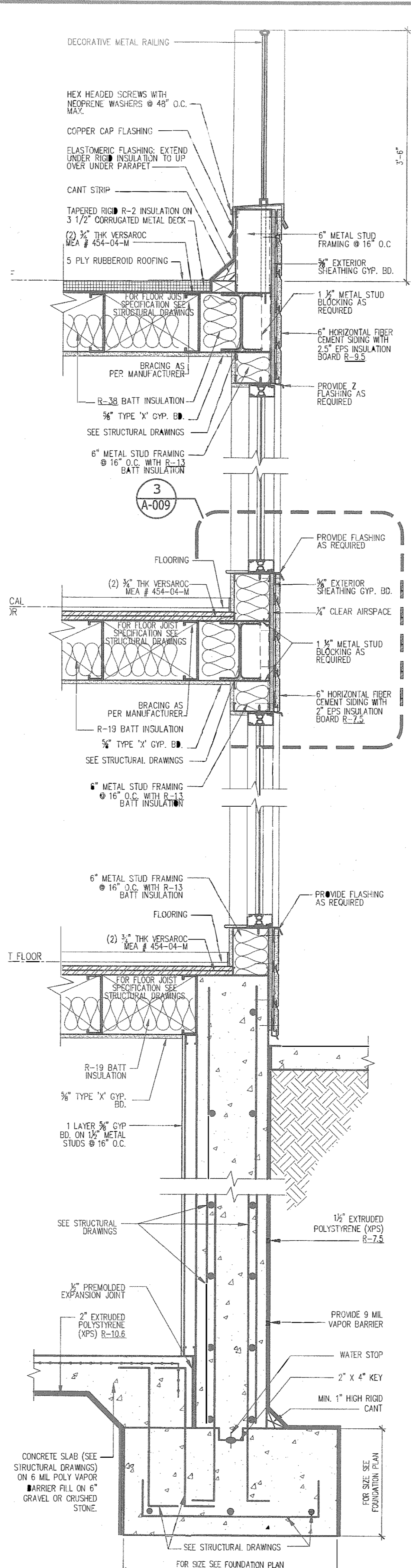
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**A-008.01**  
8 of 13

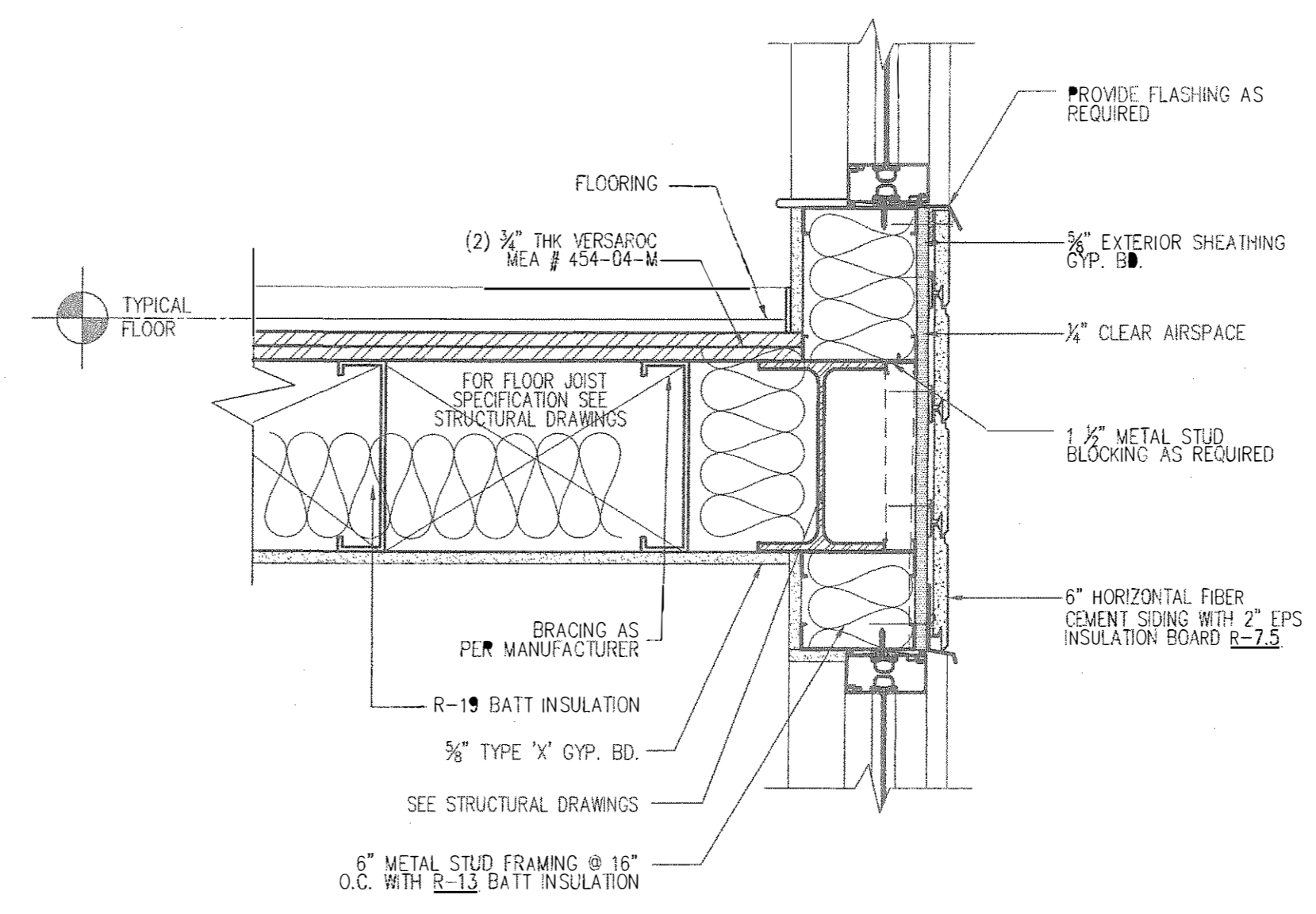




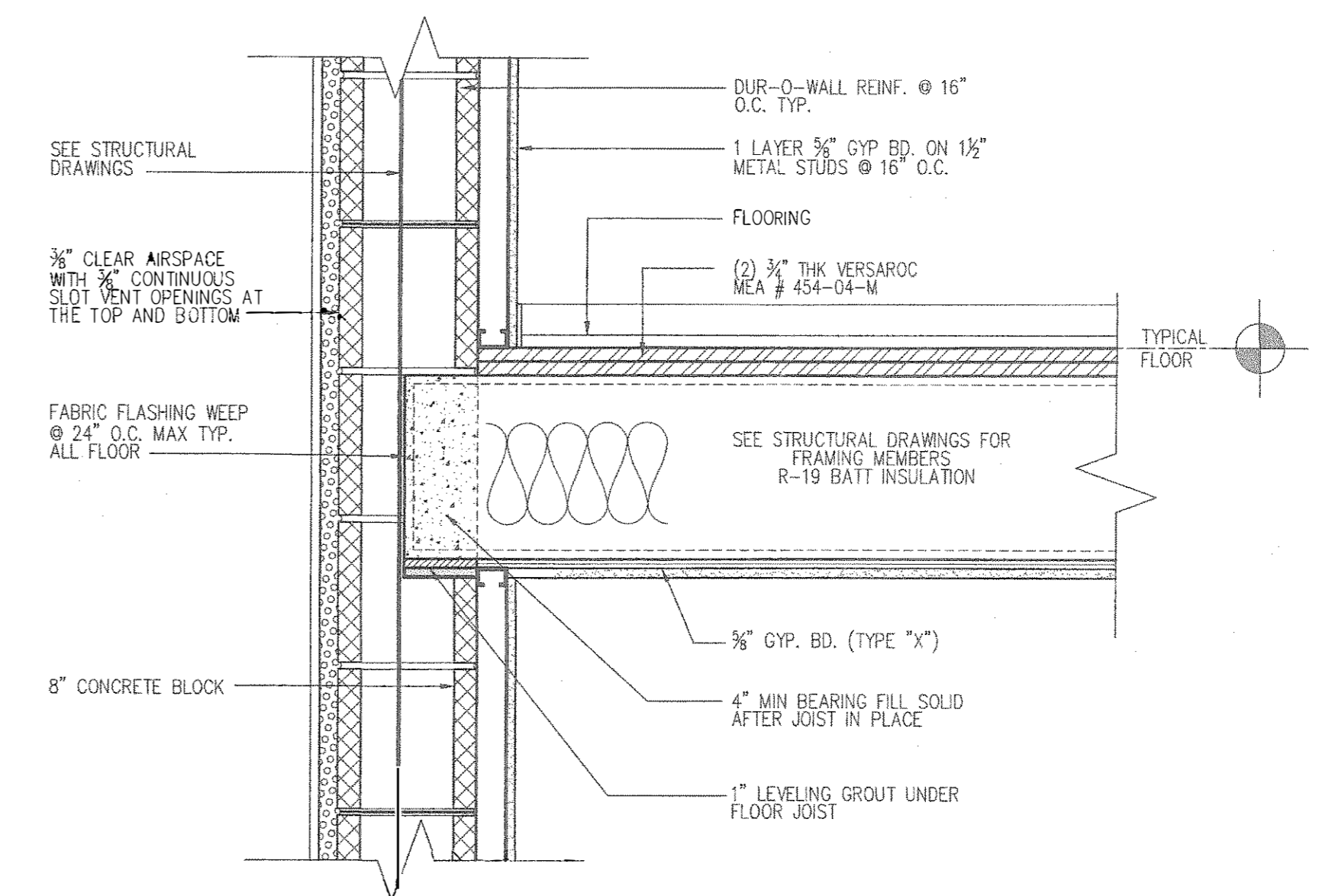
1 TYPICAL WALL SECTION DETAIL  
1" = 1'-0"



2 TYPICAL WALL SECTION DETAIL  
1" = 1'-0"



3 SECTION DETAIL  
1-1/2" = 1'-0"



4 SECTION DETAIL  
1-1/2" = 1'-0"

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

**satwin architect, pc**  
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info@satwinarchitect.com



Project Information:  
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

DETAILS

Building Department Certification:

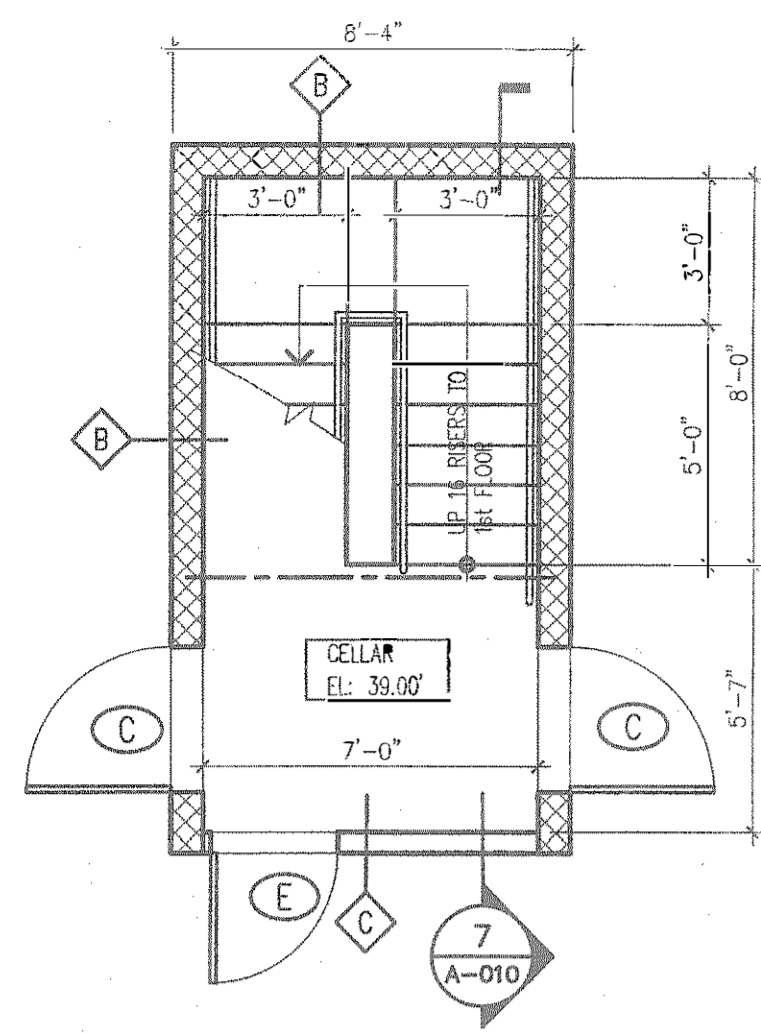


No.	Date	Revision
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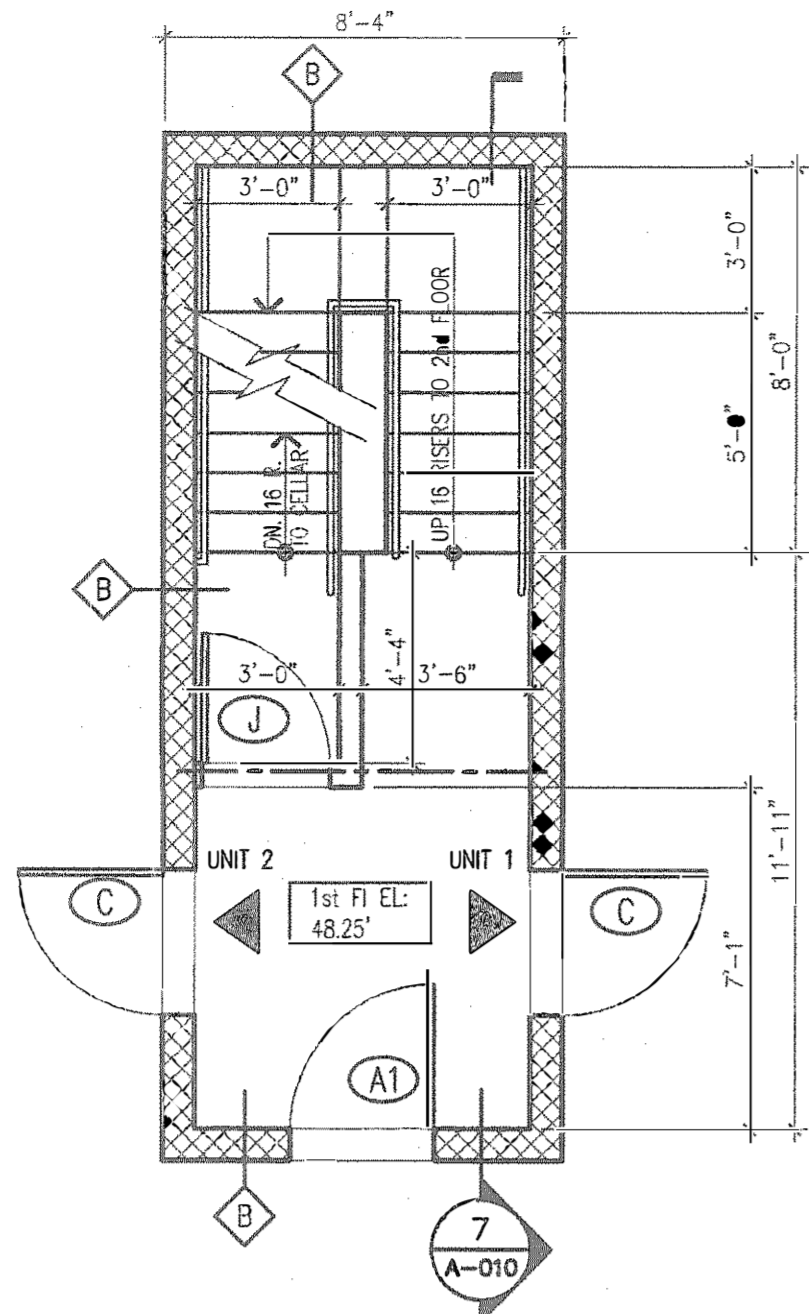
Job No: 1410  
Date: 6/26/14  
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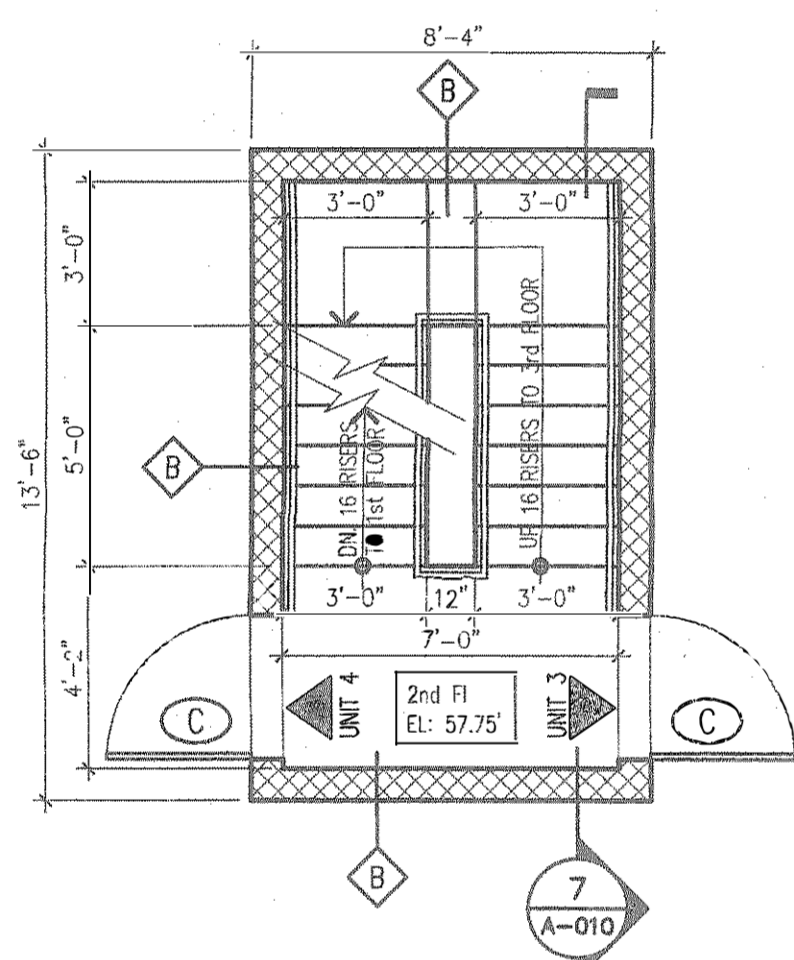
**A-009.01**  
9 of 13



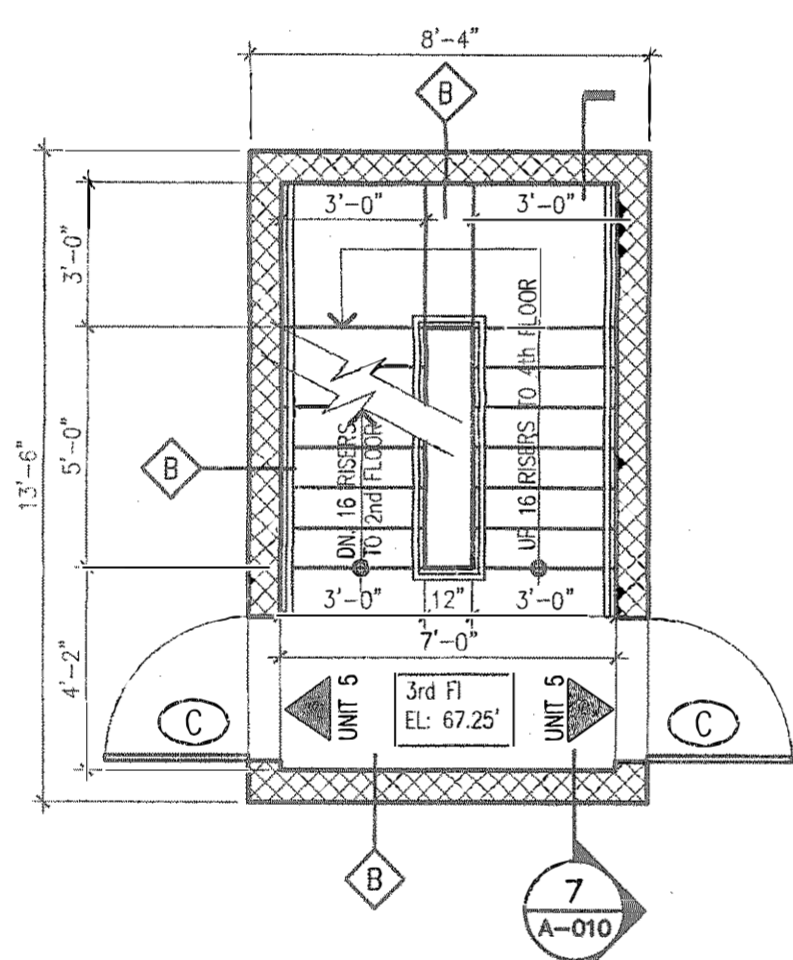
1 STAIRS PLAN @ CELLAR  
1/4" = 1'-0"



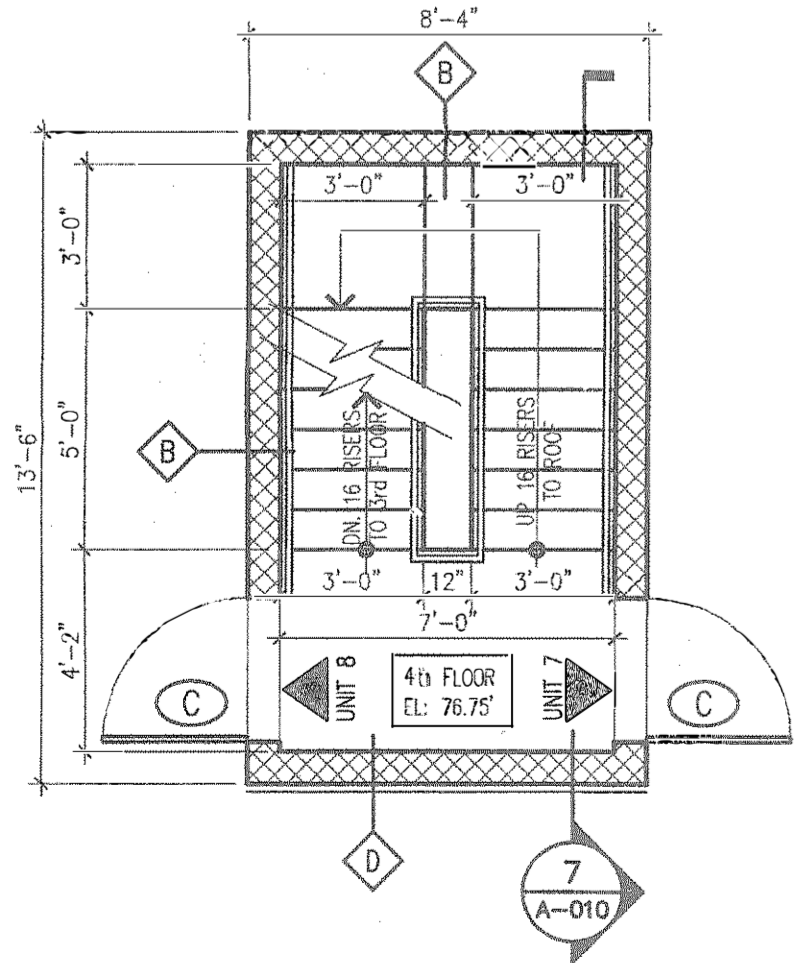
2 STAIRS PLAN @ 1st FLOOR  
1/4" = 1'-0"



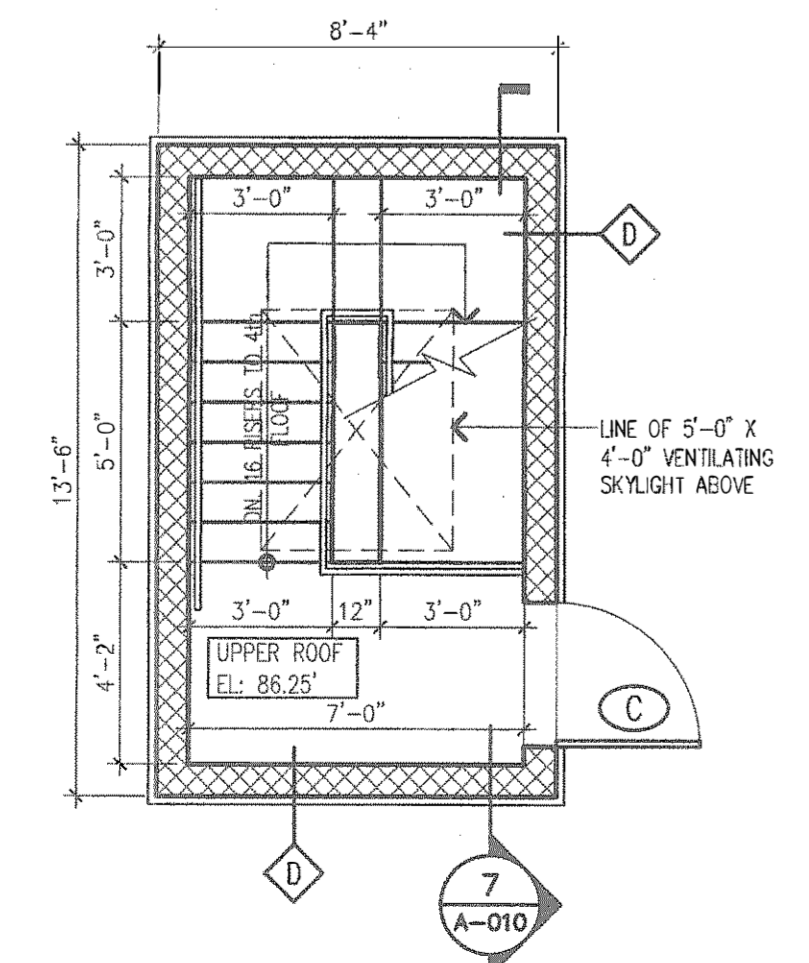
3 STAIRS PLAN @ 2nd FLOOR  
1/4" = 1'-0"



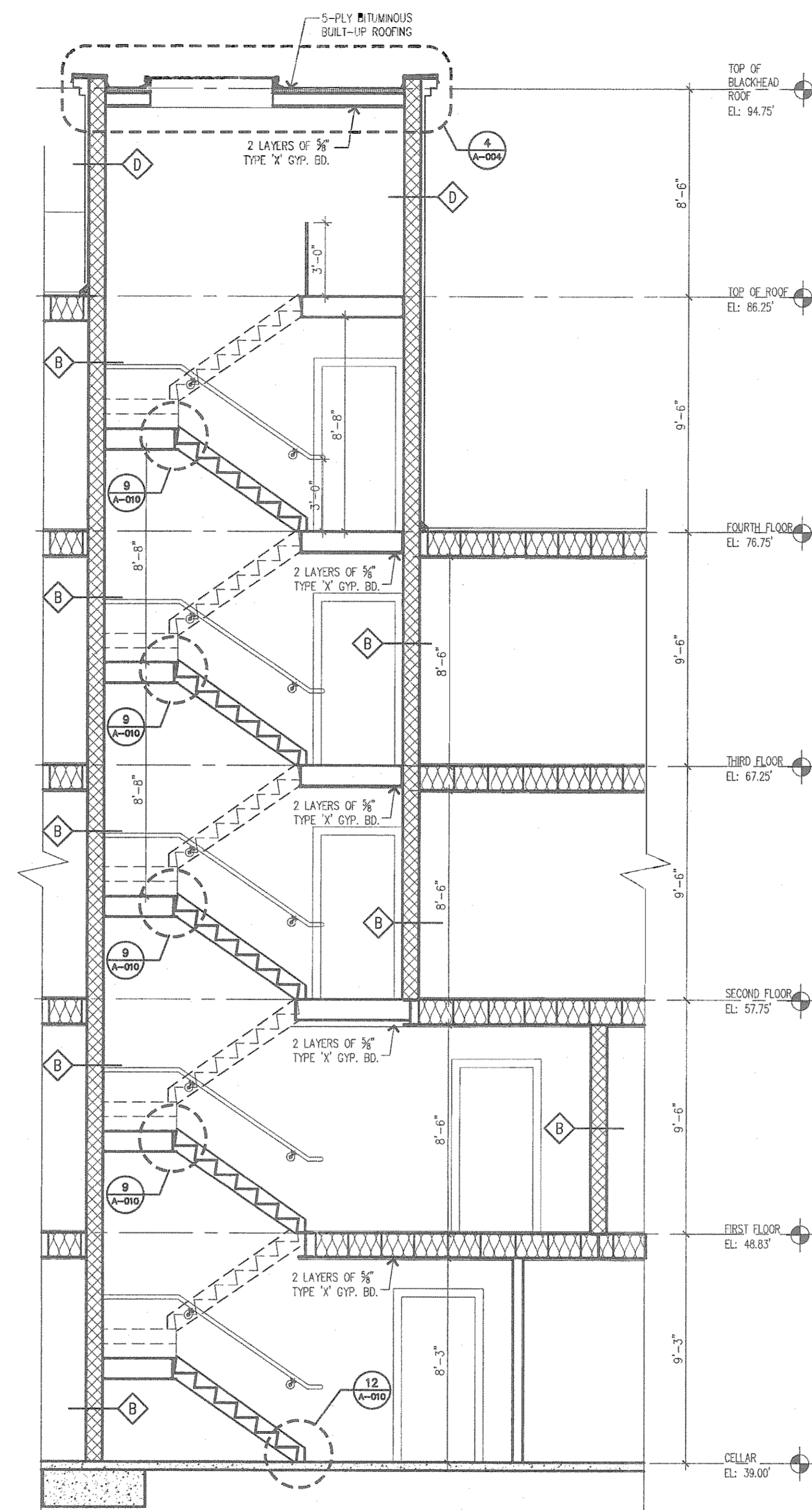
4 STAIRS PLAN @ 3rd FLOOR  
1/4" = 1'-0"



5 STAIRS PLAN @ 4th FLOOR  
1/4" = 1'-0"

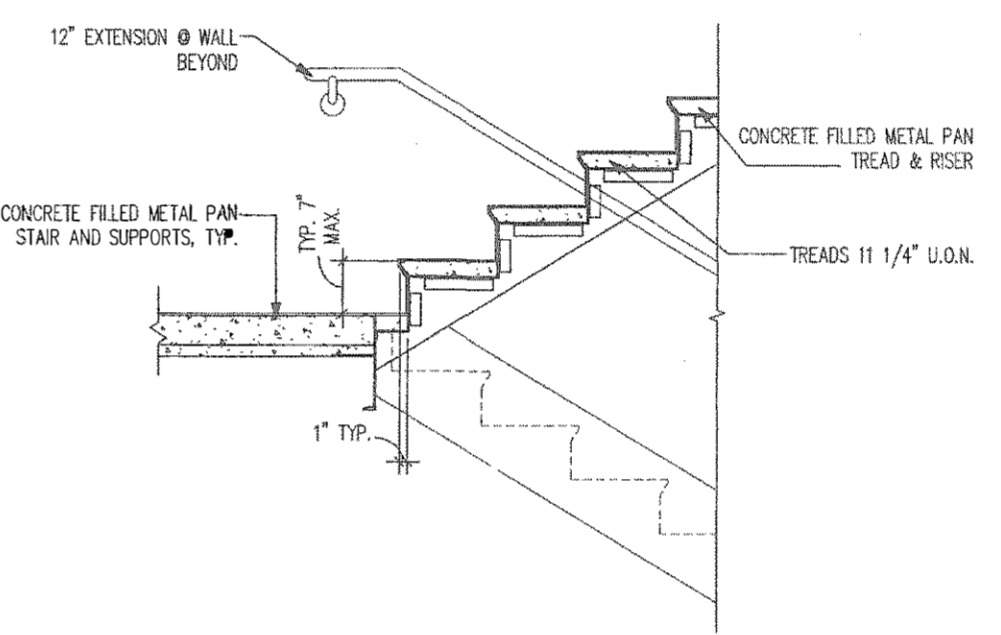


6 STAIRS PLAN @ UPPER ROOF  
1/4" = 1'-0"

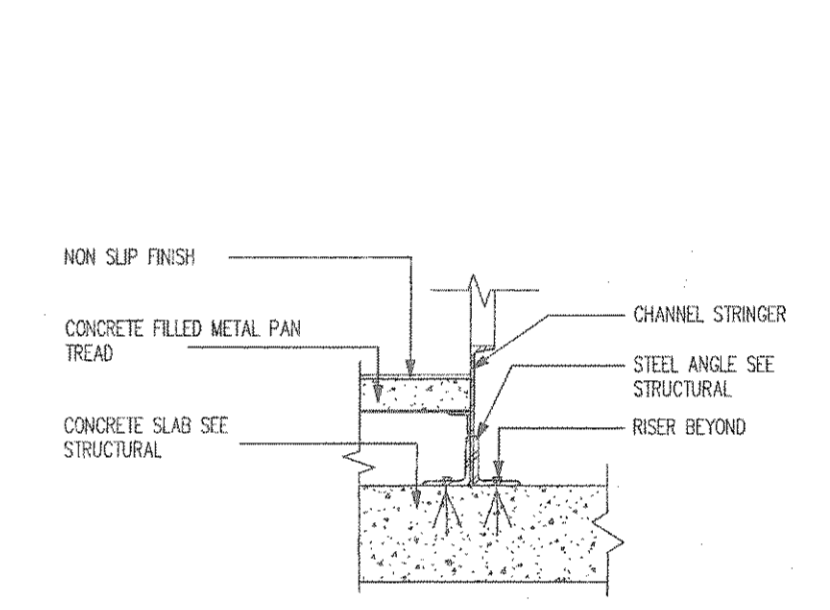


7 SECTION @ STAIRS  
1/4" = 1'-0"

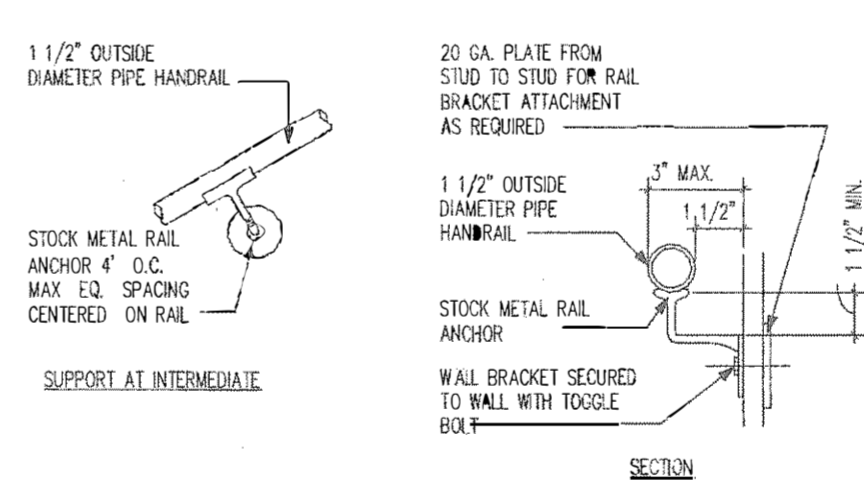
8 STRINGER @ WALL  
N.T.S.



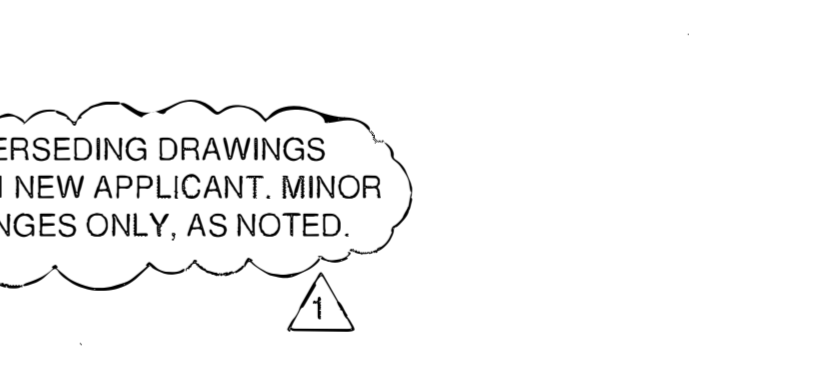
11 STRINGER @ CMU WALL  
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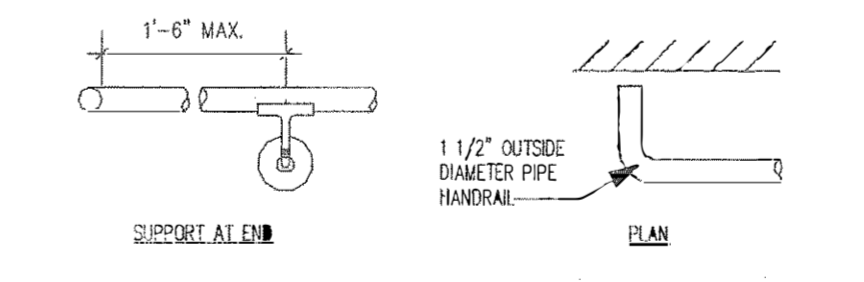
9 STAIR @ LANDING  
N.T.S.



12 BASE PLATE TO CONC.  
N.T.S.



10 TYP. WALL RAIL ANCHORAGE  
N.T.S.



SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

Project Information:  
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft



No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.08.21	SUPERSEDING AND PAA

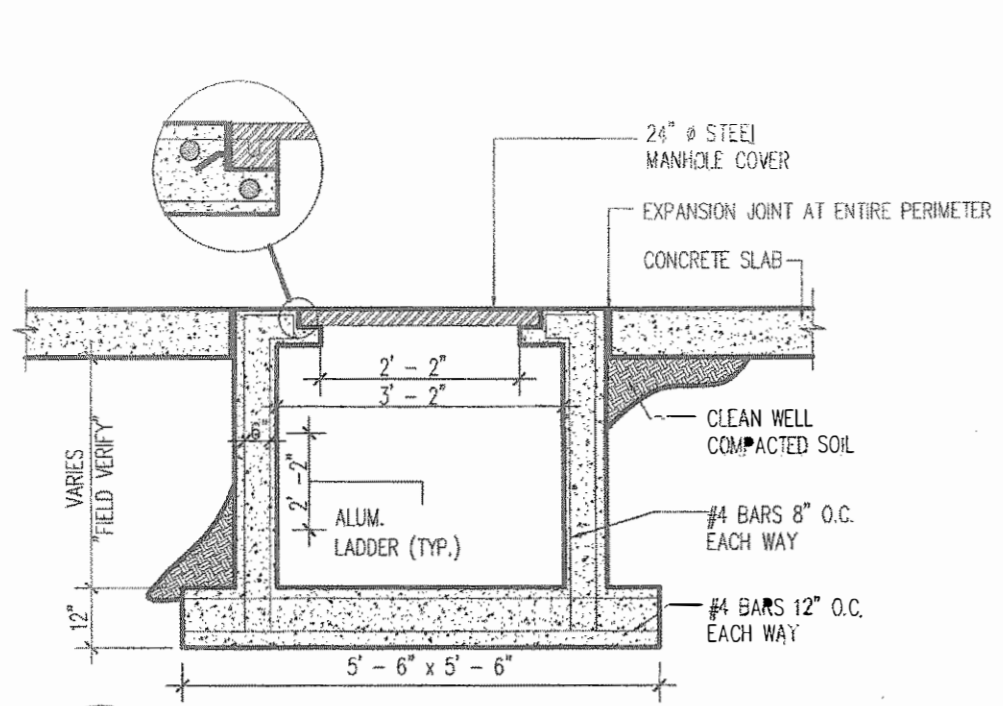
Job No: 1410  
Date: 6/26/14  
Drawn By: EA

IT IS A VIOLATION OF THE NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. THE ARCHITECT SHALL NOT HAVE CONTROL, OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. BAHARY ARCHITECTURE PC, ITS PRINCIPALS AND EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

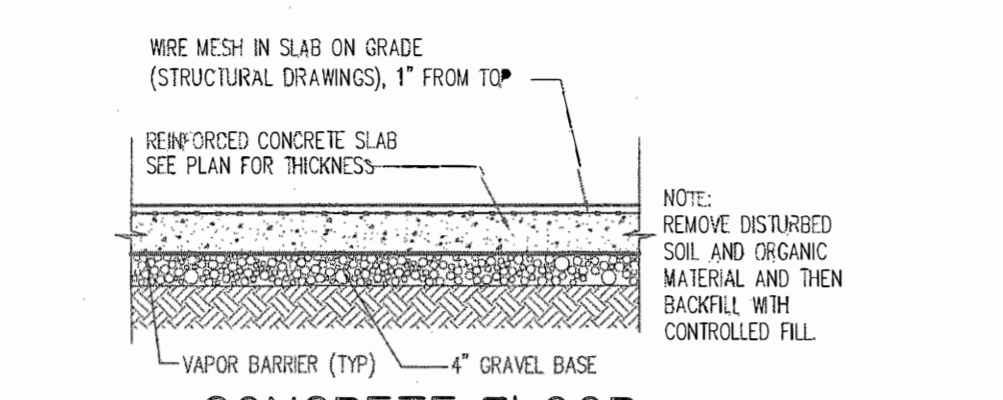
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Drawing Number: A-010.01  
10 of 13

Building Department Certification:

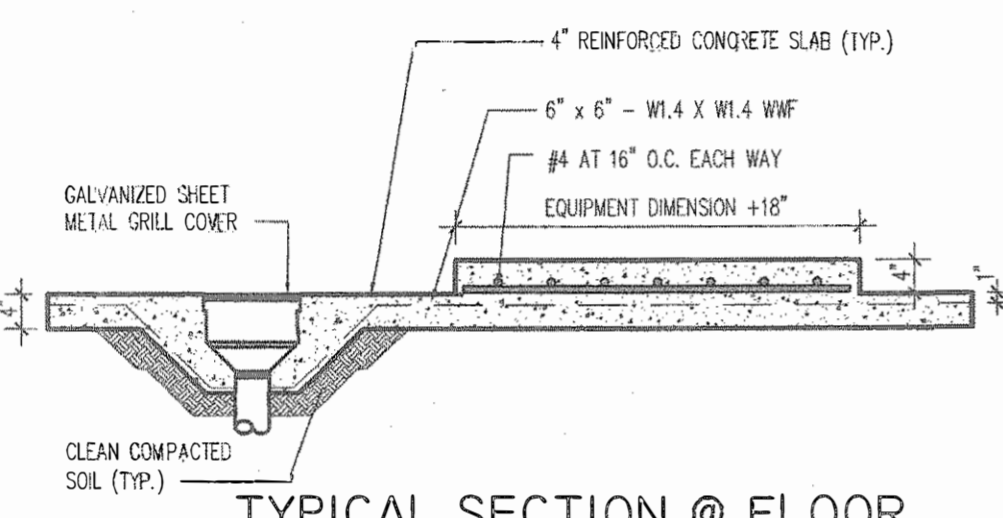




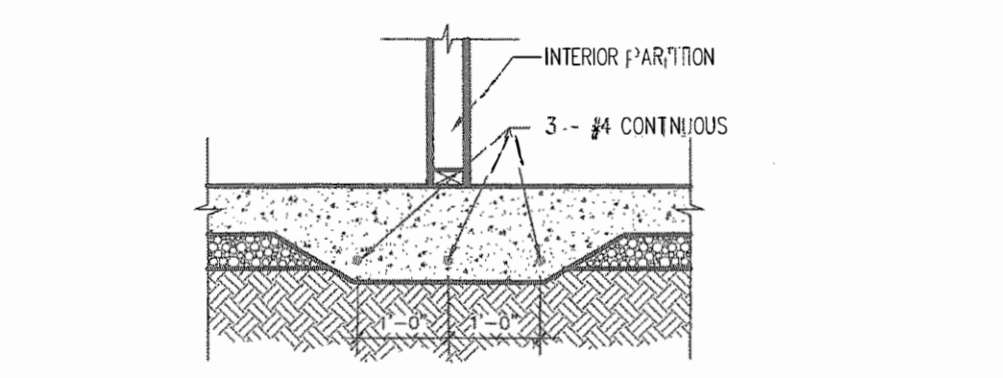
1 TYPICAL HOUSE TRAP DETAIL  
1/2" = 1'-0"



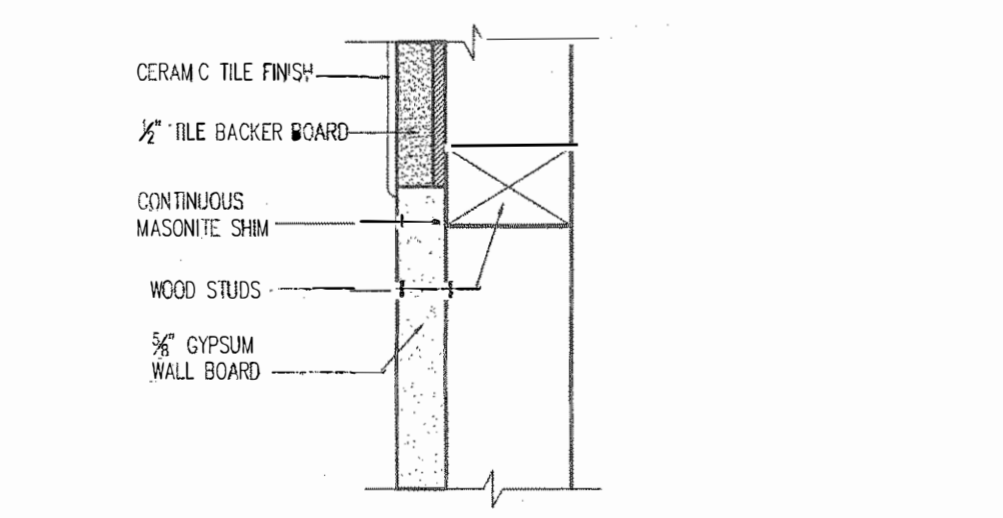
2 CONCRETE FLOOR SLAB DETAIL  
1/2" = 1'-0"



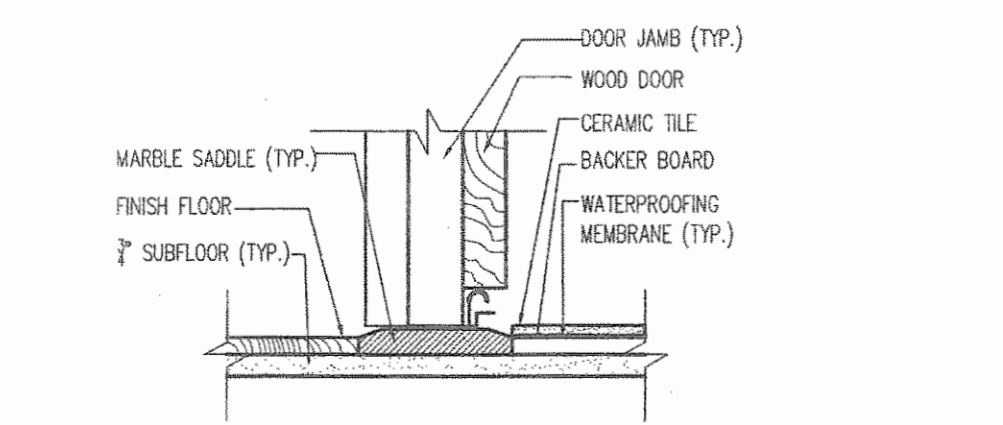
3 TYPICAL SECTION @ FLOOR DRAIN & EQUIPMENT PAD  
1/2" = 1'-0"



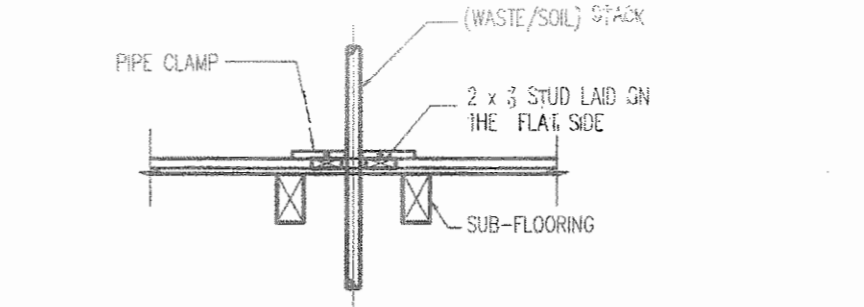
4 CONCRETE HAUNCH DETAIL  
1/2" = 1'-0"



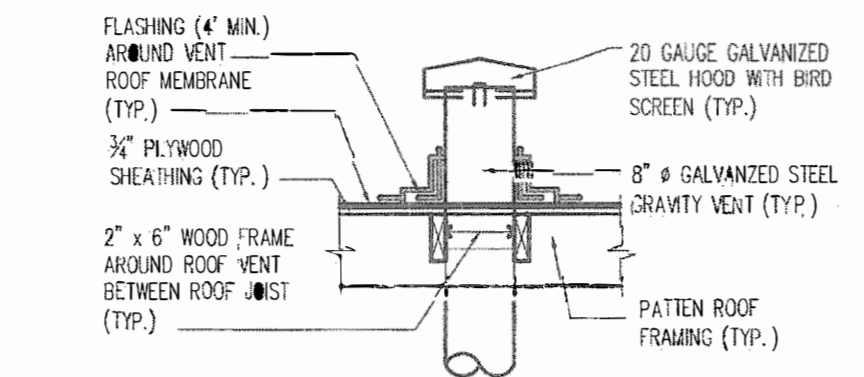
5 TYP. SECT. @ VER. JOINT BET. BACKER TILE & GYP. BD.  
1/2" = 1'-0"



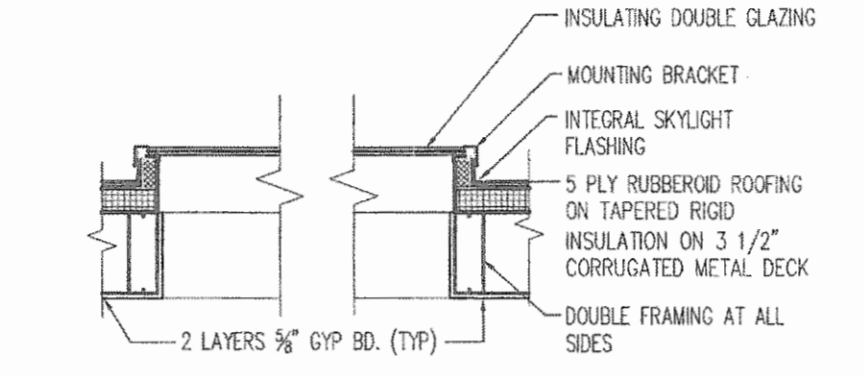
6 MARBLE SADDLE DETAIL  
N.T.S.



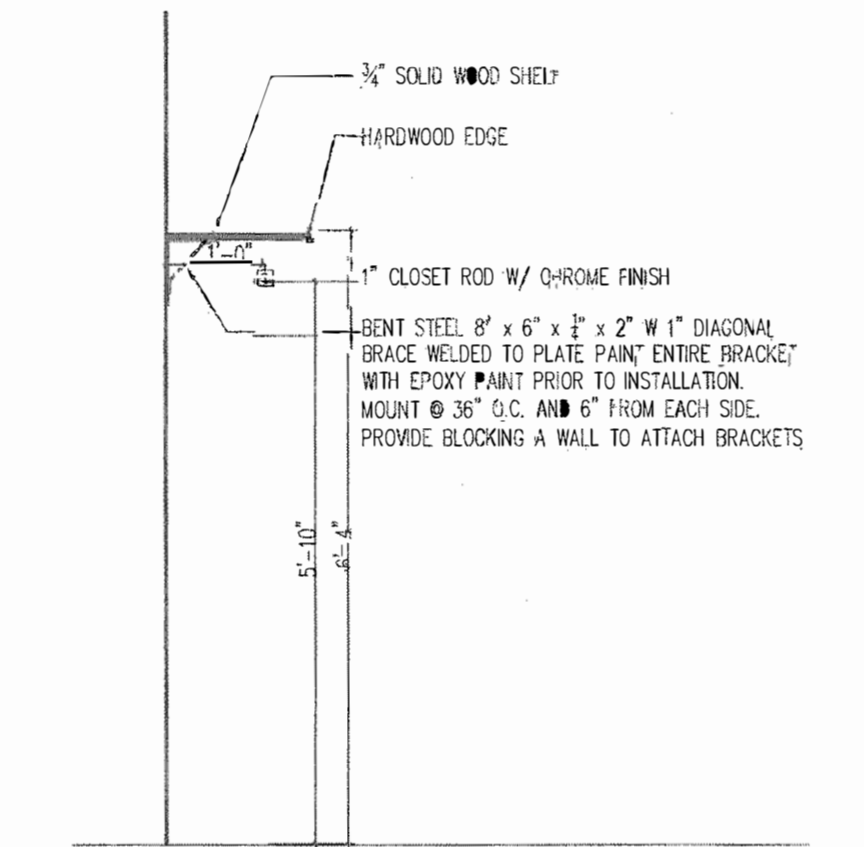
6 PLUMBING STACK SUPPORT (PER FLOOR)  
1/2" = 1'-0"



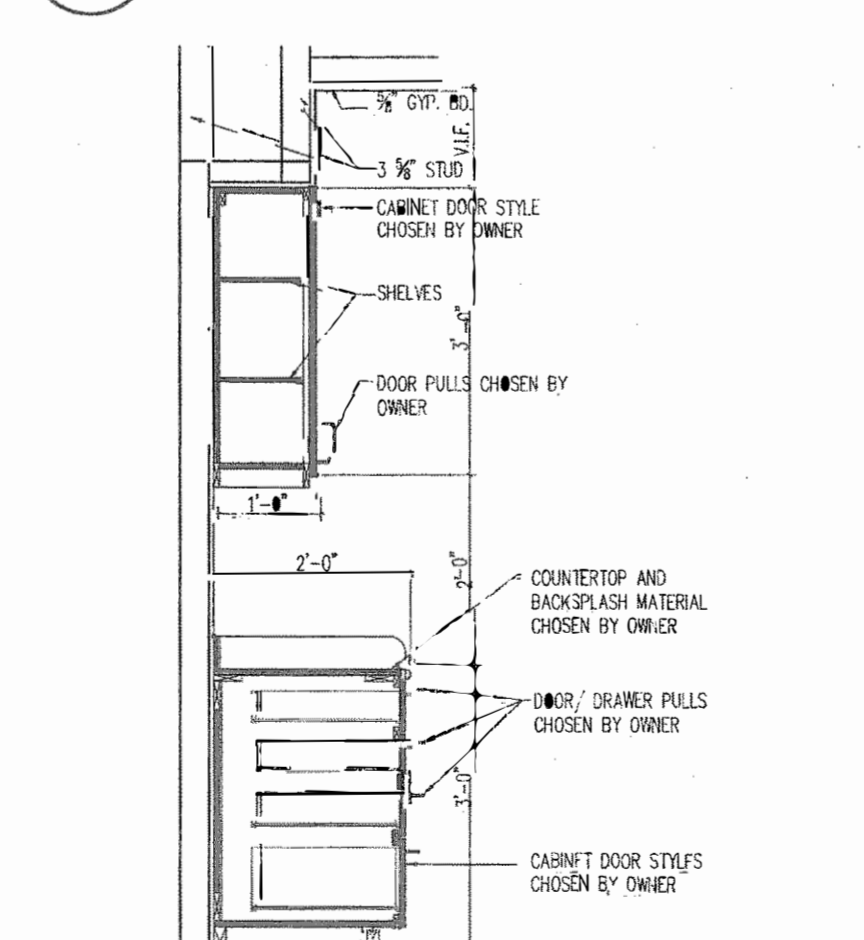
7 TYPICAL SECTION @ VENT FLASHING  
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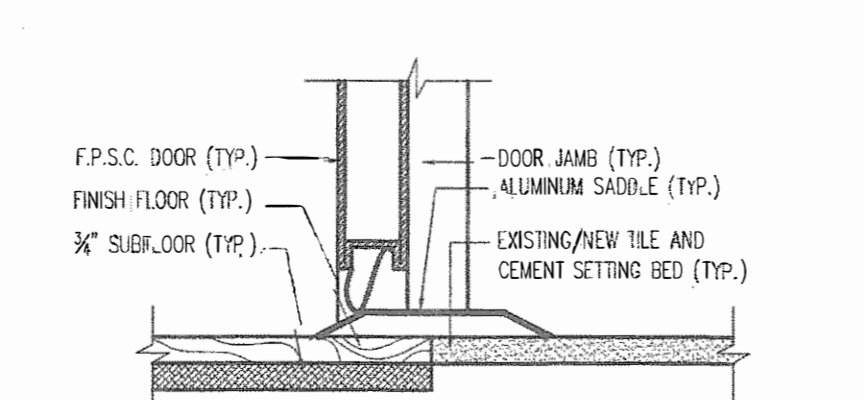
8 SKYLIGHT DETAIL  
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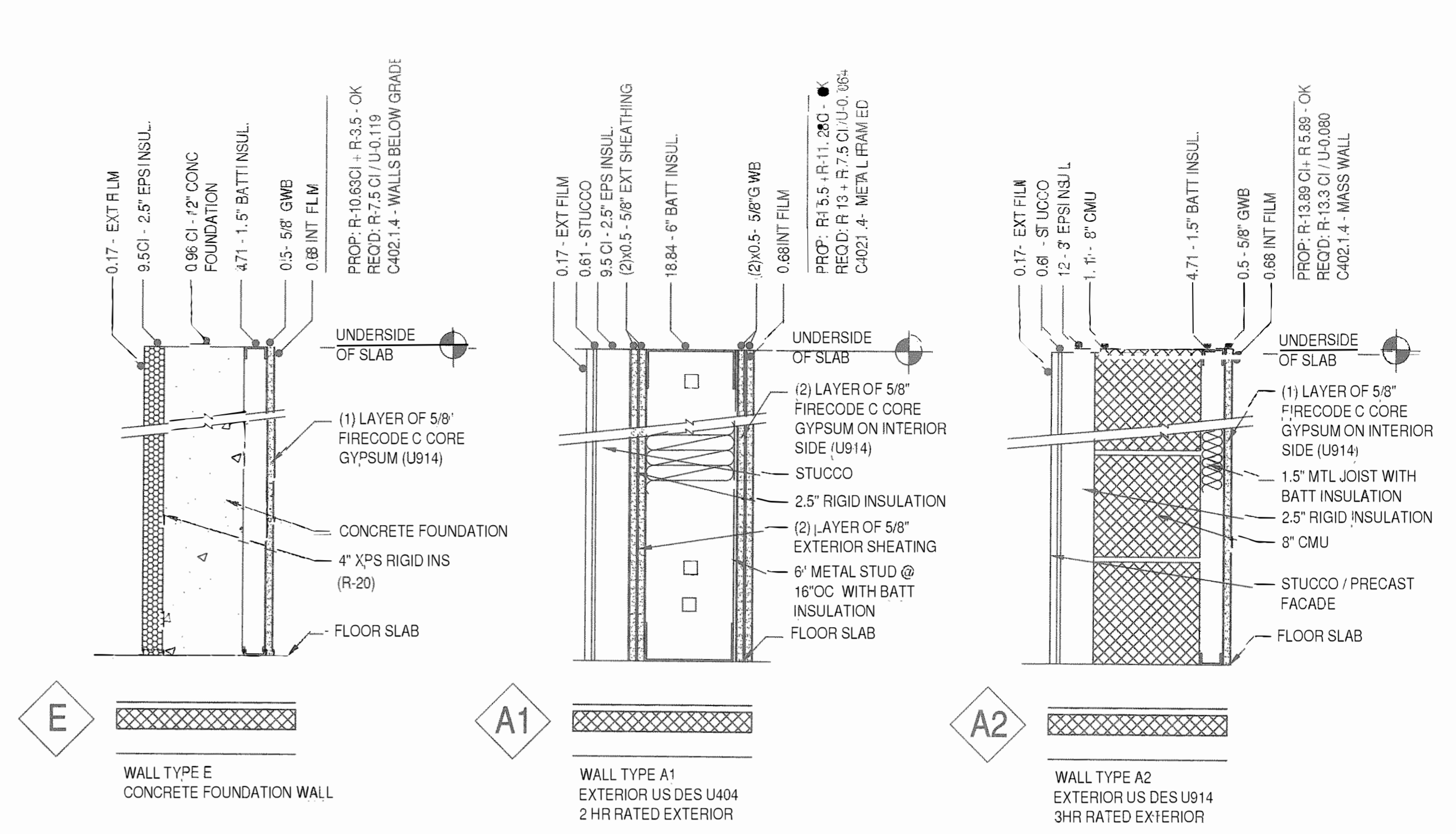
9 CLOSET SHELVING DETAIL  
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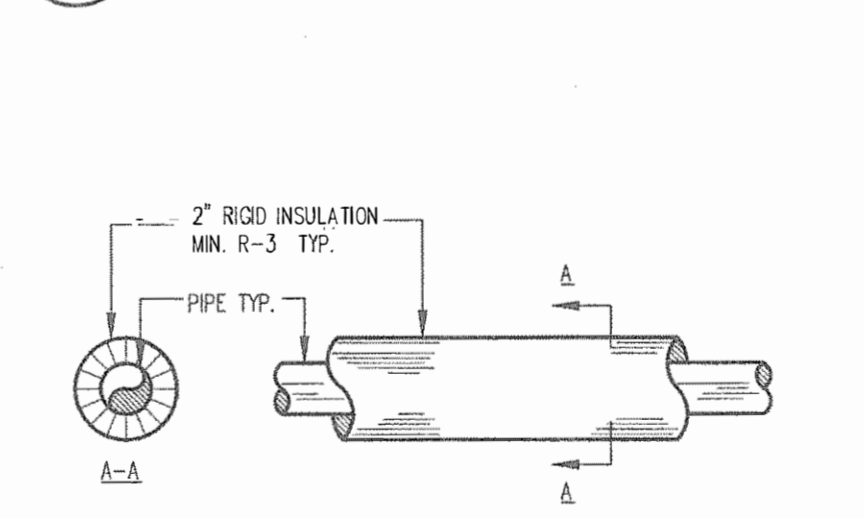
10 MILLWORK DETAILS  
1/2" = 1'-0"



11 ALUMINUM SADDLE DETAIL  
N.T.S.



12 WALL TYPES  
N.T.S.



13 TYP. PIPING INSULATION DETAIL  
N.T.S.

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

satwin architect, pc  
60-30 67 ave ridgewood ny 11385  
tel: (646) 641-8564  
info@satwinarchitect.com



Project Information:  
**Proposed New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft

No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.08.21	SUPERSEDING AND PAA

Job No: 1410  
Date: 6/26/14  
Drawn By: ER  
Drawing Number:

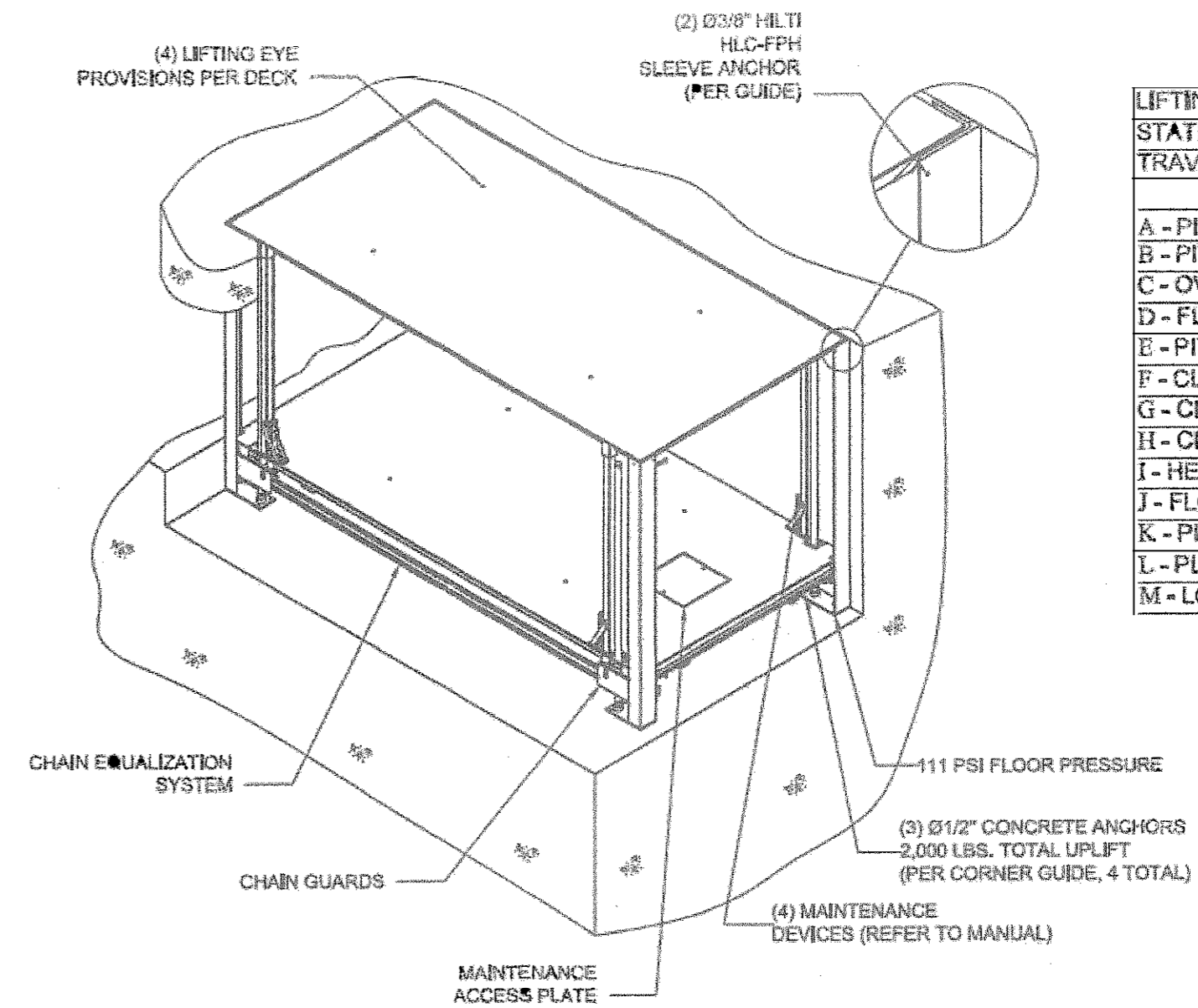
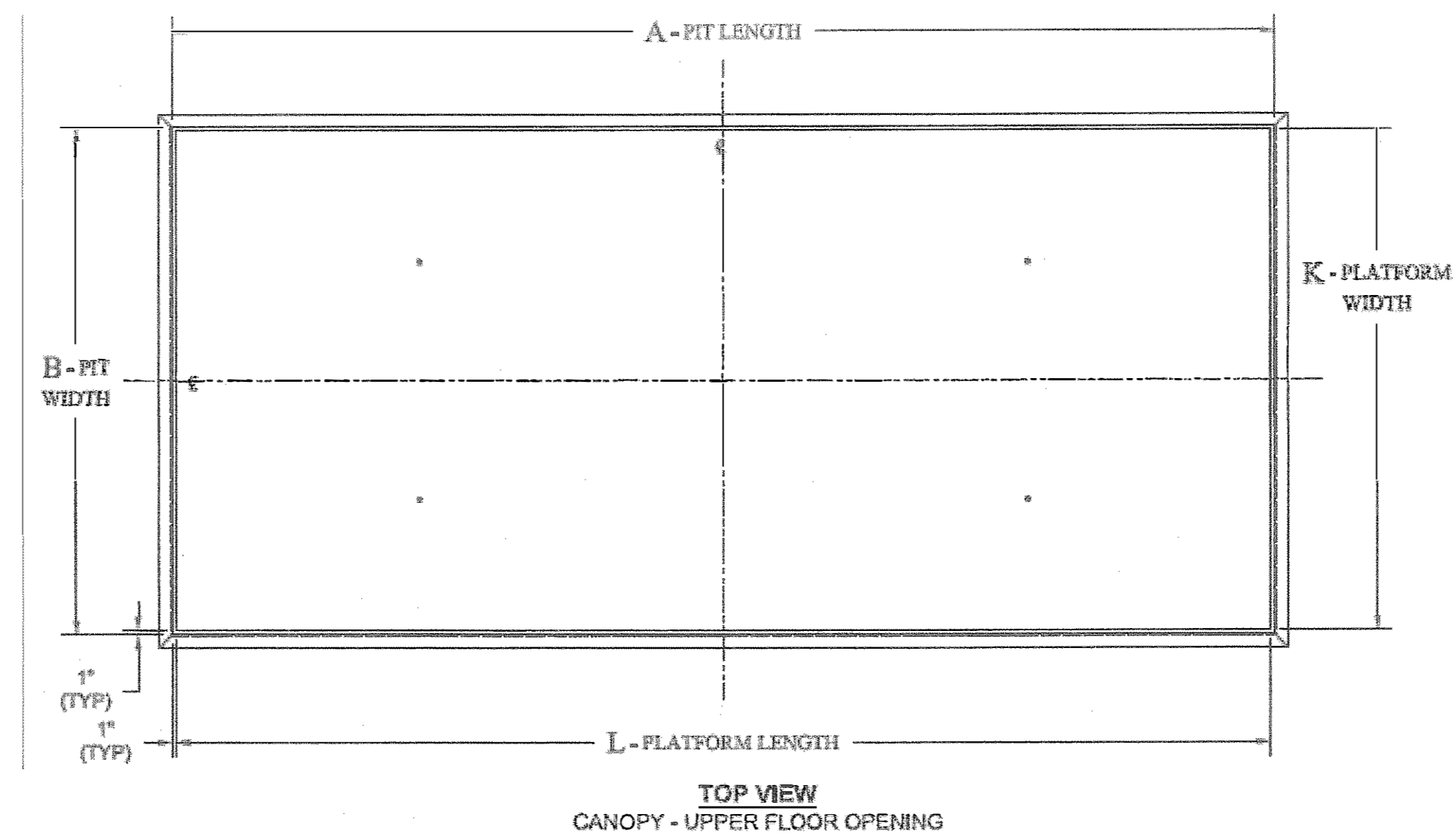
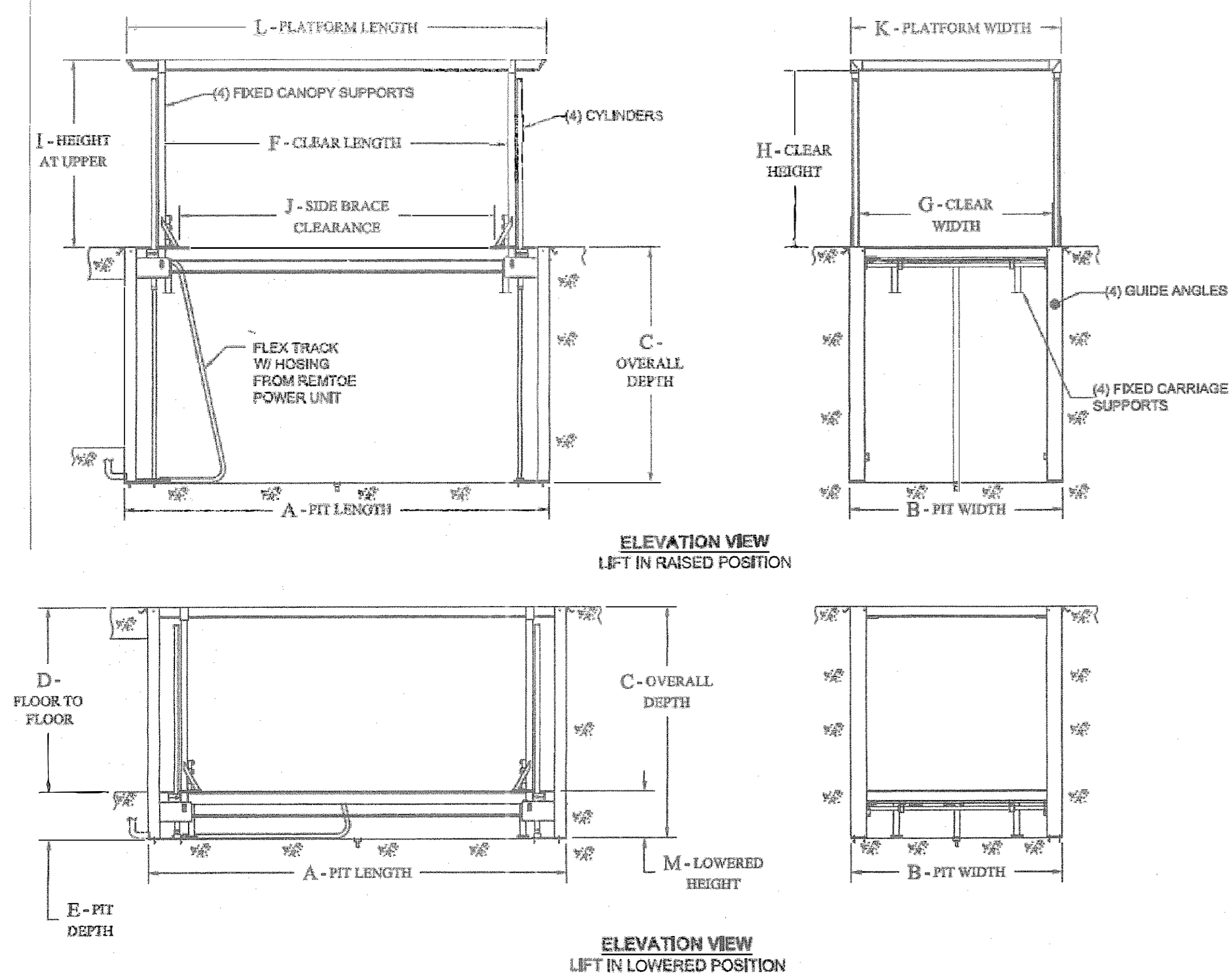
A-011.01  
11 of 13

Building Department Certification:



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# PHANTOMPARK SUBTERRANEAN LIFT DETAIL

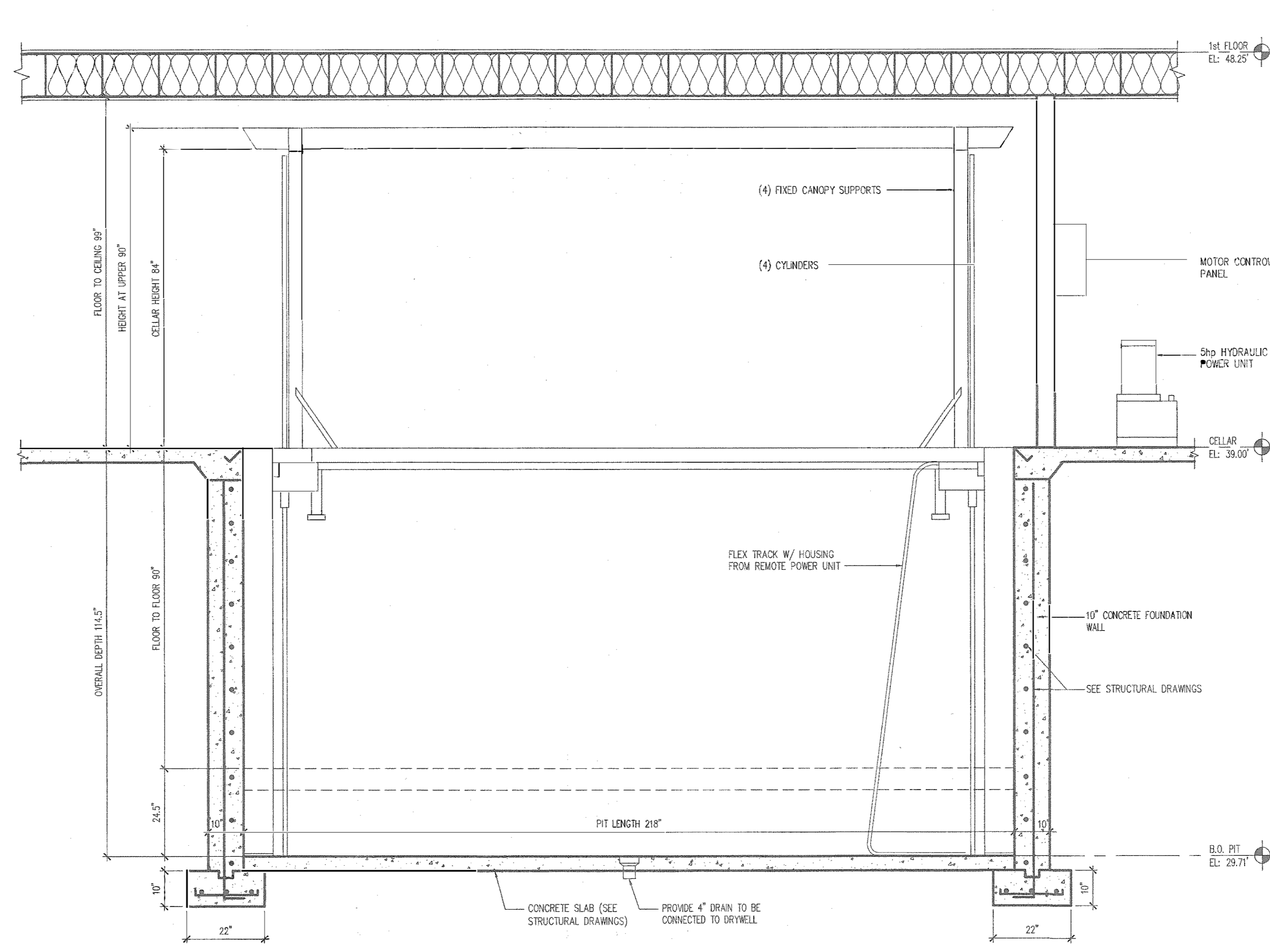
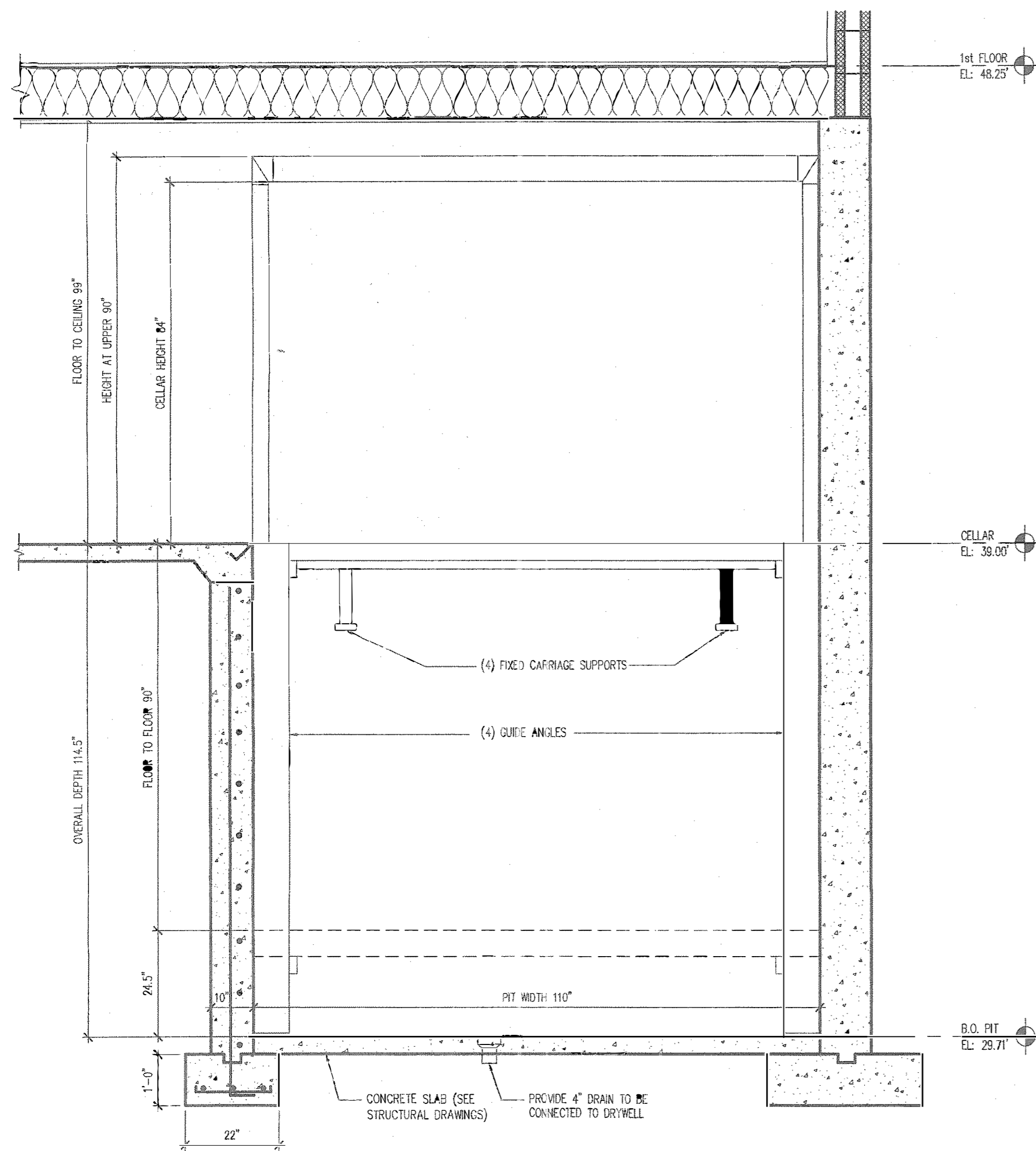


LIFTING CAPACITY:	7,000	LBS. TOTAL	218.00
STATIC CAPACITY:	7,000	LBS. PER DECK	114.50
TRAVEL:	90.00	INCHES (APPROX)	90.00

DIMENSIONS KEY	
A - PIT LENGTH	218.00
B - PIT WIDTH	110.00
C - OVERALL DEPTH	114.50
D - FLOOR TO FLOOR	90.00
E - PIT DEPTH	24.50
F - CLEAR LENGTH	176.00
G - CLEAR WIDTH	100.00
H - CLEAR HEIGHT	84.00
I - HEIGHT AT UPPER	90.00
J - FLOOR CLEARANCE	162.00
K - PLATFORM WIDTH	108.00
L - PLATFORM LENGTH	216.00
M - LOWERED HEIGHT	24.00

EQUATION KEY	
A	= L + 2"
B	= K + 2"
E	= M + 1/2"
F	= L - 40"
G	= K - 8"
H	= I - 6"
J	= L - 54"



SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.

Building Department Certification:



**SA**  
satwin architect, pc  
60-30 67 ave ridgewood ny 11385  
tel: (646) 641-8594  
info@satwinarchitect.com



Project Information:  
**Proposed**  
**New Structure**  
 576 Lenox Road, Brooklyn, NY  
 Block: 4862  
 Lot(s): 4  
 Zone: R5  
 Map#: 17b  
 Lot Size: 5,400 Sq Ft

No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

Drawing Name:  
**PHANTOM PARKING  
 DETAILS**

Job No: 1410  
 Date: 6/26/14  
 Drawn By: ER

**1** CROSS SECTION DETAIL @ PHANTOM PARKING  
 1/2" = 1'-0"

**2** LONGITUDINAL SECTION DETAIL @ PHANTOM PARKING  
 1/2" = 1'-0"

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# NOTES

### BRICK, STUCCO AND CONCRETE NOTES:

- CONSULT EXTERIOR ELEVATION FOR BRICK DESIGN, COLOR AND TEXTURE OF BRICK WILL BE CHOSEN BY OWNER. G.C. TO ASSUME UP TO 50 (FIFTY) CENTS PER BRICK.
- BRICK VENEER IS TO BE FASTENED TO METAL STUDS FRAME WALL WITH STAINLESS STEEL BRICK BOLTS.
- ALL CAST STONE COPING AND BRICK BANDS ARE TO BE CUSTOM MANUFACTURED IN COLOR TO MATCH BRICK. APPROVAL FROM ARCH IS REQUIRED PRIOR TO ORDERING. SHOP DRAWINGS ARE REQUIRED.
- STUCCO ON 2ND FLOOR EXTERIOR WALLS ARE TO BE INSTALLED ON 1-1/2" STYROFOAM BASE. COLOR TO BE CHOSEN BY OWNER.
- ALL CONCRETE PAVEMENTS AT PERIMETER OF HOUSE IS TO BE NEW, INCLUDING DRIVEWAY AND SIDEWALK.
- CONTRACTOR TO MAKE MOCK-UP OF BRICK FOR CLIENT APPROVAL PRIOR TO INSTALLATION.

### WOODWORK NOTES:

- ALL STAIRS ARE TO HAVE OAK MAHOGANY TREADS AND RISERS CONSULT OWNER PRIOR TO ORDERING.
- STYLE OF BANISTER WILL BE CHOSEN BY OWNER. G.C IS TO INCLUDE A REASONABLE ALLOWANCE IN BID FOR A WOOD OR WROUGHT IRON BANISTER.
- ALL BASE MOLDINGS ARE TO BE 'DYKES' #292, EXCEPT FOR FIRST FLOOR WHERE 'DYKES' #263 IS TO BE USED.
- ALL SHELVING OF ALL CLOSET INTERIORS IS TO BE OF 24" BIRCH PLYWOOD WITH BIRCH EDGING. G.C. IS TO INSTALL ALL RODS, DRAWERS AND SHELVES IN ALL CLOSETS AS PER DRAWINGS WHICH WILL BE SUPPLIED BY OWNER PRIOR TO INSTALLATION.
- SEE REFLECTED CEILING PLANS, FOR CROWN AND CEILING MOLDINGS.
- ALL RADIATORS ARE TO HAVE CUSTOM MANUFACTURED RADIATORS COVERS ON ALL G.C TO PROVIDE OWNER WITH SAMPLE OF RADIATOR COVER PRIOR TO MANUFACTURING.
- CONSULT OWNER AS TO INSTALLATION OF WAINSCOTING IN LIVING ROOM AND DINING ROOM. WITH CHAIR RAIL, PANEL, AND BASE MOLDING. SEE WOOD WORK DETAILS.

### FIXTURE AND BATH NOTES:

- ALL BATHROOMS ARE TO BE TILED, (FLOORS, WALLS AND CEILINGS), EXCEPT FOR FIRST FLOOR POWDER ROOM, WHERE ONLY THE FLOOR IS TO BE TILED WITH GRANITE WITH A 4" GRANITE BASE.
- ENTIRE MASTER BATHROOM (FLOORS, WALLS AND CEILING) IS TO BE CERAMIC TILE. DESIGN AND PATTERN LAYOUT BY OWNER PRIOR TO INSTALLATION.
- CERAMIC, MARBLE AND GRANITE ARE TO BE LAID ON MUD SET WITH WIRE MESH AND BUILDER'S PAPER.
- ALL BATHROOM ENTRIES ARE TO HAVE MARBLE SADDLES.
- CONTRACTOR IS TO INSTALL CERAMIC AND STONE AS PER OWNER'S SPECIFICATIONS WITH BASIC BORDERS AND INSETS. OWNER WILL SUPPLY CERAMIC AND STONE AND WILL SPECIFY ALL LAYOUTS DESIGNS PRIOR TO INSTALLATION. OWNER MUST PROVIDE G.C WITH ALL CERAMIC AND STONE LAYOUTS ON CLEARLY DRAWN DESIGN FROM INTERIOR DESIGNER OR ARCHITECT.
- ALL BATHROOM WALLS ARE TO BE WATER RESISTANT (GREEN) 5/8" GYPSUM BOARD.
- SHOWER STALL WALLS ARE TO BE OF ONE LAYER OF WONDER BOARD.
- SHOWER BASES ARE TO BE CUSTOM FABRICATED OF POURED CONCRETE ON LEAD PANS.
- CONTRACTOR IS TO PROVIDE FOR A REASONABLE ALLOWANCE IN BID FOR BATHROOM FIXTURES, FIXTURES AND HARDWARE. OWNER WILL PROVIDE G.C WITH ACTUAL FIXTURES AND FAUCETS TO BE INSTALLED.
- ALL TOILETS ARE TO BE WATER SAVER MODELS AS PER NYC CODES.
- CONSULT OWNER FOR INSTALLATION OF STEAM UNIT IN MASTER BATHROOM SHOWER.
- CONSULT OWNER FOR INSTALLATION OF ELECTRIC HEATERS OR HEAT LAMPS IN ALL BATHROOMS.
- AS PER PLAN, INSTALL NOISELESS ELECTRIC VENTILATION EXHAUST FANS IN ALL BATHROOMS, MIN. 60 CFM.
- G.C TO ASSUME ON THE INSTALLATION OF RECESSED MEDICINE CABINETS ABOVE ALL VANITIES AND IS TO MAKE CUT-OUTS AS PER OWNER'S SPECIFICATION.

### MISCELLANEOUS NOTES:

- G.C IS TO PROVIDE ALLOWANCE FOR EXTERIOR WROUGHT IRON RAILINGS INCLUDING IRON RAILING AT REAR OF PROPERTY.
- G.C IS TO INSTALL A CENTRAL VACCUME SYSTEM WITH A MINIMUM OF TWO OUTLETS ON EACH FLOOR. MOTOR IS TO BE SITUATED IN BOILER ROOM.
- OWNER IS TO ARRANGE FOR THE INSTALLATION OF ALARM, INTERCOM, AND TELEPHONE SYSTEMS. G.C WILL COORDINATE WITH SUBS AS NECESSARY.
- CONSULT OWNER AS TO THE INSTALLATION OF SOUND ATTENUATION BLANKETS SOUNDPROOF BETWEEN ALL FLOORS.

### STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE. ALL STEEL TO BE ASTM A572 HAVING A MINIMUM YIELD OF 50,000 PSI U.O.N. THUS (Y) DENOTING A36 (Y=36KSI) STEEL.
- ALSO SPECIFICATIONS FOR ALLOWABLE STRESS DESIGN (ASD) FOR STRUCTURAL STEEL IN BUILDINGS - LATEST EDITION SHALL APPLY, EXCEPT AS MODIFIED BY THE NOTES, SCHEDULES AND DETAILS SHOWN ON THE STRUCTURAL DRAWINGS OR ANY MORE RESTRICTIVE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE.
- THE FRAME SHALL BE CARRIED UP TRUE AND PLUMB AND TEMPORARY BRACING SHALL BE INTRODUCED WHEREVER NECESSARY TO RESIST ALL LOADS OPERATION OF SAME. SUCH BRACING SHALL BE THE RESPONSIBILITY OF THE STEEL CONTRACTOR AND SHALL BE LEFT IN PLACE AS LONG AS REQUIRED FOR SAFETY.
- ALL CONNECTIONS SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH AISC SPECIFICATIONS.
- ALL WELDED CONNECTIONS SHALL CONFORM TO THE BOCA BUILDING CODE. PROVISIONS SHALL BE MADE FOR FIELD INSPECTION AND TESTING OF WELDS. ALL SHOP WELDS SHALL BE TESTED BY ANY OF THE APPROVED METHODS AND SHALL BE CERTIFIED.
- ALL BOLT STEEL SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS, LATEST EDITION: HIGH STRENGTH BOLTS A-325 AND A-490, SLIP CRITICAL, U.O.N.
- ALL BOLTS SHALL BE 3/4" Ø MINIMUM ON HOLES 13/16" Ø UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
- ALL CONNECTIONS SHALL BE HIGH STRENGTH BOLTED OR WELDED. BOLTED CONNECTIONS TO HAVE MIN. 2 BOLTS.
- ALL FIELD SPLICES IF REQUIRED SHALL BE DONE AT CONTRACTORS EXPENSE.
- IN ADDITION TO MOMENT CONNECTIONS, PROVIDE AISC STANDARD SHEAR CONNECTIONS FOR ALL GRAVITY AND WIND LOADS.
- ALL SHEAR CONNECTORS SHALL BE 3/4" Ø HEADED STUDS 4-8" LONG AFTER WELDING AT 5-8" SLABS AND 7" LONG AFTER WELDING IN 8" SLABS, U.O.N.
- ALL ENDS OF COLUMNS AT SPLICES AND ALL OTHER BEARING CONNECTIONS SHALL BE MILLED TO COMPLETE TRUE BEARING.
- PROVISIONS SHALL BE MADE FOR CONNECTIONS OF OTHER TRADES INCLUDING CUTTING AND PUNCHING OF STRUCTURAL MEMBERS, WHERE REQUIRED BY THE DWGS. OR FOR WHICH INFORMATION IS FURNISHED PRIOR TO FABRICATION.
- THE USE OF A CUTTING TORCH IN THE FIELD WILL NOT BE PERMITTED.
- WELDING ELECTRODES SHALL CONFORM TO E70XX ELECTRODES.
- CONTRACTOR SHALL PROVIDE STIFFENERS PER AISC SPECIFICATION (ASD) REGARDING THE NEED FOR COLUMN STIFFENERS.
- ALL WELDERS TO BE LICENSED BY THE STATE OF NEW YORK.
- STRUCTURAL STEEL THAT WILL REMAIN EXPOSED TO VIEW SHALL BE PAINTED AS PER THE SPECIFICATIONS.
- DESIGN OF ALL TEMPORARY STEEL COLUMN BRACING REQUIRED DURING ERECTION SHALL BE THE RESPONSIBILITY OF THE STEEL CONTRACTOR.
- ALL STEEL BEAMS AND COLUMNS SHALL BE SPRAY FIREPROOFED SEE ARCH. DRAWINGS FOR APPROPRIATE RATING, AND REFER TO SPECIFICATION 0781.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR ADEQUATE COORDINATION. DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT OR ENGINEER BEFORE PROCEEDING.
- THE CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW. NO CONSTRUCTION IS TO BE STARTED UNTIL SHOP DRAWINGS ARE REVIEWED BY THE ENGINEER.
- PRIOR TO INSTALLATION OF ANCHOR BOLTS OR ANY DRILLING OF EXISTING SLAB, BEAM, WALL OR COLUMN, LOCATION OF EXISTING REINFORCING SHALL BE IDENTIFIED. NO EXISTING REINFORCING IS ALLOWED TO BE CUT OR DAMAGED DURING THE COURSE OF NEW CONSTRUCTION. CONNECTION SHALL HAVE HORIZ. SLOTTED HOLES FOR ADJUSTMENT.
- ALL BEAM SPLICES, IF REQUIRED SHALL BE DONE AT CONTRACTOR'S EXPENSE.
- ALL PIPING AND DUCK WORK TO BE HUNG FROM BEAMS ONLY

### A. EXCAVATION

- ALL FOOTINGS, PIER, GRADE BEAMS AND FOUNDATION WALLS SHALL BEAR ON 2 TON SOIL MINIMUM. BE POURED UNTIL SUBGRADE FOR SAME HAS BEEN APPROVED BY A RECORD ARCHITECT/ENGINEER AND SAME CORRECTED WITHIN 10 DAYS AFTER CONTRACT HAS BEEN AWARDED OTHERWISE CONTRACTOR WILL BE HELD RESPONSIBLE.
- WHERE THE REQUIRED BEARING MATERIAL IS NOT FOUND AT THE ANTICIPATED ELEVATION SHOWN (ELEVATION BASED ON BORING DATA) THE FOOTINGS SHALL BE LOWERED TO A DEPTH AT WHICH THE REQUIRED BEARING CAPACITY IS FOUND.
- BLASTING SHALL CONFORM STRICTLY TO ALL LOCAL AND STATE LAWS, RULES AND REGULATIONS APPLYING THERETO, AND SHALL AVOID EXCESS NOISE AND VIBRATION. AFTER CONCRETE IS PLACED NO BLASTING SHALL BE DONE WITHIN A 50 FT. RADIUS EXCEPT WHEN WRITTEN PERMISSION OF THE ENGINEER OF RECORD IS GIVEN.
- WHERE EXISTING FOOTING OR FOUNDATIONS OF ADJACENT PROPERTY IS LOWER THAN ELEVATIONS SHOWN, NEW FOUNDATIONS ARE TO BE TO SAME ELEVATION. WHERE NEW FOUNDATION IS LOWER THAN EXISTING FOUNDATIONS CONTRACTOR IS TO UNDERPIN EXISTING FOUNDATION. CONTRACTOR IS TO ESTABLISH EXISTING CONDITIONS BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER.
- ALL UNDERPINNING, SHEETING, SHORING OR OTHER CONSTRUCTION REQUIRED FOR THE SUPPORT OF ADJACENT PROPERTIES, BUILDINGS, SIDEWALKS, UTILITIES, ETC., SHALL BE SUBJECT TO CONTROLLED INSPECTION AS REQUIRED BY THE CODE. THE CONTRACTOR SHALL RETAIN A LICENSED PROFESSIONAL ENGINEER ACCEPTABLE TO THE REQUIRED INSPECTION. THE CONTRACTOR'S PROFESSIONAL ENGINEER SHALL PREPARE AND FILE THE REQUIRED FORMS FOR THE WORK WITH THE BUILDING DEPARTMENT.

### B. CONCRETE AND STEEL REINFORCEMENT

- NO CONCRETE FOOTING, FOUNDATION PIER, OR FOUNDATION WALL SHALL BE POURED UNTIL SUBGRADE FOR SAME HAS BEEN APPROVED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONCRETE SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE, U.O.N., AND COMPLY WITH A.C.I. BUILDING CODE AND THE CURRENT NEW YORK CITY BUILDING CODE.
- CONCRETE STRENGTH SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:  
 -FOOTINGS, FOUNDATION PIERS, PILE CAPS 3500 P.S.I.  
 -BUTTRESSES AND FOUNDATION WALLS 4000 P.S.I.  
 -COLUMN PIERS 4000 P.S.I.  
 -SLAB ON GROUND\* 3500 P.S.I.  
 ALL CONTROLLED CONC. SHALL COMPLY WITH THE A.C.I. BLDG. CODE. APPLICATION FOR CONTROLLED CONC. TOGETHER WITH CONC. TESTS OF PRELIMINARY DESIGN MIX, SHALL BE FILED WITH BLDG. DEPT. BEFORE CONC. CONSTRUCTION HAS STARTED.
- ALL STEEL REINFORCEMENT SHALL HAVE AN ULTIMATE TENSILE STRENGTH OF 90,000 PSI AS PER A.S.T.M. A615-83 GRADE 60. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE NECESSARY CHAIRS, REBARS, TIES, SPACERS, ETC., TO SECURE AND SUPPORT THE REINFORCING WHILE PLACING THE CONCRETE.
- ALL BARS MARKED CONTINUOUS, SHALL BE LAPPED 36 DIAMETERS AT SPLICES AND CORNERS EXCEPT AS OTHERWISE SHOWN ON PLANS. LAP CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AND BOTTOM BARS AT SUPPORTS. HOOK TOP BARS AT DISCONTINUOUS ENDS.
- VERTICAL CONSTRUCTION JOINTS IN ALL WALLS SHALL BE USED ONLY IF UNAVOIDABLE, OR UNLESS OTHERWISE NOTED, AND TO BE LOCATED AT LEAST 4'-0" FROM ANY SUPPORTING COLUMN OR WALL OPENING. DISTANCE BETWEEN JOINTS IN WALL SHALL BE ALLOWED AS PER SPECIFICATIONS. NO HORIZONTAL CONSTRUCTION JOINTS WILL BE ALLOWED IN GRADE BEAMS.
- IN NO CASE SHALL TRUCKS, BULLDOZERS, OR OTHER HEAVY EQUIPMENT BE PERMITTED CLOSER THAN 6'-0" FROM FOUNDATION WALLS UNLESS APPROVED BY THE ENGINEER.
- TEMPORARY BRACING SHALL BE PROVIDED FOR ALL BUTTRESSES, WHERE BUTTRESSES DO NOT EXIST OR SPACING BETWEEN BUTTRESSES EXCEED 25 FEET, AND WHERE THE DIFFERENCE IN LEVEL BETWEEN INSIDE AND OUTSIDE GRADE IS MORE THAN 4'-0", INTERMEDIATE BRACING SHALL BE PROVIDED, WHERE RAMPS OCCUR, THE GRADE ELEVATION OUTSIDE OF RAMP WALLS SHALL BE USED IN FIGURING THE DIFFERENCE IN LEVEL. CORNER BUTTRESSES NEED NOT BE BRACED. NO BACKFILLING IS TO BE DONE BEFORE ALL SLABS BRACING WALLS ARE IN PLACE UNLESS APPROVED BY THE ENGINEER. PROVIDE TEMPORARY BRACING FOR ALL PIERS AND PUMP PITS.
- CONTRACTOR TO INSTALL ALL PIPE SLEEVES, BOXED OPENINGS, ANCHOR BOLTS, ETC., AS REQUIRED FOR THE VARIOUS TRADES. WALL POCKETS TO RECEIVE BEAMS AND SLABS SHALL BE PROVIDED AS REQUIRED FOR THE SUPERSTRUCTURE. SHOP DRAWINGS SHOWING THE POSITION OF OPENINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER PRIOR TO PLACING CONCRETE.
- MINIMUM COVER FOR REINFORCING STEEL SHALL BE -w" FOR INTERIOR SLABS AND INTERIOR WALL SURFACES; 1-8" FOR BEAMS, GIRDERS, AND COLUMNS (TIES, STIRRUPS OR PRIMARY REINFORCEMENT). FOR ALL CONCRETE EXPOSED TO WEATHER AND EARTH FILL, COVER SHALL BE 2" (1-8" FOR STIRRUPS). FOR CONCRETE PLACED AGAINST EARTH, MINIMUM COVER SHALL BE 2".
- ALL SLABS ON GROUND (AREAWAYS, RAMPS, ETC., INCLUSIVE) SHALL BE 5" THICK, U.O.N., REINF. WITH WELDED WIRE FABRIC 6x6-W1.4xW1.4. MINIMUM YIELD STRENGTH 70,000 PSI AND PLACED 1" BELOW TOP OF SLAB.
- ALL SLABS ON GROUND, U.O.N., TO BE POURED ON 6" MIN. GRAVEL BED WITH 9 MIL POLYETHYLENE FILM IN BETWEEN THE GRAVEL BED (POLYETHYLENE TO BE 3" BELOW TOP OF GRAVEL BED). THE SLABS SHALL BE PLACED IN ALTERNATE PANELS NOT EXCEEDING 1,200 SQ. FT. BETWEEN KEED CONSTRUCTION JOINTS, BUT NO DIMENSION OF THE PANEL IS TO EXCEED 40 FEET.
- FOR PIER SIZES SEE STRUCTURAL DRAWINGS. WHERE PIER IS REQUIRED BUT NOT SHOWN ON PLANS THE SIZE OF THE PIER SHOULD BE 4" LARGER ON EACH SIDE THAN THE COLUMN ABOVE WITH A MINIMUM PIER SIZE OF 24" X 24".
- WHERE A PIER IS INDICATED ON THE FOUNDATION PLAN BUT ELIMINATED IN THE FIELD (GOOD MATERIAL, HIGHER THAN ASSUMED) THE ENGINEER SHALL BE NOTIFIED AS DEPTH OF FOOTING MAY NEED TO BE INCREASED.
- THE CONTRACTOR MUST SUBMIT REINFORCING SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW. NO CONSTRUCTION IS TO BE STARTED UNTIL THE SHOP DRAWINGS ARE REVIEWED BY THE ENGINEER.
- THE STRUCTURAL ENGINEER OR HIS FIELD QUALIFIED REPRESENTATIVE MUST CHECK AND APPROVE ALL STEEL REINFORCING PRIOR TO CONCRETE PLACEMENT.
- PRELIMINARY TESTS OF CONCRETE SHALL BE FILED ON THE SPECIAL AMENDMENT FORM DESIGNED FOR THIS PURPOSE. NO CONCRETE IS TO BE PLACED BEFORE SUCH AN AMENDMENT IS APPROVED.
- LABORATORY TESTS COVERING A PERIOD NOT TO EXCEED TEN DAYS PLACING OF CONC. SHALL BE FILED ON THE SPECIAL AMENDMENT FORM DESIGNATED FOR THIS PURPOSE.

### C. CODES AND TESTS

- THIS STRUCTURE HAS BEEN DESIGNED UNDER THE PROVISIONS OF THE NEW YORK STATE BUILDING CODE AS AMENDED AND A.C.I. 318-83.
- ALL CONTROLLED CONCRETE SHALL COMPLY WITH THE A.C.I. 318-83 BUILDING CODE. APPLICATION FOR CONTROLLED CONCRETE WITH CONCRETE TESTS AND CURVES OF TESTS FOR THE PRELIMINARY DESIGN MIX PREPARED BY AN APPROVED LABORATORY MUST BE SUBMITTED TO THE ENGINEER FOR FILING WITH THE BUILDING DEPARTMENT. NO CONCRETE SHALL BE PLACED WITHOUT THE DESIGN MIX BEING APPROVED BY THE BUILDING DEPARTMENT.
- DESIGN AND CONSTRUCTION OF FORMWORK IS TO COMPLY WITH THE A.C.I. 318-83 BUILDING CODE AND NEW YORK STATE BUILDING CODE AS AMENDED.

### D. MISCELLANEOUS NOTES

- CONTRACTOR TO SAW CUT THE SLAB ON GRADE IMMEDIATELY AFTER FINISH WORK. NOT TO EXCEED 20" 9" O/C (TYP.)
- CONTRACTOR TO SUBMIT LOCATION OF CONSTRUCTION AND CONTROL JOINTS PRIOR TO PLACEMENT OF CONCRETE FOR ARCHITECTS APPROVAL.
- FOR TYPICAL DETAILS OF CONSTRUCTION AND CONTROL JOINTS SEE DRAWING FS-201. FOUNDATION NOTES:  
 1) TOP OF SLAB ELEV. TO BE 12'-F8" U.O.N. THUS ±. ON PLAN INDICATING DISTANCE ABOVE OR BELOW GRADE.  
 2) SLAB ON GRADE SHALL BE 5" (U.O.N. ON PLAN) THICK FC-3500 CONCRETE REINFORCED WITH 6x6-W1.4xW1.4 WWF OVER 9 MIL VAPOR BARRIER OVER 6" POROUS FILL MAX. PLACEMENT TO BE 1200 SQ. FT.  
 3) TOP OF FOOTING ELEVATIONS TO BE 1'-F0" BELOW TOP OF SLAB U.O.N. THUS (...) ON PLAN INDICATING BOTTOM OF FOOTING ELEVATION. TOP OF WALL ELEVATION INDICATED THUS <.....> ON PLAN.

### PLUMBING NOTES:

- ENTIRE PLUMBING SYSTEM IS TO BE NEW. ALL PLUMBING WORK IS TO BE PERFORMED BY LICENSED PLUMBER AND IS TO CONFORM TO ALL NYC CODES AND REGULATIONS.
- INSTALL NEW 1-1/2" COPPER WATER MAIN FROM CITY WATER LINE INTO HOUSE.
- INSTALL ONE 100 GALLON HIGH RECOVERY HOT WATER TANK BY A.O. SMITH IN CELLAR BOILER ROOM. CONSULT OWNER AS TO ADDING AN ADDITIONAL 75 GALLON HOT WATER TANK.
- INSTALL TWO EXTERIOR HOSE SPOIGOTS, ONE AT FRONT, AND ONE AT REAR OF HOUSE, AND ONE AT SIDE OF HOUSE.
- INSTALL NEW AUTOMATIC LAWN SPRINKLERS FOR REAR GARDEN
- EXISTING SEWER LINE TO STREET IS TO BE REPLACED, IF NECESSARY.

### SPECIFICATIONS:

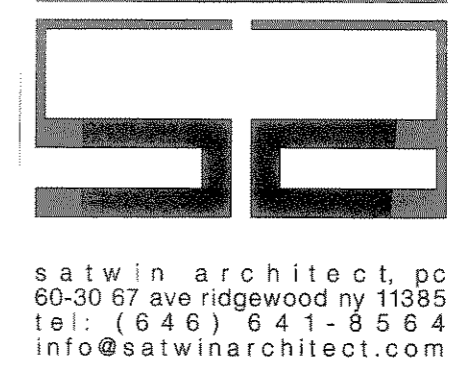
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONDITIONS AT JOB SITE. ANY DISCREPANCIES OR OMISSIONS FROM PLANS AND/OR SPECIFICATIONS MUST BE CALLED TO THE ATTENTION OF THE RECORD ARCHITECT/ENGINEER AND SAME CORRECTED WITHIN 10 DAYS AFTER CONTRACT HAS BEEN AWARDED OTHERWISE CONTRACTOR WILL BE HELD RESPONSIBLE.
- NO WORK TO COMMENCE UNTIL APPROVAL HAS BEEN OBTAINED FROM THE BUILDINGS DEPARTMENT AND ALL NECESSARY PERMITS HAVE BEEN SECURED.
- CONTRACTOR AND/OR RESPECTIVE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL COLLAPSES, DISTORTIONS AND MISALIGNMENT ACCORDING TO ALL APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICES.
- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF ASTM SPECIFICATIONS WHERE APPLICABLE AND SHALL CONFORM INSTITUTES (ACI, AISC, SJI, ETC.) ARE APPLICABLE. ALL MATERIALS USED IN CONNECTION WITH THIS PROJECT MUST BE NEW MATERIALS UNLESS SPECIFIED OTHERWISE.
- ALL BRICK AND FRAMED WALLS SHALL BE TIED TOGETHER WITH STAINLESS STEEL H88 SEISMIC VENEER ANCHORS, #345 5V, 12 GA. AT EVERY 16" O.C. VERTICALLY AND 48" O.C. HORIZONTALLY.
- ALL BATHROOMS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES AS WELL AS WITH THE NEW YORK STATE BUILDING CODES.
- RECORD ARCHITECT/ENGINEER ARE NOT RESPONSIBLE FOR SUPERVISION, INSPECTION OR ADMINISTRATION OF THIS PROJECT.
- ALL CONCRETE SHALL BE 3,000 PSI, 28 DAY TEST MINIMUM
- FOUNDATIONS AND FOOTINGS SIZED FOR BEARING ON VIRGIN SOIL AT MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT WITH A MINIMUM OF 3'-0" OF COVER
- ALL WOOD FRAMING INCLUDING JOISTS, BEAMS, POSTS, STUDS, ETC. TO BE DOUGLAS FIR NO.2 OR BETTER WITH:  
 Fb = 850 PSI, SINGULAR  
 Fb = 1150 PSI, REPETITIVE  
 NOTE: PROVIDED SEISMIC AND HURRICANE TIES FOR ALL EXTERIOR FRAMING CONNECTIONS, SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- ALL HEADERS TO BE SUPPORTED BY 4" X 4" POST (TYP.)
- PROVIDE DOUBLE HEADERS AND TRIMMERS AT ALL STAIR AND FLOOR OPENINGS AND UNDER ALL POSTS AND PARTITIONS RUNNING PARALLEL TO SAME.
- BRIDGING TO BE EITHER SOLID OR 1" X 3" OR 18 GA. CROSS BRIDGING
- ALL HEADERS TO BE (2) 2" X 8" UNLESS OTHERWISE NOTED.
- ALL TOP AND BOTTOM EDGES OF JOISTS MAY BE NOTCHED NOT TO EXCEED 2".
- ALL WINDOWS AND EXTERIOR DOOR OPENINGS WHERE BRICK VENEER OCCURS MUST BE PROVIDED WITH GALV. 3-1/2" X 5" X 5/16" STEEL LINTEL AT HEADER.
- JOISTS HANGERS, ETC. TO BE "TECO", "SIMPSON" OR EQUAL FOR ALL FLUSH STRUCTURAL CONNECTIONS.
- THE EXTERIOR SURFACE OF ALL FOUNDATION WALLS BELOW GRADE (EXCEPT SLAB AREAS) SHALL BE WATERPROOFED WITH AN ELASTIC COAL TAR BASE, SELF PRIMING BITUMINOUS PLASTIC CEMENT.
- FOUNDATION DRAIN TILE, 4" ø MIN. SET IN GRAVEL. MUST BE PROVIDED AROUND THE EXTERIOR PERIMETER SIDE OF ALL FOOTING, ± 4" BELOW CONCRETE SLAB.
- SMOKE-DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION 1080.10 OF NYS BUILDING CODE SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA, IN EACH SLEEPING SPACE AND ON EACH FLOOR LEVEL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE.

### CONSTRUCTION NOTES:

- ALL DIMENSIONS ARE TO FACE OF GYP. BD. AND CENTERLINE COLUMNS, UNLESS SPECIFICALLY OTHERWISE NOTED.
- DO NOT SCALE THE DRAWINGS, USE REFERENCED OR NOTED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE.
- WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTIONS SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS AND CASES OF CONSTRUCTION ON THIS PROJECT

Building Department Certification:

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.



No.	Date	REVISION
1	11.14.16	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

Project Information:  
**Proposed New Structure**  
 576 Lenox Road, Brooklyn, NY  
 Block: 4862  
 Lot(s): 4  
 Zone: R5  
 Map#: 17b  
 Lot Size: 5,400 Sq Ft

Drawing Name:  
**NOTES**

Job No: 1410  
 Date: 6/26/14  
 Drawn By: ER  
 Drawing Number:

IT IS A VIOLATION OF THE NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. THE ARCHITECT SHALL NOT HAVE CONTROL, OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. BAHARY ARCHITECTURE PC, ITS PRINCIPALS AND EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

**A-013.01**  
 13 of 13

# ENERGY ANALYSIS FOR NEW BUILDING

2011 ECCNY CHAPTER 5  
COMMERCIAL - CLIMATE ZONE 4

Commercial Building Thermal Envelope					
502.2 Opaque Assemblies					
NYCECC Citation	Provision	Item Description	Proposed Design Value	Code Prescriptive Value	Supporting Documentation
502.1.2 or 502.2(1)	Roof Assembly - Attic and Other	Batt insulation in ceiling of garage, 3rd & 4th floor	Batt insulation (R-38) Rigid insulation (R-2)	R-38	A-008 (Sections) A-009 (Wall Section Details)
502.1.2 or 502.2(1)	Walls, Above-grade: Mass	CMU wall with EIFS exterior.	2.5" EPS insulation board (R-9.5ci)	R-9.5ci	A-001 (Wall Legends) A-008 (Sections) A-009 (Wall Section Details) A-011 (Wall types)
502.1.2 or 502.2(1)	Walls, Above-grade: Metal framed	6" steel stud walls, with EIFS or fiber cement siding exterior.	2" EPS insulation board (R-7.5ci) and batt insulation (R-13)	R-13 + R-7.5ci	A-001 (Wall Legends) A-008 (Sections) A-009 (Wall Section Details) A-011 (Wall types)
502.1.2 or 502.2(1)	Below-grade walls	Thermal insulation at foundation walls	1.5" Extruded Polystyrene (XPS) (R-7.5ci)	R-7.5ci	A-001 (Wall Legends) A-008 (Sections) A-009 (Wall Section Details) A-011 (Wall types)
502.1.2 or 502.2(1)	Floors: Mass	Thermal insulation at cellar floor	2" Extruded Polystyrene (XPS) (R-10.6ci)	R-10.6ci	A-008 (Sections) A-009 (Wall Section Details)
502.1.2 or 502.2(1)	Opaque Doors, Swinging	Fourth floor terrace door	Door type B: U = 0.3	U = 0.7	A-003 (Schedules) A-006 (Elevations)
502.3 Fenestration					
502.3	Window to wall ratio (WWR)	Windows above grade walls	19%	40%	A-003 (Schedules) A-006, A-007 (Elevations)
502.3	Vertical Fenestration, Metal Framing with or without thermal break U Value, SHGC, PF	Aluminum windows with double glass low-e	Window types A+B+C+D+E+F: U = 0.30, SHGC = 0.29	U = 0.40, SHGC = NR	A-003 (Schedules) A-006, A-007 (Elevations)
502.3	Glazed Doors, Metal Framing with or without thermal break U Value & SHGC	Aluminum glazed front entry door with double glass low-e	Door type A: U = 0.30, SHGC = 0.29	U = 0.60, SHGC = 0.40	A-003 (Schedules) A-006 (Elevations)
502.3	Skylight to roof ratio (SRR)	Skylight at roof	0.02%	3%	A-003 (Schedules) A-004 (Roof Plan)
502.3	Skylight U Value & SHGC	Aluminum skylight with double glass low-e	Skylight type G: U = 0.53, SHGC = 0.35	U = 0.60, SHGC = 0.40	A-003 (Schedules) A-004 (Roof Plan)
502.4 Air Leakage					
502.4.1	Window and door assemblies	Aluminum windows Aluminum glazed entry door Insulated metal entry door	Window types A+B+C+D+E+F: 0.1 Door type A: 0.1 Door Type B: 0.1	Max. air leakage = 0.30 cfm/SF	A-003 (Schedules) A-006, A-007 (Elevations)
502.4.3	Continuous Air Barrier	Expandable spray-applied polyurethane foam sealant, continuous @ window and door rough openings.	Expandable spray-applied polyurethane foam sealant, continuous @ window and door rough openings.	A continuous air barrier shall be installed: sealing all seams, openings and penetrations of the building and shall be sealed with caulking materials or closed with gasketing systems compatible with the construction materials and location.	A-003 (Schedules) EN-001 (General Notes)
502.4.4	Outdoor intakes and exhaust openings	New vents and air intakes.	All new vents and air intakes to be provided with Class I motorized, leakage-rated damper with a max leakage rate of 4 cfm/sf at 1.0 in. wg.	Stair and elevator shaft vents and other outdoor air intakes and exhaust openings integral to the bldg envelope shall be equipped with not less than a Class I motorized, leakage-rated damper with a max leakage rate of 4 cfm/sf at 1.0 in. wg.	EN-001 (General Notes)
502.4.6	Vestibules	5.0' deep vestibule @ building entrance. Two sets of swinging doors with self-closers.	5.0' deep vestibule @ building entrance. Two sets of swinging doors with self-closers.	Vestibule provided at door separating conditioned space from the exterior	A-002 (First Floor Plan) A-003 (Schedules)
502.4.7	Recessed lighting.	Recessed luminaires in the thermal envelope to be weather sealed	Recessed luminaires in the roof & garage ceiling assembly sealed to 1cfm air movement	Recessed luminaires installed in the building thermal envelope shall be sealed to maximum air leakage 2cfm.	EN-001 (General Notes)
502.5.3	Minimum clear air spaces and vented openings for vented cladding.	Stucco / Fiber cement air space and vented cladding.	Stucco with a 3/8" clear airspace with 3/8" continuous slot vent openings at the top and bottom of each wall. Fiber cement siding either a 1/4" clear airspace; or alternatively a 1/4" gap between the horizontal siding laps.	Stucco with a 3/8" clear airspace with 3/8" continuous slot vent openings at the top and bottom of each wall. Fiber cement siding either a 1/4" clear airspace; or alternatively a 1/4" gap between the horizontal siding laps.	A-009 (Wall Section Details)
COMMERCIAL Building Mechanical Systems					
503 Building Mechanical Systems					
503.2.3 HVAC Equipment Performance Requirements					
503.2.3(3)	Packaged Terminal Air Conditioners and Packaged Terminal Heat Pumps	Electric PTAC by "Friedrich" in living rooms + bedrooms	Cooling mode: 13 EER Heating mode: 3.6 COP	Cooling mode: 12.5 EER Heating mode: 3.2 COP	A-002 (First Floor Plan) A-003 (Schedules)
503.2.4 HVAC System Controls					
503.2.4.1	Thermostatic Controls	Thermostats/humidistats for mechanical zones	Thermostats/humidistats in living rooms + bedrooms	Minimum one thermostat/humidistat required per zone	A-001 (Legends) A-002 (1st Floor Plan) A-003 (2nd & 3rd Floor Plan) A-004 (4th Floor Plan)
503.2.4.3.1	Thermostatic Setback capabilities	All zones	Each thermostat will be programmable to meet requirements	Controls shall have ability to setback temperatures down to 55 degrees F, or up to 85 degrees F.	A-001 (Legends) A-002 (1st Floor Plan) A-003 (2nd & 3rd Floor Plan) A-004 (4th Floor Plan)
503.2.4.3.2	Automatic Setback and shutdown Capabilities	All zones	Each thermostat will be programmable to meet requirements	Controls shall be capable of automatically starting and stopping the systems for seven different daily schedules per week, capable of having settings saved in memory for 10 hours during a loss of power, and a manual system "on" override for up to two hours, or an occupancy sensor	A-001 (Legends) A-002 (1st Floor Plan) A-003 (2nd & 3rd Floor Plan) A-004 (4th Floor Plan)

503.2.5 Ventilation					
NYCECC Citation	Provision	Item Description	Proposed Design Value	Code Prescriptive Value	Supporting Documentation
503.2.5	Minimum Mechanical Ventilation	Outside air control	Motorized ventilation fan shall have ability to operate at minimum positions	Where mechanical ventilation is provided system shall be capable of reducing outside air to the minimum requirements	EN-001 (General Notes)
503.2.8 Piping Insulation					
503.2.8	Hot Water Piping Insulation	Insulation for Hot Water Piping	2" insulation provided for piping greater than 1.5" in diameter	1.5" for pipe less than 1.5" diameter. 2" for piping greater than 1.5" in diameter. Where k for insulation is 0.27 or less.	A-011 (Details) EN-001 (General Notes)
503.2.9 HVAC System Completion					
503.2.9.3	Manuals	Operating and Maintenance Manual Requirements	Contractor shall provide manual as specified in mechanical specifications	Operating and Maintenance manual shall be provided by mechanical contractor and specified in the construction documents	EN-001 (General Notes)
504 Service Water Heating					
504.2	Equipment Performance Efficiency	Water heaters, Electric	0.95 EF, 38 GAL. MAX. INPUT 6000 BTU (1.7 KW)	0.97 - 0.00132 x 38 = 0.92 EF	A-003 (Schedules)
504.3	Temperature Controls	Temperature controls	Holby Valve, mixed water temperature set for 90 degrees F.	Controls shall allow 110 degree F set point for dwellings, and 90 degrees F for other occupancies. Lavatories in public restrooms shall be limited to 110 degrees F	EN-001 (General Notes)
504.4	Heat Traps	Heat traps	Proposed water heating equipment supplied with integral heat traps	Water heating equipment shall be provided with heat traps on the supply and discharge piping if not integrated with equipment	EN-001 (General Notes)
504.5	Pipe Insulation	Pipe insulation	1" insulation shall be used on all hot water service piping	Automatic circulating hot water systems-1" insulation. First 8' pipe in non-circulating systems without integral heat traps-0.5" insulation. Conductivity for insulation shall not exceed 0.27 Btu/inch/ft <sup>2</sup> °F	EN-001 (General Notes)
505 Lighting Controls (Mandatory)					
505.2.1 - as well as 505.2.2, 505.2.3 and 505.2.4.	Interior lighting controls	Interior lighting controls include manual, automatic, and occupant sensor controls.	Interior lighting controls have been provided.	Lighting systems shall be provided with controls as required in Sections 505.2.1, 505.2.2, 505.2.3 and 505.2.4.	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.2.2, see sections 505.2.2.1 and 505.2.2.2.	Additional controls	Manual controls	Interior lighting controls have been provided.	Each area that is required to have a manual control shall have additional controls that meet the requirements of Sections 505.2.2.1 and 505.2.2.2.	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.2.2.1	Lighting reduction controls	Automatic and occupant sensor controls are provided	Proposed lighting controls designed to reduce connected lighting load by 50%.	Each area that is required to have a manual control shall also allow the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern by at least 50%. *See code for approved methods of reduction.	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.2.4	Exterior lighting controls	Daylight sensor controls provided for canopy, entry & driveway lighting. Manual overrides to be provided.	Photosensors provided and programmed as per requirements	Lighting not designated for dusk-to-dawn operation shall be controlled by either a combination of a photosensor and a time switch, or an astronomical time switch. Lighting designated for dusk-to-dawn operation shall be controlled by an astronomical time switch or photosensor. All time switches shall be capable of retaining programming and the time setting during loss of power for a period of at least 10 hrs.	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.4	Exist Signs	LED exist signs	1.74 W per side	Internally illuminated exit signs shall not exceed 5 watts per side.	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.5 Interior lighting power requirements (Prescriptive)					
505.5.2	Interior lighting power	Total connected load of interior lighting. Describe building area type, area and associated watts per square foot (w/sq.ft).	Total multifamily F.A: 6749 Sq Ft Total proposed watts: 3184 W 3152 / 6749 = 0.46 W/ Sq Ft	The total interior lighting power (watts) is the sum of all interior lighting powers for all areas in the building covered in this permit. The interior lighting power is the floor area for each building area type listed in Table 505.5.2 times the value from Table 505.5.2 for that area. 0.7 W/ Sq Ft for multifamily	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.5.3	Lighting within dwelling units	Lighting in dwelling units 1 through 8	100% of permanently installed fixtures provided with CFL high efficacy lamp	Lighting within dwelling units may have a minimum of 50 percent of the permanently installed interior light fixtures fitted with high-efficacy lamps as an alternative to Section 505.5.2.	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.6, 505.6.2(1) and 505.6.2(2)	Exterior lighting (Mandatory)	Total connected load of exterior lighting for lighting zone 2	192 W	Total allowance: 600 W for zone 2	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.6, 505.6.2(1) and 505.6.2(2)	Exterior building lighting power.	Main entry at 20 W/linear foot of door width, parking areas & drives at 0.06 W/ft <sup>2</sup> , other doors at 20 W/linear foot of door width	Total main entry: 36W Total driveway: 120W Total other doors: 36W Total: 192W	Main entry: 3' door x 20W = 60W Driveway: 2328 sf x 0.06 = 139W Other doors: 3' door x 20W = 60W Total allowance: 259W	A-005 (Lighting Plans & Lighting Fixture Schedule)
505.7	Electrical energy consumption (Mandatory)	Separate electrical meters have been provided for each unit.	Separate meters for unit 1 through 8	separate electrical meters required for separate dwelling units	A-002 (Cellar Floor Plan)

## GENERAL NOTES

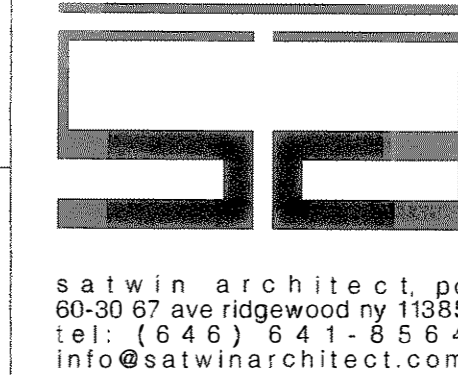
1. PROVIDE EXPANDABLE SPRAY-APPLIED POLYURETHANE FOAM SEALANT, CONTINUOUS @ WINDOW AND DOOR ROUGH OPENINGS.
2. ALL NEW VENTS AND AIR INTAKES TO BE PROVIDED WITH CLASS I MOTORIZED, LEAKAGE-RATED DAMPER WITH A MAX LEAKAGE RATE OF 4 CFM/SF AT 1.0 IN. WG.
3. RECESSED LUMINAIRES IN THE ROOF & GARAGE CEILING ASSEMBLY SEALED TO 1CFM AIR MOVEMENT.
4. MOTORIZED VENTILATION FAN SHALL HAVE ABILITY TO OPERATE AT MINIMUM POSITIONS.
5. 2" RIGID INSULATION PROVIDED FOR PIPING GREATER THAN 1.5" IN DIAMETER.
6. CONTRACTOR SHALL PROVIDE MANUAL AS SPECIFIED IN MECHANICAL SPECIFICATIONS.
7. HOLBY VALVE, MIXED WATER TEMPERATURE SET FOR 90 DEGREES F.
8. PROPOSED WATER HEATING EQUIPMENT SUPPLIED WITH INTEGRAL HEAT TRAPS.
9. 1" INSULATION SHALL BE USED ON ALL HOT WATER SERVICE PIPING.

## PROFESSIONAL STATEMENT OF COMPLIANCE BY DESIGN PROFESSIONAL:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 ENERGY CONSERVATION CODE OF NEW YORK CITY, USING CHAPTER 5.

Building Department Certification:

SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY, AS NOTED.



No.	Date	Revision
1	11.14.10	INITIAL DOB APPROVAL
2	04.09.21	SUPERSEDING AND PAA

**Proposed**  
**New Structure**  
576 Lenox Road, Brooklyn, NY  
Block: 4862  
Lot(s): 4  
Zone: R5  
Map#: 17b  
Lot Size: 5,400 Sq Ft



ENERGY NOTES  
Job No: 1410  
Date: 6/26/14  
Drawn By: ER  
Drawing No: EN-001.01

IF A VIOLATION OF THE NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. THE ARCHITECT SHALL NOT HAVE CONTROL, OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. SAHARY ARCHITECTURE PC, ITS PRINCIPALS AND EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

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(2) Commercial buildings. The progress inspections and tests described in Table II shall be performed for buildings regulated by either ECC Chapters C2 through C5 or ASHRAE 90.1 as applicable.

TABLE II - PROGRESS INSPECTIONS FOR ENERGY CODE COMPLIANCE - COMMERCIAL BUILDINGS

Inspection/Test	Periodic (minimum)	Reference Standard (See ECC Chapter C5) or	ECC or Other Citation
Other Criteria			
<b>IIA Envelope Inspections</b>			
IIA1 Protection of exposed foundation insulation: Insulation shall be visually inspected to verify proper protection where applied to the exterior of basement or cellar walls, crawl-space walls and/or the perimeter of slab-on-grade floors.	As required during foundation work and prior to backfill	Approved construction documents	C303.2.1, ASHRAE 90.1 - 5.8.1.7
IIA2 Insulation placement and R-values: Installed insulation for each component of the conditioned space envelope and at junctions between components shall be visually inspected to ensure that the R-values are marked, that such R-values conform to the R-values identified in the construction documents, and that the insulation is properly installed. Certifications for unmarked insulation shall be similarly visually inspected.	As required to verify continuous enclosure while walls, ceilings and floors are open.	Approved construction documents	C303.1, C303.1.1, C303.1.2, C402.1, C402.2, ASHRAE 90.1 - 5.5, 5.6 or 11, 5.8.1
IIA3 Fenestration U-factor and product ratings: U-factors, SHGC, and VT values of installed fenestration shall be visually inspected for conformance with the U-factors, SHGC and VT values identified in the construction drawings by verifying the manufacturer's NFRC labels or, where not labeled, using the ratings in ECC Tables C303.1.3(1), (2) and (3).	As required during installation	Approved construction documents, NFRC 100, NFRC 2.0	C303.1, C303.1.3, C402.3, ASHRAE 90.1 - 5.5, 5.6 or 11, 5.8.2
IIA4 Fenestration air leakage: Windows and sliding or swinging door assemblies, except site-built windows and/or doors, shall be visually inspected to verify that installed assemblies are listed and labeled by the manufacturer to the referenced standard. For curtain wall, storefront glazing, commercial entrance doors and revolving doors, the testing reports shall be	As required during installation prior to final construction inspection	NFRC 610, AAMA/WDMA/CSA 101/ES 2/AM40 ASTM E283, ANSI/DASMA 105	C402.4.3, ASHRAE 90.1 - 5.4.3.2

reviewed to verify that the installed assembly complies with the standard cited in the approved plans.			
IIA5 Fenestration areas: Dimensions of windows, doors and slyghts shall be verified by visual inspection.	Prior to final construction inspection	Approved construction documents	C402.3, ASHRAE 90.1 - 5.4.2.2, 5.6 or 11
IIA6 Air sealing and insulation - visual inspection: Penings and penetrations in the building envelope, including site-built fenestration and doors, shall be visually inspected to verify that a continuous air barrier around the envelope forms an air-tight enclosure. The progress inspector shall visually inspect to verify that materials and/or assemblies have been tested and meet the requirements of the respective standards, or that the building is tested and meets the requirements of the standard, in accordance with the standard(s) cited in the approved plans.	As required during construction	Approved construction documents; ASTM E2178, ASTM E2357, ASTM E1677, ASTM E779, ASTM E283.	C402.4, ASHRAE 90.1 - 5.4.3.1

**IIIB Mechanical and Service Water Heating Inspections**

inspected to verify that such dampers, except where permitted to be gravity dampers, comply with approved construction drawings. Manufacturer's literature shall be reviewed to verify that the product has been tested and found to meet the standard.			
IIIB3 HVAC and service water heating equipment: Equipment sizing, efficiencies and other performance factors of all major equipment units, as determined by the applicant of record, and no less than 15% of minor equipment units, shall be verified by visual inspection and, where necessary, review of manufacturer's data. Pool heaters and covers shall be verified by visual inspection.	Prior to final plumbing and construction inspection	Approved construction documents	C403.2, C404.2, C404.7, C406.2, ASHRAE 90.1 - 6.3, 6.4.1, 6.4.2, 6.8; 7.4, 7.8
IIIB4 HVAC and service water heating system controls: No less than 20% of each type of required controls and economizers shall be verified by visual inspection and tested for functionality and proper operation. Such controls shall include, but are not limited to: <ul style="list-style-type: none"> <li>Thermostats</li> <li>Set point overlap restriction</li> <li>Hour</li> <li>Shutoff damper</li> <li>Snow-melt system</li> <li>Demand control systems</li> <li>Outdoor heating systems</li> <li>Zones</li> <li>Economizers</li> <li>Air systems</li> <li>Variable air volume fan</li> <li>Single Zone Cooling Systems</li> <li>Hydronic systems</li> <li>Heat rejection equipment fan speed</li> <li>Complex mechanical</li> </ul>	After installation and prior to final electrical and construction inspection, except that for controls with seasonally dependent functionality, such testing shall be performed before sign-off for issuance of a Final Certificate of Occupancy	Approved construction documents, including control system narratives; ASHRAE Guideline 1. The HVAC Commissioning Process where applicable	C403.2.4, C403.2.5.1, C403.2.11, C403.3, C404.3, C404.6, C404.7, ASHRAE 90.1 - 6.3, 6.4, 6.5, 7.4.4, 7.4.5

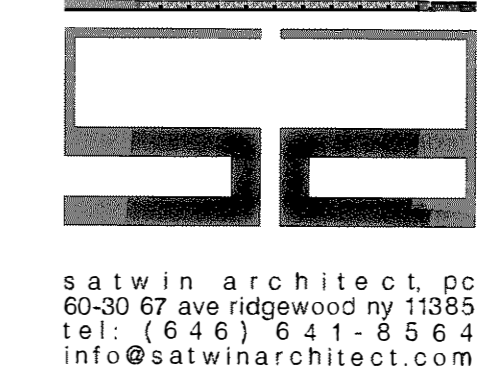
systems serving multiple zones <ul style="list-style-type: none"> <li>Ventilation</li> <li>Energy recovery systems</li> <li>Hot gas bypass limitation</li> <li>Temperature</li> <li>Service water heating</li> <li>Hot water system</li> <li>Pool heater and time switches</li> <li>Exhaust hoods</li> <li>Radiant heating systems</li> <li>HVAC Control in Group R-1 Sleeping Rooms</li> </ul>			
Controls with seasonally dependent functionality: Controls whose complete operation cannot be demonstrated due to prevailing weather conditions typical of the season during which progress inspections will be performed shall be permitted to be signed off for the purpose of a Temporary Certificate of Occupancy with only a visual inspection, provided, however, that the progress inspector shall perform a supplemental inspection where the controls are visually inspected and tested for functionality and proper operation during the next immediate season thereafter. The owner shall provide full access to the progress inspector within two weeks of the progress inspector's request for such access to perform the progress inspection. For such supplemental inspections, the Department shall be notified by the approved progress inspection agency of any unresolved deficiencies in the installed work within 180 days of such supplemental inspection.			

IIIB5 HVAC insulation and sealing: Installed duct and piping insulation shall be visually inspected to verify proper insulation placement and values. Joints, longitudinal and transverse seams and connections in ductwork shall be visually inspected for proper sealing.	After installation and prior to closing shafts, ceilings and walls	Approved construction documents; SMACNA Duct Construction Standards, Metal and Flexible	C403.2.7, C403.2.8, C404.5, MC 603.9; ASHRAE 90.1 - 6.3, 6.4.4, 6.8.2, 6.8.3; 7.4.3
IIIB6 Duct leakage testing: For duct systems designed to operate at static pressures in excess of 3 inches w.g. (746 Pa), representative sections, as determined by the progress inspector, totaling at least 25% of the duct area, per ECC C403.2.7.1.3, shall be tested to verify that actual air leakage is below allowable amounts.	After installation and sealing and prior to closing shafts, ceilings and walls	Approved construction documents; SMACNA HVAC Air Duct Leakage Test Manual	C403.2.7.1.3, ASHRAE 90.1 - 6.4.2.2
<b>IIIC Electrical Power and Lighting Systems</b>			
IIIC1 Electrical energy consumption: The presence and operation of individual meters or other means of monitoring individual apartments shall be verified by visual inspection for all apartments and where required in a covered tenant space.	Prior to final electrical and construction inspection	Approved construction documents	C405.7
IIIC2 Lighting in dwelling units: Lamps in permanently installed lighting fixtures shall be visually inspected to verify compliance with high-efficacy requirements.	Prior to final electrical and construction inspection	Approved construction documents	C405.1, ASHRAE 90.1 - 9.1.1
IIIC3 Interior lighting power: Installed lighting shall be verified for compliance with the lighting power allowance by visual inspection of fixtures, lamps, ballasts and transformers.	Prior to final electrical and construction inspection	Approved construction documents	C405.5, C406.3, ASHRAE 90.1 - 9.1, 9.2, 9.5, 9.6, 1RCNY §101-07(c)(3)(v)(C)4
IIIC4 Exterior lighting power: Installed lighting shall be verified for compliance with the lighting power allowance by visual inspection of fixtures, lamps, ballasts and relevant transformers.	Prior to final electrical and construction inspection	Approved construction documents	C405.6, ASHRAE 90.1 - 9.4.3, 1RCNY §101-07(c)(3)(v)(C)4

IIIC5 Lighting controls: Each type of required lighting controls, including: <ul style="list-style-type: none"> <li>occupant sensors</li> <li>manual interior lighting controls</li> <li>light-reduction controls</li> <li>automatic lighting shut-off</li> <li>daylight zone controls</li> <li>sleeping unit controls</li> <li>exterior lighting controls</li> </ul> shall be verified by visual inspection and tested for functionality and proper operation.	Prior to final electrical and construction inspection	Approved construction documents, including control system narratives	C405.2, ASHRAE 90.1 - 9.4.1 (as modified by section ECC A102)
IIIC6 Exit signs: Installed exit signs shall be visually inspected to verify that they do not exceed maximum permitted wattage.	Prior to final electrical and construction inspection	Approved construction documents	C405.4, ASHRAE 90.1 - 9.4.2
<b>IIID Other</b>			
IIID1 Maintenance information: Maintenance manuals for mechanical, service hot water and electrical equipment and systems requiring preventive maintenance shall be reviewed for applicability to installed equipment and systems before such manuals are provided to the owner. Labels required for such equipment or systems shall be inspected for accuracy and completeness.	Prior to sign-off or issuance of Final Certificate of Occupancy	Approved construction documents, including electrical drawings where applicable; ASHRAE Guideline 4: Preparation of Operating and Maintenance Documentation for Building Systems	C303.3, C408.2.5.2, ASHRAE 90.1 - 4.2.2.3, 6.7.2.2, 8.7.2, 9.7.2.2

(i) Energy Analysis of Constructed Conditions. In accordance with Section 28-104.3 of the Administrative Code and section ECC 103.4, if constructed work differs from the last-approved full energy analysis, an as-built energy analysis shall be submitted to the Department, listing the actual values used in the building for all applicable Energy Code-regulated items and demonstrating that the building complies with the Energy Code. Such energy analysis shall be signed and sealed by a registered design professional. The progress inspector shall certify that to the best of his or her knowledge and belief the building as built complies with such signed and sealed energy analysis and construction drawings for energy code compliance, where no trade-offs have been used among disciplines, more than one registered design professional may sign and seal the elements of the energy analysis. The energy analysis shall be approved or accepted by the Department prior to sign-off.

**SUPERSEDING DRAWINGS WITH NEW APPLICANT. MINOR CHANGES ONLY. AS NOTED.**



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Project Information:  
**Proposed**  
**New Structure**  
 576 Lenox Road, Brooklyn, NY  
 Block: 4862  
 Lot(s): 4  
 Zone: R5  
 Map#: 17b  
 Lot Size: 5,400 Sq Ft

**ENERGY NOTES**

Building Department Certification:



Date: 05/11/2022

No.	Date	Revision
1	11.14.16	INITIAL DOB APPROVAL
2	04.08.21	SUPERSEDING ANN PAA

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Date: 6/26/14  
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