

ASSOCIATE ZONING ADMINISTRATORS

JACK CHIANG
HENRY CHU
THEODORE L. IRVING
FRANKLIN N. QUON
CHARLES J. RAUSCH JR.
FERNANDO TOVAR
DAVID S. WEINTRAUB
MAYA E. ZAITZEVSKY

CITY OF LOS ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES
200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

November 8, 2019

Boulevard Nightlife Group, LLC (A)
c/o Freddy Braidy
8228 West Sunset Boulevard, Unit 102
West Hollywood, CA 90046

DWG International, LLC (O)
c/o President David W. Gajda
P.O. Box 1430
Los Angeles, CA 90078

Matt Nichols, Jerry Neuman (R)
DLA Piper, LLP - US
633 West Fifth Street, Unit 3200
Los Angeles, CA 90071

CASE NO. ZA-2018-6028-CUB-CUX
CONDITIONAL USE
6356 Hollywood Boulevard (6350-6358
Hollywood Boulevard), 1st Floor
Hollywood Planning Area
Zone : C4-2D-SN
C.D. : 13 – Mitch O'Farrell

LETTER OF CLARIFICATION

On April 25, 2019, pursuant to LAMC Sections 12.24-W,1 and 12.24-W,18, the Associate Zoning Administrator approved Conditional Use permits to allow the sale and dispensing of a full line of alcoholic beverages for on-site consumption, in conjunction with an existing nightclub/bar/lounge and to allow public and patron dancing in conjunction with an existing nightclub/bar/lounge.

On November 7, 2019, the applicant's representative requested a revised plan be reviewed and considered as revisions to the floor plan for the subject project were presented to the Department of Building and Safety. The revisions to the plan involve a reduction in outdoor seating, from 33 seats to 16 seats, relocation of a stage, removal of most of the platforms to leveled areas and the addition of a new bar. As a result, the applicant submitted a revised set of plans that reflected the above-mentioned changes, and did not necessitate modification to any of the condition of the grant for Case No. ZA-2018-6028-CUB-CUX and reflected in approved plans stamped "Exhibit A". Furthermore, the floor plans reviewed and determined to be in substantial conformance with the said grant and stamped plans ("Exhibit A"). Therefore, "Exhibit A" is hereby superseded by plans dated November 8, 2019 and stamped "Exhibit B".

It should also be noted that Condition No. 5.a. included an inadvertent typographical error of the square footage of the operation, and should be consistent with the plans that were stamped as Exhibit A and noticed for public hearing on March 5, 2019 as well as the authorizing language found in Condition No. 5.

Therefore, Condition No. 5.a. is **CORRECTED** to read as follows:

5. Authorized herein is the sale and dispensing of a full line of alcoholic beverages for on-site consumption, in conjunction with an existing 9,091 square-foot nightclub/bar, and lounge facility with a 1,240 square-foot covered outdoor patio, from the effective date of this grant. Subject to the following limitations:
- a. A ~~9,901~~ 9,091 square-foot nightclub, bar, and lounge facility, shall be limited to 11 a.m. to 4 a.m., daily. The adjoining 1,240 square-foot outdoor patio shall have the outdoor hours of operation from 11:00 a.m. to 2:00 a.m., daily.

All other Conditions remain unchanged.



HENRY CHU
Associate Zoning Administrator

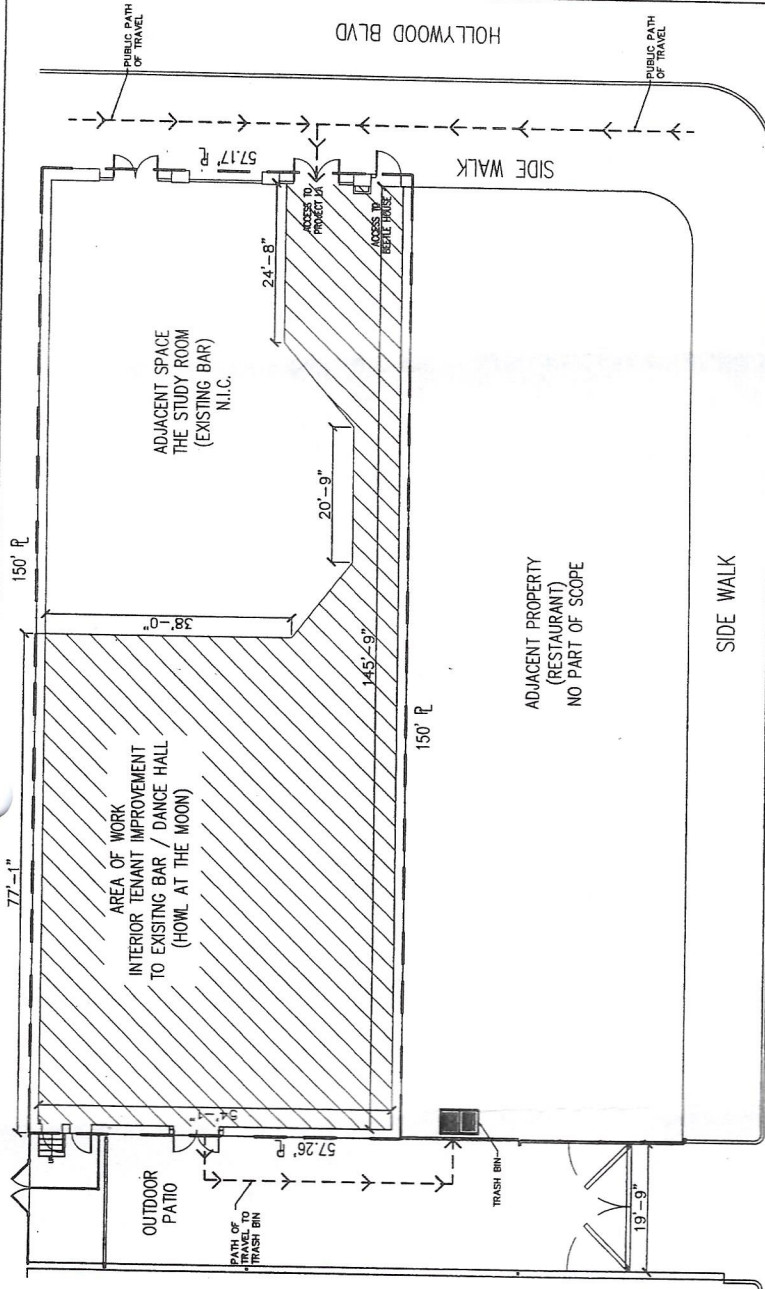
HC:JH:bk

cc: Councilmember Mitch O'Farrell
Thirteenth Council District

PROJECT DESCRIPTION

DESIGN CODES: ALL CODES SHALL CONFORM TO THE 2017 CBC, CMC, CPC, CEC, CFC, 2018 ENERGY EFFICIENCY STANDARDS, AND THE CODES OF LOS ANGELES 2017 AMENDMENTS

DESIGN CODES: A2.1 288
 OCCUPANCY: 5640.000.000
 LEGAL DESC: TR 541, LOT 2, BLOCK NONE
 LOT SIZE: 1,000 SQ FT
 BUILDING AREA: 1,000 SQ FT
 AREA OF WORK: 4,000 SQ FT (NO WORK PROPOSED)
 TOTAL: 6,170 SQ FT
 NUMBER OF SEATS: 114
 NUMBER OF EXTRA REQUIREMENTS: 2
 TYPE OF CONSTRUCTION: TYPE I (SPRINKLERED - NFPA-43)
 NUMBER OF STORIES: 2
 ZONING INFORMATION: C4-20-SN
 PARKING: NO CHANGE TO PARKING.



IVAR AVE.
 1 SITE PLAN
 SCALE: 1/8" = 1'-0"

REVISED PLANS

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 ZONING ADMINISTRATION



2 VICINITY MAP
 SCALE: 1/8" = 1'-0"

"Exhibit B" to Supplement "Exhibit A".
 11/8/2019

EXHIBIT B

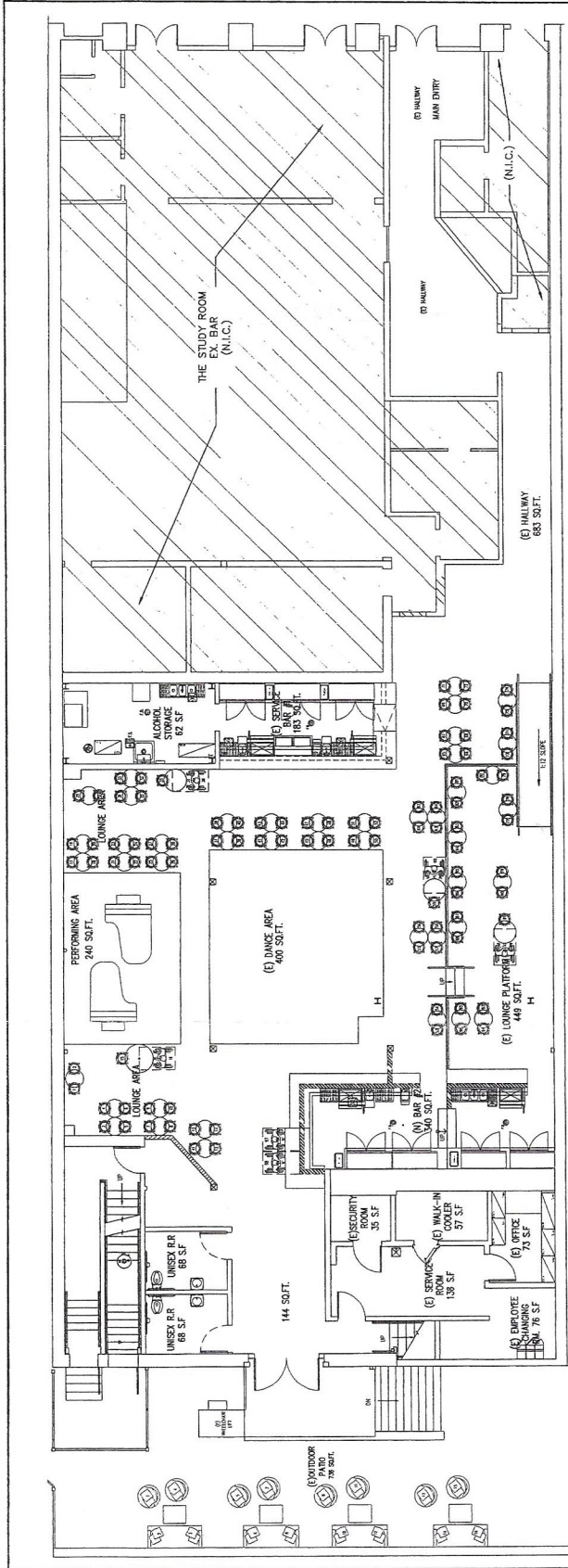
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SPACE
CONCEPTS &
DESIGN
4450 HAWTHORNE ST. #101
HOLLYWOOD, CA 91604
TEL: 323-384-8131
WWW.SCDENIGN.COM

HOWL AT THE MOON
 6356 HOLLYWOOD BLVD.
 HOLLYWOOD, CA 90028

DATE: 11/8/2019
 PROJECT: 2A-2018-6028-CUBC-1
 SHEET: 1 OF 2
 SCALE: 1/8" = 1'-0"

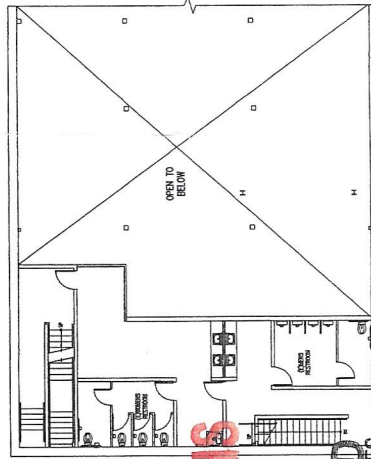
A1.0



1 PROPOSED FLOOR PLAN

Scale: 1/8" = 1'-0"

ROOM	USE	LOAD FACTOR	SQUARE FOOTAGE	OCC. LOAD	SEATS
LOUNGE AREAS	ASSEMBLY	1 PER 155SF	573 SF	38	98
STANDING SPACE	ASSEMBLY	1 PER 155SF	672 SF	134	
DANCE FLOOR	ASSEMBLY	1 PER 155SF	400 SF	80	
BARS	SERVICE	1 PER 200SF	451 SF	2	
STORAGE	STORAGE	1 PER 200SF	42 SF	1	
SERVICE AREA	SERVICE	1 PER 200SF	138 SF	1	
PERFORMING AREA	PERFORMING	1 PER 155SF	240 SF	16	
SECURITY OFFICE ROOM	OFFICE	1 PER 100SF	108 SF	1	
EMPLOYEE CHANGE ROOM	LOCKERS	1 PER 50SF	73 SF	2	
WALK-IN COOLER	STORAGE	1 PER 200SF	57 SF	1	
RESTROOMS	RESTROOMS	1 PER 100SF	138 SF	13	
HALLWAYS, STAIRS, ETC.			1,251 SF		
MEZZANINE RESTROOMS			517 SF		
MEZZ. HALLWAYS, STAIRS			693 SF		
OUTDOOR DINING AREA			1,240 SF		
TOTAL				280	114



2 MEZZANINE-EXISTING FLOOR PLAN

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EXHIBIT B

Case No. 18-001-6029CUB-001

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REVISED PLANS

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