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DEPUTY DIRECTOR

November 8, 2019

Boulevard Nightlife Group, LLC (A)
c/o Freddy Braidy
8228 West Sunset Boulevard, Unit 102
West Hollywood, CA 90046

DWG International, LLC (O)
c/o President David W. Gajda
P.O. Box 1430
Los Angeles, CA 90078

CASE NO. ZA-2018-6028-CUB-CUX
CONDITIONAL USE
6356 Hollywood Boulevard (6350-6358
Hollywood Boulevard), 1st Floor
Hollywood Planning Area
Zone : C4-2D-SN
C.D. : 13 – Mitch O’Farrell

LETTER OF CLARIFICATION

Matt Nichols, Jerry Neuman (R)
DLA Piper, LLP - US
633 West Fifth Street, Unit 3200
Los Angeles, CA 90071

On April 25, 2019, pursuant to LAMC Sections 12.24-W.1 and 12.24-W.18, the Associate Zoning Administrator approved Conditional Use permits to allow the sale and dispensing of a full line of alcoholic beverages for on-site consumption, in conjunction with an existing nightclub/bar/lounge and to allow public and patron dancing in conjunction with an existing nightclub/bar/lounge.

On November 7, 2019, the applicant's representative requested a revised plan be reviewed and considered as revisions to the floor plan for the subject project were presented to the Department of Building and Safety. The revisions to the plan involve a reduction in outdoor seating, from 33 seats to 16 seats, relocation of a stage, removal of most of the platforms to leveled areas and the addition of a new bar. As a result, the applicant submitted a revised set of plans that reflected the above-mentioned changes, and did not necessitate modification to any of the condition of the grant for Case No. ZA-2018-6028-CUB-CUX and reflected in approved plans stamped "Exhibit A". Furthermore, the floor plans reviewed and determined to be in substantial conformance with the said grant and stamped plans ("Exhibit A"). Therefore, "Exhibit A" is hereby superseded by plans dated November 8, 2019 and stamped "Exhibit B".

It should also be noted that Condition No. 5.a. included an inadvertent typographical error of the square footage of the operation, and should be consistent with the plans that were stamped as Exhibit A and noticed for public hearing on March 5, 2019 as well as the authorizing language found in Condition No. 5.

CASE NO. ZA-2018-6028-CUB-CUX
LETTER OF CLARIFICATION

Therefore, Condition No. 5.a. is CORRECTED to read as follows:

5. Authorized herein is the sale and dispensing of a full line of alcoholic beverages for on-site consumption, in conjunction with an existing 9,091 square-foot nightclub/bar, and lounge facility with a 1,240 square-foot covered outdoor patio, from the effective date of this grant. Subject to the following limitations:

a. A ~~9,001~~ 9,091 square-foot nightclub, bar, and lounge facility, shall be limited to 11 a.m. to 4 a.m., daily. The adjoining 1,240 square-foot outdoor patio shall have the outdoor hours of operation from 11:00 a.m. to 2:00 a.m., daily.

All other Conditions remain unchanged.



HENRY CHU
Associate Zoning Administrator

HC:JH:bk

cc: Councilmember Mitch O'Farrell
Thirteenth Council District

PROJECT DESCRIPTION

DESIGN CODES: ALL CODES SHALL CONFORM TO THE 2017 CBC, CPC, CEC, CFC, 2016 ENERGY EFFICIENCY STANDARDS AND THE CITY OF LOS ANGELES 2017 AMENDMENTS CODES

(E) OCCUPANCY: A-2,1
APN #: 288
LEGAL DESC.: 564000.000
LOT SIZE: 57.26' x 150'
BUILDING AREA: 8.882 SQFT.
AREA OF WORK: 9.091 SQFT.
NUMBER OF SEATS: 4.860 SQFT.
MEZZANINE: 1210 SQFT. (NO WORK PROPOSED)
TOTAL: 6,178 SQFT
NUMBER OF EXITS REQUIRE/PROVIDED: 2

TYPE OF CONSTRUCTION: TYPE II-B (SPRINKLERED NFPA-13)
NUMBER OF STORES: 2
ZONING INFORMATION: C4-2D-SN
PARKING: NO CHARGE TO PARKING.

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PARKING: NO CHARGE TO PARKING.

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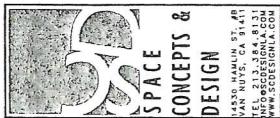
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EXHIBIT B
Case No. 2018-6028-cause
Page 1 of 2

REvised PLANS (1) SITE PLAN
Scale: 1/8"=1'-0"

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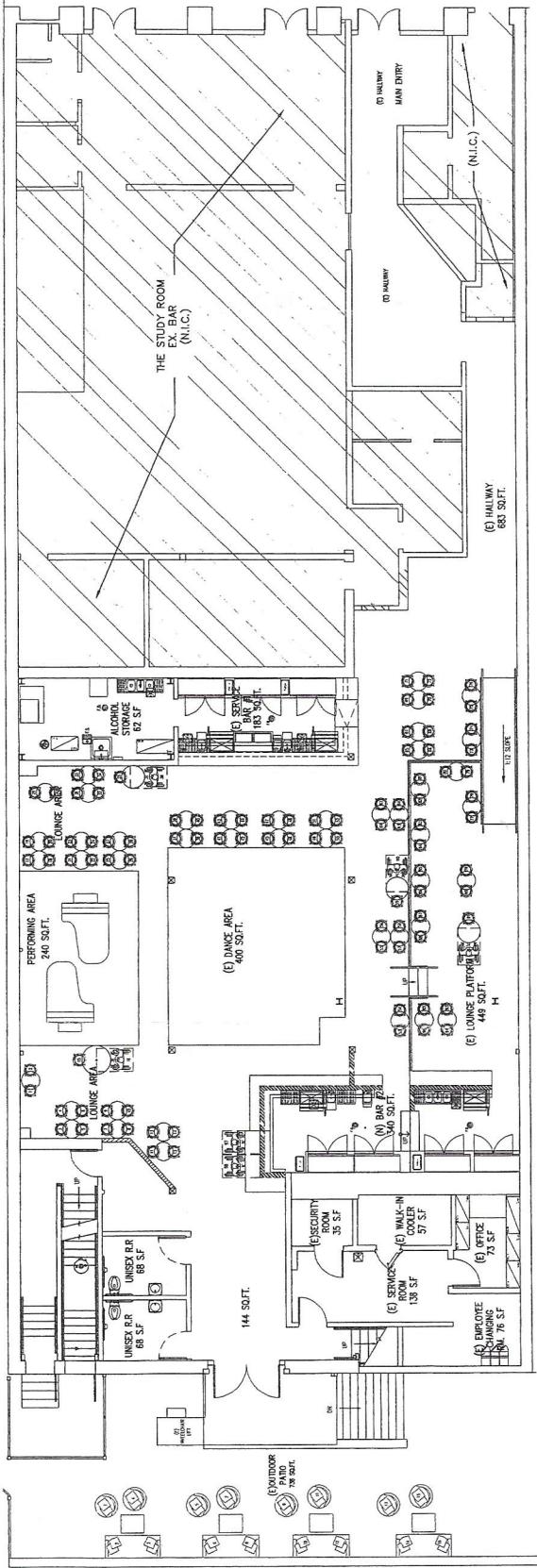
VICINITY MAP (2)
Scale: 1/8"=1'-0"



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HOWL AT THE MOON
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HOLLYWOOD, CA 90028



1 PROPOSED FLOOR PLAN
Scale: 1/8" = 1'-0"

OCCUPANT LOAD ANALYSIS TABLE					
ROOM	USE	LOAD FACTOR	SQUARE FOOTAGE	OCC. LOAD	SEATS
LOUNGE AREAS	STANDING AREA	1 PER 6SF	575 SF	38	98
STANDING SPACE	ASSEMBLY	1 PER 6SF	675 SF	134	
DANCE FLOOR	ASSEMBLY	1 PER 6SF	400 SF	80	
BARS	SERVICE	1 PER 200SF	451 SF	2	
STORAGE	SERVICE	1 PER 200SF	62 SF	1	
SERVICE ROOM	SERVICE	1 PER 200SF	138 SF	1	
PERFORMING AREA	PERFORMING	1 PER 100SF	240 SF	16	
SECURITY/OFFICE ROOM	OFFICE	1 PER 100SF	108 SF	1	
EMPLOYEE HANGING ROOM	LOCKERS	1 PER 50SF	76 SF	2	
WALK-IN COOLER	STORAGE	1 PER 200SF	57 SF	1	
RESTROOMS		1 PER 100SF	136 SF		
HALWAYS, STAIRS, ETC.		1 PER 100SF	125 SF	13	
MEZZANINE RESTROOMS		1 PER 100SF	517 SF		
MEZZ HALWAYS, STAIRS			693 SF		
OUTDOOR HANGING AREA			1240 SQ.FT.		
TOTAL				269	114

1.1
A1.1
PROPOSED GRAND
MEZZANINE PLAN

EXHIBIT B

Case No. M.2018.6023@CAB.CC
Page 2 of 2

2 MEZZANINE- EXISTING FLOOR PLAN
Scale: 1/8" = 1'-0"

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REvised
Plans

"Exhibit B" to supersede
"Exhibit A"