

WAREHOUSE/FLEX/RETAIL FOR SUBLEASE

+/-29,567 SF WAREHOUSE/FLEX/RETAIL IN W GA

215 & 219 Lovvorn Road, Carrollton, GA 30117



OFFERING SUMMARY

| | |
|----------------------|---------------------------|
| Sublease Rate: | \$6.50 SF MG |
| Number of Buildings: | 2 |
| Available SF: | +/-29,567 SF |
| Lot Size: | +/-1.21 Acres |
| 219 Building: | +/-14,567 SF |
| 215 Building: | +/-15,000 SF |
| Zoning: | M-1 |
| APN'S: | C08 0060006 & C08 0060005 |
| Market: | Atlanta |
| Submarket: | Atlanta West |

PROPERTY DESCRIPTION

Warehouse/Flex/Retail Space for Sublease, Through 3/31/28, in Two Buildings in Downtown Carrollton. Opportunity to extend the lease term directly with Landlord. \$15,000 BONUS TO PROCURING BROKER OF AN EXECUTED SUBLEASE FOR BOTH BUILDINGS. Buildings can also be leased separately

PROPERTY HIGHLIGHTS

- +/-14,567 SF of Conditioned Warehouse, Showroom, Office
- +/-15,000 SF Warehouse Space with 24' Ceilings
- 2 Dock Doors | 12'x10' Drive-In Door | Two Van Height Doors
- Ceiling Height 12' - 24'
- Updated Single & 3-Phase Power, 208 Volts
- Wet Sprinkler System
- Interior & Exterior Security System
- Located 11 Miles from I-20, Exit 11
- Parking: 15 Surface Spaces
- Zoning: M-1 Light Manufacturing
- Sublease Rate: \$6.50/SF Modified Gross
- Carroll County, City of Carrollton

DEMOGRAPHICS

| | 3 MILES | 5 MILES | 10 MILES |
|-------------------|----------|----------|----------|
| Total Households | 9,250 | 15,398 | 30,433 |
| Total Population | 23,419 | 39,711 | 77,951 |
| Average HH Income | \$58,858 | \$62,558 | \$66,190 |

We obtained the information above from sources we believe to be reliable. However, we have not verified its accuracy and make no guarantee, warranty or representation about it. It is submitted subject to the possibility of errors, omissions, change of price, rental or other conditions, prior sale, lease or financing, or withdrawal without notice. We include projections, opinions, assumptions or estimates for example only, and they may not represent current or future performance of the property. You and your tax and legal advisors should conduct your own investigation of the property and transaction.

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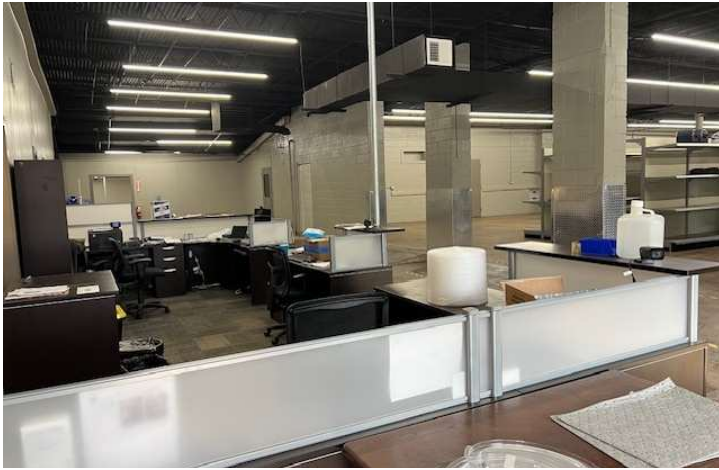
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354 Newnan Crossing Bypass
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Newnan, GA 30265

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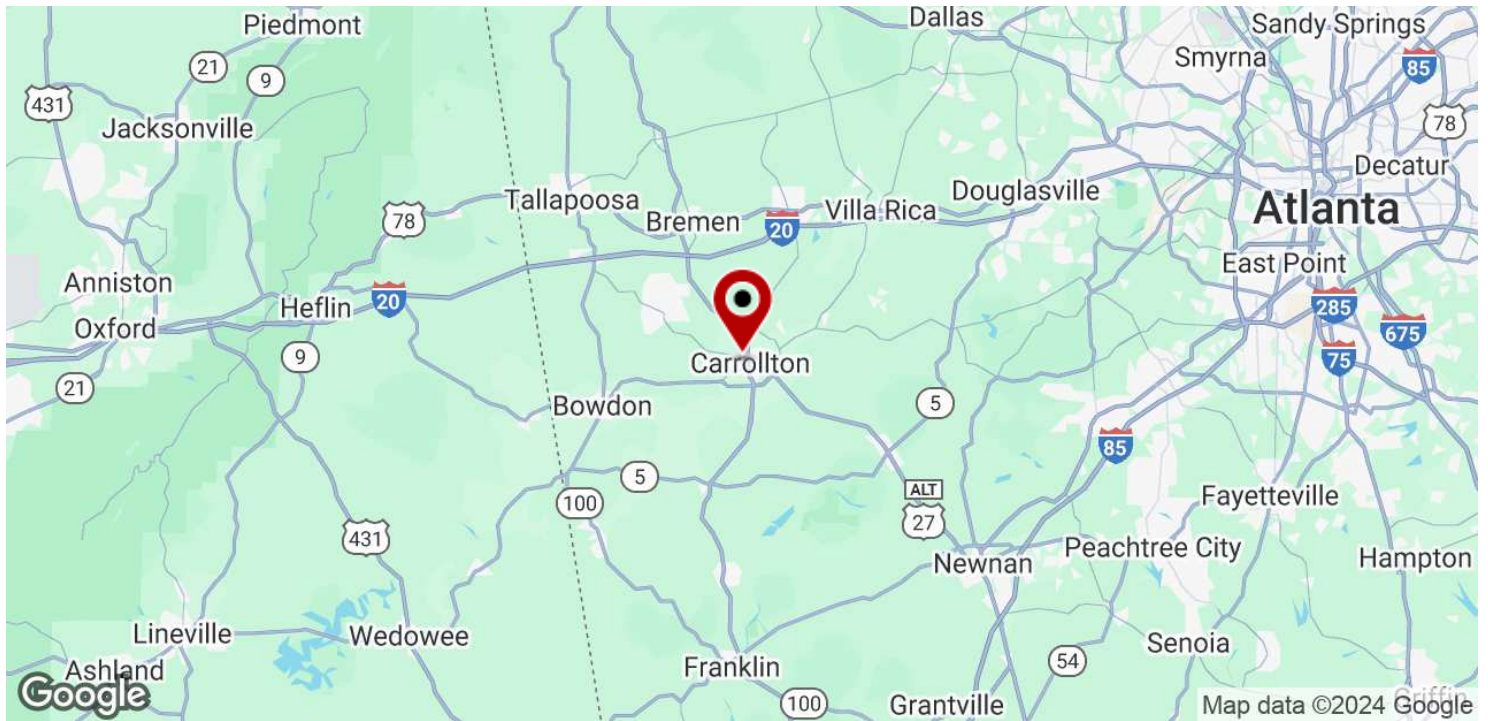
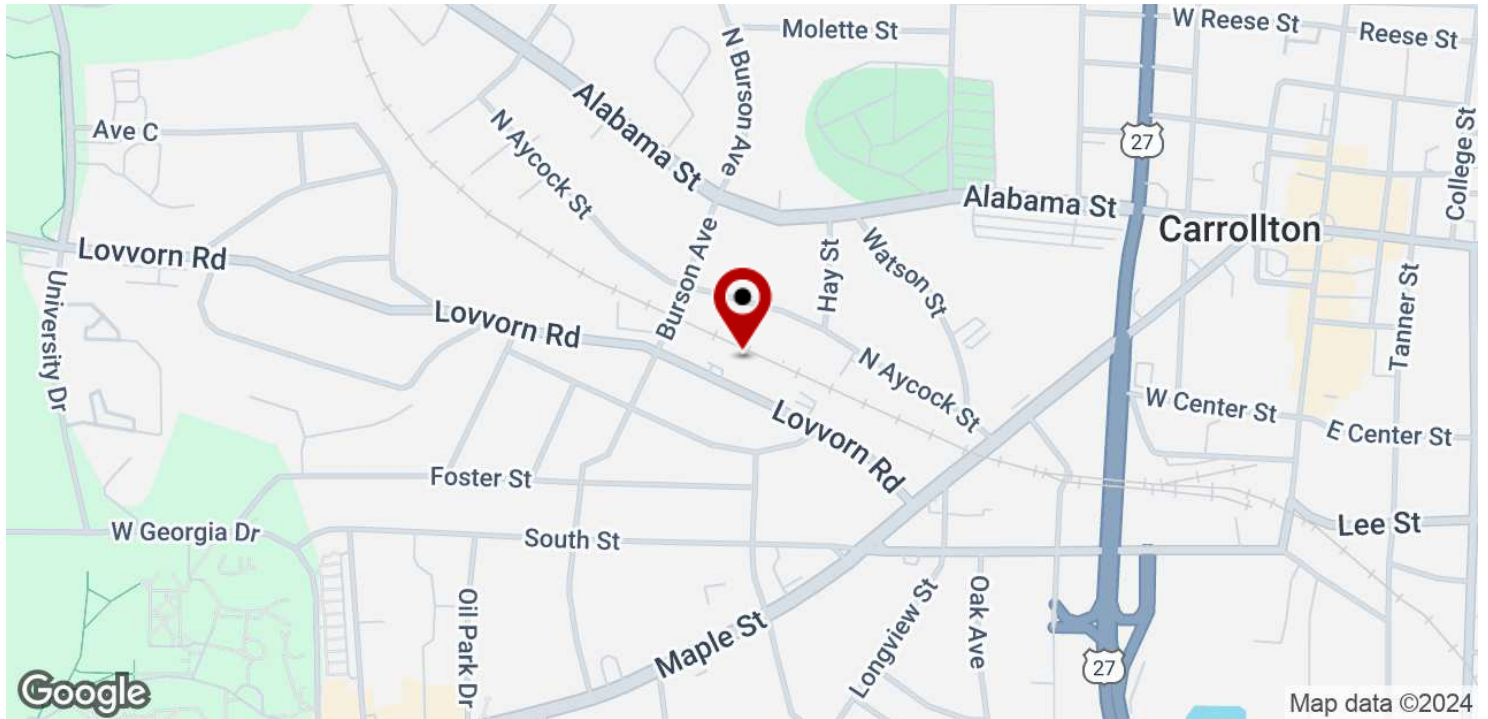
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