

1ST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



DEMOLITION GENERAL NOTES:

1. ALL EXISTING ELEMENTS NOT INDICATED TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION/CONSTRUCTION.
2. RE: STRUCT, MECH, ELEC, PLUMB, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION AND RELATED WORK.
3. ALL CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS / DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY WORK.
4. THESE DRAWINGS DO NOT DECLARE OR INTEND TO IDENTIFY EACH ITEM REQUIRING DEMOLITION. CAREFULLY REMOVE/RELOCATE ALL ITEMS IN CONFLICT WITH NEW CONSTRUCTION AS DIRECTED BY ARCHITECT.
5. ITEMS SALVAGED DURING THE WORK ARE TO BE TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL CORRIDINATE THE STORAGE OF ITEMS WITH OWNER. THE CONTRACTOR SHALL REMOVE ITEMS THAT THE OWNER REQUESTS.
6. ALL EXISTING SURFACES/ELEMENTS DISTURBED OR DAMAGED DURING THE COURSE OF DEMO./CONST. SHALL BE PATCHED / REPAIRED / REFINISHED OR REPLACED AS REQUIRED TO MATCH EXISTING ADJACENT CONSTRUCTION.
7. ALL PENETRATIONS THROUGH EXISTING ROOFING SYSTEMS SHALL BE CONSTRUCTED AS REQUIRED TO MAINTAIN EXISTING WARRANTY.
8. FUR OUT ALL EXISTING PARTITIONS AS REQUIRED TO ENCLOSE ALL STRUCT./MECH./ELEC./ PLUMB./ ITEMS EXPOSED TO VIEW BY DEMOLITION/ CONSTRUCTION.
9. PROVIDE NEW PAINT FINISH AT ALL EXISTING PAINTED SURFACES AFFECTED BY DEMOLITION/ CONSTRUCTION.
10. FIELD VERIFY ALL DIMENSIONS SHOWN AS ±.
11. ALL CONTRACTORS, REGARDLESS OF THEIR DISCIPLINE, SHALL BECOME FAMILIAR WITH ALL DRAWINGS AND THE PROJECT MANUAL.
12. BIDDERS BY BIDDING, CERTIFY THAT THEY HAVE INSPECTED THE SITE AND THAT ALL DRAWINGS AND THE PROJECT MANUAL HAVE BEEN REVIEWED AND THAT ALL LABOR AND MATERIALS SPECIFIED OR OTHERWISE REQUIRED FOR A COMPLETE AND PROPER INSTALLATION ARE INCLUDED IN THEIR SUBMITTED BIDDING DOCUMENTS.

FLOOR PLAN DEMOLITION KEYED NOTES:

- 1 EXISTING EQUIPMENT, FLOOR, WALL & CEILING FINISH TO REMAIN, U.N.O.
- 2 REMOVE EXISTING BASE CABINET & COUNTERTOP
- 3 REMOVE EXISTING YOGURT MACHINES
- 4 REMOVE EXISTING SANDWICH PREP TABLE
- 5 REMOVE EXISTING WALL
- 6 EXISTING LAVATORIES TO REMAIN, N.I.C.

DEMOLITION LEGEND:

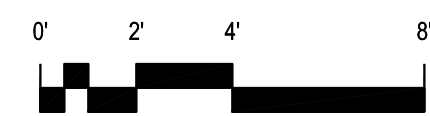
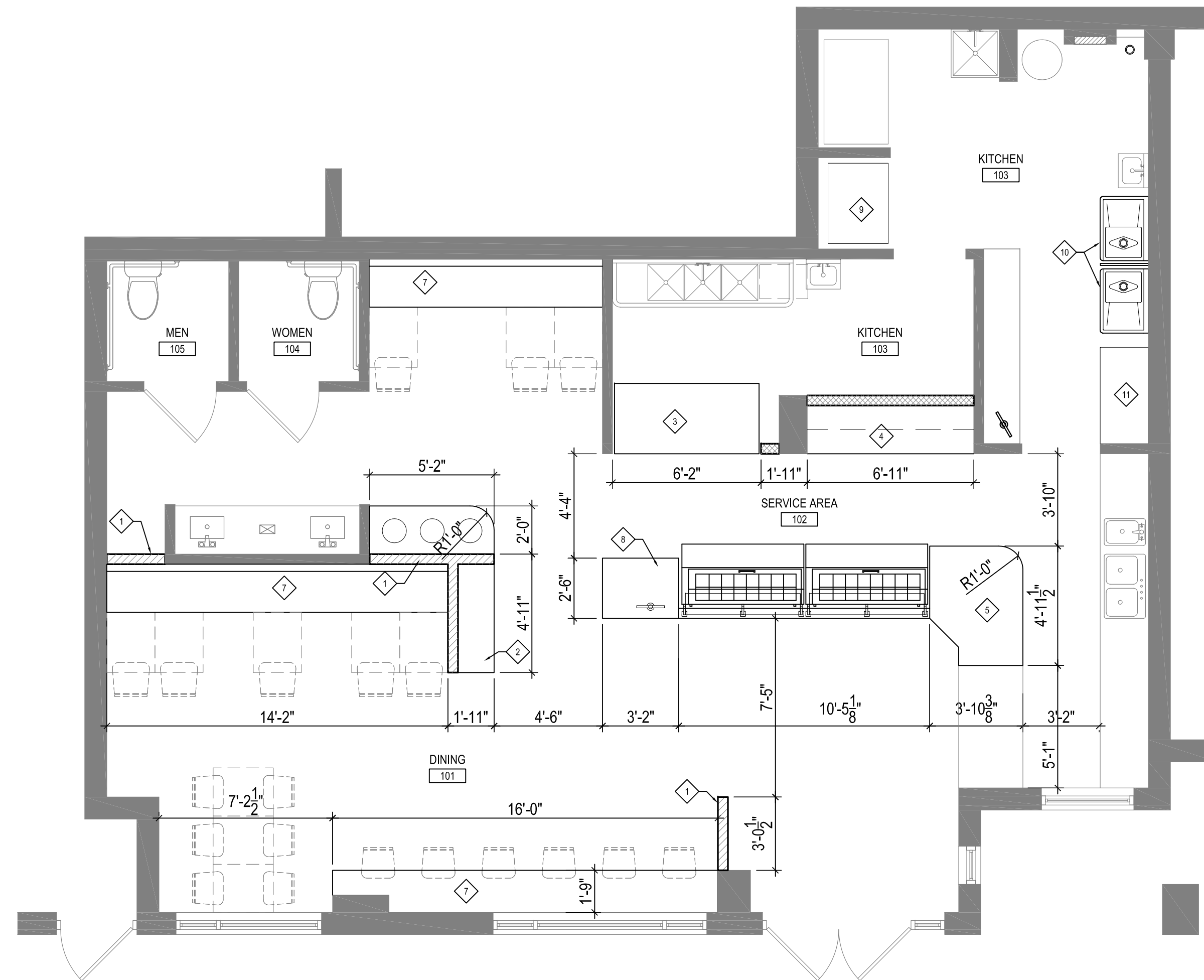
- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- o—o—o— EXISTING DOOR AND FRAME TO BE REMOVED
- o—o—o— EXISTING DOOR AND FRAME TO REMAIN

DRAWING TITLE	1ST FLOOR DEMOLITION PLAN
SCALE	AS SHOWN
ISSUE DATE	
PLOT DATE	

DRAWING REV.	

DRAWING NO.

A121



1ST FLOOR PLAN
1/4" = 1'-0"



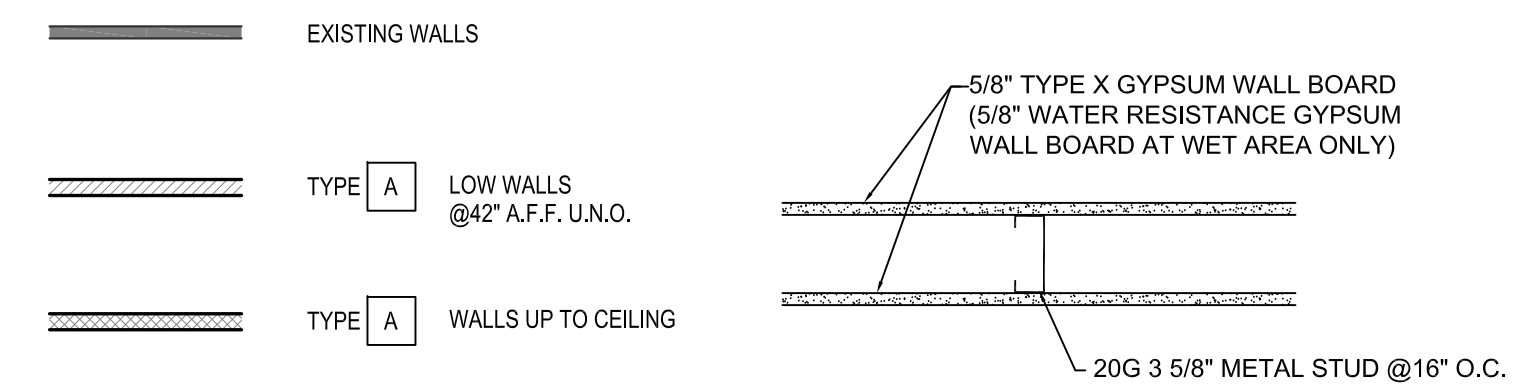
GENERAL NOTES:

1. GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION CONTACT ARCHITECT IF ANY DISCREPANCIES ARE FOUND. ALL WORK SHALL BE IN COMPLIANCE WITH IBC 2012, NFPA, OSHA AND ALL OTHER APPLICABLE GOVERNMENT AND REGULATORY AGENCIES.
2. VERIFY LOCATION AND PLACEMENT OF ELECTRICAL, PHONE AND DATA LINES WITH OWNER BEFORE INSTALLATION.
3. FIRE EXTINGUISHERS AND MOUNTING BRACKETS TO BE UNLISTED, GC TO PROVIDE AND INSTALL.
4. MAINTAIN A MINIMUM OF 36" CLEAR, UNOBSTRUCTED EMERGENCY EXIT AISLE TOWARD DESIGNATED EXIT.
5. CONTRACTOR SHALL EMPLOY PRECAUTIONS NECESSARY TO ENSURE STRUCTURAL INTEGRITY OF ADJACENT ASSEMBLIES.
6. MILLWORK TO BE BIDDER DESIGNED TO MEET REQUIREMENTS OF OWNER, ARCHITECT AND APPLICABLE CODES.
7. PATCH EXISTING FLOORING AS REQUIRED TO MATCH EXISTING.
8. THE MAXIMUM FLAME-SPREAD CLASS OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILING SHALL NOT EXCEED THAT SET FORTH ON TABLE 803.9, IBC 2012.
9. ALL GWB WALLS AND CEILINGS ARE TO RECEIVE SMOOTH WALL FINISH WITH ENAMEL PAINT, UNLESS NOTED OTHERWISE. PROVIDE 1 COAT OF PRIME AND 2 COATS OF PREMIUM PAINT.
10. PROVIDE 5/8" WATER RESISTANT GWB, (GREEN BOARD) AT PLUMBING WALLS, - TYP.
11. PROVIDE SOUND BATT INSULATION AT KITCHEN AND RESTROOM WALLS.
12. SEAL ALL PENETRATIONS IN FIRE RATED WALLS WITH FIRE STOPPING.
13. TACTILE EXIT SIGNS PER A117.1-2009 ARE REQUIRED AT THE REQUIRED EXIT DISCHARGE DOORS TO THE EXTERIOR PER IBC SECTION 1011.4.
14. INTERIOR PARTITION SHALL BE PARTITION TYPE [A] U.N.O.

FLOOR PLAN KEYED NOTES:

1. LOW WALLS W/ SOLID SURFACE TOP @ 42" A.F.F.
2. CONDIMENT STATION WITH ENCLOSED TRASH CAN, SOLID SURFACING COUNTERTOP AT 36" A.F.F.
3. NEW OPEN AIR BEVERAGE CASE
4. BASE CABINET W/ SOLID SURFACING COUNTER TOP @ 36" A.F.F.
5. OPEN SHELVING BASE CABINET W/ SOLID SURFACING COUNTER TOP. COUNTER TOP HEIGHT MATCH TO EXISTING ADJACENT SURFACE HEIGHT.
6. COUNTER TOP DINING SURFACE @ 42" A.F.F.
7. FIXED BENCH SEATING, SEE DETAIL @ 5 / A502
8. ACCESSIBLE COUNTER TOP @ 36" A.F.F.
9. NEW FREEZER
10. NEW SINKS
11. NEW WORK TABLE

WALL LEGEND



ROOM FINISH SCHEDULE

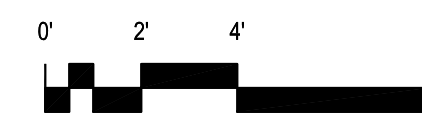
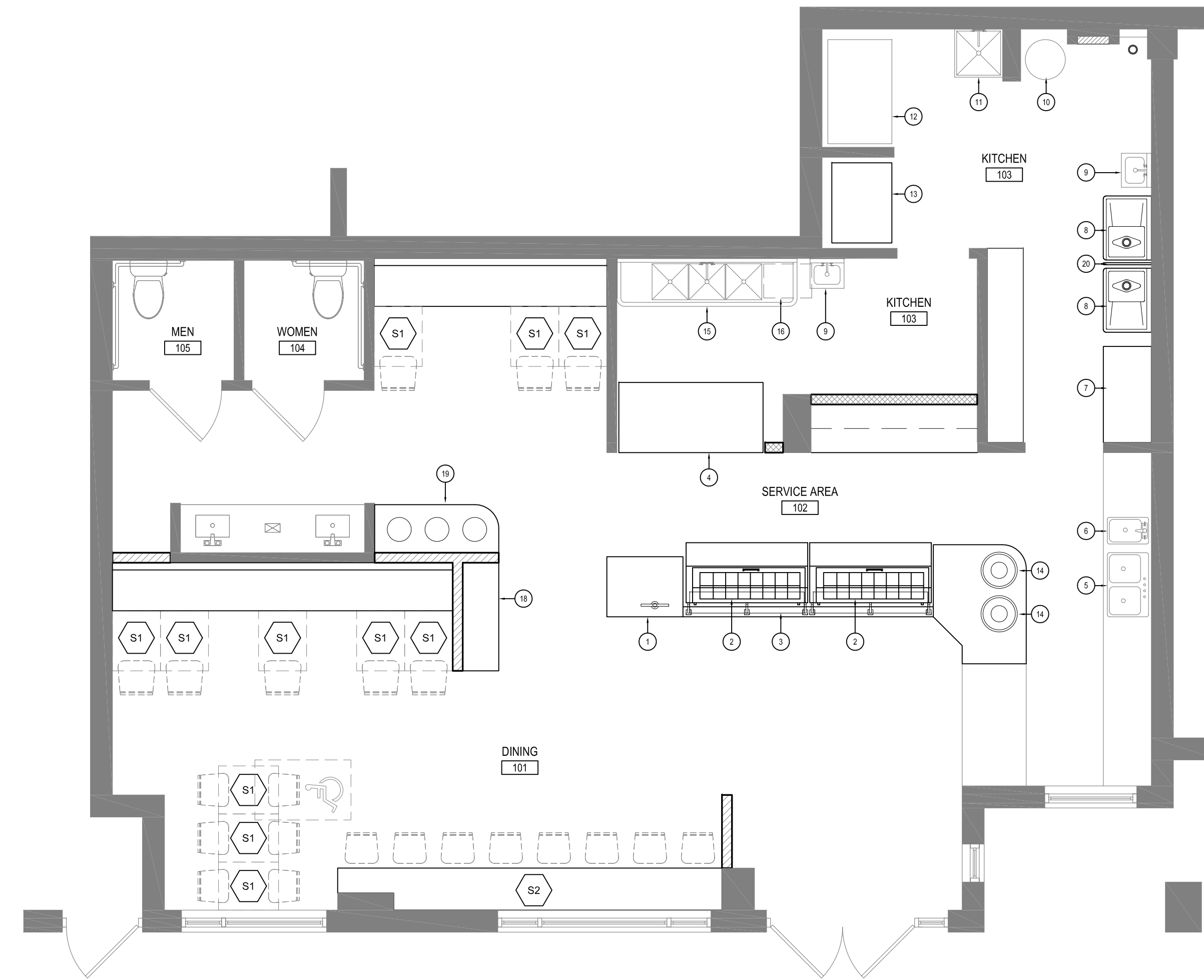
ROOM NO.	ROOM NAME	FLOOR TYPE	FLOOR BASE	WALL FINISHES				CEILING FINISH	NOTE
				NORTH	EAST	SOUTH	WEST		
101	DINING	SC	VB	P	P	P	P	OPEN CEILING / P	1
102	SERVICE AREA	SC	VB	EP	EP	EP	EP	OPEN CEILING / P	1
103	KITCHEN	SC	VB	EP	EP	EP	EP	WASHABLE CEILING TILE	1, 2
104	WOMEN	SC	VB	EP	EP	EP	EP	EP	1
105	MEN	SC	VB	EP	EP	EP	EP	EP	1

ROOM FINISH SCHEDULE NOTES

1. ALL FINISHES ARE EXISTING, U.N.O.
2. EXISTING FRP WALL COVERING UP TO 8'-0" A.F.F.

ROOM FINISH SCHEDULE LEGEND

ABBREVIATIONS			
CT	CERAMIC TILE	MTR	Mortar
CTB	CERAMIC TILE COVE BASE	P	PAINT
E	EXISTING	SC	SEALED CONC.
EP	EPOXY PAINT	VB	VINYL BASE
EXP	Exposed		



1ST FLOOR EQUIPMENT PLAN
1/4" = 1'-0"



EQUIPMENT SCHEDULE

MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	UTILITY	NOTE
1	1	CASH REGISTER	-	-	-	-
2	2	60" SANDWICH PREPARATION TABLE	TURBO AIR	TST-60	115V/60/1PH, 8.9 AMPS	-
3	1	SNEEZE GUARD	-	-	-	-
4	1	72"(W) OPEN AIR BEVERAGE CASE	TURBO AIR	TOM-72E	115V/60/1PH, 15 AMPS	-
5	1	(E) 2-COMPARTMENT PREP. SINK	-	-	-	-
6	1	(E) COUNTER TOP HAND SINK	-	-	-	-
7	1	24"x48" SSTL WORK TABLE	EAGLE	T2448SE	-	-
8	2	1-COMPARTMENT PREP. SINK	REGENCY	600S11818218	CW/HW	2
9	2	(E) WALL MOUNT HAND SINK	-	-	-	-
10	1	(E) 50 GAL. HOT WATER HEATER	-	-	-	-
11	1	(E) FLOOR MOUNT MOP SINK	-	-	-	-
12	1	(E) 52" 2DR REACH IN COOLER	-	-	-	-
13	1	40" 2DR REACH IN FREEZER	TURBO AIR	TSF-35SD	115V/60/1PH, 10 AMPS	-
14	2	RICE COOKER & WARMER	THUNDER	SEJ22000	120V/60/1PH, 100W	-
15	1	(E) 3-COMPARTMENT SINK	-	-	-	-
16	1	(E) 25 GPM GREASE TRAP	-	-	-	-
17	1	SPLASH GUARD	-	-	-	-
18	1	CONDIMENT STATION	-	-	-	-
19	1	TRASH CAN ENCLOSURE	-	-	-	-

* ALL EQUIPMENT ARE COMMERCIAL MODEL, NSF LISTED

NOTE

- DIRECT DRAIN
- INDIRECT DRAIN TO FLOOR SINK
- SPLASH GUARD INSTALLED BOTH SIDES W/ SOAP & PAPER TOWEL DISPENSER INSIDE THE SPLASH GUARD

SEATING SCHEDULE

MARK	TYPE	QUANTITY	SEATS	NOTE
S-1	2 TOP	11	22	
S-2	COUNTERTOP	1	8	
TOTAL		12	30	

NOTE :

INTERNATIONAL BUILDING CODE 2015 / SECTION 1108.2.9.1 DINING SURFACES.
5% OF 11 TABLE = 1 ACCESSIBLE TABLES

FIXTURE NOTES

- ALL THE COUNTERS AND BASE CABINETS ARE TO BE FURNISHED AND INSTALLED BY CONTRACTOR. PROVIDE SHOP DRAWINGS.
- HOT WATER SHALL NOT EXCEED 120° AT ALL HAND SINKS.
- HOT WATER HEATERS MUST BE ABLE TO ACCOMMODATE ALL HOT WATER NEEDS. PROVIDE SEISMIC STRAPS WITHIN UPPER 1/3 OF HOT WATER TANK. PROVIDE EXPANSION TANK.
- 3-COMPARTMENT SINK, OR COMMERCIAL DISHWASHER IS REQUIRED TO BE LARGE ENOUGH TO ACCOMMODATE THE LARGEST ITEM TO BE WASHED. THE 3-COMPARTMENT SINK SHALL HAVE DRAIN BOARDS ON EACH SIDE.
- ALL SURFACES(WALL, FLOOR, COUNTER, ETC) MUST BE SMOOTH, EASILY CLEANABLE, AND NON-ABSORBANT.
- ALL FLOOR & WALL JUNCTIONS MUST HAVE COVE BASE.
- HAND WASH SINKS MUST BE 10"x10"x5" DEEP.
- HAND SOAP AND PAPER TOWEL DISPENSERS SHALL BE PROVIDED AT EACH HAND SINK(BY OWNER).
- ALL WOOD SURFACES MUST BE SEALED.
- LIGHTING IS REQUIRED TO BE AT LEAST TWENTY(20) FOOT CANDLES ON ALL FOOD PREPARATION SURFACES AND AT EQUIPMENT / UTENSIL-WASHING WORK LEVELS. PROVIDE (10)FOOT CANDLES OF LIGHT IN WALK-IN COOLER UNIT AND DRY STORAGE AREA AND ALL OTHER AREAS.
- ALL LIGHT FIXTURES IN KITCHEN MUST BE SHIELDED.
- BIDDER DESIGN HOOD, DUCT SHAFT, CURB, ROOF STRUCTURE AND ROOFING MODIFICATION TO MEET REQUIREMENTS OF OWNER AND APPLICABLE CODES. CONTRACTOR SHALL COORDINATE WITH CURRENT ROOFING CONTRACTOR UNDER WARRANTY TO VALIDATE ANY ROOFING MODIFICATION FOR SCOPE OF WORK DESCRIBED UNDER THIS CONSTRUCTION DOCUMENT.

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A132