OFFICE IMPROVEMENTS COMPLETED



14700 E 38TH AVENUE

AURORA, COLORADO



PROPERTY FEATURES

Building Size ±70,080 SF (Divisible) **Zoning**

Office Size ±3,778 SF **Power** 600 Amps, 480 volt, 3-phase

Clear Height 22' **Sprinklers** ESFR, K25

(14) Dock high doors **Building Depth** 160' (2) Drive-in doors

Parking Spaces 53

(5) Rail Doors **Operating Expenses** \$5.06/SF (2024)

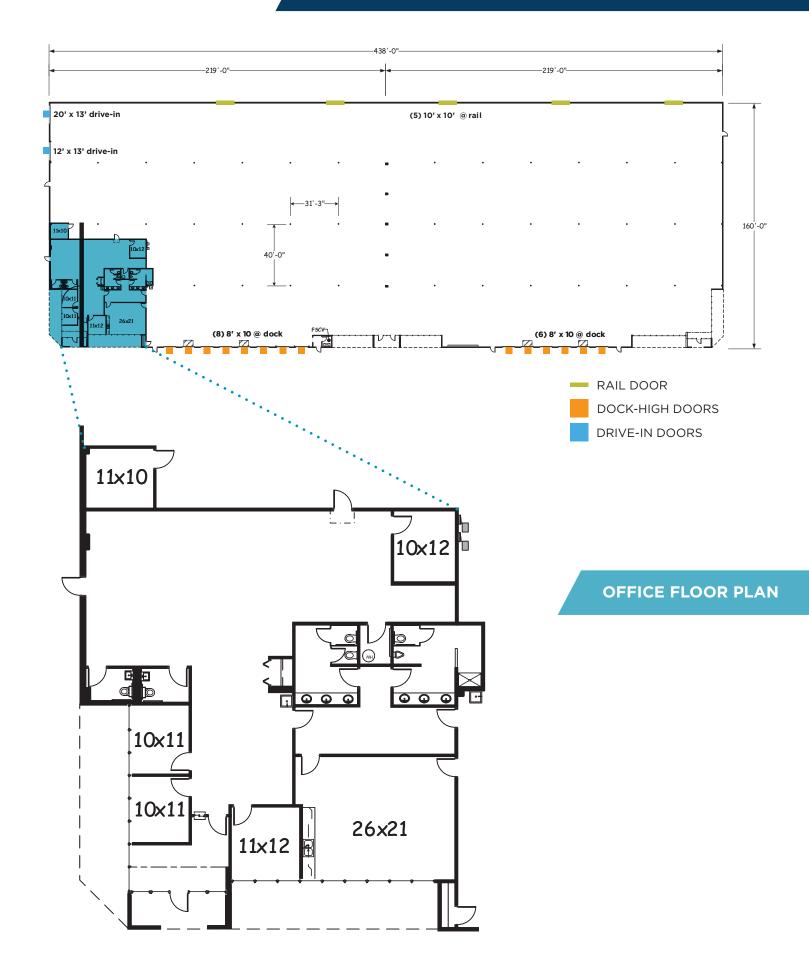
ADDITIONAL HIGHLIGHTS

Loading

- Skylights
- Union Pacific Rail
- Pit levelers

- Secured entry
- 15 Minutes from Denver International Airport
- 20 Minutes from Downtown Denver

14700 E 38TH AVENUE AURORA, COLORADO





14700 E 38TH AVENUE

AURORA, COLORADO











Contact

DREW MCMANUS, SIOR

Executive Managing Director +1 303 813 6427 drew.mcmanus@cushwake.com

MATT TRONE, SIOR

Executive Director +1 303 813 6426 matt.trone@cushwake.com

RYAN SEARLE

Senior Director +1 303 813 6499 ryan.searle@cushwake.com

JOEY TRINKLE

Director +1 303 312 4249 joey.trinkle@cushwake.com

©2024 Cushman & Wakefield. All rights reserved. The information contained in this communication is strictly confidential. This information has been obtained from sources believed to be reliable but has not been verified. No warranty or representation, express or implied, is made as to the condition of the property (or properties) referenced herein or as to the accuracy or completeness of the information contained herein, and same is submitted subject to errors, omissions, change of price, rental or other conditions, withdrawal without notice, and to any special listing conditions imposed by the property owner(s). Any projections, opinions or estimates are subject to uncertainty and do not signify current or future property performance.