

# OFFICE IMPROVEMENTS COMPLETED

RAIL SERVED

FOR LEASE / 70,080 SF

**14700 E 38TH AVENUE**  
AURORA, COLORADO



## PROPERTY FEATURES

**Building Size** ±70,080 SF (Divisible)  
**Office Size** ±3,778 SF  
**Clear Height** 22'  
**Loading** (14) Dock high doors  
(2) Drive-in doors  
(5) Rail Doors

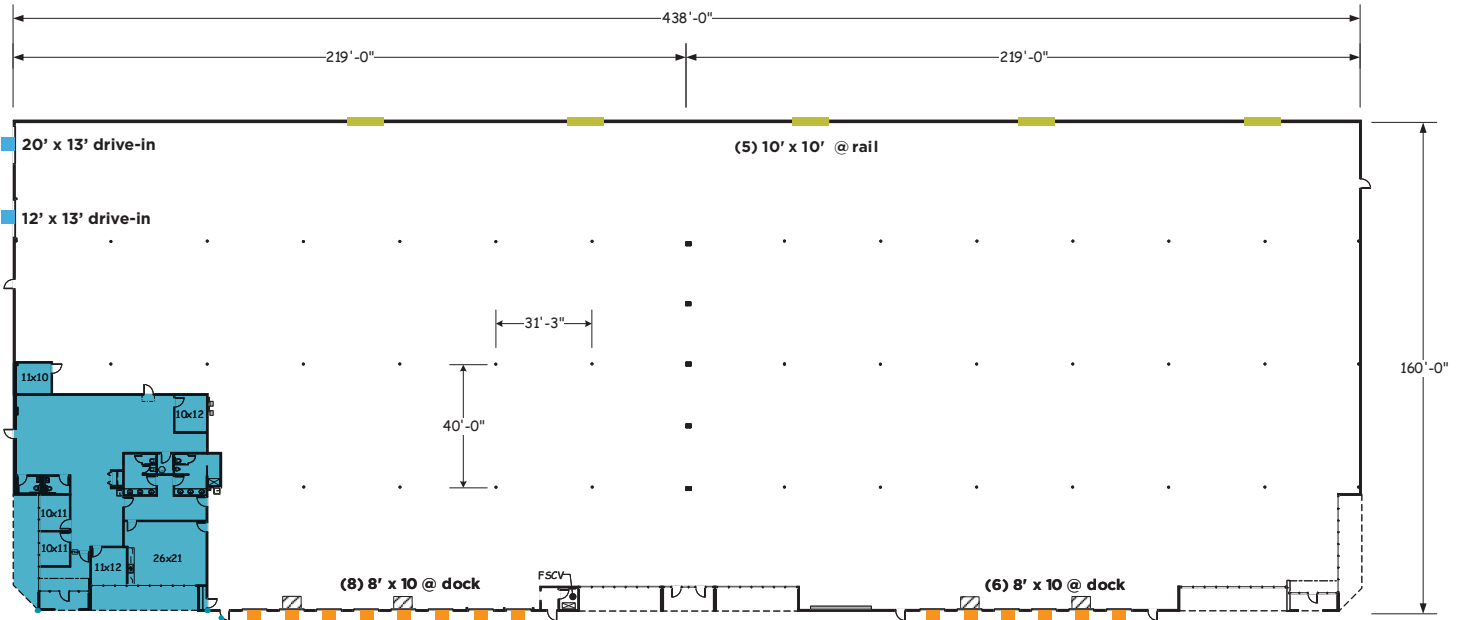
**Zoning** I-1  
**Power** 600 Amps, 480 volt, 3-phase  
**Sprinklers** ESFR, K25  
**Building Depth** 160'  
**Parking Spaces** 53  
**Operating Expenses** \$5.06/SF (2024)

## ADDITIONAL HIGHLIGHTS

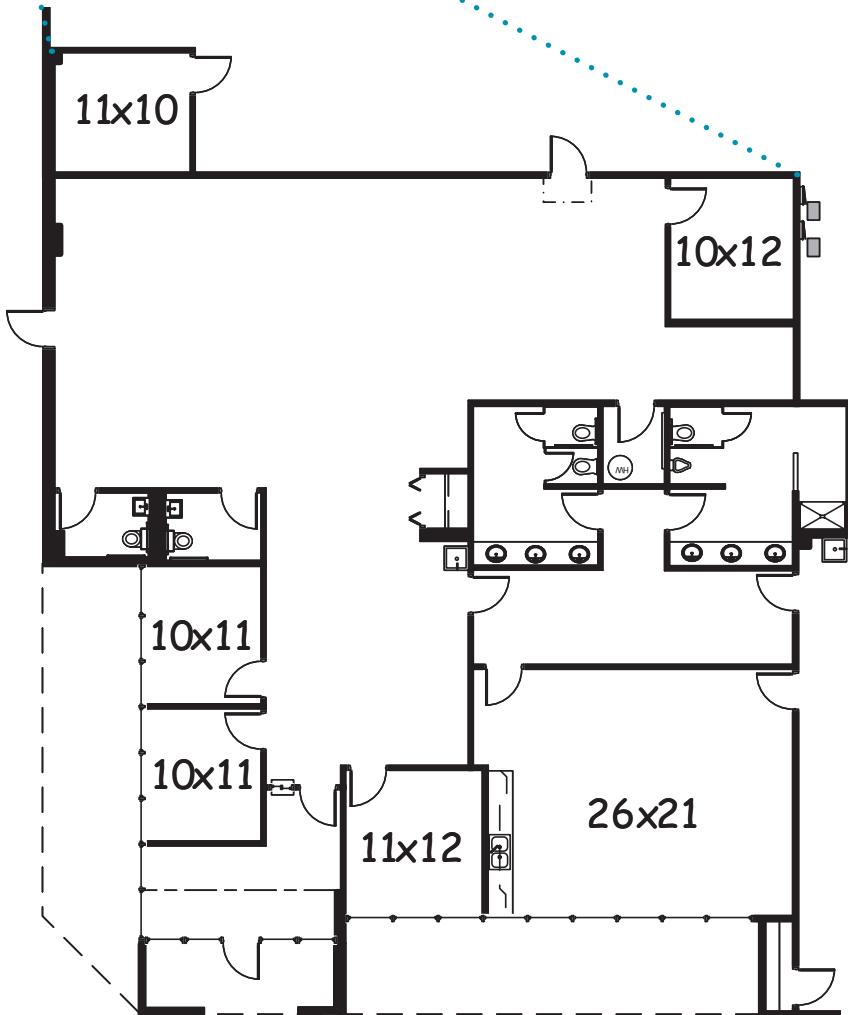
- Skylights
- Union Pacific Rail
- Pit levelers
- Secured entry
- 15 Minutes from Denver International Airport
- 20 Minutes from Downtown Denver

# FLOOR PLAN

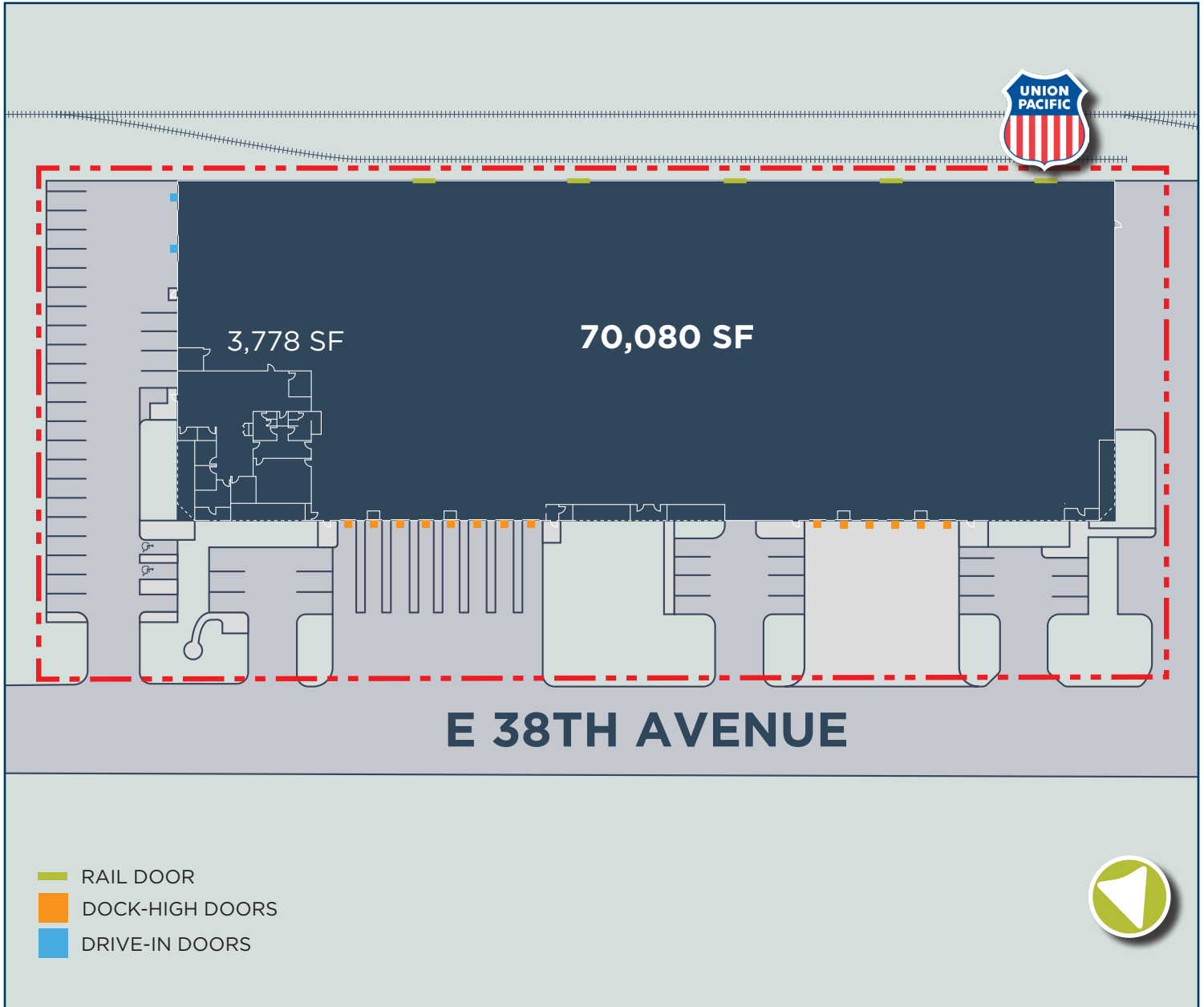
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- RAIL DOOR
- DOCK-HIGH DOORS
- DRIVE-IN DOORS



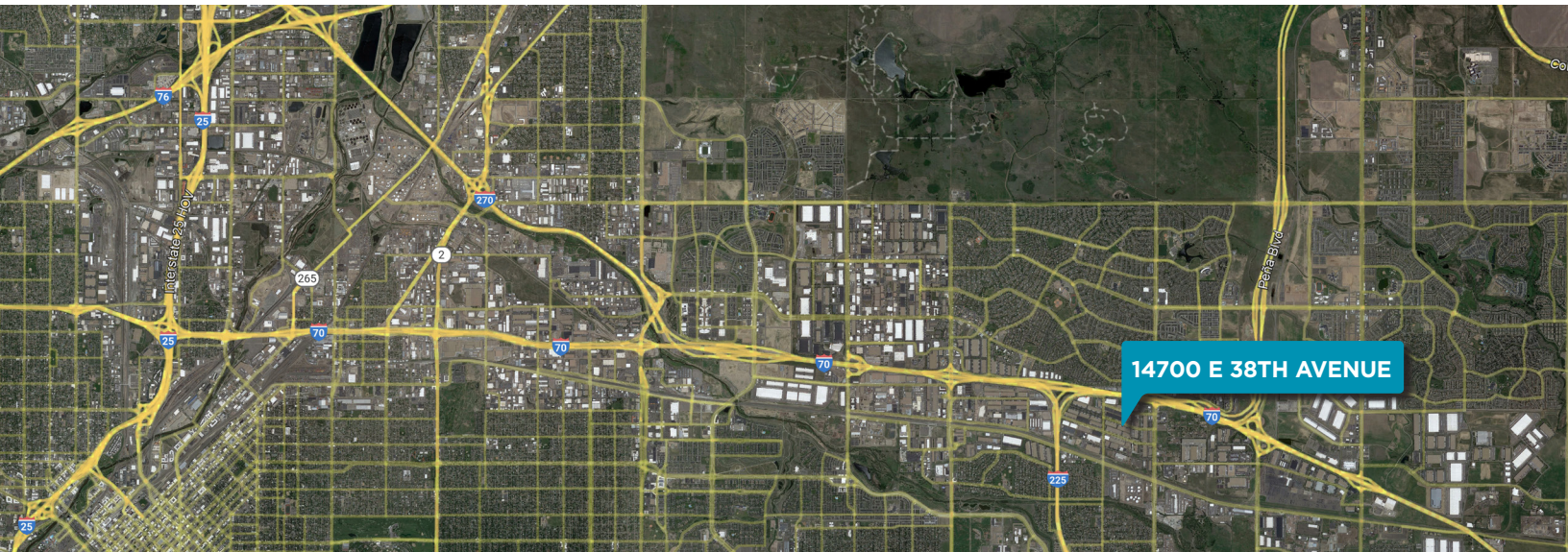
# OFFICE FLOOR PLAN



FOR LEASE / 70,080 SF

# 14700 E 38TH AVENUE

AURORA, COLORADO



## Contact

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