



RETAIL/OFFICE BUILDING FOR SALE

931 Santa Fe Drive, Denver, CO 80204

Sales Price: \$2,995,000 | Zoning: C-MS-5



HENRY GROUP
REAL ESTATE

Amanda Tompkins Senior Vice President | amanda@henrygroupre.com | 720.837.5541

PROPERTY DESCRIPTION

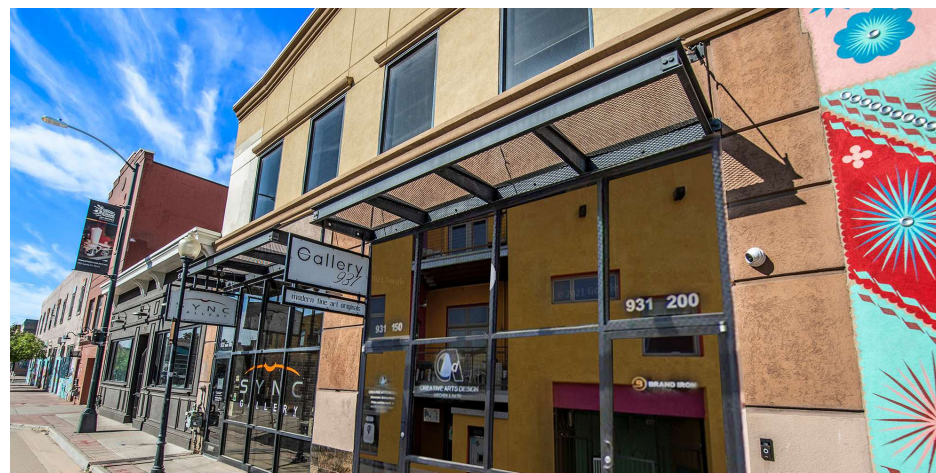
931 Santa Fe Drive is a property comprised of two buildings-one retail/office and one residential-and is situated in Denver's bustling Art District on Santa Fe (ADSF). Located in the heart of this vibrant area, the property provides easy access to art, culture, dining, and numerous events, including the popular First Friday Art Walk that attracts thousands of visitors each month.

The retail/office building, which was constructed in 2006, is an exceptional opportunity for an owner/user or investor. The ground floor is made up of two retail units each leased to separate art galleries. The 2nd floor is a recently renovated contemporary office space with its own separate entrance from street level. The retail/office portion of this building comes with 6 parking spaces located in the back of the building. Each floor has its own HVAC unit. There is one water heater for the building located in the basement.

The residential building, located on the west end of the property, is comprised of two 800 SF, 2 bed 1 bath private units, each with its own separate entrance. The interior spaces were completed renovated in 2006. This building offers 3 parking spaces for use by the residential tenants. Each floor/unit also has its own heating system.

PROPERTY HIGHLIGHTS

- Prime location in Denver's Art District on Santa Fe (ADSF)
- Less than 5 minutes from I-25 and 6th Ave
- 92 Walk Score
- Pedestrian friendly - within walking distance to ample retail stores and restaurants
- Newer construction
- Great opportunity for owner/user looking to occupy 2,500+ SF with considerable additional income



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RETAIL/OFFICE

Building Size	5,794 SF
Year Built	2006
Units	Two (2) Retail & One (1) Office
Parking	Six (6) Spaces

RESIDENTIAL

Building Size	1,600 SF*
Full Interior Renovation	2006
Units	Two (2) Two (2) Bedroom, One (1) Bath
Parking	Three (3) Spaces

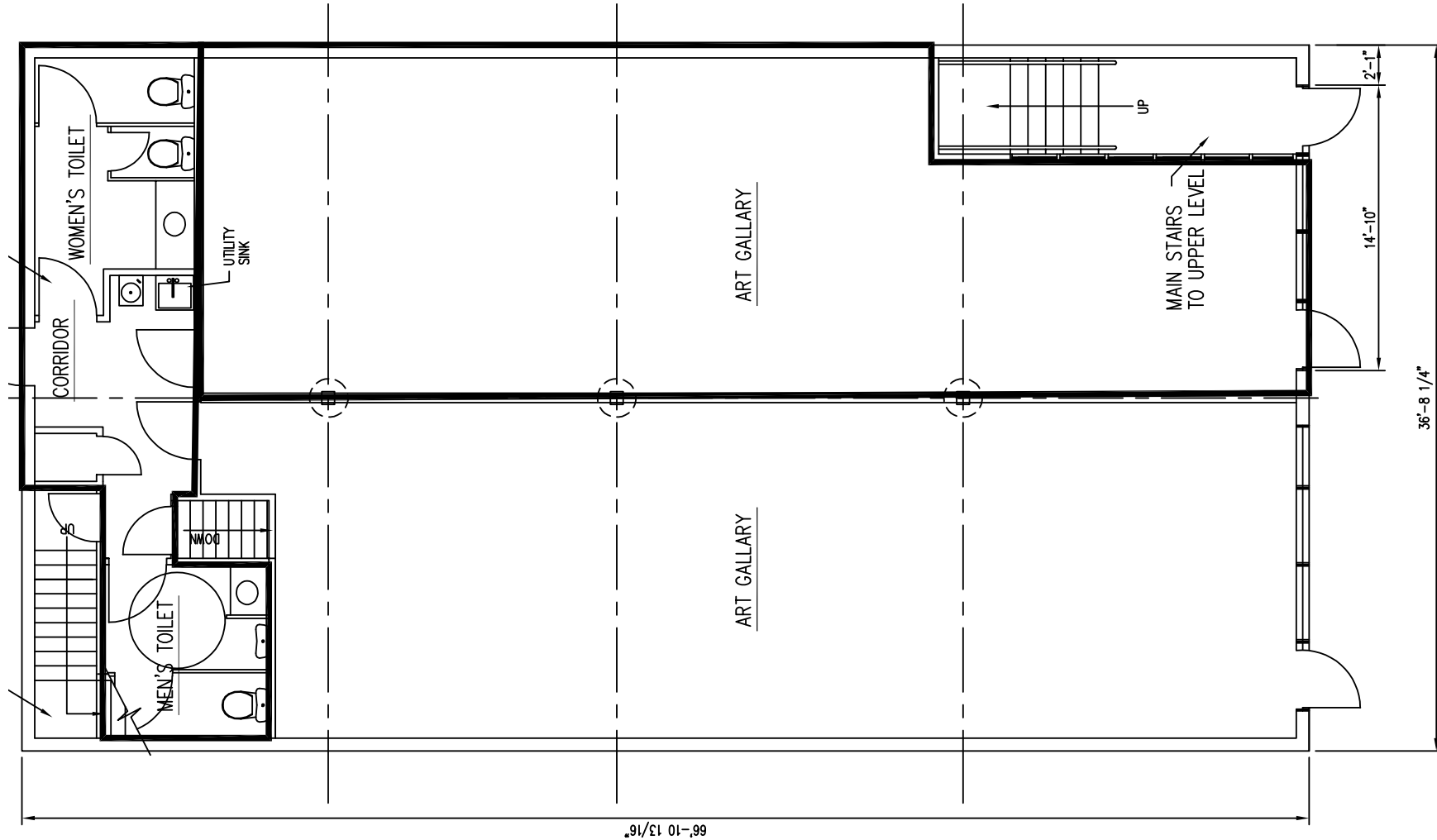
*To be verified

SUITE	TENANT NAME	SIZE SF	GROSS RENT	MONTHLY RENT	ANNUAL RENT	LEASE END
Residential A	Tenant A	800 SF	\$22.50	\$1,500	\$18,000	9/30/2026
Residential B	Tenant B	800 SF	\$24.00	\$1,600	\$19,200	9/30/2026
100	SYNC Gallery	1,096 SF	\$30.33	\$2,770	\$33,242	12/31/2025
150	Creative Arts Design Center	1,030 SF	\$30.81	\$2,645	\$31,734	9/30/2026
200*	n/a	2,500 SF	-	-	-	-
TOTALS		6,226 SF			\$102,176	

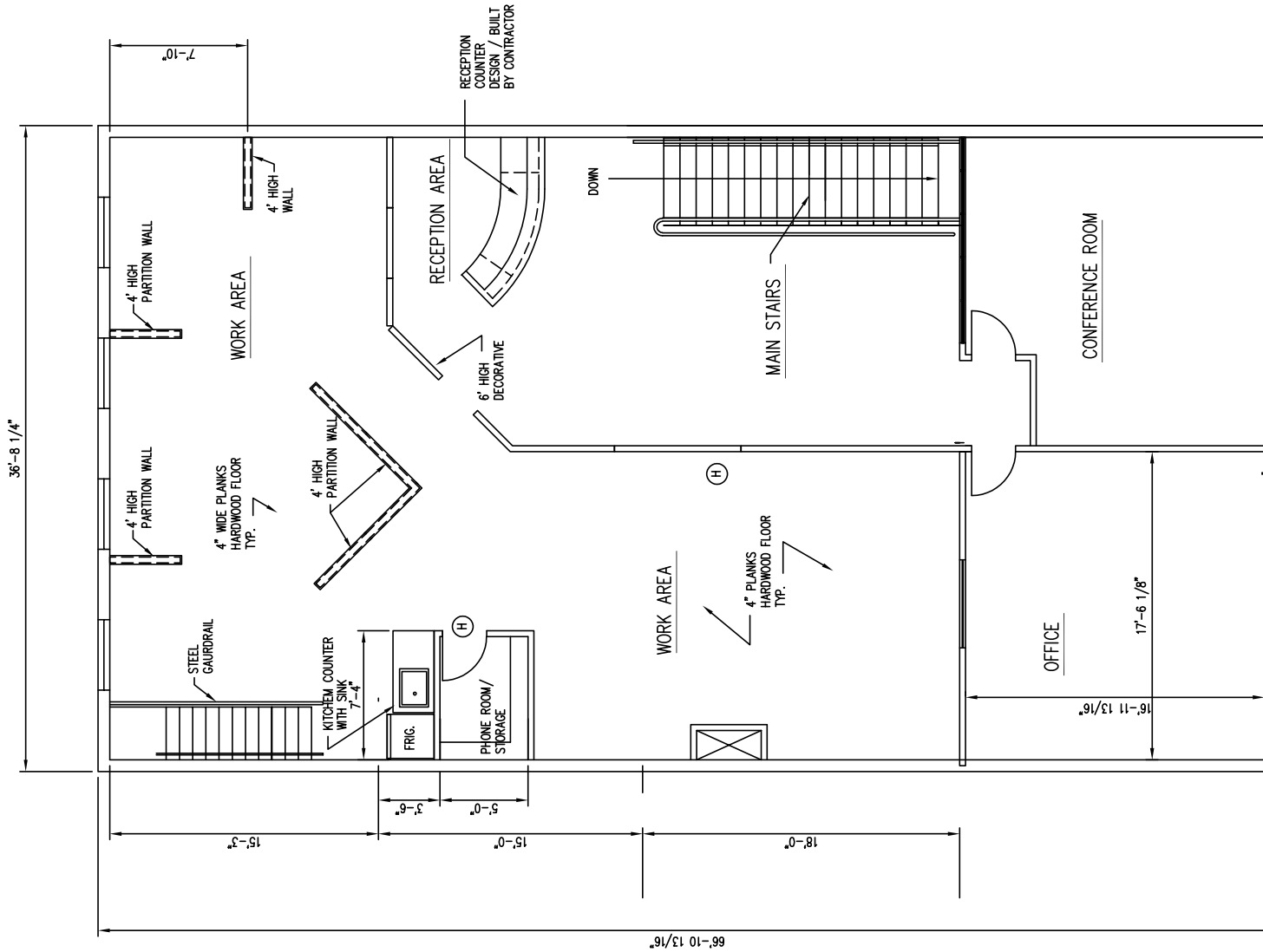
*To be vacant at closing





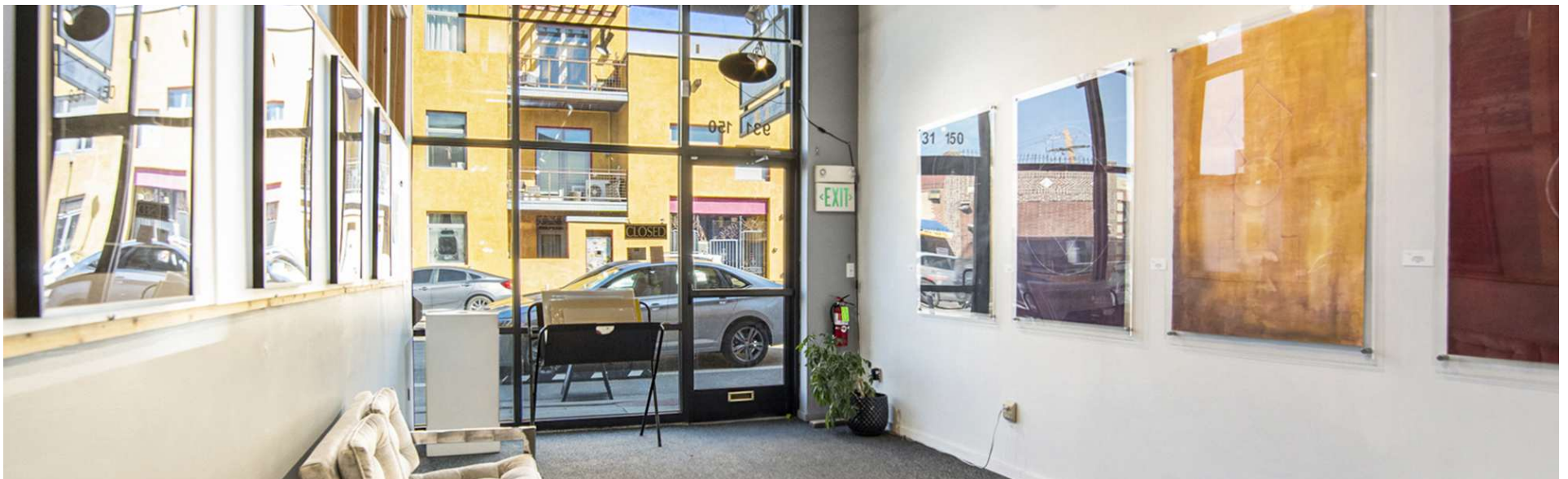


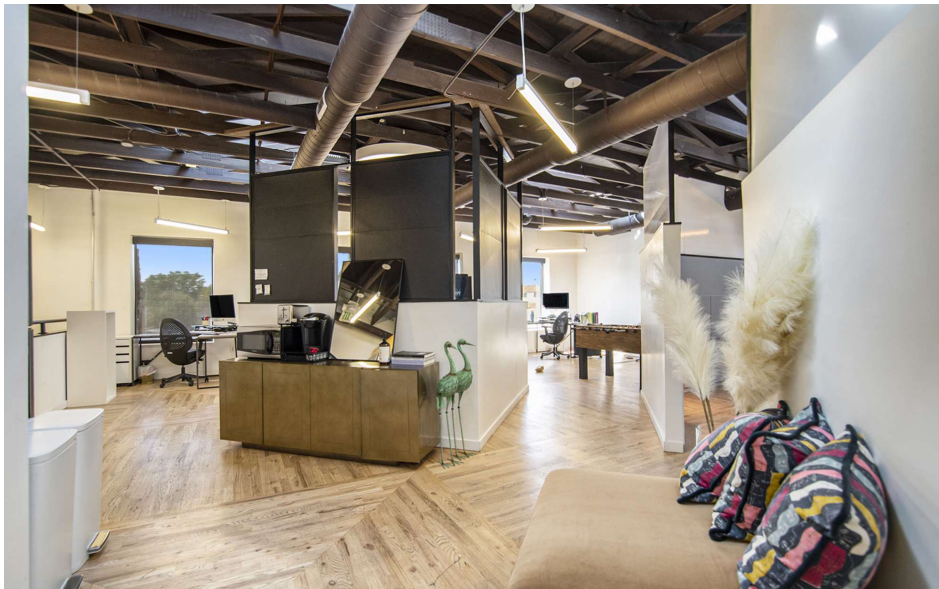
FIRST LEVEL FLOOR PLAN
Retail Spaces



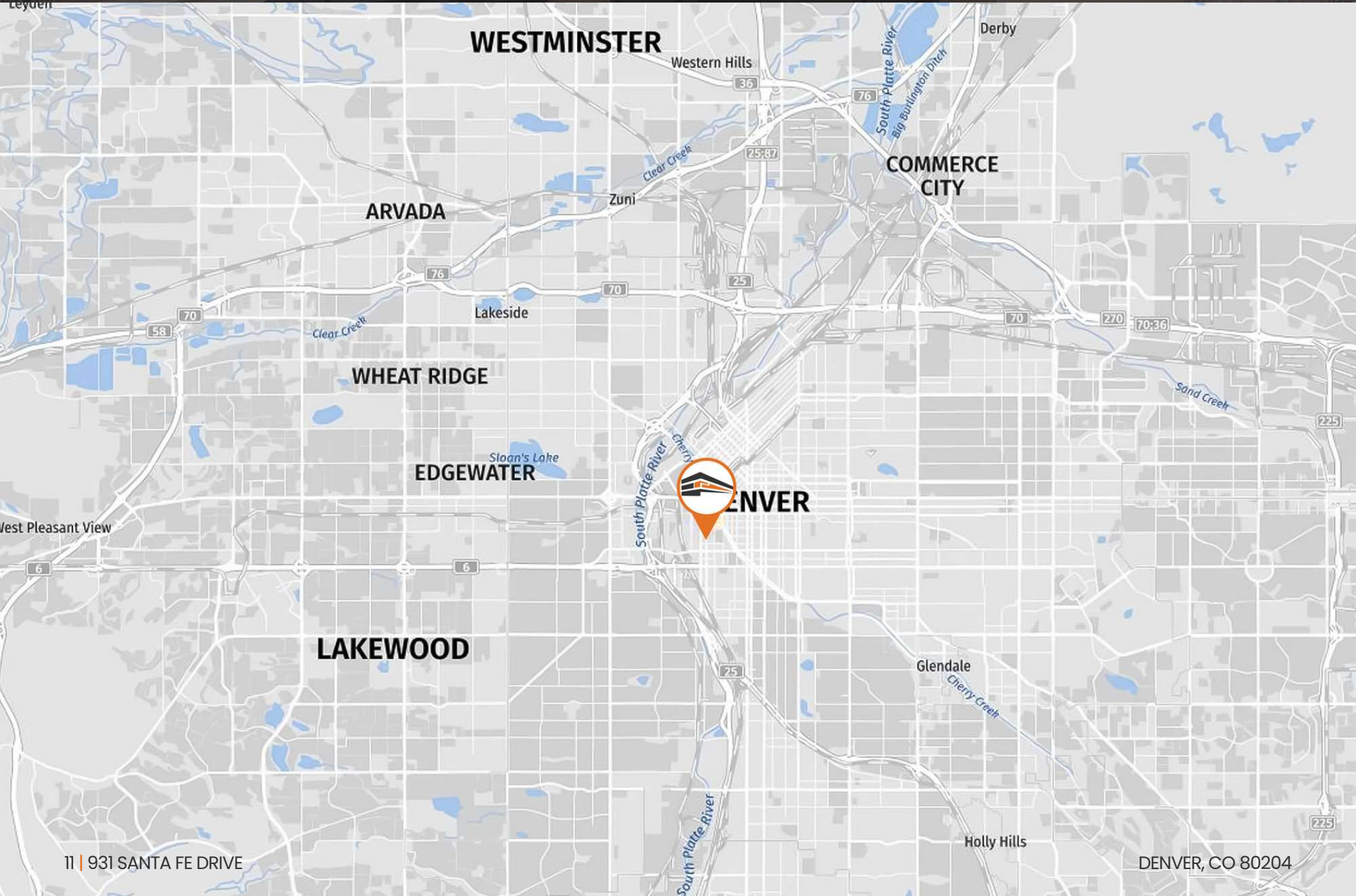
SECOND FLOOR PLAN
Office Space













TO CENTRAL BUSINESS DISTRICT

 **CIVIC CENTER PARK**

 **COLORADO STATE CAPITOL**

 **DENVER ART MUSEUM**

 **KIRKLAND MUSEUM**

**10TH & OSAGE STATION
D,E & H LINE**

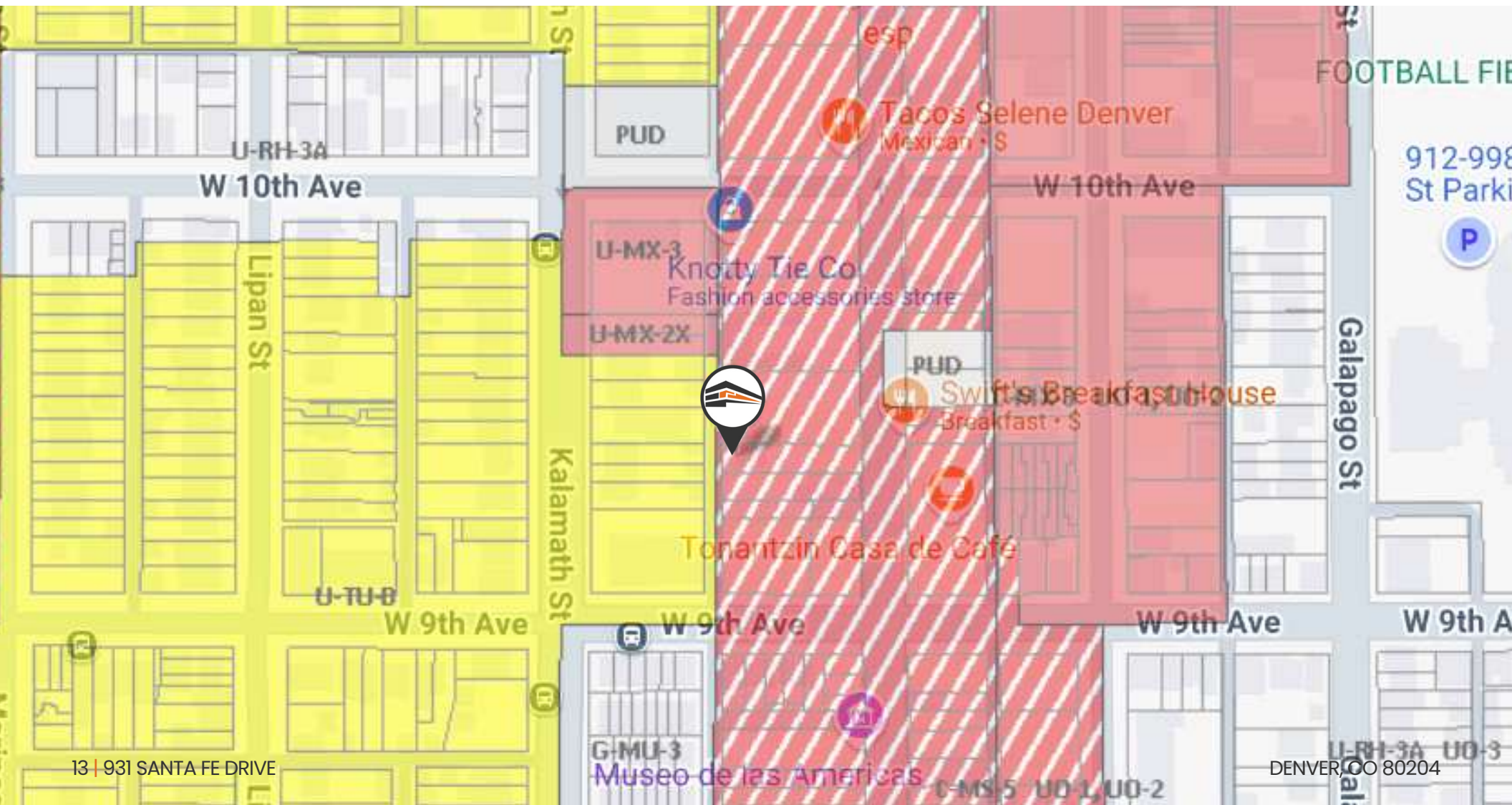
**ART DISTRICT
ON SANTA FE**



**INTERSTATE
25**

C-MS-5 ZONING

[CLICK HERE](#)
DENVER USE CODE



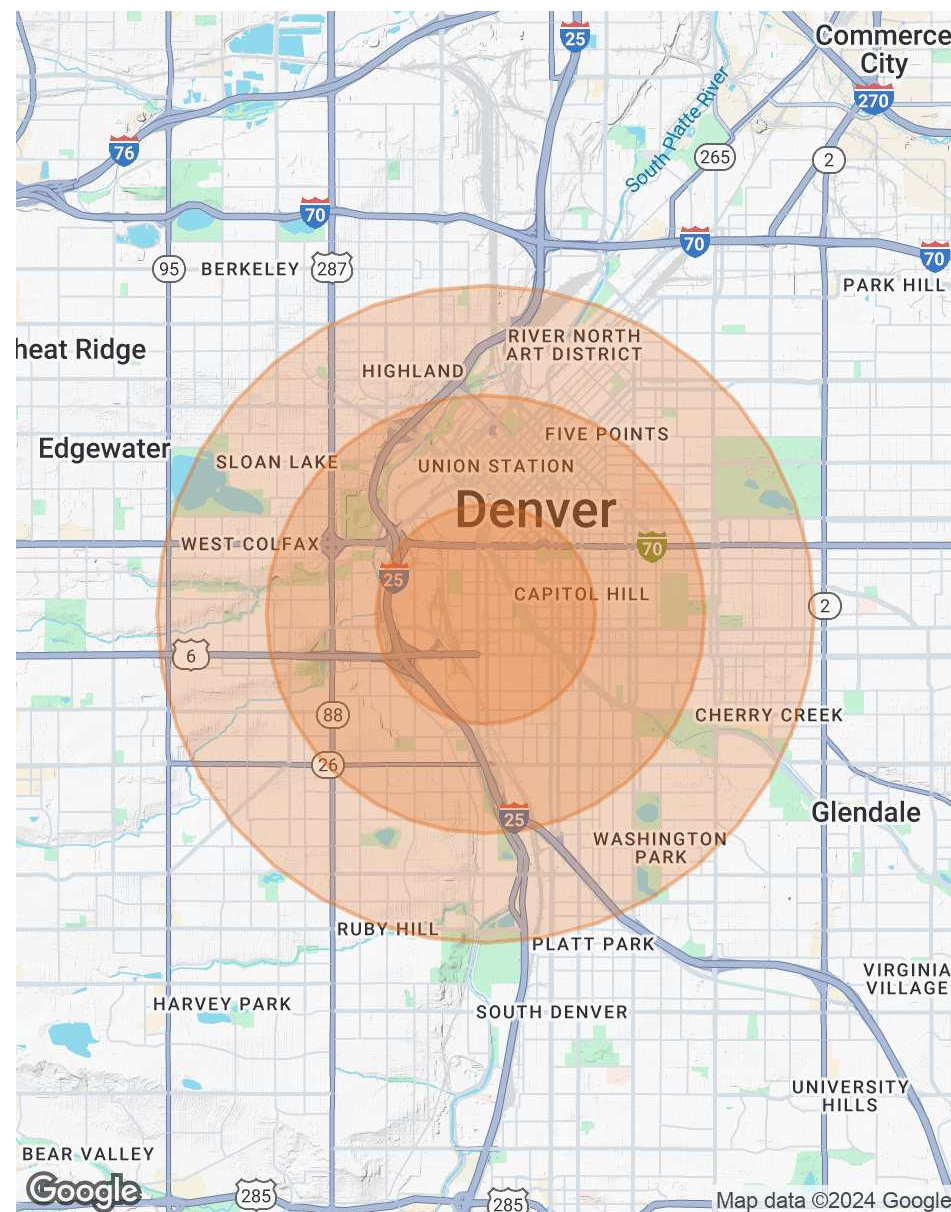
POPULATION

	1 MILE	2 MILES	3 MILES
Total Population	14,476	81,813	191,026
Average Age	31.9	32.1	32.7
Average Age (Male)	32.5	33.4	33.4
Average Age (Female)	32.2	31.7	32.7

HOUSEHOLDS & INCOME

	1 MILE	2 MILES	3 MILES
Total Households	8,325	47,668	96,020
# of Persons per HH	1.7	1.7	2.0
Average HH Income	\$57,695	\$58,140	\$63,236
Average House Value	\$245,416	\$295,426	\$345,696

2020 American Community Survey (ACS)



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495 S Pearl Street, Denver, CO 80209 | 303.625.7444 | www.henrygroupe.com