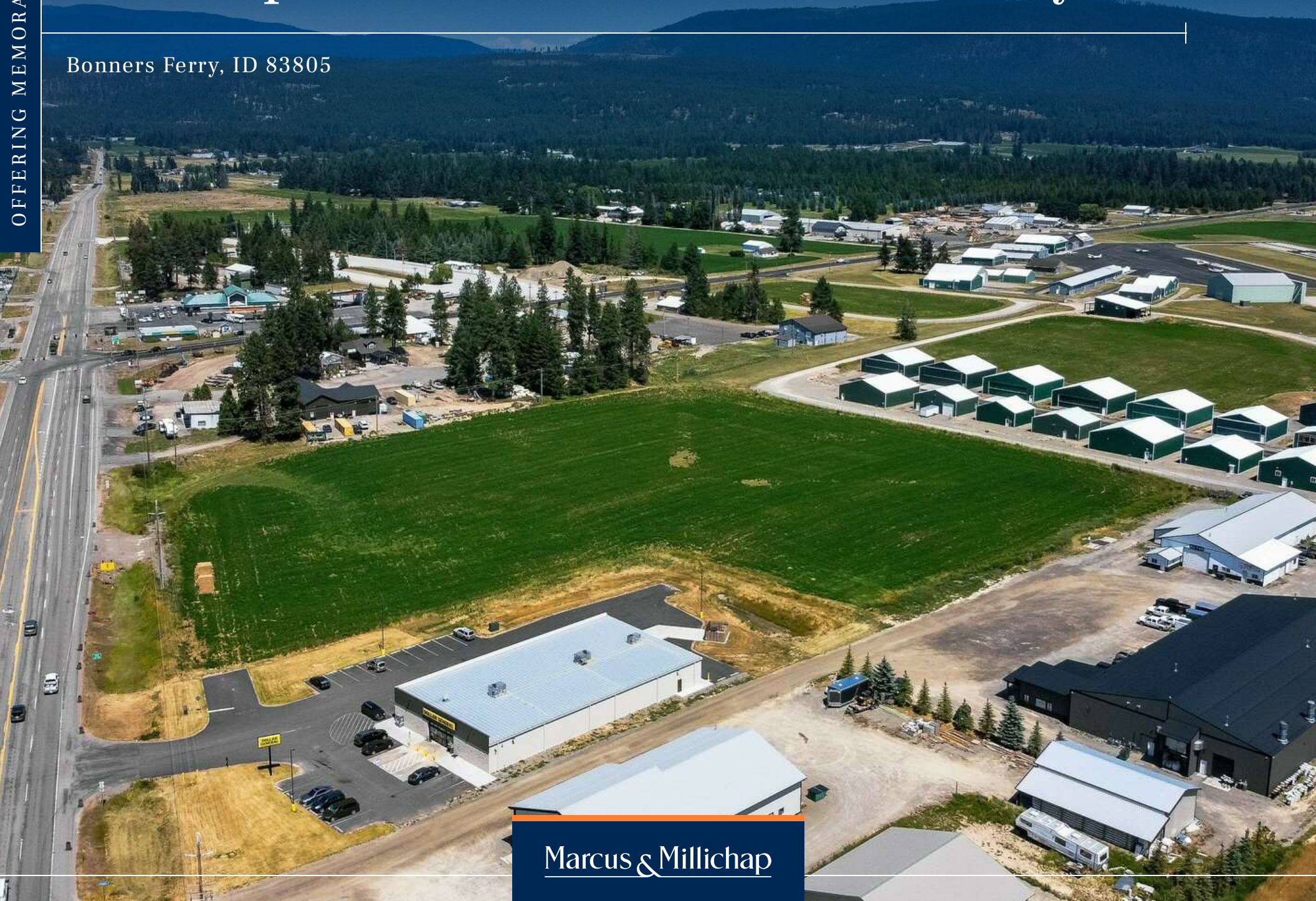


Development Land - Bonner's Ferry, ID

Bonnerr's Ferry, ID 83805



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Activity ID #ZAF0110049

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SECTION 1

Executive Summary

INVESTMENT HIGHLIGHTS

RETAILER MAP

REGIONAL MAP

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BONNER'S FERRY, ID - RETAIL COMMERCIAL LAND

51005 Highway 95, Bonners Ferry, ID 83805

Land Available 8.32 acres (seller has up to 100 acres available with Hwy 95 frontage)

Pricing: Upon Request

Traffic Counts: 10,500 ADT (2023 per ITD)

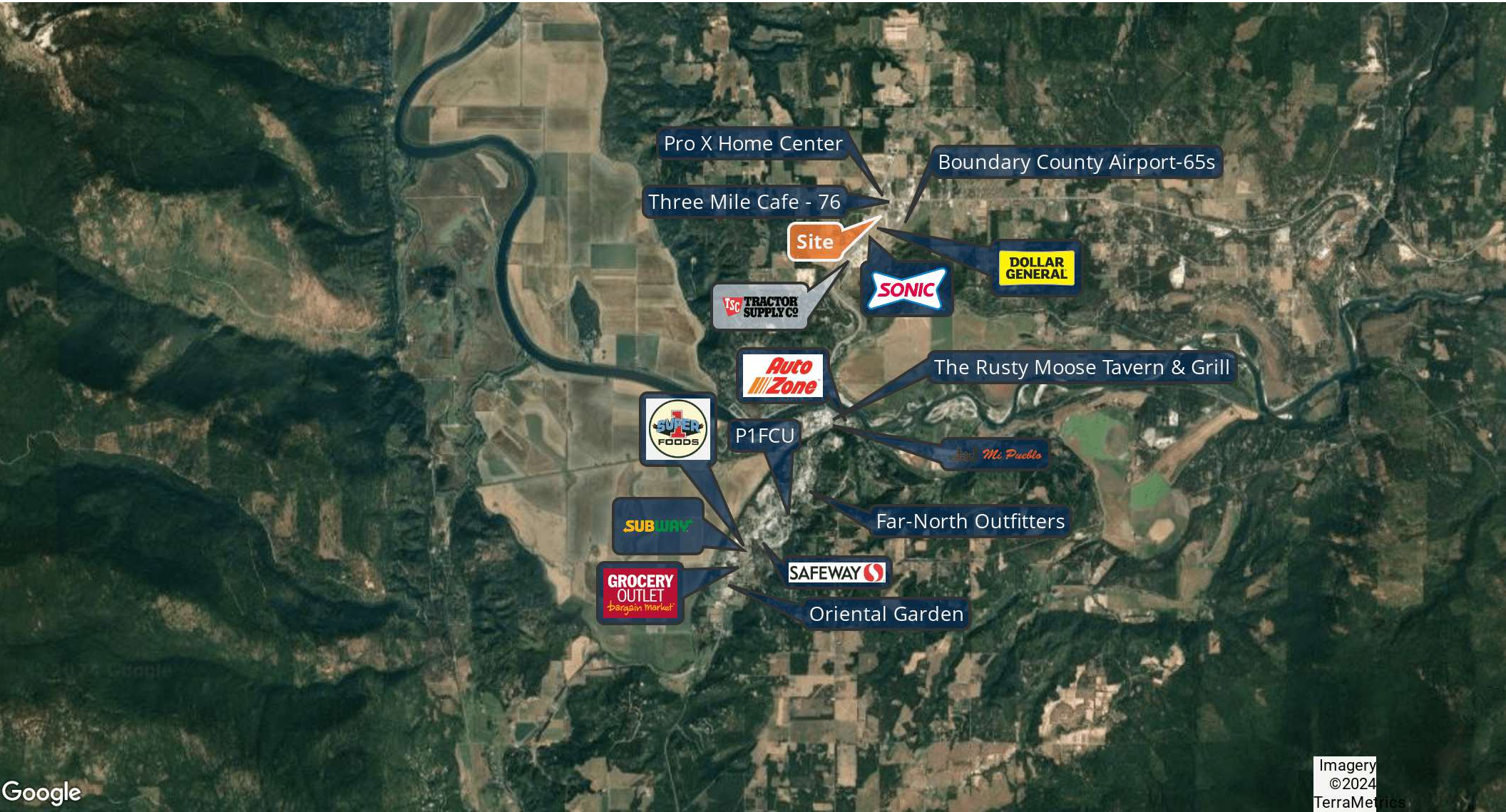
INVESTMENT OVERVIEW

Discover a unique investment opportunity in Bonner's Ferry, Idaho, with an 8.32-acre parcel of versatile land surrounding the Dollar General. Zoned for commercial/light industrial use, this property offers boundless potential for diverse development projects. Enjoy strategic access, scenic surroundings, and a growing economy, making it an ideal choice for investors seeking to capitalize on the thriving real estate market in the region.

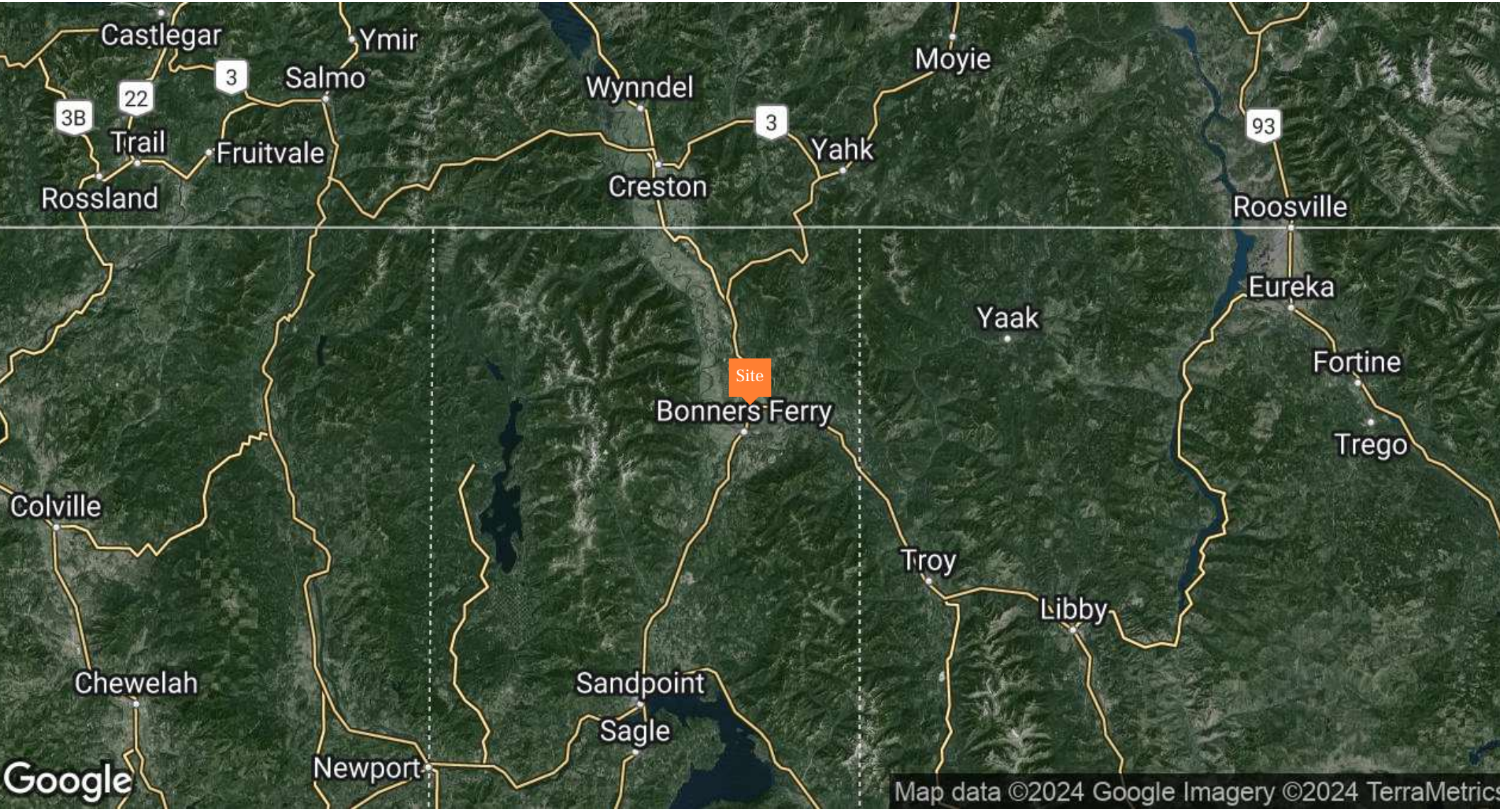
INVESTMENT HIGHLIGHTS

- **Commercial/Light Industrial Zoning:** Benefit from the zoning which allows for a wide range of potential uses in commercial and light industrial sectors.
- **Prime Location:** Situated in Bonner's Ferry, Idaho, a charming community known for its scenic beauty and growing economy, making it an ideal location for investment.
- **Strategic Access:** Convenient access to major roads and highways facilitates transportation and enhances the property's accessibility for potential tenants or buyers.
- **Development Potential:** Explore numerous development opportunities such as commercial complexes or light industrial facilities, catering to diverse market demands.
- **Growing Demand:** Tap into the increasing demand for commercial and industrial properties in Bonner's Ferry, driven by population growth and economic expansion in the region.
- **Investment Appeal:** Capitalize on the attractiveness of real estate investments in Idaho, known for its favorable business climate, tax incentives, and stable property values.
- **Community Amenities:** Benefit from proximity to essential amenities such as schools, healthcare facilities, shopping centers, and recreational areas, enhancing the property's desirability for potential tenants or buyers.

RETAILER MAP // Bonner's Ferry, ID - Retail Commercial Land



Bonner's Ferry, ID - Retail Commercial Land // REGIONAL MAP





RP62N01E142856A
8.32 Acres
Commercial/
Light Industrial







SECTION 2

Market Overview

DEMOGRAPHICS

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DEMOGRAPHICS // Bonner's Ferry, ID - Retail Commercial Land

POPULATION	5 Miles	15 Miles	25 Miles
2028 Projection			
Total Population	7,119	12,324	17,386
2023 Estimate			
Total Population	6,735	11,669	16,559
2020 Census			
Total Population	6,653	11,554	16,636
2010 Census			
Total Population	6,085	10,551	14,987
Daytime Population			
2023 Estimate	4,848	8,987	15,831
HOUSEHOLDS	5 Miles	15 Miles	25 Miles
2028 Projection			
Total Households	2,944	5,024	7,049
2023 Estimate			
Total Households	2,774	4,743	6,692
Average (Mean) Household Size	2.4	2.4	2.4
2020 Census			
Total Households	2,672	4,574	6,484
2010 Census			
Total Households	2,493	4,251	5,973

HOUSEHOLDS BY INCOME	5 Miles	15 Miles	25 Miles
2023 Estimate			
\$250,000 or More	2.0%	1.9%	2.6%
\$200,000-\$249,999	1.4%	2.5%	2.8%
\$150,000-\$199,999	2.2%	2.4%	2.6%
\$125,000-\$149,999	1.8%	1.8%	2.4%
\$100,000-\$124,999	7.8%	6.1%	6.8%
\$75,000-\$99,999	15.0%	14.2%	13.2%
\$50,000-\$74,999	24.1%	25.5%	23.4%
\$35,000-\$49,999	13.6%	13.1%	14.0%
\$25,000-\$34,999	9.1%	9.7%	10.1%
\$15,000-\$24,999	10.3%	10.3%	9.8%
Under \$15,000	12.8%	12.5%	12.2%
Average Household Income	\$67,881	\$68,105	\$71,750
Median Household Income	\$53,727	\$53,542	\$53,495
Per Capita Income	\$28,176	\$27,840	\$29,115

Bonner's Ferry, ID - Retail Commercial Land // DEMOGRAPHICS

POPULATION PROFILE	5 Miles	15 Miles	25 Miles
Population By Age			
2023 Estimate	6,735	11,669	16,559
0 to 4 Years	6.3%	5.9%	5.6%
5 to 14 Years	13.3%	13.0%	12.4%
15 to 17 Years	3.7%	3.8%	3.6%
18 to 19 Years	2.3%	2.2%	2.1%
20 to 24 Years	5.0%	4.7%	4.3%
25 to 29 Years	5.7%	5.1%	4.6%
30 to 34 Years	5.0%	4.7%	4.5%
35 to 39 Years	5.4%	5.4%	5.3%
40 to 49 Years	11.2%	11.1%	11.1%
50 to 59 Years	12.1%	12.3%	12.7%
60 to 64 Years	7.5%	8.1%	8.8%
65 to 69 Years	7.6%	8.3%	9.1%
70 to 74 Years	6.0%	6.6%	7.0%
75 to 79 Years	3.9%	4.1%	4.3%
80 to 84 Years	2.5%	2.4%	2.4%
Age 85+	2.6%	2.2%	2.0%
Median Age	42.9	44.5	46.6

POPULATION PROFILE	5 Miles	15 Miles	25 Miles
Population 25+ by Education Level			
2023 Estimate Population Age 25+	4,675	8,206	11,902
Elementary (0-8)	5.2%	4.9%	4.0%
Some High School (9-11)	7.6%	8.4%	7.5%
High School Graduate (12)	40.1%	38.3%	36.1%
Some College (13-15)	22.8%	23.4%	23.5%
Associate Degree Only	7.9%	7.4%	8.4%
Bachelor's Degree Only	12.1%	12.4%	14.3%
Graduate Degree	4.3%	5.2%	6.3%
HOUSING UNITS			
Occupied Units			
2028 Projection	3,176	5,653	8,290
2023 Estimate	3,006	5,364	7,925
Owner Occupied	2,072	3,673	5,344
Renter Occupied	702	1,070	1,348
Vacant	232	621	1,233
Persons in Units			
2023 Estimate Total Occupied Units	2,774	4,743	6,692
1 Person Units	30.2%	28.8%	27.7%
2 Person Units	37.9%	39.5%	41.4%
3 Person Units	11.6%	11.6%	11.4%
4 Person Units	9.8%	9.8%	9.6%
5 Person Units	5.6%	5.4%	5.3%
6+ Person Units	4.8%	4.9%	4.5%

DEMOGRAPHICS // Bonner's Ferry, ID - Retail Commercial Land



POPULATION

In 2023, the population in your selected geography is 16,559. The population has changed by 10.49 since 2010. It is estimated that the population in your area will be 17,386 five years from now, which represents a change of 5.0 percent from the current year. The current population is 50.9 percent male and 49.1 percent female. The median age of the population in your area is 46.6, compared with the U.S. average, which is 38.7. The population density in your area is 8 people per square mile.



HOUSEHOLDS

There are currently 6,692 households in your selected geography. The number of households has changed by 12.04 since 2010. It is estimated that the number of households in your area will be 7,049 five years from now, which represents a change of 5.3 percent from the current year. The average household size in your area is 2.4 people.



INCOME

In 2023, the median household income for your selected geography is \$53,495, compared with the U.S. average, which is currently \$68,480. The median household income for your area has changed by 37.66 since 2010. It is estimated that the median household income in your area will be \$62,130 five years from now, which represents a change of 16.1 percent from the current year.

The current year per capita income in your area is \$29,115, compared with the U.S. average, which is \$39,249. The current year's average household income in your area is \$71,750, compared with the U.S. average, which is \$100,106.



EMPLOYMENT

In 2023, 7,692 people in your selected area were employed. The 2010 Census revealed that 47.5 percent of employees are in white-collar occupations in this geography, and 31.1 percent are in blue-collar occupations. In 2023, unemployment in this area was 4.0 percent. In 2010, the average time traveled to work was 23.00 minutes.



HOUSING

The median housing value in your area was \$297,888 in 2023, compared with the U.S. median of \$268,796. In 2010, there were 4,704.00 owner-occupied housing units and 1,269.00 renter-occupied housing units in your area.



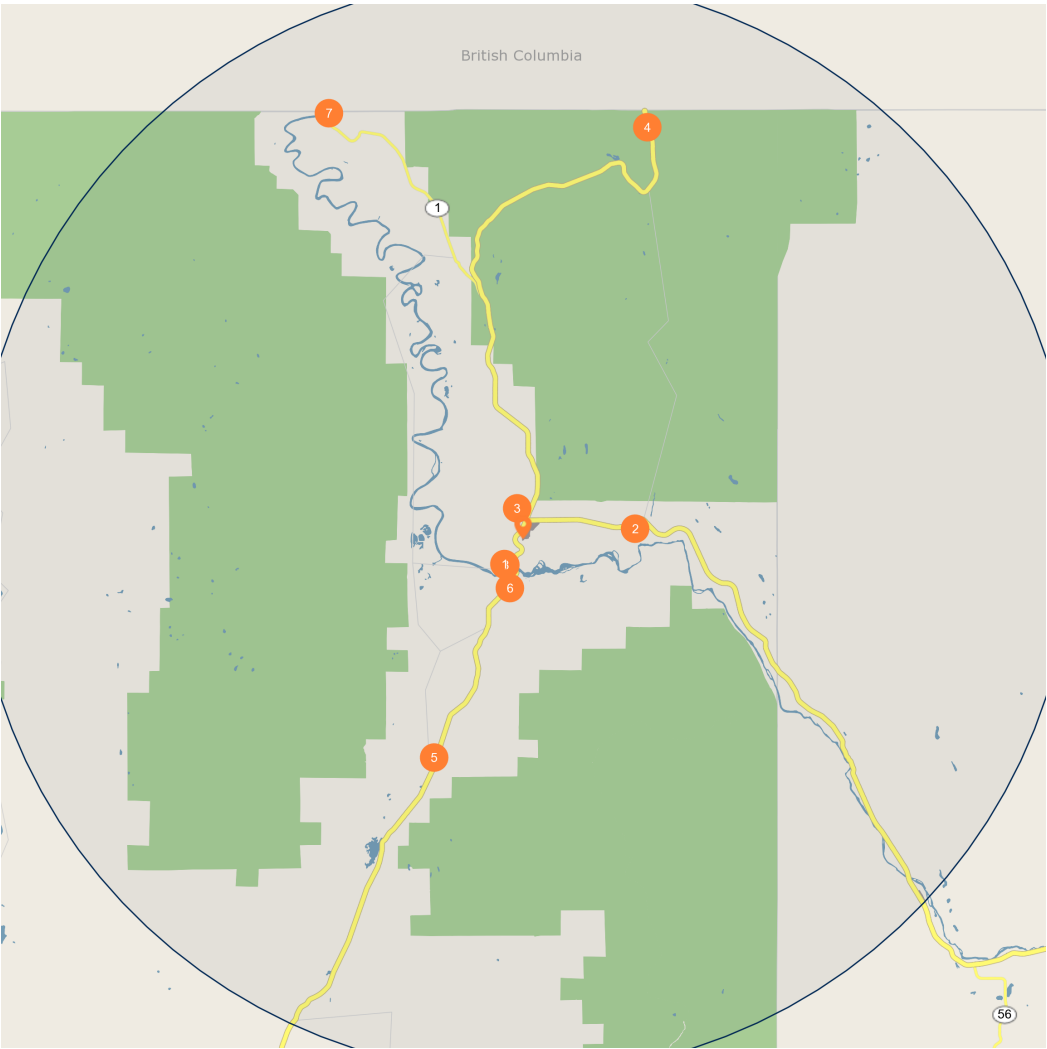
EDUCATION

The selected area in 2023 had a higher level of educational attainment when compared with the U.S. averages. Only 6.3 percent of the selected area's residents had earned a graduate degree compared with the national average of 12.7 percent, and 14.3 percent completed a bachelor's degree, compared with the national average of 20.2 percent.

The number of area residents with an associate degree was lower than the nation's at 8.4 percent vs. 8.5 percent, respectively.

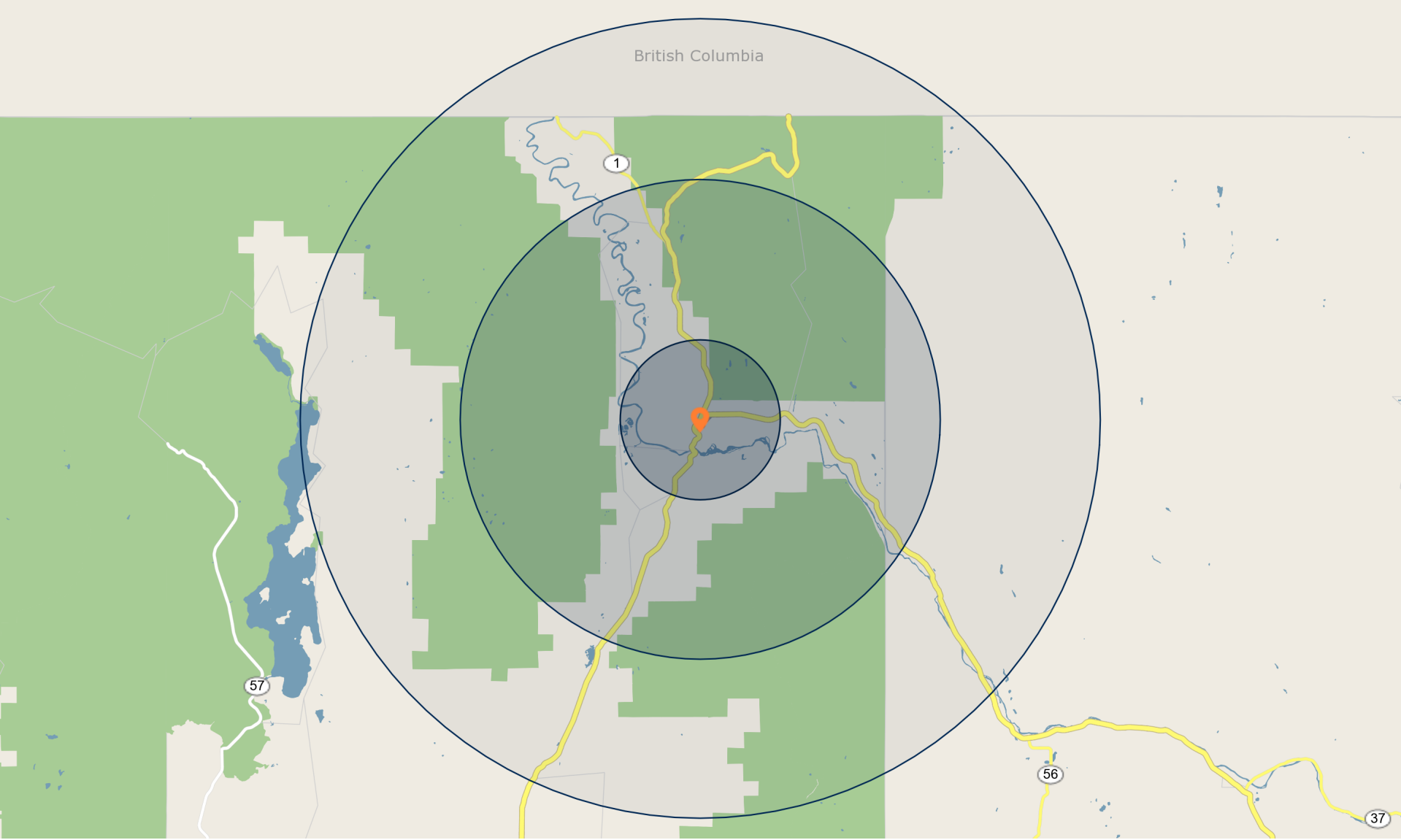
The area had more high-school graduates, 36.1 percent vs. 26.9 percent for the nation. The percentage of residents who completed some college is also higher than the average for the nation, at 23.5 percent in the selected area compared with the 20.1 percent in the U.S.

Bonner's Ferry, ID - Retail Commercial Land // DEMOGRAPHICS



Major Employers		Employees
1	Boundary Community Hospital	170
2	Idaho Forest Group LLC	129
3	Busch AG Resources Inc	106
4	Bureau Immgrtion Cstoms Enfrcm	103
5	Alta Forest Products LLC	86
6	Bonner Foods Inc-Boundary Trading Co	85
7	Busch Agricultural Resources	79
8	Boundary Rgnal Cmnty Hlth Ctr-KANIKSU HEALTH SERVICES	72

DEMOGRAPHICS // Bonner's Ferry, ID - Retail Commercial Land





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