

GENERAL NOTES

DIVISION 1 - GENERAL REQUIREMENTS

- CONTRACTORS AND SUB-CONTRACTORS SHALL CONSTRUCT THE BUILDING IN ACCORDANCE WITH ALL CODES, REGULATIONS, AND RESTRICTIONS HAVING JURISDICTION AND SHALL BE RESPONSIBLE FOR THE SAME. CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE WORK AS NECESSARY FOR PROPER COMPLETION OF PROJECT.
- ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. IF CONTRACTOR AND/OR SUB-CONTRACTOR ELECTS NOT TO VERIFY DIMENSIONS OR NOT TO NOTIFY THE ARCHITECT AND OWNER, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL BEAR THE EXPENSE OF THE CORRECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OR ANY PRODUCT APPROVAL DATA SUBMISSION AND APPROVALS BY BUILDING DEPARTMENT.
- CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN AND PREPARE AN "AS-BUILT" REDLINE SET OF DRAWINGS. UPON COMPLETION OF PROJECT SUCH DRAWINGS SHALL BE ISSUED TO OWNER.

DIVISION 2 - SITE WORK

- CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO PERMITTING AND SHALL SUBMIT REPORT TO ARCHITECT AND OWNER. CONTRACTOR SHALL PROVIDE COMPACTION FOR WALKWAYS, FLATWORK AND DRIVEWAYS AS REQUIRED.
- THE CONTRACTOR AND ALL HIS SUB-CONTRACTORS SHALL BE HELD TO HAVE VISITED THE SITE OF THE WORK AND TO HAVE EXAMINED THE EXISTING CONDITIONS OF THE SAME AND THE SITUATIONS UNDER WHICH THEY ARE TO WORK AND TO HAVE ACCOUNTED FOR SAME IN THEIR BIDS.
- ALL "EXISTING" INFORMATION ON THE DRAWINGS HAS BEEN OBTAINED BY THE ARCHITECT FROM THE OWNER SUCH "EXISTING" INFORMATION SHALL BE CONSIDERED AS SHOWN SCHEMATICALLY ONLY, AND SHALL BE FIELD VERIFIED BY ALL CONTRACTORS TO SIZE, LOCATION AND MATERIAL.
- ALL AREAS ADJACENT TO WORK WHICH HAVE BEEN ALTERED AND/OR DAMAGED SHALL BE REPAIRED TO MATCH EXISTING AND/OR FINISH OF NEW WORK.
- ALL DEMOLITION AND REMOVAL OF EXISTING UTILITIES, STRUCTURES, PLANNING MATERIALS, ETC., SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL GOVERNING AUTHORITIES.

DIVISION 3 - CONCRETE

- CONCRETE FINISH SHALL BE LEVEL AND/OR PITCHED PROPERLY. FINISH OF ALL EXTERIOR SURFACE CONCRETE SHALL BE BROOM FINISH.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE FLOOR SYSTEM TO THE ARCHITECT AND ENGINEER PRIOR TO START OF CONSTRUCTION FOR THEIR REVIEW AND COORDINATION. IF SUCH SHOP DRAWINGS ARE NOT SUBMITTED TO THE ARCHITECT AND ENGINEER PRIOR TO THE START OF CONSTRUCTION, THE RESPONSIBILITY OF THE COORDINATION AND / OR ANY CORRECTIONS WHICH MAY OCCUR ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ARCHITECT AND ENGINEER ACCEPT NO RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF THE APPROVED TRUSS DRAWINGS, AND THE TRUSS ENGINEERING SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, HAS BEEN COMPLETED PRIOR TO THE START OF CONSTRUCTION.

DIVISION 6 - WOOD AND PLASTICS

- TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, WHICH SHALL INCLUDE TRUSS PROFILES, FRAMING PLAN AND CERTIFICATION BY A FLORIDA REGISTERED ENGINEER, TO THE ARCHITECT AND OWNER. TRUSS MANUFACTURER SHALL NOT START FABRICATION UNTIL REVIEW OF SUCH SHOP DRAWINGS BY THE ARCHITECT AND OWNER IS ISSUED. TRUSS MANUFACTURER IS RESPONSIBLE FOR SUPPLYING THE TRUSS ENGINEERING INDICATING GRAVITY LOADS AND UP-LIFT LOADS AND ENGINEERED TRUSS HARDWARE AND ANCHORAGE REQUIREMENTS FOR TRUSS TO TRUSS CONNECTIONS.
- THE TRUSS LAYOUT SHOWN IS SCHEMATIC IN NATURE HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL COMPLY WITH THE FINAL TRUSS DESIGNERS LAYOUT.
- THE FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.I. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.

DIVISION 8 - DOORS AND WINDOWS

- ALL EXTERIOR WINDOWS AND SLIDING GLASS DOORS WILL HAVE AN APPROVED HURRICANE SHUTTER PROTECTION, OR BE APPROVED HURRICANE WINDOWS AND DOORS.
- EVERY BATHROOM DOOR LOCK SHALL BE IN COMPLIANCE WITH NFPA 101 24.2.4.5 AND CLOSET DOOR LATCH PER NFPA 101 24.2.4.4.
- NO DOUBLE TWO SIDED LOCKS ON ENTRANCE DOORS.
- WINDOW AND DOOR BUCKS ARE CONSIDERED AS FILLERS AND THE WINDOW AND/OR DOOR SHALL BE SECURED TO THE STRUCTURE THROUGH THE BUCKS IN ACCORDANCE WITH THE MANUFACTURERS PRODUCT APPROVAL AND SPECIFICATIONS.
- GLASS IN DOORS AND/OR ADJACENT TO DOORS SHALL BE TEMPERED.
- CONTRACTOR SHALL PROVIDE FOR PERMIT ALL CODE REQUIRED PRODUCT APPROVALS FOR ALL EXTERIOR WINDOWS AND DOORS.
- FRONT DOOR (AS MARKED IN FIRST FLOOR PLANS) AND GARAGE DOORS SHALL MEET WIND PRESSURES, IMPACT TEST, WIND CYCLE TESTS, ETC. AS REQUIRED BY GOVERNING BUILDING CODE. THE FRONT DOOR SHALL BE DESIGNATED ON THE FIRST FLOOR PLANS AS THE EMERGENCY EXIT.
- ALL EXTERIOR DOORS AND DOOR INTO GARAGE SHALL HAVE WEATHER STRIPPING AND METAL THRESHOLD.
- THE SECOND MEANS OF EGRESS SHALL COMPLY WITH NFPA 101 24.2.2.3.3 AND SHALL HAVE A CLEAR MINIMUM OPENING OF NOT LESS THAN 5.7 SQ. FT. (MIN. 20" W/24" H). THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. IF WINDOW SILL AT UPPER FLOORS IS LESS THAN 36" ABOVE ADJACENT FLOOR, PROVIDE SAFE GUARD AT 42" ABOVE FLOOR.

DIVISION 9 - FINISHES

- FINISHES SHALL BE CLASS A, B OR C.
- FLOOR AND BASE IN BATHROOMS SHALL BE OF IMPERVIOUS MATERIALS.
- ALL STEEL COLUMNS, PLATES AND STEEL ANGLES SHALL BE FACTORY PRIMED. ALL EXPOSED STEEL SHALL BE PAINTED PRIOR TO COVERING UP.

DIVISION 12 - FURNISHINGS

- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND/OR SAMPLES FOR OWNERS REVIEW FOR ALL OR ANY CABINERY, BUILT-INS, TRIM, DOORS, WINDOWS, MATERIALS, CUSTOM FEATURES, ETC. THAT ARE SHOWN ON DRAWINGS. ALL INTERIOR WINDOWS, DOORS AND OPENINGS SHALL BE CASED WITH TRIM.
- GLASS OR MIRROR IMMEDIATELY SURROUNDING A BATH TUB OR SHOWER SHALL BE SAFETY GLAZING THAT ARE LESS THAN 40" ABOVE THE FLOOR OF THE TUB OR SHOWER.

DIVISION 15 - MECHANICAL

- PLUMBING AND HVAC CONTRACTOR SHALL VERIFY ALL LOCATIONS / SIZES OR THEIR OUTLETS, SUPPLIES AND CHASE AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
- HVAC CONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTATION AND PRODUCT SPECIFICATIONS TO OBTAIN A BUILDING PERMIT AND COMPLETE SUCH WORK AS REQUIRED BY F.B.C., RESIDENTIAL 2020 AND THE SPECIFICATIONS.
- PLUMBING CONTRACTOR SHALL VERIFY CENTER LINE DIMENSIONS OF ALL FIXTURES THAT HAVE BEEN SPECIFIED BY OWNER AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME, MAINTAIN MINIMUM F.B.C., RESIDENTIAL 2020 CLEARANCES BETWEEN TOILET FIXTURES AND ADJACENT WALL, CABINERY AND / OR PLUMBING FIXTURE.
- PLUMBING CONTRACTOR SHALL COORDINATE ALL VERTICAL STACKS TO BE DIVERTED TO THE REAR OF ROOF RIDGE. SUCH VERTICAL STACKS SHALL BE PAINTED TO MATCH ROOFING COLOR.
- PROVIDE SHUT-OFF VALVES AT ALL BATHROOMS AS REQUIRED BY F.B.C., RESIDENTIAL 2020 P2903.9.
- PROVIDE AIR CHAMBERS AT ALL FIXTURE BRANCHES.
- WATER CONSUMPTION IN PLUMBING FIXTURES SHALL COMPLY WITH TABLE P2903.2 OF THE F.B.C., RESIDENTIAL 2023
- ALL SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROTECTED WITH ANTI-SCALD CONTROL VALVE.

DIVISION 16 - ELECTRICAL

- ELECTRICAL CONTRACTOR SHALL VERIFY ALL LOCATIONS / SIZES OR THEIR OUTLETS, SUPPLIES AND CHASE AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
- ALL WIRE SIZES BASED ON COPPER.
- ALL BATHROOMS, GARAGE, UTILITY ROOM, KITCHEN COUNTER AND EXTERIOR W.P. RECEPTACLES SHALL HAVE G.F.I. CIRCUITS.
- ALL SERVICE WIRING SHALL BE COPPER.
- ALL FEEDER WIRING SHALL BE COPPER.
- PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER PUMPS, POOL PUMPS AND ALL EXTERIOR EQUIPMENT.
- WIRE AND BREAKER SIZING FOR ALL APPLIANCES AND EQUIPMENT SHALL BE AS MANUFACTURERS NAME PLATE REQUIREMENTS AND THE RESPONSIBILITY OF THE SUB-CONTRACTOR TO VERIFY SUCH INFORMATION PRIOR TO INSTALLATION OF ELECTRICAL ROUGH. IF SUCH REQUIREMENTS DIFFER FROM THE PROPOSED ELECTRICAL SCHEDULE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR ENGINEER OF THE DISCREPANCY PRIOR TO ELECTRICAL ROUGH.
- ALL LIGHTING ABOVE TUB AND SHOWER SHALL BE WATERPROOF AND VAPOR PROOF. PROVIDE G.F.I.C. IF WITH IN 6" RADIUS OF TOP OF TUB.
- CLOSET LIGHTS SHALL COMPLY WITH N.E.C. ARTICLE 410-14.
- MINIMUM 22,000 AIC RATING FOR ALL SERVICE EQUIPMENT.
- CIRCUIT FOR SMOKE DETECTOR SHALL BE ON THE LIGHTING CIRCUIT OF KITCHEN OR BATH.
- BRANCH CIRCUITS THAT SUPPLY 15-20amp RECEPTACLES INSTALLED IN BEDROOMS MUST BE PROTECTED BY AN AFCI BREAKER.

ADDITIONAL NOTES

1.01 ARCHITECTS STATUS:

A- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

B- AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.

1.02 GENERAL CONTRACTOR AND SUBCONTRACTORS:

A- CONTRACTORS SHALL CARRY LIABILITY INSURANCE, TERMS AND LIMITS AS DIRECTED BY THE OWNER, AND SHALL FURNISH THE CERTIFICATES OF INSURANCE UPON BID ACCEPTANCE

B- BY ACCEPTING THIS WORK, THE CONTRACTORS AGREE THAT THE OWNER, ARCHITECT, AND ENGINEERS SHALL BE HELD HARMLESS AND NOT LIABLE FOR ANY INJURIES OR PROPERTY DAMAGE RESULTING FROM ANY OF THE CONTRACTORS' OPERATIONS.

C- EACH TRADE, MANUFACTURER AND/OR SUPPLIER SHOULD UNDERSTAND ITS SCOPE OF WORK WITHIN THIS SET OF PLANS COMPLETELY PRIOR TO COMMENCING ANY WORK. ANY QUESTIONABLE OR UNCLEAR CONDITIONS ARE TO BE BROUGHT TO ARCHITECTS ATTENTION FOR CLARIFICATION. THE ULTIMATE RESPONSIBILITY OF ALL TRADES, MANUFACTURERS AND / OR SUPPLIERS IS THEIRS IF THE INFORMATION IN QUESTION IS SHOWN CLEARLY OR HAS BEEN ADDRESSED AS REQUIRED PRIOR TO COMMENCING THE WORK.

1.03 CODES:

A- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING F.B.C., 2020 AND ALL APPLICABLE STATE, CITY AND COUNTY BUILDING ZONING, ELECTRICAL, MECHANICAL AND PLUMBING ADDENDUM, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

1.04 PERMITS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS.

1.05 JOB CONDITIONS:

A- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS (AND THEIR INTENT) SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT.

B- DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.

C- IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THESE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS AND SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED, WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D- TAKE FIELD MEASUREMENTS FOR ALL OFF SITE MANUFACTURED ITEMS SUCH AS DOORS, WINDOWS, MILLWORK, SKYLIGHTS, GRILLES, RAILINGS, ETC.

1.06 CLEAN UP:

A- THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

1.07 REPAIR / REPLACEMENT:

A- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING ITEMS DAMAGE BY THE PROCESS OF NEW CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH EXISTING ADJACENT AREAS AND SURFACES.

1.08 SHOP DRAWINGS:

A- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECTS REVIEW PRIOR TO FABRICATION AND COMMENCEMENT WITH THE WORK.
B- THE APPLICATION, INSTALLATION AND USE OF ALL MANUFACTURED PRODUCTS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST PUBLISHED INSTRUCTIONS.

1.09 CHANGE ORDERS:

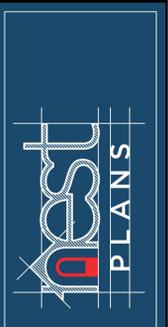
A- ALL CHANGES TO THE DRAWINGS MUST BE APPROVED IN WRITING BY THE ARCHITECT.
B- THE CONTRACTOR SHALL NOT MAKE ANY MATERIAL SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	FOF	FACE OF FINISH	PTN	PARTITION
ADF	ACCESSIBLE DRINKING FOUNTAIN	FOM	FACE OF MASONRY	PLAS	PLATE
		FOS	FACE OF STUD	PL	PLASTIC
ALUM	ALUMINUM	FIN	FINISH	PLWD	PLYWOOD
<	ANGLE	FE	FIRE EXTINGUISHER	PT	PRESSURE TREATED
APPROX	APPROXIMATE	FR	FIRE RATED	R	RADIUS
ARCH	ARCHITECT	FRT	FINISH FLOOR ELEVATION	RL	RAIN LEADER
@	AT	FLR	FLOOR	REINF	REINFORCING
BRG	BEARING	FD	FLOOR DRAIN	RA	RETURN AIR
BLK	BLOCK	FDN	FOUNDATION	RD	ROOF DRAIN
BLKG	BLOCKING	FV	FIELD VERIFY	RS	ROOF SCUPPER
BD	BOARD	GALV	GALVANIZED	RTU	ROOF TOP UNIT
BLDG	BUILDING	GA	GAUGE	RM	ROOM
CLG	CEILING	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
CH	CEILING HEIGHT	GB	GYPSUM BOARD	SCHED	SCHEDULE
CL	CENTER LINE	HC	HANDICAPPED	SECT	SECTION
	CHANNEL	HWC	HANDICAPPED WATER CLOSET	SHT	SHEET
CLR	CLEAR	HDW	HARDWARE	SIM	SIMILAR
CO	CLEAR OPENING	HT	HEIGHT	SCW	SOLID CORE WOOD
CR	COLD ROLLED	HM	HOLLOW METAL	SPEC	SPECIFICATIONS
COL	COLUMN	HORIZ	HORIZONTAL	SQ FT	SQUARE FOOT
CONC	CONCRETE	HR	HOUR	SS	STAINLESS STEEL
CD	CONDENSATE DRAIN	HR	HOUR	STL	STEEL
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	STRUCT	STRUCTURAL
CONN	CONNECT / CONNECTION	INT	INTERIOR	SUSP	SUSPENDED
CONT	CONTINUOUS	JT	JOINT	T	TEMPERED
CONTR	CONTRACTOR	LAM	LAMINATED	TEMP	TEMPORARY
CJ	CONTROL JOINT	LAV	LAVATORY	THK	THICKNESS
DECOR.	DECORATOR	LP	LIGHT POLE	TH	THRESHOLD
DTL	DETAIL	MH	MANHOLE	TOM	TOP OF MASONRY
DIAG	DIAGONAL	MFD	MANUFACTURED	TOS	TOP OF STEEL
DIA.	DIAMETER	MFR	MANUFACTURER	TOW	TOP OF WALL
DWG(S)	DRAWING / DRAWINGS	MBSRY	MASONRY BLOCKOUT	TS	TUBE STEEL
EA	EACH	MO	MASONRY OPENING	Typ	TYPICAL
EW	EACH WAY	MAT	MATERIAL	U.O.N.	UNLESS OTHERWISE NOTED
EWC	ELECTRICAL WATER COOLER	MAX	MAXIMUM	URN	URNAL
ELV	ELEVATION	MTL	METAL	VTR	VENT THROUGH ROOF
ERD	EMERGENCY ROOF DRAIN	MIN	MINIMUM	VERT	VERTICAL
EQ	EQUAL	MR	MOISTURE RESISTANT	WH	WATER HEATER
EQUIP	EQUIPMENT	MTD	MOUNTED	WWF	WELDED WIRE FABRIC
EF	EXHAUST FAN	NIC	NOT IN CONTRACT	W/	WITH
EXIST	EXISTING	NTS	NOT TO SCALE	WD	WOOD
EJ	EXPANSION JOINT	NO	NUMBER		
EXT	EXTERIOR	OC	ON CENTER		
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	OPP	OPPOSITE		
		OD	OUTSIDE DIAMETER		



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ARCHITECTURE & INTERIOR DESIGN
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PROJECT DESCRIPTION

RESIDENTIAL TOWNHOUSE:
TWO-STORIES, OCCUPANCY R-2, CONSTRUCTION TYPE V-B, UNSPRINKLED, 5,796 SF
NEW CONCRETE MASONRY UNIT (CMU) STRUCTURE;
RISK CATEGORY II

APPLICABLE CODES:
2023 FLORIDA BUILDING CODE (FBC); BUILDING
2023 FBC - MECHANICAL
2023 FBC - PLUMBING
2023 NATIONAL ELECTRICAL CODE
2023 FLORIDA ENERGY EFFICIENCY CODE (CHAPTER 13 FBC)
ASCE/SEI 24-14 FLOOD
NFPA 101-2024 NFPA SEVENTH EDITION

APPLICABLE NFPA CODES:
NFPA 101: 2024 6TH EDITION
FLORIDA FIRE PREVENTION CODE 7TH EDITION 2023

PROJECT TEAM

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CIVIL DAWRINGS ON COMMERCIAL PERMIT			
LANDSCAPE			
LANDSCAPE PLAN ON COMMERCIAL PERMIT			

C&C LEGACY PLAZA
OFFICE & TOWNHOUSE DEVELOPMENT
3494 SOUTH JOG ROAD
GREEN ACRES, FLORIDA 33467

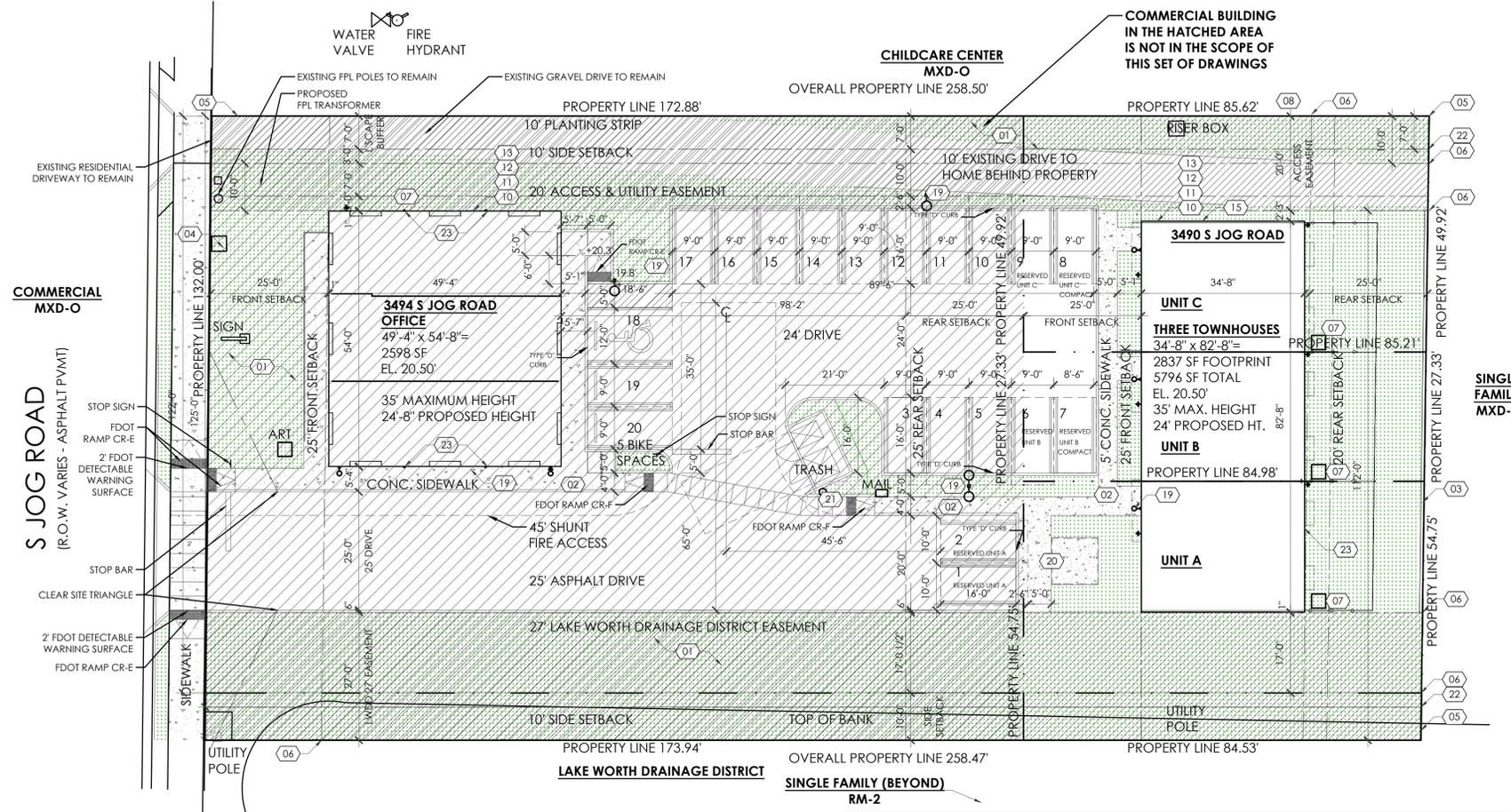
REVISIONS					

Job No: NEST-2305
Date: 7/19/23
Drawn by: SKG
Checked by: SAR

DRC SUBMITTAL

COVER SHEET

CS



1 OVERALL SITE PLAN
 scale: 1/16" = 1'-0"

LEGAL DESCRIPTION

UNIT A
 A PORTION OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF SECTION 22-44-42; THENCE SOUTH 88°20'39" EAST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF SAID SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, A DISTANCE OF 253.95 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01°39'21" EAST, A DISTANCE OF 54.75 FEET; THENCE SOUTH 88°20'39" EAST, A DISTANCE OF 84.98 FEET; THENCE SOUTH 02°07'54" WEST, A DISTANCE OF 54.75 FEET; THENCE NORTH 88°20'39" WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF SAID SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, A DISTANCE OF 84.53 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA; CONTAINING 4,640 SQUARE FEET MORE OR LESS.

UNIT B
 A PORTION OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF SECTION 22-44-42; THENCE SOUTH 88°20'39" EAST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF SAID SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, A DISTANCE OF 253.95 FEET; THENCE NORTH 01°39'21" EAST, A DISTANCE OF 54.75 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 01°39'21" EAST, A DISTANCE OF 27.33 FEET; THENCE SOUTH 88°20'39" EAST, A DISTANCE OF 85.21 FEET; THENCE SOUTH 02°07'54" WEST, A DISTANCE OF 27.33 FEET; THENCE NORTH 88°20'39" WEST, A DISTANCE OF 84.98 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA; CONTAINING 2,326 SQUARE FEET MORE OR LESS.

UNIT C
 A PORTION OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF SECTION 22-44-42; THENCE SOUTH 88°20'39" EAST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF SAID SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST, A DISTANCE OF 253.95 FEET; THENCE NORTH 01°39'21" EAST, A DISTANCE OF 82.08 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 03°21' EAST, A DISTANCE OF 49.92 FEET; THENCE SOUTH 88°20'39" EAST, A DISTANCE OF 85.62 FEET; THENCE SOUTH 02°07'54" WEST, A DISTANCE OF 49.92 FEET; THENCE NORTH 88°20'39" WEST, A DISTANCE OF 85.21 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA; CONTAINING 4,264 SQUARE FEET MORE OR LESS.

SITE PLAN KEY NOTES

- SOD / LANDSCAPE IN THIS AREA. SEE LANDSCAPE PLAN, SHEET LP-1, FOR SPECIFICATIONS
- CONCRETE SIDEWALK
- NOTES NEW CONCRETE FENCE. REFER TO SHOP DRAWINGS
- NEW 1" WATER METER IN EXISTING LOCATION - REFER TO DETAIL 1/SP2 FOR MORE INFORMATION
- NOTES PROPERTY LINE - SEE SITE PLAN LEGEND
- NOTES REQUIRED SETBACK LINE - SEE SITE PLAN LEGEND
- NEW A/C CONDENSING UNIT LOCATION ON 4" CONC. PAD - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 4" SANITARY LINE TO MAIN. CONTRACTOR TO VERIFY LOCATION IN FIELD. REFER TO SHEET SP-2 FOR NEW LATERAL ON EXISTING WASTE WATER DETAIL.
- PROPOSED 6" CLEAN OUT LOCATION. SEE TYPICAL CLEAN-OUT INSTALLATION DETAIL 6/SP-2 FOR MORE INFORMATION
- NOTES NEW ELECTRICAL METER LOCATION - REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ELECTRICAL SERVICE ENTRANCE.
- CABLE TV SERVICE ENTRANCE
- TELEPHONE SERVICE ENTRANCE
- UNDERGROUND SLEEVE FOR IRRIGATION LINE, 1" DEEP. CONTRACTOR TO COORDINATE WITH SPRINKLER DRAWINGS. REFER TO LP-1
- TANKLESS WATER HEATER
- LOCATION OF GAS METER
- LOCATION OF GAS LINE OFF STREET
- LOCATION OF UNDERGROUND WATER LINE
- LIGHT POLE OR BUILDING MOUNTED LIGHT
- PERGOLA WITH BENCH SEATING
- DOG WASTE STATION
- 7" LANDSCAPE BUFFER
- CONNECT DOWNSPOUTS TO SITE DRAINAGE

	SQUARE FEET	ACRES	PERCENT
BLDG. LOT COVER	6,154 SF	0.141	18.11%
SITE IMPERVIOUS	13,799 SF	0.317	40.62%
SITE LANDSCAPE	14,021 SF	0.322	41.27%
TOTAL	33,974 SF	0.78	100.00%
TOTAL FLOOR AREA	8,494 SF	0.195	25.00%

SITE PLAN INFORMATION - RESIDENTIAL

PROPERTY ADDRESS
 3494 S. JOG ROAD - GREEN ACRES - FLORIDA - 33467

SITE PLAN DATA TABLE

A. CURRENT USE OF PROPERTY AND INTENSITY	VACANT
B. LAND USE DESIGNATION	MIXED-USE, OFFICE
C. ZONING DESIGNATION	MXD-O
D. WATER/WASTEWATER	PALM BEACH COUNTY WATER UTILITY
E. SITE AREA	33,974 SQ. FT. / 0.78 ACRES
F. BUILDING FOOT PRINT COVERAGE	5,747 SQ. FT. - 16.29% LOT COVERAGE RESIDENTIAL 2,865 SQ. FT.
G. RESIDENTIAL DEVELOPMENT RESIDENTIAL UNITS	SITE DENSITY GROSS: 4 UNITS PER ACRE ALLOWED @ 0.78 ACRES = 3 UNITS ALLOWED 3 UNITS @ 1,932 SF EACH = 5,796 SQ. FT. RESIDENTIAL
H. NONRESIDENTIAL DEVELOPMENT	OFFICE - 2,598 SF
I. PARKING DATA - MXD-O - MIXED-USE OFFICE - Sec. 16-1336	TOTAL PARKING REQUIRED: TABLE 16-1336(a) RESIDENTIAL USES : 3.0 PARKING SPACES PER 4 BEDROOM UNIT THREE 4 BEDROOM UNITS: 3 X 3 SPACES PER UNIT = 9 SPACES ADDITIONAL .5 SPACE PER UNIT FOR GUESTS NUMBER OF GUEST PAGES: 3 X .5 SPACES PER UNIT = 1.5 2 SPACES BUSINESS OFFICES AND SERVICES: 1 PARKING SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA BUSINESS SPACE: 2,598 SQ. FT. / 200 = 13 SPACES TOTAL PARKING SPACES REQUIRED = 24 SPACES TOTAL PARKING PROVIDED - ON SITE = 20 SPACES HANDICAPPED PARKING REQUIRED: 1 HANDICAP SPACE PER 25 PARKING SPACES NUMBER OF HANDICAP PARKING SPACES REQUIRED = 1 SPACE HANDICAP SPACES PROVIDED ON SITE = 1 SPACE LOADING ZONE : TABLE 16-1336(C) - 1 SPACE FOR 6,000-24,999 SF OF GROSS AREA UNDER 6,000 GSF = 0 SPACES NUMBER OF LOADING ZONES PROVIDED ON SITE = 0 SPACES BIKE PARKING: NUMBER OF PARKING SPACES PROVIDED = 20 SPACES NUMBER OF BIKE SPACES REQUIRED: 1 PER 20 SPACES, 5 MIN = 5 SPACES TOTAL NUMBER OF BIKE SPACES PROVIDED = 5 SPACES
J. FLOOR AREA RATIO: 25%	TOTAL BUILDING SQUARE FOOTAGE / SITE SQUARE FOOTAGE: 8,494 SQ. FT. / 33,974 SQ. FT.
K. BUILDING HEIGHT:	HABITABLE BUILDING HEIGHT RESIDENTIAL 11'-0" ABOVE GRADE OVERALL HEIGHT RESIDENTIAL 24'-0" ABOVE GRADE
L. STRUCTURE LENGTH:	RESIDENTIAL 82' - 8"
M. NUMBER OF STORIES:	RESIDENTIAL 2 STORIES
N. SETBACK TABLE	REQUIRED VS. PROVIDED

DESCRIPTION	REQUIRED	BUILDING PROVIDED
WEST - FRONT	25'-0"	25'-0"
SOUTH - SIDE	10'-0"	27'-1" @ LAKE WORTH DRAINAGE DISTRICT
EAST - REAR	20'-0"	25'-1"
NORTH - SIDE	10'-0"	20'-1" @ ACCESS AND UTILITY EASEMENT

O. VEHICULAR USE AREA	14,821 SF
P. LOT COVERAGE (ROOF AREA)	5,533 SF
Q. PERVIOUS / IMPERVIOUS	20,354 SF = 59.9% IMPERVIOUS / 40.1% PERVIOUS
R.	
S. PARKS AND RECREATION LAND DEDICATION FEES IN LIEU OF LAND DEDICATION:	[(A x B) / 1,000] x 5 = REQUIRED LAND DEDICATION ACRES A = NUMBER OF UNITS = 3, B = MULTI-FAMILY HOUSEHOLD SIZE = 2.2. [(3 x 2.2) / 1,000] x 5 = 0.33
GOVERNMENT SERVICES LAND DEDICATION FEES IN LIEU OF LAND DEDICATION:	[(A x B) / 1,000] x 2 = REQUIRED LAND DEDICATION ACRES A = NUMBER OF UNITS = 3, B = MULTI-FAMILY HOUSEHOLD SIZE = 2.2. [(3 x 2.2) / 1,000] x 2 = 0.0132

SITE LOCATION



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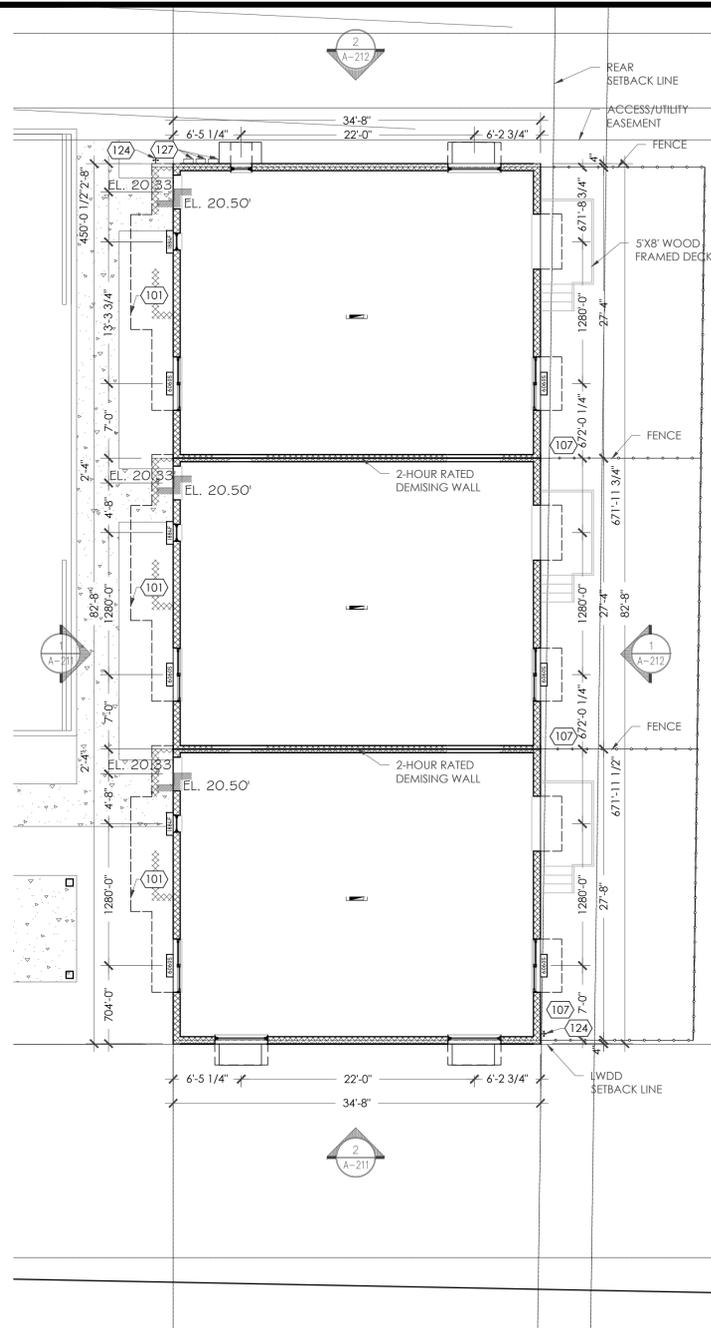
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JOB NO: NEST-2305
 Date: 09/17/24
 Drawn by: SKC
 Checked by: SAR

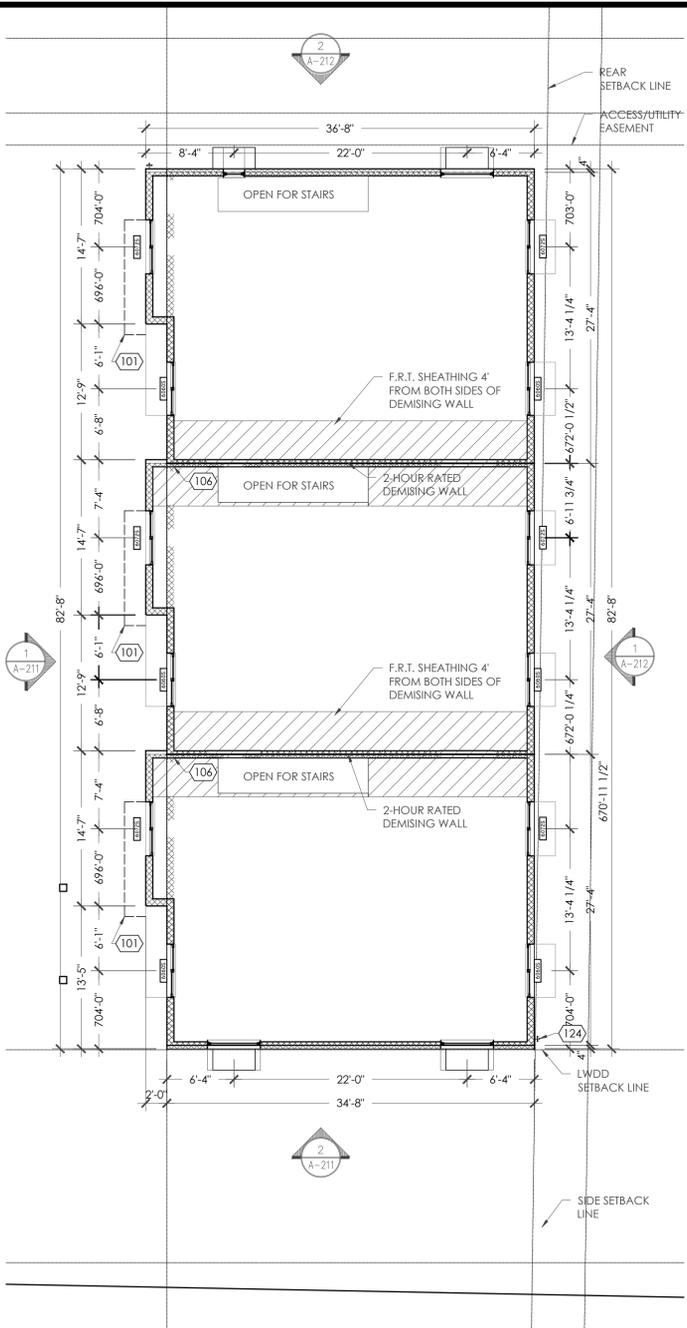
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SITE PLAN

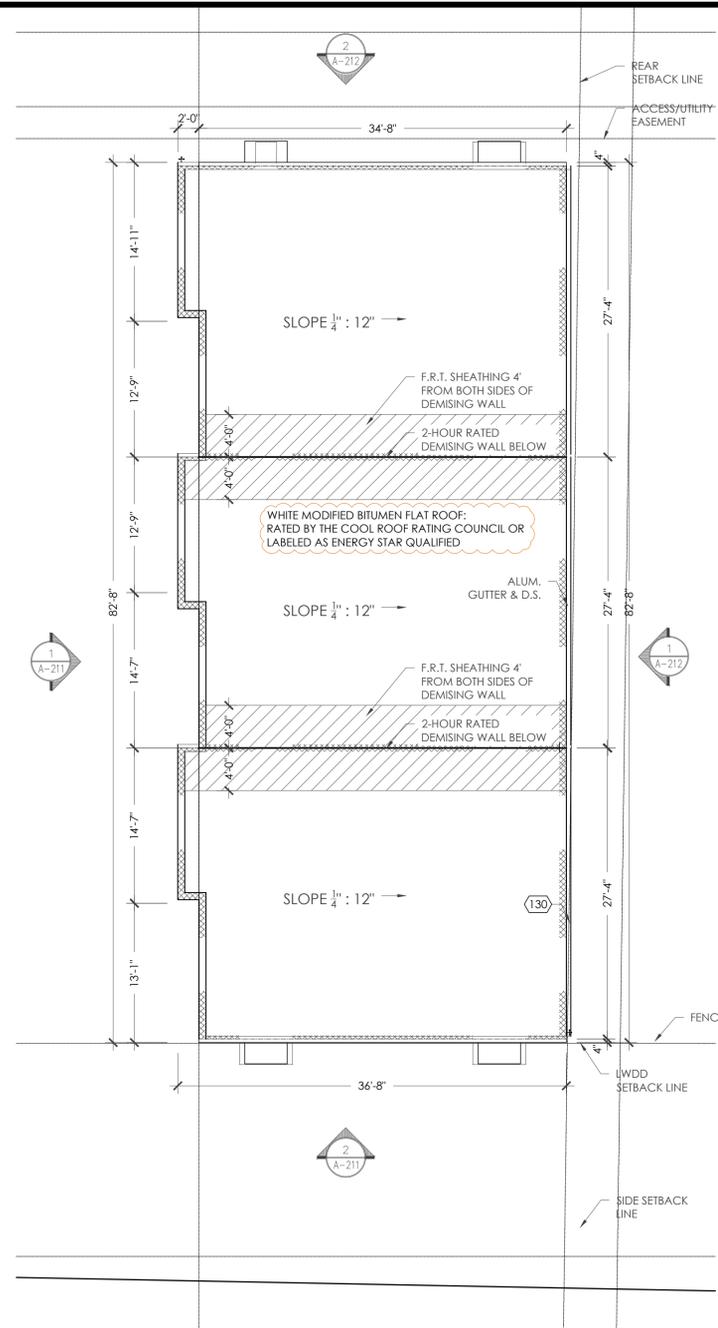
SP-1



1 TOWNHOUSE FIRST FLOOR N
 A111 scale: 1/8" = 1'-0"



2 TOWNHOUSE SECOND FLOOR N
 A111 scale: 1/8" = 1'-0"



2 TOWNHOUSE ROOF PLAN N
 A111 scale: 1/8" = 1'-0"

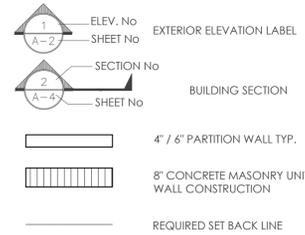
FLOOR PLAN GENERAL NOTES

- ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH.
- ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N.
- DIMENSIONS SHALL BE FIGURED, DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS OR SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OF GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
- DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING.
- CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA.
- STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED.
- DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER.
- STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
- ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS.
- EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITH-OUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA.

FLOOR PLAN KEY NOTES

- (101) DASHED LINE OF ROOF OVERHANG ABOVE. SEE STRUCTURAL FRAMING PLAN
- (102) NOT USED
- (103) DENOTES CEILING HEIGHT CHANGE. SEE ROOF FRAMING PLAN FOR MORE INFORMATION
- (104) CONCRETE COLUMN - REFER STRUCTURAL DRAWINGS FOR SIZE.
- (105) STEEL COLUMN - REFER STRUCTURAL DRAWINGS FOR SIZE AND DETAIL 1 PAGE 6.
- (106) ALIGN WALL FRAMING WITH CMU WALL SYSTEM. GYPSUM WALL BOARD TO BE FLUSH.
- (107) A/C COMPRESSOR ON 3-1/2" MIN. CONC. SLAB AND 2" ABOVE ADJACENT GRADE AS PER FBC 2010 - MECH 304.9 - SEE MECHANICAL DRAWINGS
- (108) A/C HANDLER UNIT TO HAVE MIN. 4" CLEARANCE ALL SIDES - SEE MECHANICAL DRAWINGS
- (109) TANKLESS ELECTRIC WATER HEATER - REFER TO MANUFACTURER'S SPECS FOR INSTALLATION.
- (110) NOT USED
- (111) NOT USED
- (112) NOT USED
- (113) TOILET SHALL NOT BE CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL, PARTITION, VAN OR OTHER OBSTRUCTION, OR CLOSER THAN 30" FROM ANOTHER TOILET OR FIXTURE. COORDINATE WITH OWNER FOR EXACT LOCATION AND STYLE SELECTION FOR MIRROR, MEDICAL CABINET IF APPLICABLE, TOWEL BAR OR TOWEL RINGS & TOILET PAPER HOLDER.
- (114) ROD / SHELF: LAYOUTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER AND DESIGNER
- (115) COUNTER 36" HIGH A.F.F. WITH CABINETS BELOW. FINISH TO BE COORDINATED W/ OWNER
- (116) CABINETS ABOVE PROVIDE BACKER BOARD FOR MAXIMUM HEIGHT. COORDINATE WITH OWNER
- (117) PROVIDE DUROCK TILE BACKER BOARD, 1/2" THICK SECURE WITH 1 1/4" RUST-RESISTANCE SCREWS AT 8" O.C. AND/OR INSTALL PER MANUFACTURER SPECIFICATIONS.
- (118) NO SHOWER CURBING - SLOPE FLOOR TOWARD FLOOR DRAIN IN SHOWER FROM ENTRANCE TO SHOWER
- (119) SHOWER PARTITION - TEMPERED GLASS - FINISHED TO BE COORDINATED WITH OWNER
- (120) SHOWER WITH SOAP DISH.
- (121) SHOWER CURBING - 4" BUILT-UP CURB
- (122) PROVIDE BACKING PLYWOOD FOR FUTURE MOUNTING OF GRAB BARS, TV MOUNTS AND WALL HUNG CABINET MOUNTING
- (123) DENOTES PROPOSED HOSE BIBB LOCATION 1/2" WITH VACUUM BREAKER. SEE PLUMBING DRAWINGS FOR DETAIL (TYP. OF 3)
- (124) ELECTRICAL PANEL LOCATION - SEE ELECTRICAL DRAWINGS
- (125) 4" DEEP BY 72" WIDE CHASE WALL TO ALLOW FOR ELECTRICAL PANELS, PHONE AND CABLE BOX INSTALLATION. CHASE WALL TO LINE UP WITH METER LOCATION BEHIND GARAGE WALL. START AT 42" ABOVE FINISHED SLAB TO CEILING.
- (126) ELECTRICAL METER BOX LOCATION - SEE ELECTRICAL DRAWINGS
- (127) NOT USED
- (128) NOT USED
- (129) NOT USED
- (130) ROOF GUTTER AND DOWNSPOUT
- (131) HANDRAIL AND SAFEGUARD: HANDRAIL AT 34" HEIGHT, PICKETS SPACED TO RESIST A 4" SPHERE. SAFEGUARD AT 42" HIGH AT LANDINGS AND STAIRS WERE OPEN TO BELOW.
- (132) METAL STAIRS: RISE 6.9" - RUN 11" + 1" NOSE. 2x6.9+11=24.8 COMPLIES CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO START OF CONSTRUCTION OF THE BUILDING TO ARCHITECT FOR REVIEW.
- (133) ATTIC ACCESS: 1'-10"x31x13/32" A/C PLYWOOD PANEL WITH TRIM. SEE DETAIL SHEET A6 FOR MORE INFORMATION
- (134) WASHING MACHINE OVERFLOW TUB WITH DRAIN

FLOOR PLAN LEGEND



AREAS

TOWNHOUSES	
UNIT 1	
FIRST FLOOR A/C	955 SQ. FT.
SECOND FLOOR A/C	977 SQ. FT.
TOTAL A/C	1,932 SQ. FT.
UNIT 2	
FIRST FLOOR A/C	955 SQ. FT.
SECOND FLOOR A/C	977 SQ. FT.
TOTAL A/C	1,932 SQ. FT.
UNIT 3	
FIRST FLOOR A/C	955 SQ. FT.
SECOND FLOOR A/C	977 SQ. FT.
TOTAL A/C	1,932 SQ. FT.
TOTAL:	
FIRST FLOOR A/C	2,865 SQ. FT.
SECOND FLOOR A/C	2,931 SQ. FT.
TOTAL A/C	5,796 SQ. FT.



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REVISIONS	DATE	BY	DESCRIPTION

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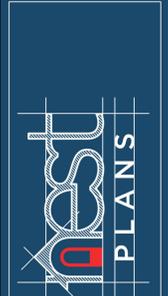
ROOF PLAN
A-121

ELEVATIONS KEY NOTES

-  HORIZONTAL WOOD-FINISH AWNING SYSTEM
-  IMPACT DOORS - CONTRACTOR TO COORDINATE WITH OWNER
-  METAL RAILING
-  PAINTED, LIGHT TEXTURE STUCCO FINISH. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
-  WOOD FINISH VENEER
-  IMPACT WINDOWS - CONTRACTOR TO COORDINATE WITH OWNER



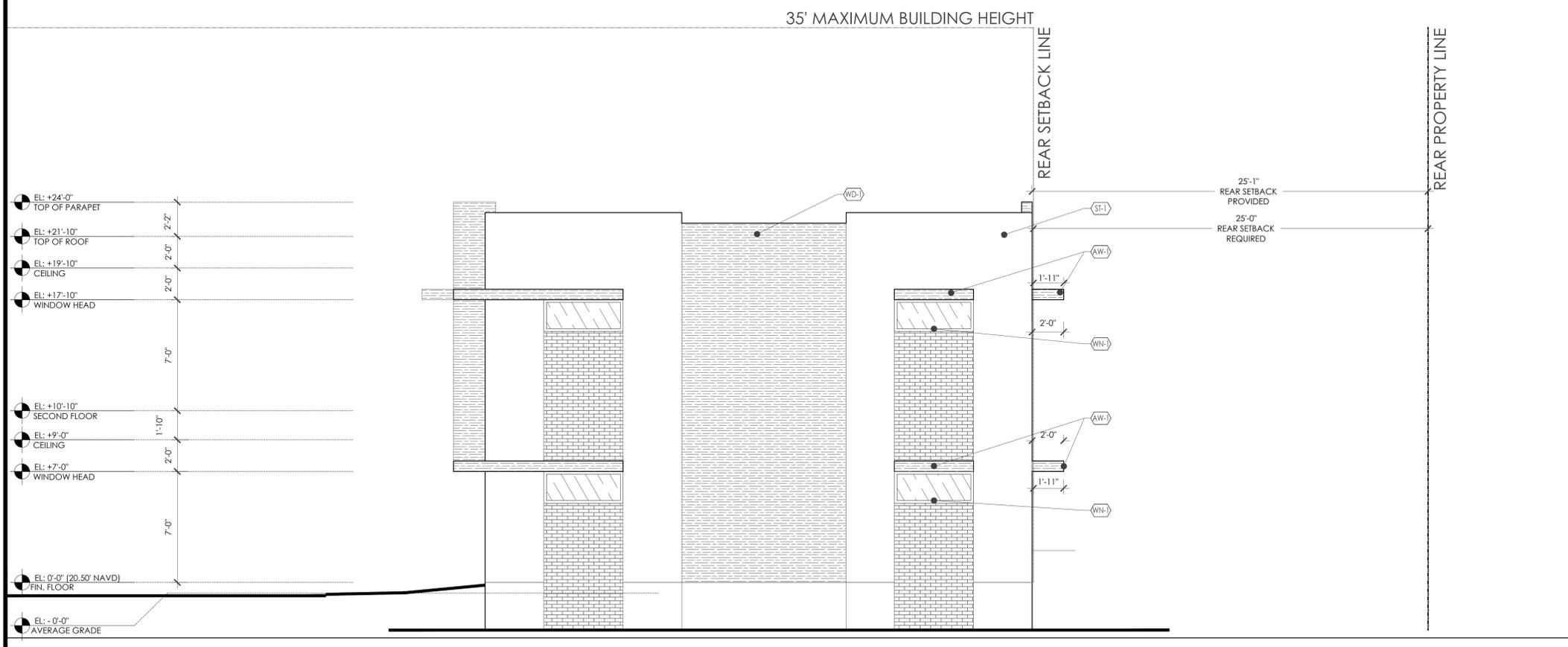
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2 EXTERIOR WEST ELEVATION
 A-211 scale: 1/4" = 1'-0"



1 EXTERIOR SOUTH ELEVATION
 A-211 scale: 1/4" = 1'-0"

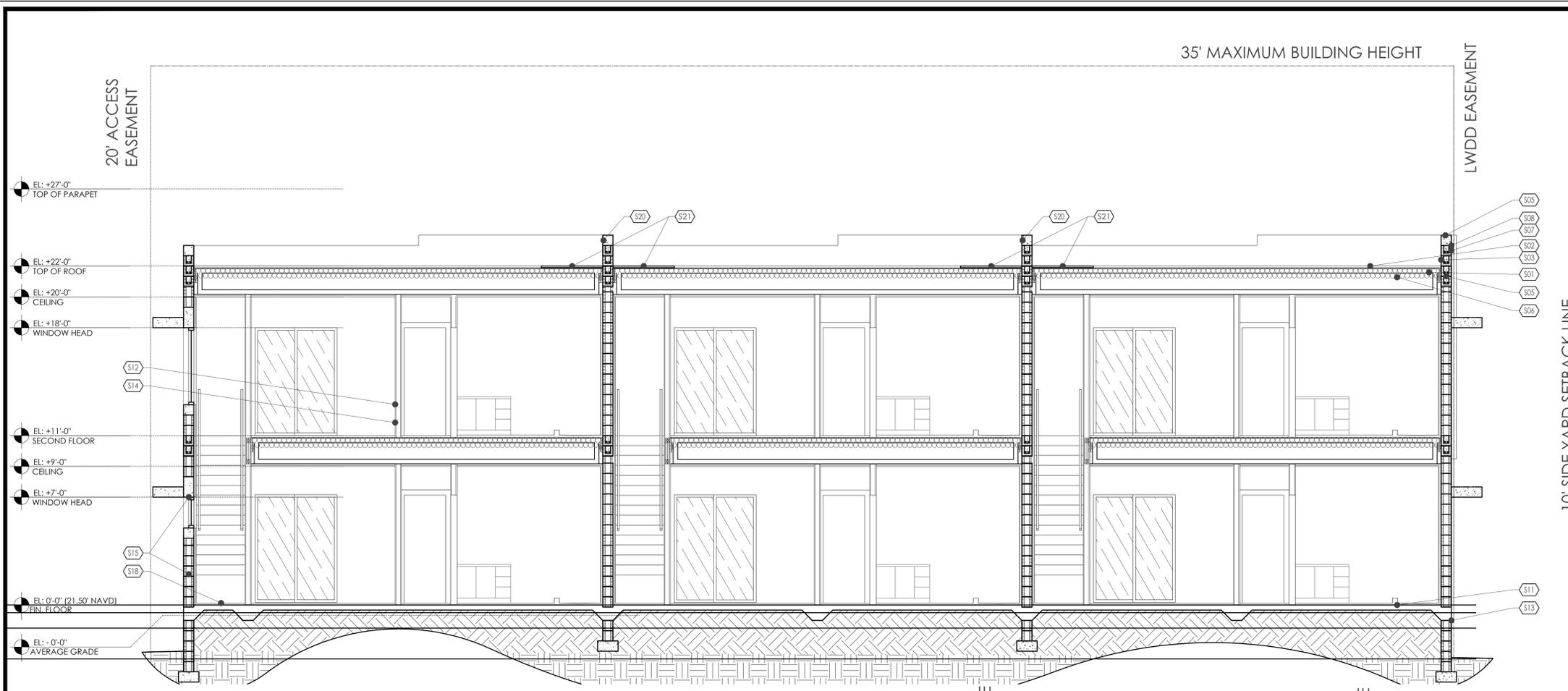
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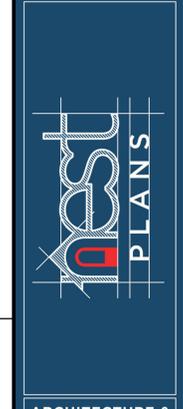
A-221



- ### SECTION KEY NOTES
- (S01) WOOD ROOF TRUSSES WITH PLYWOOD ROOF DECK - REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS. WATER PROOFING - TPO MEMBRANE ROOFING
 - (S02) TPO - FLAT ROOF ROOFING SYSTEM - CONTRACTOR TO COORDINATE SELECTION BY OWNER. ROOFER TO PROVIDE SPECIFICATIONS AND INSTALLATION DETAILS
 - (S03) CONTRACTOR TO PROVIDE METAL FLASHING AS NEEDED FOR PROPER WATER PROOFING
 - (S04) NOT USED
 - (S05) CONCRETE BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND MORE INFORMATION
 - (S06) INSULATION - Icynene [F.B.C.2017-107.3.5D(3)] Flame Spread Max 25 Icynene [F.B.C. 2020-R302.10] OPEN CELL R-30 MIN. (R.O.C.F) BATTEN R11 (GARAGE CEILING AND EXTERIOR METAL STUD WALLS) - R 4.5 CMU BLOCK WALLS
 - (S07) CONCRETE MASONRY UNITS (CMU) - REFER TO STRUCTURAL DRAWINGS
 - (S08) SMOOTH EXTERIOR STUCCO FINISH - OVER CMU OR CONCRETE WALLS. REFER TO OWNER FOR COLOR AND FINAL FINISH SELECTION.
 - (S09) HAND FRAMED EXTERIOR WALLS - REFER TO STRUCTURAL DRAWINGS
 - (S10) EXTERIOR PLYWOOD: 3/4" STUCCO ON HIGH-RIBBED GALVANIZED METAL LATH ON APA RATED 40/20, 19/32" EXPOSURE I PLYWOOD
 - (S11) CONCRETE FLOOR - SEE STRUCTURAL DRAWINGS FOR SIZE AND MORE INFORMATION
 - (S12) TYP. INTERIOR PARTITION - REFER TO SHEET A-601 FOR CONSTRUCTION DETAIL
 - (S13) NEW SLAB ON GRADE FOUNDATION WITH SPREAD FOOTING STEM WALL FOUNDATION SYSTEM. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION
 - (S14) GYPSUM WALL BOARD: 5/8" WITH TAPED JOINTS AND CORNER BEADS, PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WALLS ONLY AT WET AREAS.
 - (S15) P.T. WOOD BUCK: AROUND WINDOWS AND DOORS. SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS.
 - (S16) HANDRAIL AND SAFEGUARD: HANDRAIL AT 34" HEIGHT, PICKETS SPACED TO RESIST A 4" SPHERE. SAFEGUARD AT 42" HIGH AT LANDINGS AND STAIRS WERE OPEN TO BELOW. HAND FRAME DROP CEILING
 - (S18) FINISH FLOOR - OWNER TO PROVIDE MATERIAL SELECTION. CONTRACTOR TO PROVIDE INSTALLATION
 - (S19) STUCCO DRIP EDGE AT ALL OPENINGS, EYEBROWS AND OVERHANGS
 - (S20) DEMISING WALL - 706.4.1.2 - 8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED - REFER TO NOTES BELOW AND DETAIL ON A-101 - A-104
 - (S21) MIN CLASS C RATED ROOF COVERING PER ASTM E108 OR UL 790 AND NONCOMBUSTIBLE ROOF DECKING/ SHEATHING OR APPROVED FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET EACH SIDE OF THE WALL OR ONE LAYER OF 5/8-INCH TYPE X GYPSUM BOARD IS INSTALLED DIRECTLY BENEATH THE ROOF DECKING OR SHEATHING



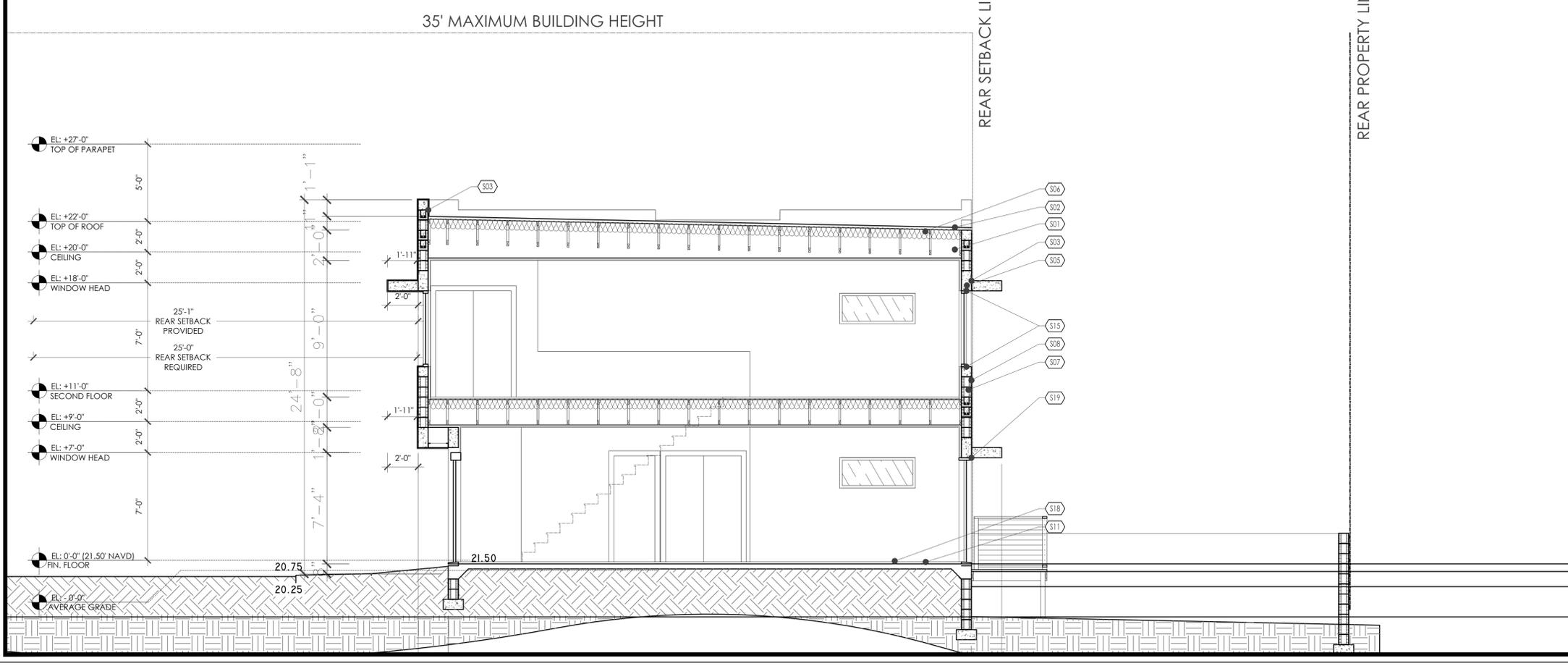
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2 EXTERIOR WEST ELEVATION
 A-321 scale: 1/4" = 1'-0"

- ROOF COVERING COMPLIES WITH MINIMUM CLASS C RATING AS TESTED IN ACCORDANCE WITH ASTM E108 OR UL 790
- DEMISING WALL - 706.4.1.2
1. Such wall shall provide not less than a 2-hour fire-resistance rating. Plumbing, piping, ducts, electrical or other building services shall not be installed within or through the 2-hour wall, unless such materials and methods of penetration have been tested in accordance with Section 703.
 2. Such wall shall be continuous from the foundation to the underside of the roof sheathing or shall have a parapet extending not less than 18 inches (457 mm) and no less than a 4-foot (1219 mm) width on each side of the wall shall be of noncombustible material, or fire-retardant-treated wood, or one layer of 5/8-inch (15.9 mm) Type X gypsum wallboard attached to the underside of the roof decking.
 3. Each dwelling unit sharing such wall shall be designed and constructed to maintain its structural integrity independent of the unit on the opposite side of the wall.
- Exception: Said wall may be penetrated by roof and floor structural members provided that the fire-resistance rating and the structural integrity of the wall is maintained.



1 SECTION
 A-321 scale: 1/4" = 1'-0"

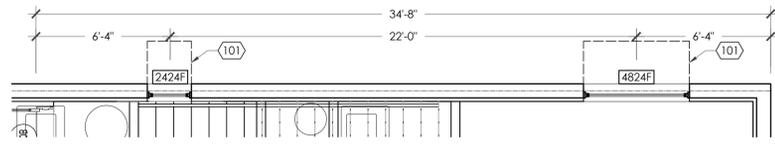
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 3494 SOUTH JOG ROAD
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NO.	REVISIONS

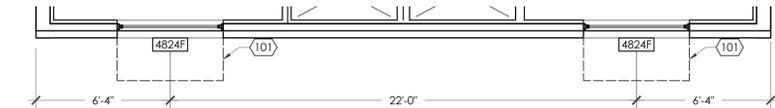
Job No: NEST - 2305
 Date: 07/17/24
 Drawn by: SKG
 Checked by: SAR

PERMIT PLANS

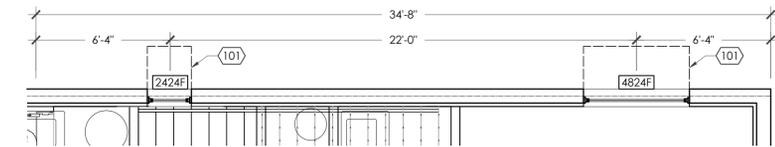
A-321



6 SECOND FLOOR NORTH
A111 scale: 1/4" = 1'-0" N



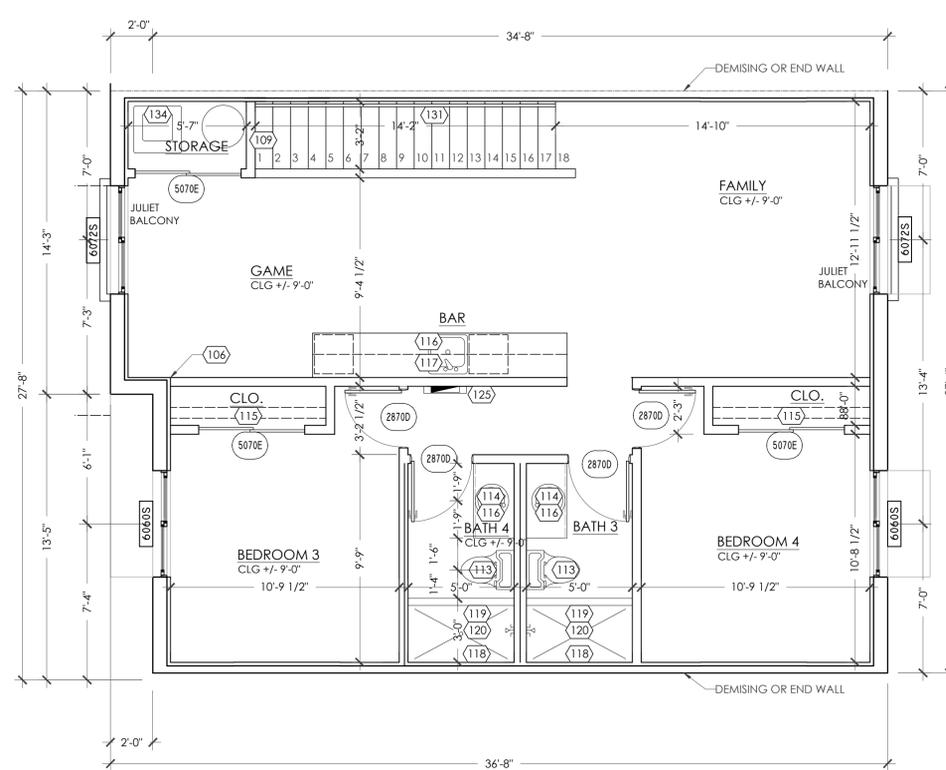
5 SECOND FLOOR SOUTH
A111 scale: 1/4" = 1'-0" N



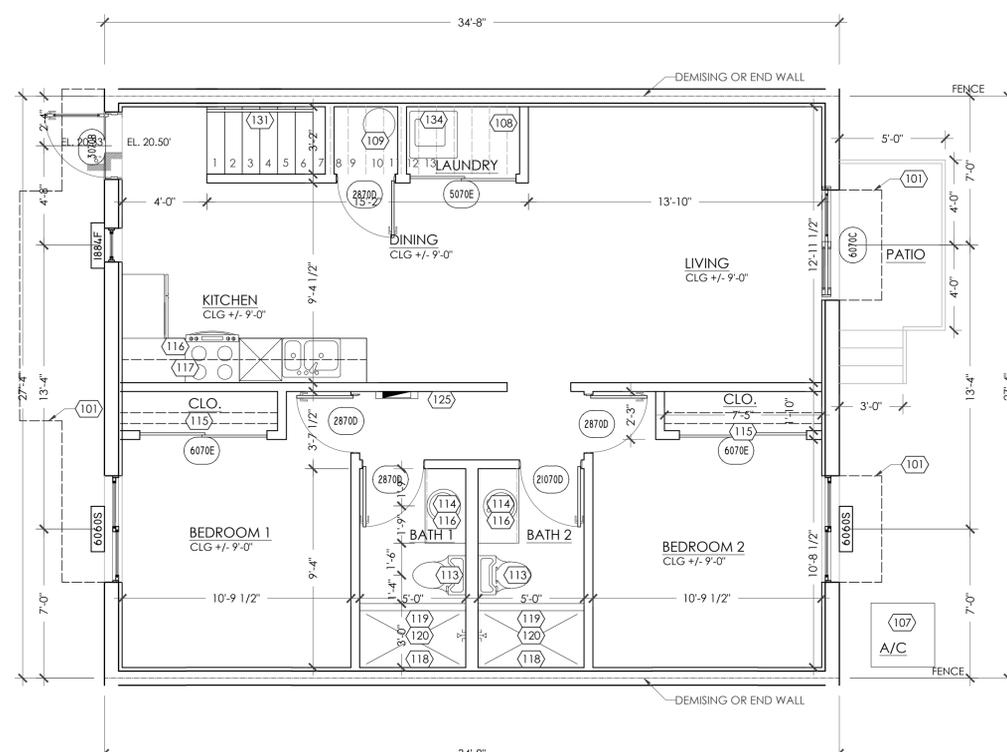
4 FIRST FLOOR NORTH
A111 scale: 1/4" = 1'-0" N



3 FIRST FLOOR SOUTH
A111 scale: 1/4" = 1'-0" N



2 SECOND FLOOR PLAN
A111 scale: 1/4" = 1'-0" N



1 FIRST FLOOR PLAN
A111 scale: 1/4" = 1'-0" N

FLOOR PLAN GENERAL NOTES

1. ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH.
2. ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N.
3. DIMENSIONS SHALL BE FIGURED, DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS OR SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OF GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
4. DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING.
5. CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA.
6. STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED.
7. DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER.
8. STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
9. ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS.
10. EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITH-OUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA.

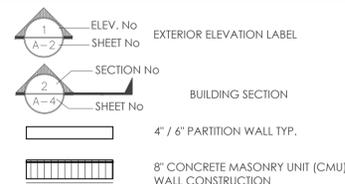
FLOOR PLAN KEY NOTES

- (101) DASHED LINE OF ROOF OVERHANG ABOVE. SEE STRUCTURAL FRAMING PLAN
- (102) STEEL COLUMN - WRAPPED WITH CONCRETE FIBER BOARD AND TRIMMED - REFER STRUCTURAL DRAWINGS FOR SIZE AND DETAIL 1 PAGE 6.
- (103) DENOTES CEILING HEIGHT CHANGE. SEE ROOF FRAMING PLAN FOR MORE INFORMATION
- (104) CONCRETE COLUMN - REFER STRUCTURAL DRAWINGS FOR SIZE.
- (105) STEEL COLUMN - REFER STRUCTURAL DRAWINGS FOR SIZE AND DETAIL 1 PAGE 6.
- (106) ALIGN WALL FRAMING WITH ICF WALL SYSTEM. GYPSUM WALL BOARD TO BE FLUSH.
- (107) A/C COMPRESSOR ON 3-1/2" MIN. CONC. SLAB AND 2" ABOVE ADJACENT GRADE AS PER FBC 2010 - MECH 304.9 - SEE MECHANICAL DRAWINGS
- (108) A/C HANDLER UNIT TO HAVE MIN. 4" CLEARANCE ALL SIDES - SEE MECHANICAL DRAWINGS
- (109) ELEC. TANKLESS WATER HEATER - REFER TO MANUFACTURER'S SPECS FOR INSTALLATION.
- (110) NOT USED
- (111) NOT USED
- (112) NOT USED
- (113) TOILET SHALL NOT BE CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL, PARTITION, VAN OR OTHER OBSTRUCTION, OR CLOSER THAN 30" FROM ANOTHER TOILET OR FIXTURE. COORDINATE WITH OWNER FOR EXACT LOCATION AND STYLE SELECTION FOR MIRROR, MEDICAL CABINET IF APPLICABLE, TOWEL BAR OR TOWEL RINGS & TOILET PAPER HOLDER.
- (114) ROD / SHELF: LAYOUTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER AND DESIGNER
- (115) COUNTER 36" HIGH A.F.F. WITH CABINETS BELOW. FINISH TO BE COORDINATED W/ OWNER
- (116) CABINETS ABOVE PROVIDE BACKER BOARD FOR MAXIMUM HEIGHT. COORDINATE WITH OWNER
- (117) PROVIDE DUROCK TILE BACKER BOARD, 1/2" THICK SECURE WITH 1 1/4" RUST - RESISTANCE SCREWS AT 8" O.C. AND/OR INSTALL PER MANUFACTURER SPECIFICATIONS.
- (118) SHOWER CURBING - SLOPE FLOOR TOWARD FLOOR DRAIN IN SHOWER FROM ENTRANCE TO SHOWER
- (119) SHOWER ROD - FINISHED TO BE COORDINATED WITH OWNER
- (120) NOT USED
- (121) SHOWER CURBING - 4" BUILT-UP CURB
- (122) PROVIDE BACKING PLYWOOD FOR FUTURE MOUNTING OF GRAB BARS, TV MOUNTS AND WALL HUNG CABINET MOUNTING
- (123) DENOTES PROPOSED HOSE BIBB LOCATION 1/2" WITH VACUUM BREAKER. SEE PLUMBING DRAWINGS FOR DETAIL (TYP. OF 3)
- (124) ELECTRICAL PANEL LOCATION - SEE ELECTRICAL DRAWINGS
- (125) 4" DEEP BY 72" WIDE CHASE WALL TO ALLOW FOR ELECTRICAL PANELS, PHONE AND CABLE BOX INSTALLATION. CHASE WALL TO LINE UP WITH METER LOCATION BEHIND GARAGE WALL. START AT 42" ABOVE FINISHED SLAB TO CEILING.
- (126) ELECTRICAL METER BOX LOCATION - SEE ELECTRICAL DRAWINGS
- (127) AUTOMATIC GARAGE DOOR MOTOR. PROVIDE 15/32" PLYWOOD BACKING TO SECURE MOTOR ON CEILING
- (128) NOT USED
- (129) NOT USED
- (130) NOT USED
- (131) HANDRAIL AND SAFEGUARD: HANDRAIL AT 34" HEIGHT, PICKETS SPACED TO RESIST A 4" SPHERE. SAFEGUARD AT 42" HIGH AT LANDINGS AND STAIRS WERE OPEN TO BELOW. STAIRS: RISE 6.9" - RUN 11"11" NOSE. 2x6.9+11=24.8 COMPLIES CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO START OF CONSTRUCTION OF THE BUILDING TO ARCHITECT FOR REVIEW.
- (132) NOT USED
- (133) NOT USED
- (134) WASHING MACHINE OVERFLOW TUB WITH DRAIN

AREAS

UNIT AREA:	
FIRST FLOOR (A/C):	955 SQ. FT.
SECOND FLOOR (A/C):	977 SQ. FT.
TOTAL A/C:	1932 SQ. FT.

FLOOR PLAN LEGEND



ALL IDEAS, CONCEPTS, AND PLANS INDICATED ON THIS DRAWING ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. BEFORE PROCEEDING WITH FABRICATION ON THIS JOB, THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

nest PLANS

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C&C LEGACY PLAZA
TOWNHOUSE DEVELOPMENT
3494 SOUTH JOG ROAD
GREENACRES, FLORIDA 33467

REVISIONS

NO.	DATE	DESCRIPTION

Job No: NEST - 2305
Date: 07/17/24
Drawn by: SKG
Checked by: SAR

PERMIT PLANS

ROOF PLAN
A-411

