



PROJECT AND OWNER:

OpusCare
 6900 SW 80TH ST.
 MIAMI | FL | 33143
 WESTON PAVILLION LLC
 2950 NE 188 ST #328
 AVENTURA | FL | 33180
 ARCHITECT:

REPRWAR
 7261 NE 4TH AVENUE, STE 101
 MIAMI | FLORIDA | 33138
 305 673 2121 | REPRWAR.COM
 #AA26003789

CONSULTING ENGINEERS:

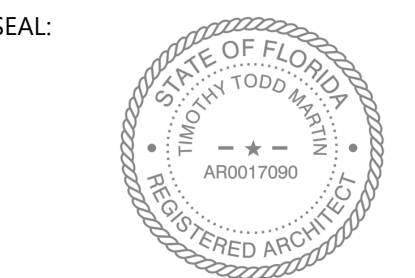
MEP:
 CREDO CONSULTING ENGINEERS, LLC
 800 EAST BROWARD BLVD SUITE 601
 FORT LAUDERDALE | FL | 33301
 t|954 763 2246

KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:
 SHEET ISSUE DATE: 07-17-19
 PROJECT NO.: 1909
 DRAWN BY: JB APPROVED BY: TM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



SIGNATURE:
 T. TODD MARTIN RA,
 LIC# AR0017090

SHEET TITLE:
EXISTING/DEMO PLAN LEVEL 01

SCALE:
As indicated

SHEET NO:
D-1

2 EXISTING/DEMO PLAN LEVEL 01
 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED TO THAT INSPECTION.
- DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT. INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORK NEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
- TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
- USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
- DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
- ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
- G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

DEMOLITION NOTES

- 02110 DEMOLITION**
- PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.
- "TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE-ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
 - DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.
 - CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.
- SCOPE OF WORK**
- CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.
- EXECUTION**
- ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

DEMOLITION LEGEND

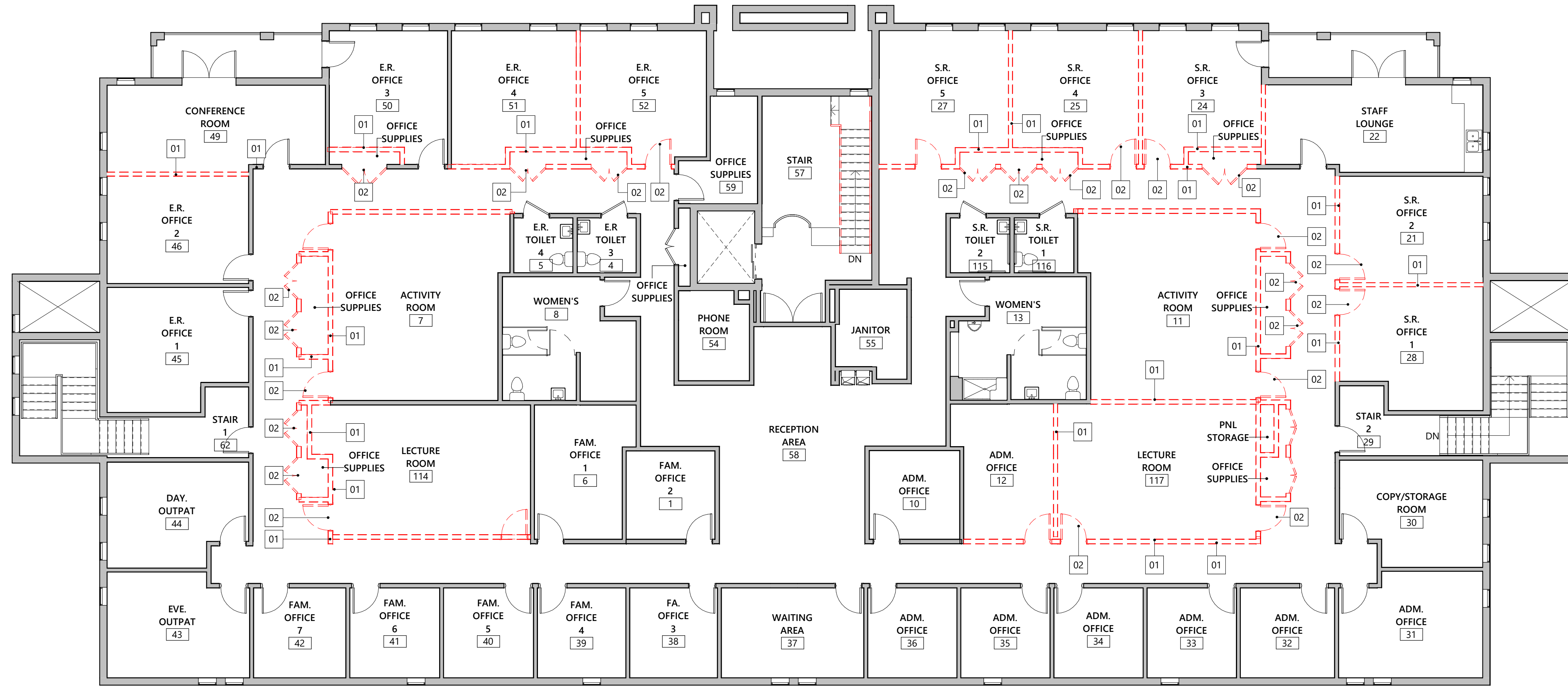
- REMOVE EXISTING WALL
 - REMOVE EXISTING DOOR
 - REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
 - REMOVE FINISH FLOOR
 - REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT FIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN.

WALL LEGEND

- WALL TYPE 1 TYPICAL 4" INTERIOR PARTITION NON-RATED.
 - EXISTING WALL TO REMAIN
 - REMOVE/DEMO
- SEE TYPICAL WALL TYPES SHEET A-601 FOR DETAILS

ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION

- THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE PRESENT.
- THE EXISTING/REMAINING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.
- ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.
- ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.



PROJECT AND OWNER:

OpusCare
 6900 SW 80TH ST.
 MIAMI | FL | 33143
 WESTON PAVILLION LLC
 2950 NE 188 ST #328
 AVENTURA | FL | 33180

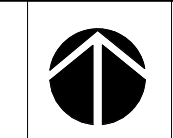
ARCHITECT:
REPRTRWAR
 7261 NE 4TH AVENUE, STE 101
 MIAMI | FLORIDA | 33138
 305 673 2121 | REPRTRWAR.COM
 #AA26003789

CONSULTING ENGINEERS:
 MEP:
 CREDO CONSULTING ENGINEERS, LLC
 800 EAST BROWARD BLVD SUITE 601
 FORT LAUDERDALE | FL | 33301
 t|954 763 2246

KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:
 SHEET ISSUE DATE: 07-17-19
 PROJECT NO.: 1909
 DRAWN BY: JB APPROVED BY: TM



1

EXISTING/DEMO PLAN LEVEL 02

1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED TO THAT INSPECTION.
- DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT. INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORK NEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
- TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.
- USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.
- DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.
- ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.
- G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.

DEMOLITION NOTES

- 02110 DEMOLITION**
- PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.
- "TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE-ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
 - DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.
 - CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.
- SCOPE OF WORK**
- CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.
- EXECUTION**
- ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

DEMOLITION LEGEND

- REMOVE EXISTING WALL
 - REMOVE EXISTING DOOR
 - REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS
 - REMOVE FINISH FLOOR
 - REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS
- COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT FIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.
- REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.
- SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN.

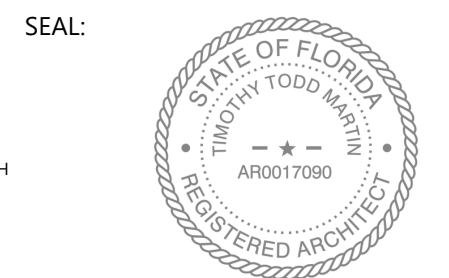
ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION

- THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE PRESENT.
- THE EXISTING/REMAINING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.
- ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.
- ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.

WALL LEGEND

- WALL TYPE 1 TYPICAL 4" INTERIOR PARTITION NON-RATED.
 - EXISTING WALL TO REMAIN
 - REMOVE/DEMO
- SEE TYPICAL WALL TYPES SHEET A-601 FOR DETAILS

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

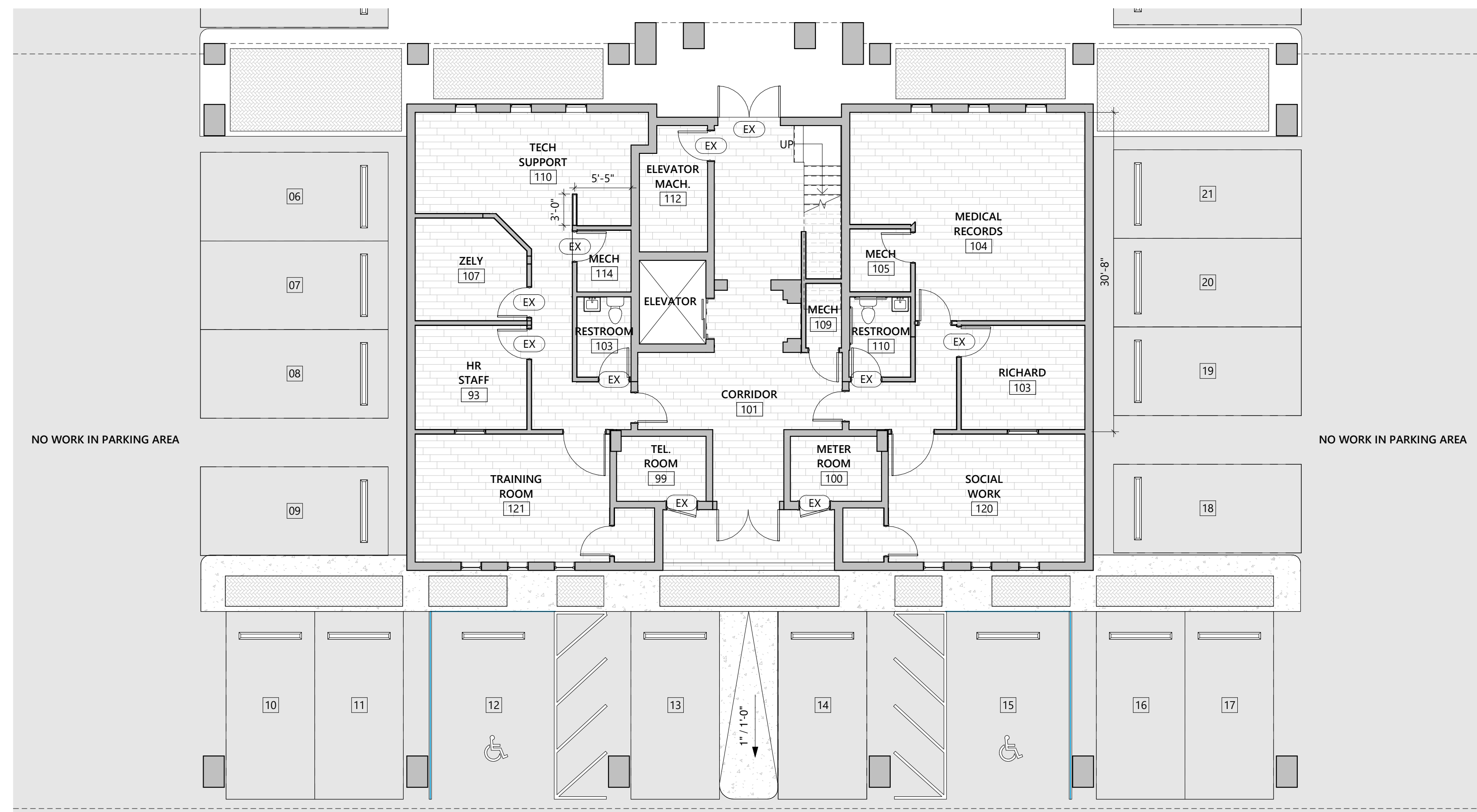


SIGNATURE:
 T. TODD MARTIN RA,
 LIC# AR0017090

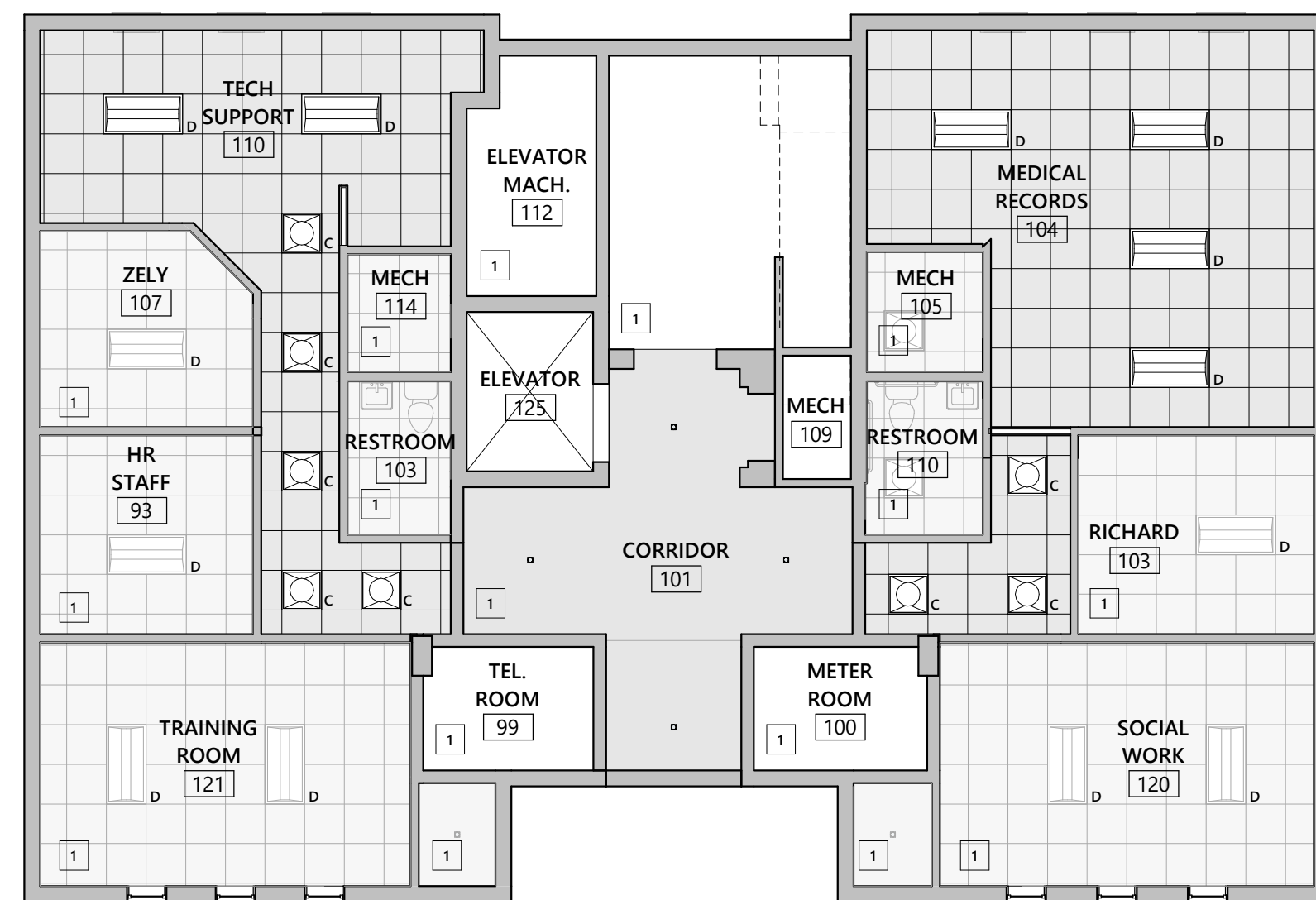
SHEET TITLE:
 EXISTING/DEMO PLAN
 LEVEL 02

SCALE:
 As indicated

SHEET NO:
D-2



1 PROPOSED PLAN LEVEL 01
1/8" = 1'-0"



2 LEVEL 01 R.C.P.
1/8" = 1'-0"

WALL LEGEND

- WALL TYPE 1
TYPICAL 4" INTERIOR
PARTITION NON-RATED.
 - EXISTING WALL TO REMAIN
 - REMOVE/DEMO
- SEE TYPICAL WALL TYPES SHEET A-601 FOR DETAILS

FINISH CEILING ELEVATION LEGEND

- B.O. CEILING
8' - 6" CG-01
GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH TAPED, PRINTED AND FINISHED
- B.O. CEILING
8' - 6" CG-02
SUSPENDED CEILING GRID AND TILES MANUFACTURER: LIGG
GRID: FINELINE 1/8"
GRID COLOR: TO MATCH TILE
SIZE: 59X54
CEILING TILE: ASTRO CLIMA PLUS R227
TILE COLOR: WHITE
- EXISTING CEILING TO REMAIN

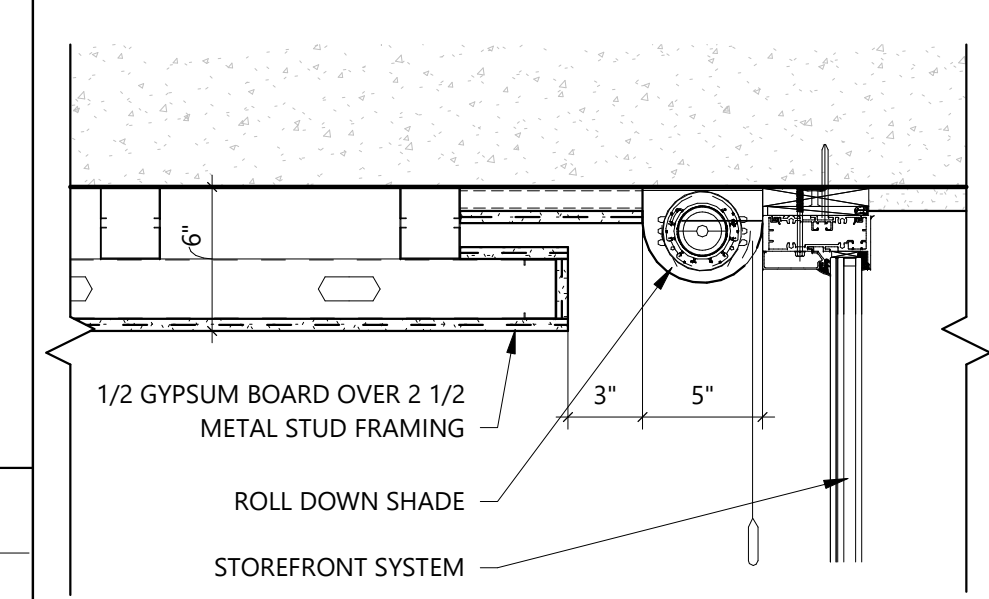
RCP LEGEND

- JUNCTION BOX
- LED STRIP
- EF EXHAUST VENT
- A 4" SQUARE TRIMLESS RECESSED LIGHT
MANUFACTURER: BEACH LIGHTING R4-589TL
- B RING LED HANGING LAMP PENDANT LIGHTS THIN
NESO OFFICE LAMP CIRCULAR
R4EY-100CM DIA R4EY-47CM DIA R4EY-57CM DIA
- C EPANL LED
MANUFACTURER: LITHONIA LIGHTING EPANL 2 x 2
- D EPANL LED
MANUFACTURER: LITHONIA LIGHTING EPANL 2 x 4 INTEGRATED LED FLAT PANEL

REFLECTED CEILING NOTES

1. REFER TO THE GENERAL / G-SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE INTENT OF THIS REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M.E.P. DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS RELECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB - CONTRACTOR SHALL VERIFY ALL CEILING PENIUM CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED, AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH GYPSUM BOARD AND METAL SHADOW MOLDING WHERE LOWER CEILINGS ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. SUB - CONTRACTORS SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
6. SUB - CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "INTEFORMS INC". SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD. ACCESS PANEL FRAMES SHALL BE TAPED AND SPACKLED, PROVIDE ANY AND ALL BLOCKING AS MAY BE REQUIRED.
7. CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
8. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWING FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURNS AIR GRILLES.
9. ALL HORNS AND STROBES SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE (WALL, COLUMN, ETC.) UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORNS AND STROBES AT HIS OWN EXPENSE.
10. ALL ABANDONED SLAB POKE THROUGH FROM SLAB ABOVE SHALL BE FIRE SAFED AS REQUIRED.

ROLLDOWN SHADE DETAIL



PROJECT AND OWNER:

OpusCare
6900 SW 80TH ST.
MIAMI | FL | 33143
WESTON PAVILLION LLC
2950 NE 188 ST #328
AVENTURA | FL | 33180
ARCHITECT:

REPRWAR
7261 NE 4TH AVENUE, STE 101
MIAMI | FLORIDA | 33138
305 673 2121 | REPRWAR.COM
#AA26003789

CONSULTING ENGINEERS:

MEP:
CREDO CONSULTING ENGINEERS, LLC
800 EAST BROWARD BLVD SUITE 601
FORT LAUDERDALE | FL | 33301
t 954 763 2246

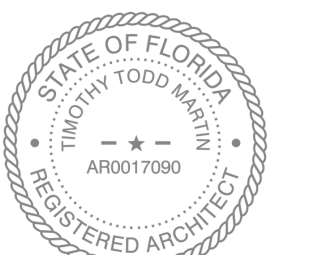
KEY PLAN:

SCHEMATIC DESIGN

PERMIT APPLICATION DATE:
SHEET ISSUE DATE: 09-24-19
PROJECT NO.: 1909
DRAWN BY: JB APPROVED BY: TM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:

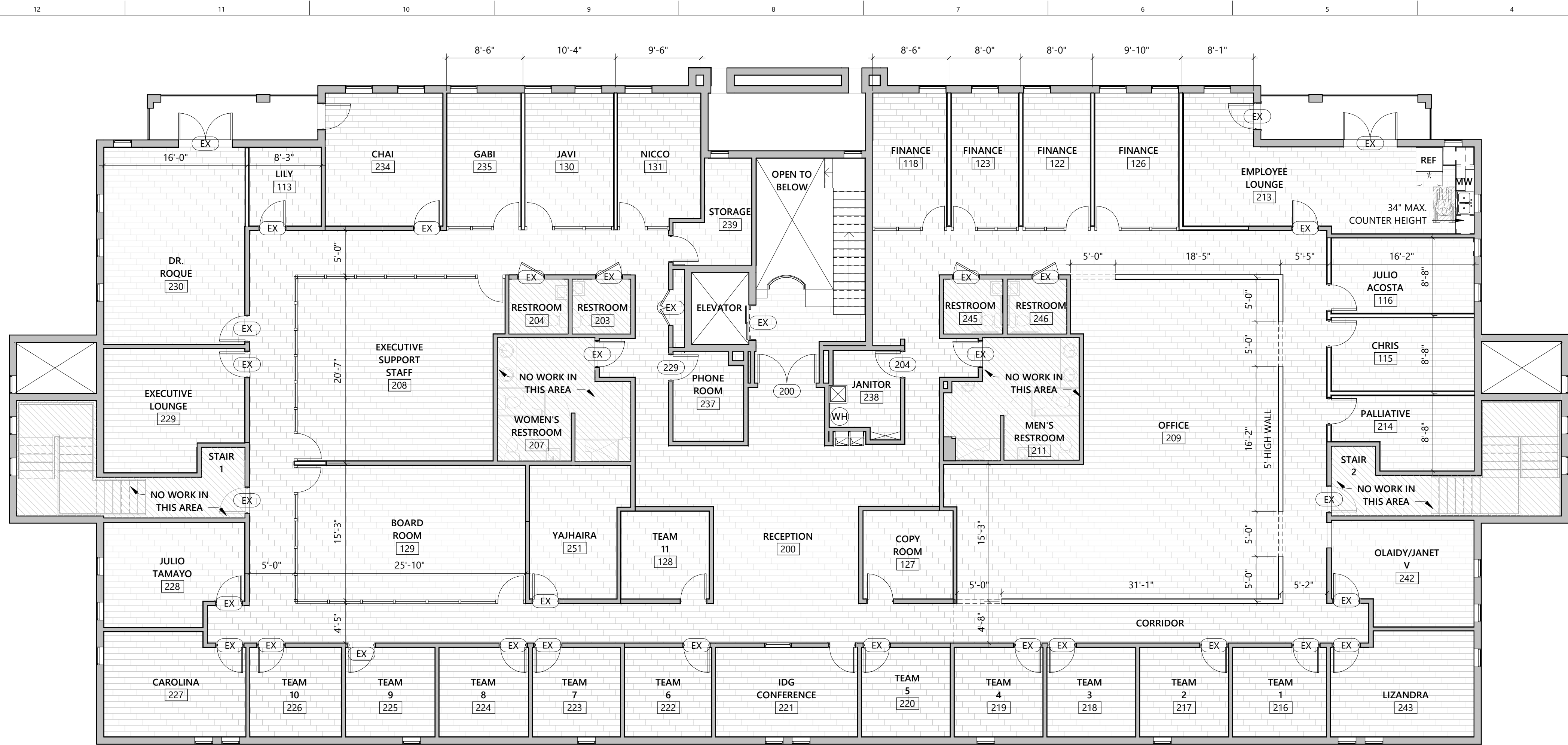


SIGNATURE:
T. TODD MARTIN RA,
LIC# AR0017090
SHEET TITLE:
PROPOSED PLAN &
RCP LEVEL 01

SCALE:
As indicated

SHEET NO:

A-101



2 PROPOSED PLAN LEVEL 02
1/8" = 1'-0"



1 R.C.P. LEVEL 02
1/8" = 1'-0"

WALL LEGEND	
1	WALL TYPE 1 TYPICAL 4" INTERIOR PARTITION NON-RATED.
EX	EXISTING WALL TO REMAIN
---	REMOVE/DEMO
SEE TYPICAL WALL TYPES SHEET A-601 FOR DETAILS	

FINISH CEILING ELEVATION LEGEND	
B.O. CEILING 8' - 6"	CG-01 GYP. BOARD DRY WALL SOFFIT WITH SMOOTH FINISH TAPED, PRINTED AND FINISHED
B.O. CEILING 8' - 6"	CG-02 SUSPENDED CEILING GRID AND TILES MANUFACTURER: USG GRID: FINELINE 1/8" GRID COLOR: TO MATCH TILE SIZE: 59X54 CEILING TILE: ASTRO CLIMA PLUS R227 TILE COLOR: WHITE
1	EXISTING CEILING TO REMAIN

RCP LEGEND	
1	JUNCTION BOX
---	LED STRIP
EF	EXHAUST VENT
A	4" SQUARE TRIMLESS RECESSED LIGHT MANUFACTURER: BEACH LIGHTING R4 589TL
B	RING LED HANGING LAMP PENDANT LIGHTS THIN NESO OFFICE LAMP CIRCULAR R45- R45CM DIA R47- 47CM DIA R57- 57CM DIA
C	EPANL LED MANUFACTURER: LITHONIA LIGHTING EPANL 2 x 2
D	EPANL LED MANUFACTURER: LITHONIA LIGHTING EPANL 2 x 4 INTEGRATED LED FLAT PANEL

REFLECTED CEILING NOTES	
1.	REFER TO THE GENERAL / G-SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2.	THE INTENT OF THIS REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M.E.P. DRAWINGS.
3.	NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4.	SUB - CONTRACTOR SHALL VERIFY ALL CEILING PLENUM CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED, AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH GYPSUM BOARD AND METAL SHADOW MOLDING WHERE LOWER CEILINGS ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5.	SUB - CONTRACTORS SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
6.	SUB - CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "INTEFORMS INC". SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD. ACCESS PANEL FRAMES SHALL BE TAPED AND SPACKLED. PROVIDE ANY AND ALL BLOCKING AS MAY BE REQUIRED.
7.	CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
8.	EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWING FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURNS AIR GRILLES.
9.	ALL HORNS AND STROBES SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE (WALL, COLUMN, ETC.) UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORNS AND STROBES AT HIS OWN EXPENSE.
10.	ALL ABANDONED SLAB POKE THROUGH FROM SLAB ABOVE SHALL BE FIRE SAFED AS REQUIRED.

PROJECT AND OWNER:
OpusCare
6900 SW 80TH ST.
MIAMI | FL | 33143
WESTON PAVILION LLC
2950 NE 188 ST #328
AVENTURA | FL | 33180
ARCHITECT:
REPRWAR
7261 NE 4TH AVENUE, STE 101
MIAMI | FLORIDA | 33138
305 673 2121 | REPRWAR.COM
#AA26003789
CONSULTING ENGINEERS:
MEP:
CREDO CONSULTING ENGINEERS, LLC
800 EAST BROWARD BLVD SUITE 601
FORT LAUDERDALE | FL | 33301
1954 763 2246

KEY PLAN:
PERMIT APPLICATION DATE: 09-24-19
SHEET ISSUE DATE:
PROJECT NO.: 1909
DRAWN BY: JB APPROVED BY: TM

SCHEMATIC DESIGN
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:

SIGNATURE:
T. TODD MARTIN RA,
LIC# AR0017090

SHEET TITLE:
**PROPOSED PLAN &
RCP LEVEL 02**
SCALE:
As indicated
SHEET NO:
A-102
REPRWAR 2019