

EREG

REAL ESTATE INVESTMENTS



Conceptual Rendering

Emanuel Real Estate Group

Offering Memorandum Redevelopment

6313-6319 S. Brynhurst Ave, Los Angeles, CA 90043



DRE #01428774



Hooman Emanuel

Emanuel Real Estate Group, Inc.

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DRE #01200237

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& Pricing
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Overview



Project Information,
& Pricing

6319

Project Information & Pricing

Project Information:

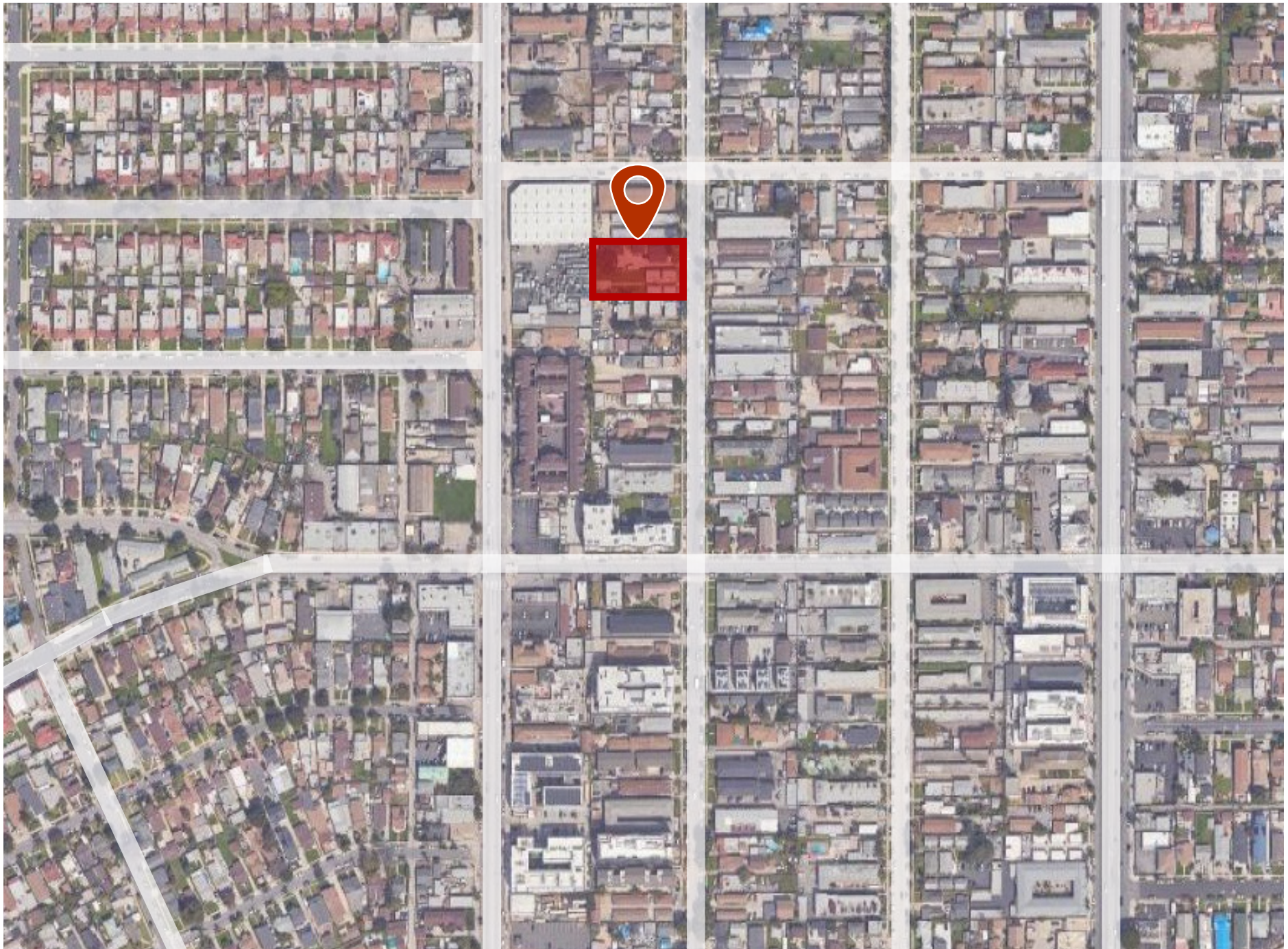
- Market Rate project with 5 ELI units
- Building designed with oversized units to increase desirability from tenants and decrease turnover on units.
- Potential to convert some/most 2+2+Den units to 3+2 units
- Central location near multiple options for public transportation
- Project will be delivered RTI

Price:	\$3,975,000
Address:	6313-6319 S. Brynhurst Ave. Los Angeles, Ca 90043
Status:	Will be delivered RTI
Units:	51 units
Parking:	28 spaces
Unit Mix and Average Size:	13 one-bed/one-bath at 735 sqft 5 two-bed/two-bath at 1080 sqft 20 two-bed/two-bath with den at 1150 sqft 13 three-bed/two-bath at 1172 sqft
Alternate Unit Mix:	13 one-bed/one-bath at 735 sqft 5 two-bed/two-bath at 1080 sqft 33 three-bed/two-bath at 1158 sqft
Approx. Gross Building Square Footage:	62,432
APN:	4006-007-007 and 4006-007-008
Lot Size:	22,728 Sqft
Zoning:	R3
TOC:	Tier 3

Conceptual Renderings









Site Plan, Floor Plans,
& Evaluations

6319

6319-6313 S BRYNHURST AVE , LOS ANGELES, CA 90043



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LOS ANGELES, CA 90008
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REVISION BY

OWNER
6319 BRYNHURST LLC
1041 VENICE BLVD#260
LOS ANGELES CA 90034

PROJECT
6319-6313 S BRYNHURST AVE
CA 90043

DRAWING TITLE
COVER SHEET

DATE: JUNE 10
SCALE: 1/8"=1'-0"
DRAWN:
APPROVED: AG
JOB #: 22-1058
SHEET:
T.O.
OF SHEETS

PROJECT ADDRESS INDEX

6319-6313 S BRYNHURST AVE
CA 90043

PROJECT OWNER
6319 BRYNHURST LLC
1041 VENICE BLVD#260
LOS ANGELES CA 90034

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STRUCTURAL ENGINEER
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SURVEY
LAWRENCE J. SCHMAHL
11209 HOWARD ST. WHITTIER, CA
90606
(562) 908-0570 (323)773-1675

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PHONE: (818)758-0018

ELECTRICAL ENGINEER

MECHANICAL & PLUMBING

PROJECT DATA

ADDRESS: 6319-6313 S BRYNHURST AVE , LOS ANGELES, CA 90043
PROJECT SCOPE: (50) UNITS, APARTMENT BUILDING WITH 4 A D U WITH GROUND FLOOR PARKING GARAGE
LEGAL DESCRIPTION: LOTS 174 AND 175, IN HYDE PARK TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK MR-14-21 RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ASSESSOR PARCEL NO. (APN) 4006-007-007 , 4006-007-008,
BUILDING CODE: 2019 CBC AS AMENDED BY CITY OF LOS ANGELES
ZONE: R3-1
GENERAL PLAN LAND USE: MEDIUM RESIDENTIAL
COMMUNITY PLAN AREA: WEST ADAMS -BALDWIN HILLS-LEIMET
AREA PLANNING COMMISSION: SOUTH LOS ANGELES
TYPE OF CONSTRUCTION: 2ND Thru 5TH FLOOR FLOORS, TYPE V-A, R-2 OCCUPANCY TYPE VA,
1ST TYPE I-A, R-2 S-2 OCCUPANCY FULLY FIRE SPRINKLERED THROUGHOUT (NFPA-13)
LOT AREA: 11,363.9+11,363.9=22,727.8 SQ.FT PER ZIMAS
ALLOWABLE BUILDING HEIGHT: 45 FEET
PROPOSED HEIGHT PER (PER TOC) = 45 FEET + 11 FEET = 56'
OCCUPANCY GROUP: R-2
BUILDING SETBACKS REQUIRED: SIDE YARD : 5'-8" FEET PER TOC INCENTIVE (30% REDUCTION PER TIER 3)
FRONT YARD : 15 FEET
REAR YARD : 15 FEET
BUILDING SETBACKS PROVIDED: SIDE YARD : 7'-0" FEET
FRONT YARD : 15 FEET
REAR YARD : 15 FEET
STORIES: 5 - STORIES

PARKING CALCULATION

PARKING REQUIRED PER TOC (TIER 3)	# OF UNITS	AUTO PARKING	TOTAL
1- BDRM	12	1.5	18
2- BDRM	5	2	10
2- BDRM+DEN	20	2	40
3- BDRM	13	2	26
TOTAL	50		94

PARKING REQUIRED PER TOC (TIER 3)	# OF UNITS	AUTO PARKING	TOTAL
1- BDRM	12	.5	6
2- BDRM	5	.5	2.5
2- BDRM+DEN	20	.5	10
3- BDRM	13	.5	6.5
TOTAL	50		25

PROVIDED	PARKING No.
STANDARD	27
COMPACT	0
DISABLED PARKING	1
TOTAL AUTO PARKING RESIDENTS	28

(5 SHORT-TERM BICYCLE PARKING
(48) LONG-TERM BICYCLE PARKING

* NO GUEST PARKING"
PARKING REDUCTION PER TOC (TIER 3)
SHALL NOT EXCEED 0.5 PER UNIT
REQUIRED PARKING= 50X0.5=25 SPACE
PROVIDED PARKING= 28 SPACE

NO GUEST PARKING"
PARKING REDUCTION PER TOC (TIER 3)
SHALL NOT EXCEED 0.5 PER UNIT
REQUIRED PARKING= 50X0.5=25 SPACE
PROVIDED PARKING= 28 SPACE

AREA SUMMARY (LABC)

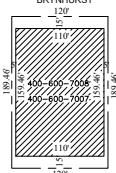
STORY	OCC.	USE	A GROSS AREA (OUT TO OUT BLDG) SQ.FT.	B AREA: EXTERIOR WALLS SQ.FT.	C AREA: VENT SHAFT SQ.FT.	D AREA: STAIRWAYS ELEVATOR SQ.FT.	A-B-C BUILDING CODE FLOOR AREA SQ.FT.	A-B-C-D ZONING CODE FLOOR AREA SQ.FT.
FIRST	S-2		10,832					
	R-2	RESIDENTIAL	6,050	250		550	5,800	5,800
SECOND	R-2	RESIDENTIAL	14,608	350	100	460	14,158	13,698
THIRD	R-2	RESIDENTIAL	14,608	350	100	460	14,158	13,698
FOURTH	R-2	RESIDENTIAL	14,608	350	100	460	14,158	13,698
FIFTH	R-2	RESIDENTIAL	14,608	350	100	460	14,158	13,698
TOTAL	S-2 R-2						62,432	60,592

DENSITY CALCULATION:

LOT AREA: 22,727.8 SQ.FT
DENSITY, R3-1 = 1 UNIT / 800 SQ.FT.
ALLOWABLE UNITS: 22,727.8 / 800 = 28.40=29
PER TOC (TIER 3)
INCREASED NUMBER OF UNIT :
29 X 70 % = 21 UNIT
ALLOWABLE PER TOC (TIER 3) = 29+21 = 50 UNITS
TOTAL UNIT PROPOSED = 50 UNITS
UNITS TO BE ALLOCATED TO EXTREMELY LOW INCOME (ELI)
20% X 50 = 10 UNIT (PER SB-8 REQUIRED)

ALLOWABLE DENSITY&BUILDING AREA,ZONING CODE

ZONE= R3-1
ALLOWABLE FAR= 3:1
LOT AREA: 11,363.9+11,363.9=22,727.8 SQ.FT
-SEE DIAGRAM-
MAXIMUM INCREASE IN THE ALLOWABLE FAR PER TOC 45%
22,727.8 SQ.FT. X4.5= 102,275 SQ.FT
PROPOSED: 0000000 SF < 102,275 SF



TOC DATA

TOC TIER AREA QUALIFIED : TIER 3
TOC TIER USED : TIER 3
INCENTIVES REQUESTED:
BASE INCENTIVE
REDUCTION PARKING PER TIER 3
INCREASE IN NUMBER OF UNIT=70%
ADDITIONAL INCENTIVE
NOTE: (2) ADDITIONAL INCENTIVES ARE REQUESTED AS PART OF THIS ENTITLEMENT
1-HEIGHT INCENTIVE
ALLOWABLE HEIGHT =45 FEET
ALLOWABLE INCREASED HEIGHT PER TOC(TIER3)=22 FEET
PROPOSED HEIGHT PER= 45 FEET+11FEET=56'
2-YARD/SETBACK:
REDUCTION OF 2 SIDE YARDS BY 30%
NUMBER OF STORIES= 5
REQUIRED SIDEYARD PER LAMC=5+3=8 FEET
ALLOWABLE REDUCTION= 30%X8=2.4 FEET
REQUIRED SIDEYARD= 8'-2.4"= 5'-6" =5'-8"
PROPOSED SIDEYARD=7'-0"
3-OPEN SPACE REDUCTION
UP TO A 25% DECREASE IN REQUIRED OPEN SPACE

AREA PER UNIT

UNIT No.	DESCRIPTION	AREA (SQ.FT.)	UNIT No.	DESCRIPTION	AREA (SQ.FT.)	UNIT No.	DESCRIPTION	AREA (SQ.FT.)
101	3-BED+2-BATH	1,350	201	1-BED+1-BATH	550	201	1-BED+1-BATH	550
102	A.D.U.	750	202	2-BED+1-BATH	1,050	202	2-BED+1-BATH	1,050
103	2-BED+2-BATH	1,200	203	2-BED+DEN/2-BATH	1,150	203	2-BED+DEN/2-BATH	1,150
			204	2-BED+DEN/2-BATH	1,150	204	2-BED+DEN/2-BATH	1,150
			205	2-BED+DEN/2-BATH	1,150	205	2-BED+DEN/2-BATH	1,150
			206	3-BED+2-BATH	1,100	206	3-BED+2-BATH	1,100
			207	1BED + 1-BATH	920	207	1BED + 1-BATH	920
			208	3-BED+2-BATH	1,120	208	3-BED+2-BATH	1,120
			209	1-BED+1-BATH	730	209	1-BED+1-BATH	730
			210	2-BED+DEN/2-BATH	1,150	210	2-BED+DEN/2-BATH	1,150
			211	2-BED+DEN/2-BATH	1,150	211	2-BED+DEN/2-BATH	1,150
			212	3-BED/2-BATH	1,250	212	3-BED/2-BATH	1,250
FIRST FLOOR = 2 UNITS+A.D.U.			SECOND FLOOR = 12 UNITS			THIRD FLOOR = 12 UNITS		

SCHOOL DISTRICT ASSESSABLE

STORY	USE	AREA (SQ.FT.)
FIRST	DWELLING UNITS	6,050
SECOND	DWELLING UNITS	14,608
THIRD	DWELLING UNITS	14,608
FOURTH	DWELLING UNITS	14,608
FIFTH	DWELLING UNITS	14,608
TOTAL		64,482



ATTN. OWNERS/CONTRACTORS:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE ALL PLANS AND SPECIFICATIONS PRIOR TO STARTING THE CONSTRUCTION WORK. CONTRACTOR SHALL VERIFY ALL DISCREPANCIES AND OMISSIONS. CONTRACTOR MAY CONTACT ARCHITECT/ENGINEER FOR ANY QUESTIONS DETAILS, SPECIFICATIONS AND CLARIFICATIONS. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY SHORTCOMINGS ON THE PART OF THE CONTRACTOR OR ANY ERROR CAUSED BY THE CONTRACTOR AS A RESULT OF LACK OF PLANNING AND/OR FORESIGHT. EACH CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ALL DISCREPANCIES AND MODIFIED FIELD CONDITIONS TO THE ARCHITECT/ENGINEER IN WRITING. CONTRACTOR MAY PROVIDE ONLY PRELIMINARY BIDS BASED ON THIS PLAN, IF THIS IS NOT APPROVED AND STAMPED BY THE CITY, FINAL BIDS SHALL BE BASED ON APPROVED PLANS ONLY. IF NO GENERAL CONTRACTORS RETURNED FOR THE JOB, KNOWLEDGEABLE PROJECT MANAGER, JOB SUPERVISOR TO ACT AS HIS AGENT AND ASSUME ALL RESPONSIBILITIES.

APPLICABLE CODES:

- 2019 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA FIRE CODE (FC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA GREEN BUILDING CODE (CGBC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA ENERGY CODE (CEC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA ELEVATOR SAFETY CODE WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA REFERENCE STANDARDS CODE WITH CITY OF L.A. AMENDMENTS
- 28 CFR PART 36 (ADA)
- TITLE 2 CALIFORNIA STATE CODE FOR ELEVATORS

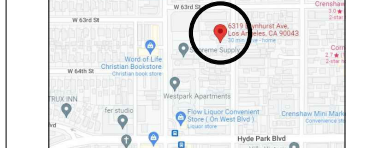
NOTE

- OBTAIN SEPARATE PERMIT FOR THE FOLLOWING ITEMS:
RETAINING WALLS, GRADING WORK, BLOCK FENCE, FIRE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING, EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD, SHORING AND DEMOLITION, FIRE ALARM SYSTEM WITH LAFD CBC 915.4.2.4, SOLAR VOLTAIC
- THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". (907.2.9, 907.5.2.3.3, 907.5.2.3.4)
- THIS PROJECT IS 100% PRIVATELY FUNDED.
- THIS IS NOT HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR, OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL.
- NO GUEST PARKING PROVIDED OR REQUIRED.
- MANUAL FIRE ALARM TO BE PROVIDED PER CFC 907.2.1 THROUGH 907.2.23
- STAND BY POWER NOT REQUIRED ELEVATOR 1009.4.1 CBC.

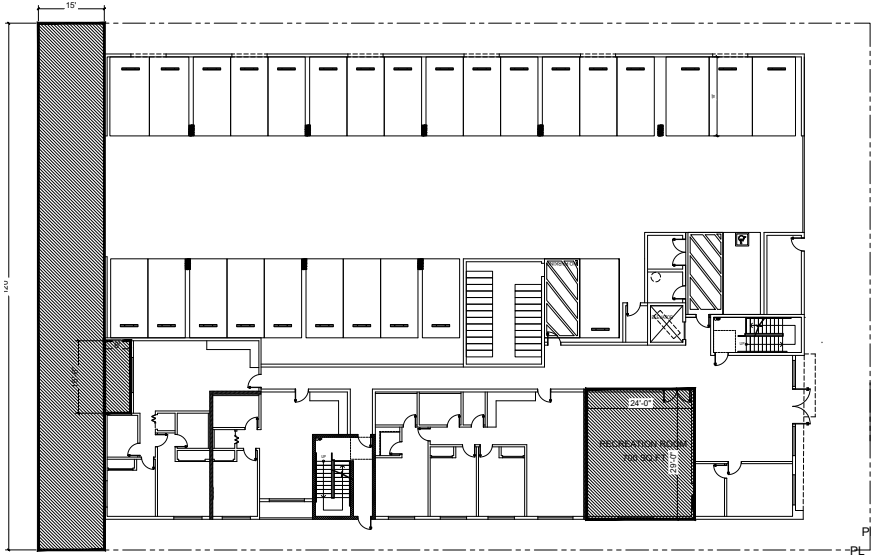
FIRE SPRINKLER NOTE:

THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.

VICINITY MAP



Site Plan



1ST FLOOR OPEN SPACE DIAGRAM

1/16" = 1'-0"

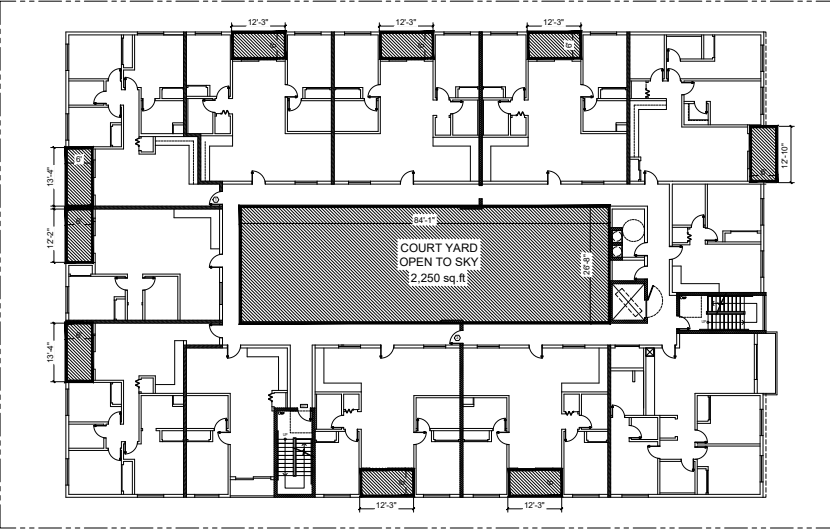
REAR YARD (15'X120') = 1,800 SQ.FT

RECREATION ROOM = 700 SQ.FT

1 BALCONIES 2ND FLOOR= 1 X 50 = 50 S.F

PROVIDED

AREA DESCRIPTION	OPEN SPACE
BALCONY (37X50)	1,850 SQ.FT
COURT YARD	2,250 SQ.FT
REAR YARD (15'X120')	1,800 SQ.FT
RECREATION ROOM	7,00 SQ.FT
TOTAL	6,600 SQ.FT.



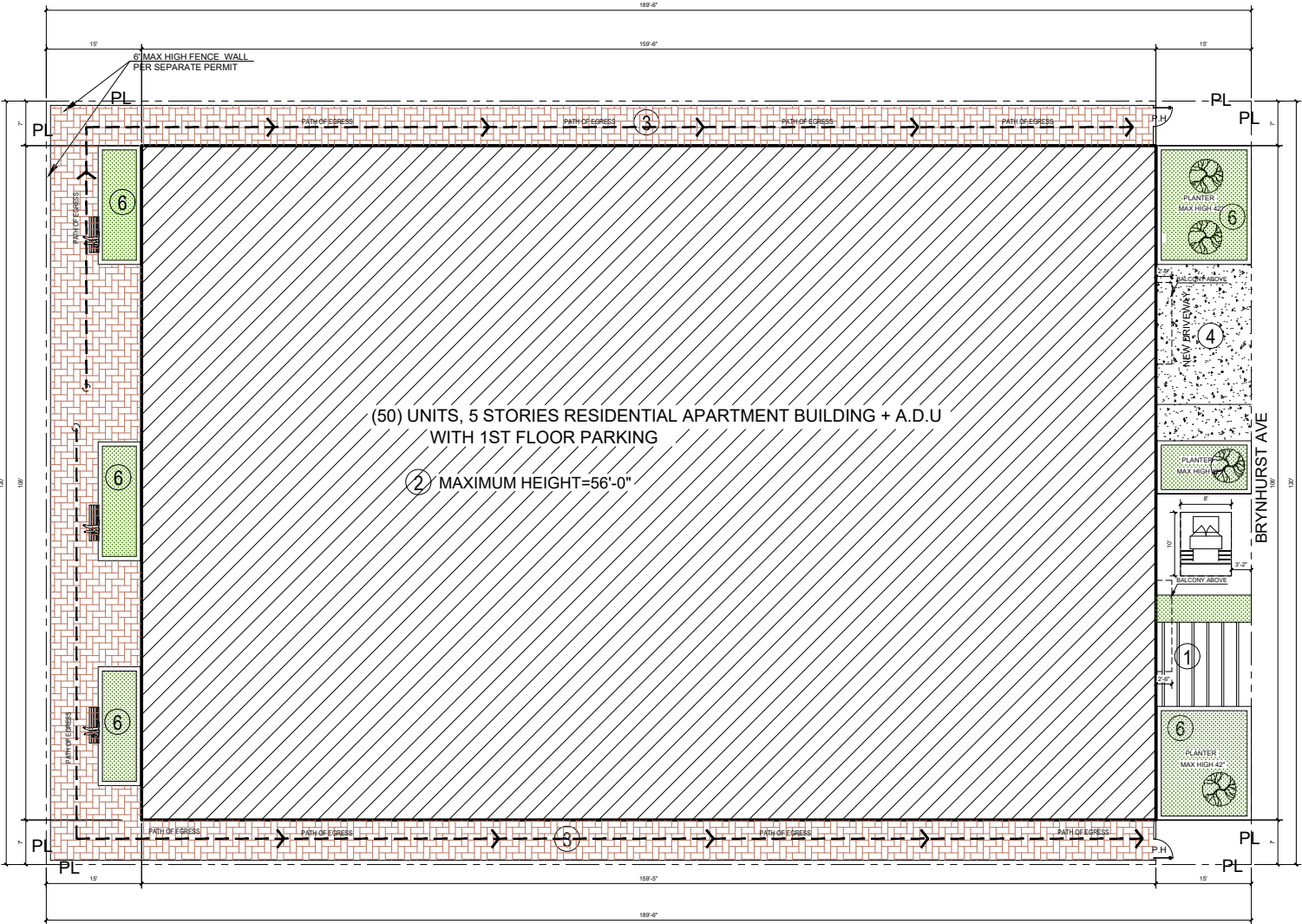
2ND - 5TH OPEN SPACE DIAGRAM

1/16" = 1'-0"

9 BALCONIES 2ND FLOOR= 9 X 50 = 450 S.F
 9 BALCONIES 3RD FLOOR= 9 X 50 = 450 S.F
 9 BALCONIES 4TH FLOOR= 9 X 50 = 450 S.F
 9 BALCONIES 5TH FLOOR= 9 X 50 = 450 S.F
 1,800 S.F

COURT YARD= 2,250 S.F

Site Plan

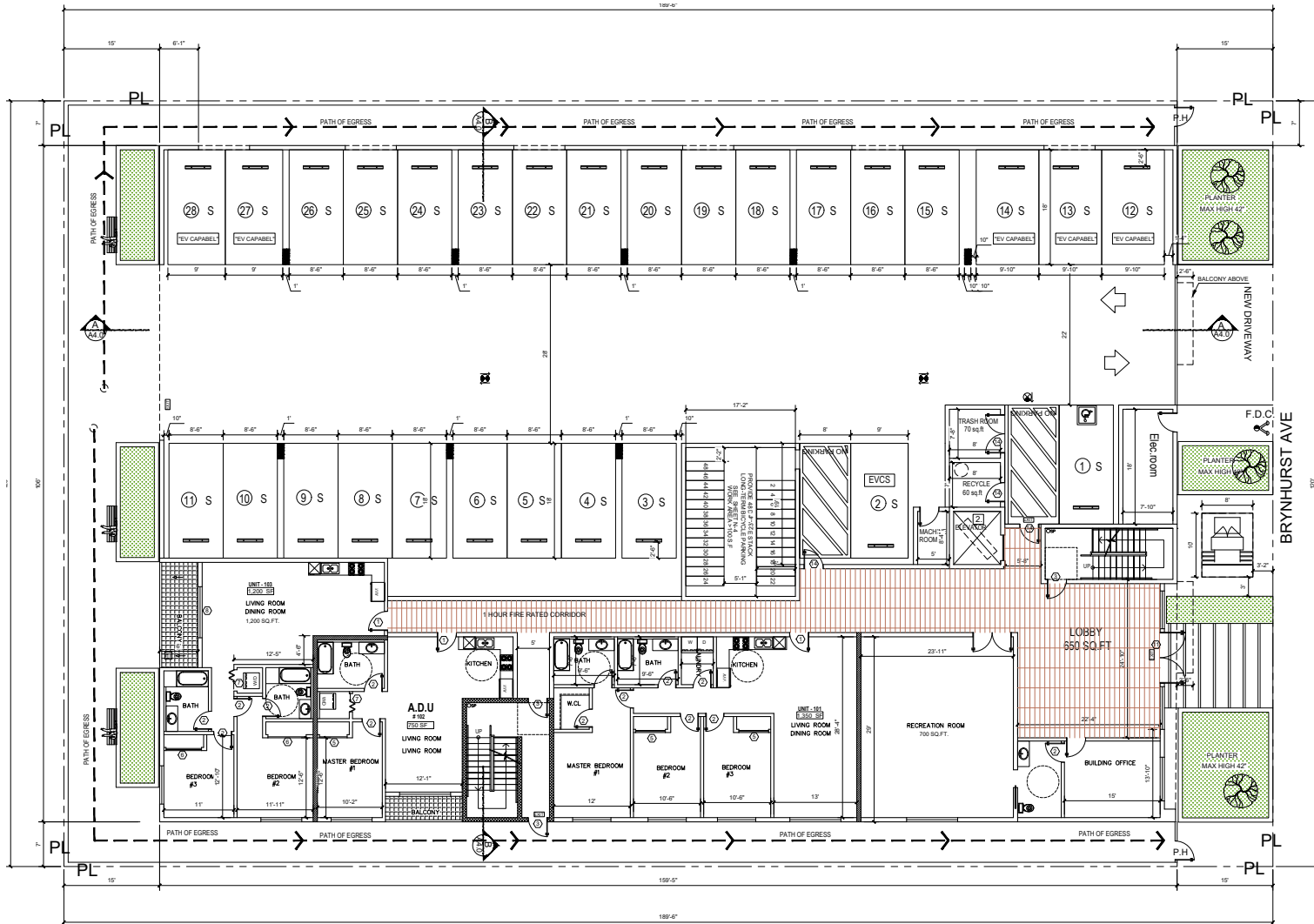


(50) UNITS, 5 STORIES RESIDENTIAL APARTMENT BUILDING + A.D.U
WITH 1ST FLOOR PARKING

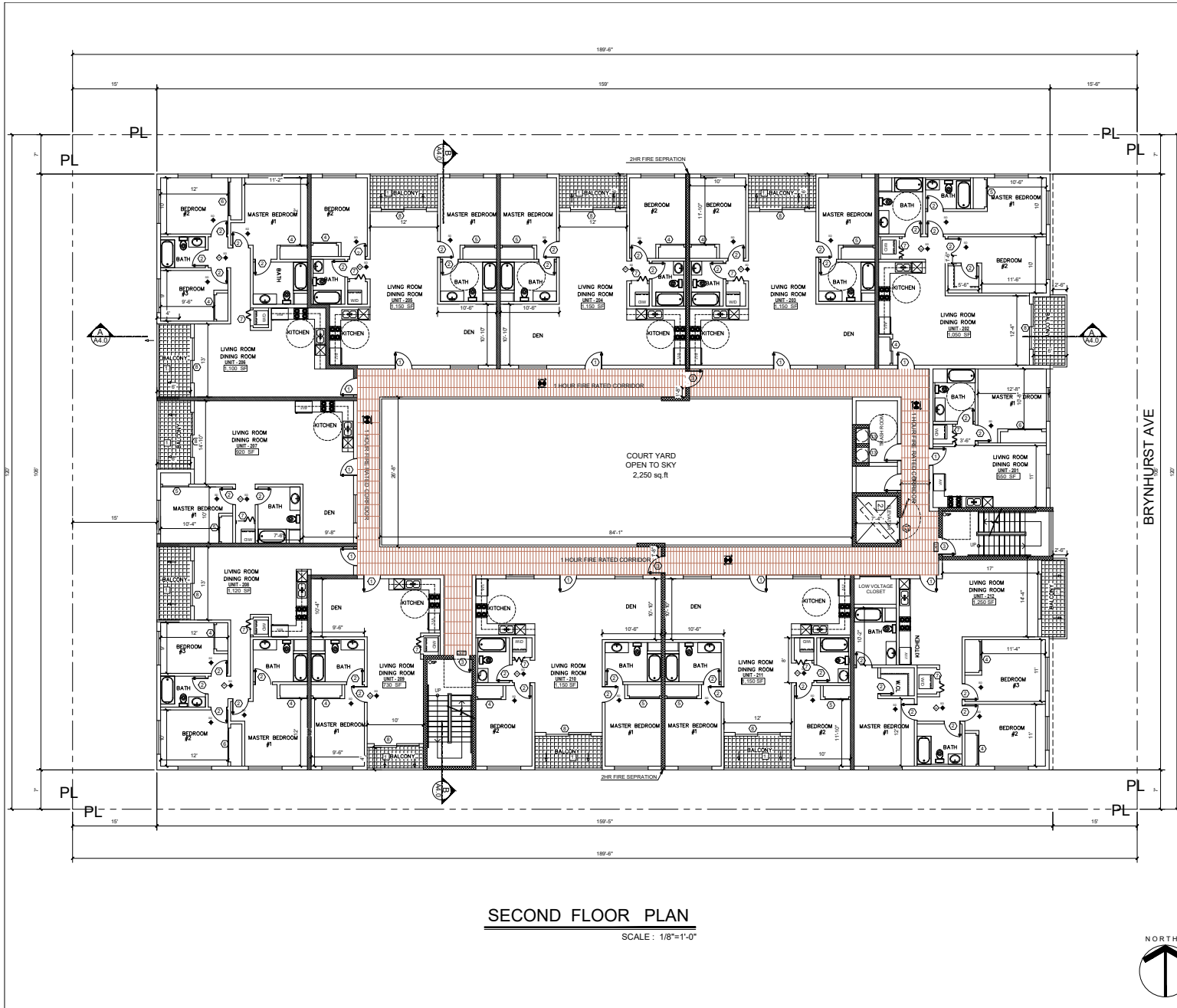
② MAXIMUM HEIGHT=56'-0"

SITE PLAN
SCALE : 1/8"=1'-0"

Floor Plans



Floor Plans



SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



LEGEND	
C1	3 HR. REQ. PER CBC 721.(2) ITEM 4-1.1 CONCRETE WALL SEE SPEC.
C2	3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.
W1	1 HR. EXTERIOR WALL
W2	1HR CORRIDOR WALL STC-50
W5	INTERIOR WALL
W6	PLUMBING WALL
W9	1 HR. SEPARATION WALL STC-50
W15	2HR. SHAFT (INTERIOR)
W16	2HR. SHAFT (EXTERIOR)

- PATH OF EGRESS
- ⊗ DISABLE PATH OF TRAVEL
- ⊗ EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- D A DISABLE PARKING
- 1 BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CB022360) OR EQUAL, ICC-ESR-1757 TYPE
- 2 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET, INSTALL MAX. 48" AFF. TO THE BATTERY BACK-UP
- SD HARD WIRED SMOKE DETECTOR W/
- ◇ CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊗ MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- ⊗ GROUND-FAULT CIRCUIT-INTERUPTER
- ⊗ 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/ TWO ELBOWS FROM DRYER
- ⊗ WATER CURTAIN
- ⊗ WATER HEATER
- ⊗ STAND PIPE - MIN CLASS I
- ⊗ F.D.C.
- ⊗ MODEL 1400R STANDARD RECESSED KEY BOX FOR LOW-RISE BUILDING
- ⊗ EVCS EQUIPPED WITH EV CHARGER
- ⊗ EV CAPABLE (WITH CONDUIT)
- ⊗ ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)
- ⊗ THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- ⊗ THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- ⊗ A LABEL "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)
- 2 ELEVATOR CAR TO ACCOMMODATE AMBLANCE STRETCHER PER SECTION 3002.4.24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER, HAVE MIN CAB DIM OF 80"X54" WITH 42" DOOR 3002.4.3a

- NOTE**
- ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATED STC50
 - ALLS (FIRE BARRIERS 707.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC.
 - FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
 - ALL BEARING WALLS SHALL BE 1 HOUR RATED
 - THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50 "WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MACH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.
 - ELEVATOR LOBBY DOOR PROVIDED PER UL 1784 3006.3.3 FROM 2017 LABC "PROVIDE SMOKE DRAFT TO BE ASSEMBLED IN EACH FLOOR TO AVOID SMOKE FROM ELEVATOR TO LOBBIES
 - MECHANICAL VENTILATION WILL BE PROVIDED.
 - OPEN SPACE AREAS TO PROVIDE BARBEQUE, BENCHES, SEATING, TABLES, AND PLANTERS.
 - DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21(A), CHART N.5.



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REVISION	BY

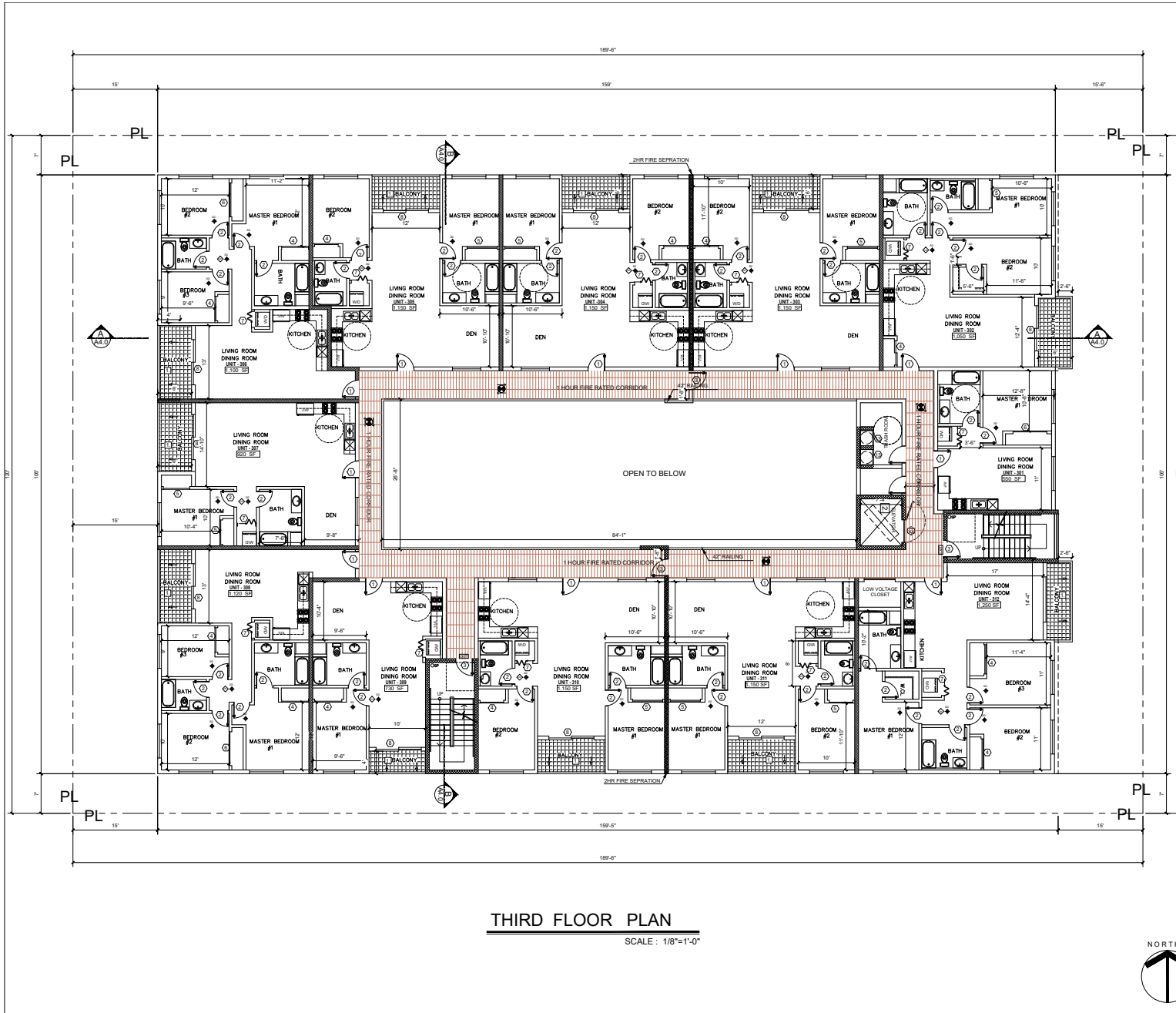
OWNER
6319 BRYNHURST LLC
1041 VENICE BLVD#260
LOS ANGELES CA 90034

PROJECT
6319 - 6313 S BRYNHURST AVE
CA 90043

DRAWING TITLE
SECOND FLOOR PLAN

DATE:	JUNE 10
SCALE:	1/8"=1'-0"
DRAWN:	
APPROVED:	AC
JOB #:	23-1028
SHEET:	A2.1

Floor Plans



LEGEND	
C1	3 HR. REQ. PER CBC 721.(2) ITEM 4-1.1 CONCRETE WALL SEE SPEC.
C2	3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.
W1	1 HR. EXTERIOR WALL
W2	1HR CORRIDOR WALL STC-50
W5	INTERIOR WALL
W6	PLUMBING WALL
W9	1 HR. SEPARATION WALL STC-50
W15	2HR. SHAFT (INTERIOR)
W16	2HR. SHAFT (EXTERIOR)

→	PATH OF EGRESS
⊗	DISABLE PATH OF TRAVEL
⊗	EXIT SIGN
S	STANDARD PARKING
C	COMPACT PARKING
D	DISABLE PARKING
A	BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CB022360) OR EQUAL, ICC-ESR-1757 TYPE
F	2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET, INSTALL MAX. 48" AFF. TO THE BATTERY BACK-UP
SD	HARD WIRED SMOKE DETECTOR W/ CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
⊗	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
⊗	GROUND-FAULT CIRCUIT-INTERUPTER
⊗	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/10' ELBOWS FROM DRYER
⊗	WATER CURTAIN
⊗	WATER HEATER
⊗	STAND PIPE - MIN CLASS I F.D.C.
⊗	MODEL 1400R STANDARD RECESSED KEY BOX FOR LOW-RISE BUILDING
⊗	EQUIPPED WITH EV CHARGER
⊗	"EV CAPABLE" (WITH CONDUIT)
EVI	ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)
2	"THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO 10 SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE PLAN DESIGN SHALL BE BASED UPON A 60-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED." "THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE." "A LABEL "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT HTE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)
2	ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4.24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER, HAVE MIN CAB DIM OF 80"X54" WITH 42" DOOR 3002.4.3a

NOTE	
1.	ALL FIRE PARTITION WALLS (ABC 708) SHALL BE 1 HOUR RATED STC50
2.	ALLS (FIRE BARRIERS 707.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC.
3.	FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
4.	ALL BEARING WALLS SHALL BE 1 HOUR RATED
5.	THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50 "WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MACH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.
6.	ELEVATOR LOBBY DOOR PROVIDED PER UL 1784 3006.3.3 FROM 2017 LABC "PROVIDE SMOKE DRAFT TO BE ASSEMBLED IN EACH FLOOR TO AVOID SMOKE FROM ELEVATOR TO LOBBIES
7.	MECHANICAL VENTILATION WILL BE PROVIDED.
8.	OPEN SPACE AREAS TO PROVIDE BARBEQUE, BENCHES, SEATING, TABLES, AND PLANTERS.
9.	DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21(A), CHART NO.5.



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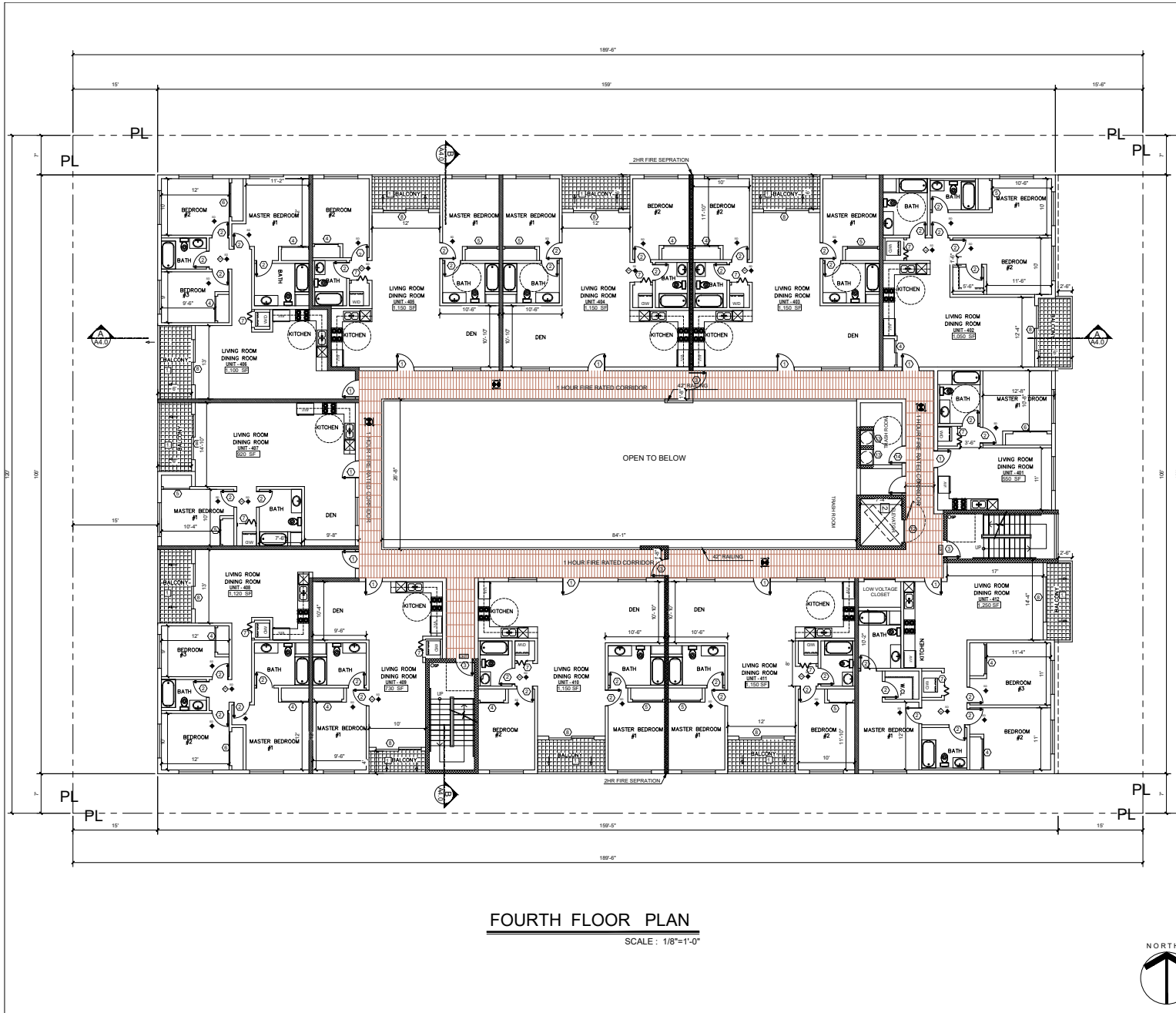
REVISION	BY

OWNER	6319 BRYNHURST LLC 1041 VENICE BLVD#260 LOS ANGELES CA 90034
PROJECT	6319-6313 S BRYNHURST AVE CA 90043
DRAWING TITLE	THIRD FLOOR PLAN

DATE: JUNE 10
SCALE: 1/8"=1'-0"
DRAWN:
APPROVED: AC
JOB #: 23-1028
SHEET:

A2.2

Floor Plans



FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"

LEGEND	
C1	3 HR. REQ. PER CBC 721.(2) ITEM 4-1.1 CONCRETE WALL SEE SPEC.
C2	3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.
W1	1 HR. EXTERIOR WALL
W2	1HR CORRIDOR WALL STC-50
W5	INTERIOR WALL
W6	PLUMBING WALL
W9	1 HR. SEPARATION WALL STC-50
W15	2HR. SHAFT (INTERIOR)
W16	2HR. SHAFT (EXTERIOR)

- PATH OF EGRESS
- ⊗ DISABLE PATH OF TRAVEL
- ⊗ EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- D A DISABLE PARKING
- 1 BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CB02360) OR EQUAL, ICC-ESR-1757 TYPE
- 2 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET, INSTALL MAX. 48" AFF. TO THE BATTERY BACK-UP
- SD HARD WIRED SMOKE DETECTOR W/
- ◇ CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊗ MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- ⊗ GROUND-FAULT CIRCUIT-INTERUPTER
- ⊗ 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/ TWO ELBOWS FROM DRYER
- ⊗ WATER CURTAIN
- ⊗ WATER HEATER
- ⊗ STAND PIPE - MIN CLASS I
- F.D.C.
- ⊗ MODEL 1400R STANDARD RECESSED KEY BOX FOR LOW-RISE BUILDING
- ⊗ EVCS EQUIPPED WITH EV CHARGER
- ⊗ EV CAPABLE (WITH CONDUIT)
- ⊗ ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)
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SEE SHEET D-1

REVISION	BY

OWNER
6319 BRYNHURST LLC
1041 VENICE BLVD#260
LOS ANGELES CA 90034

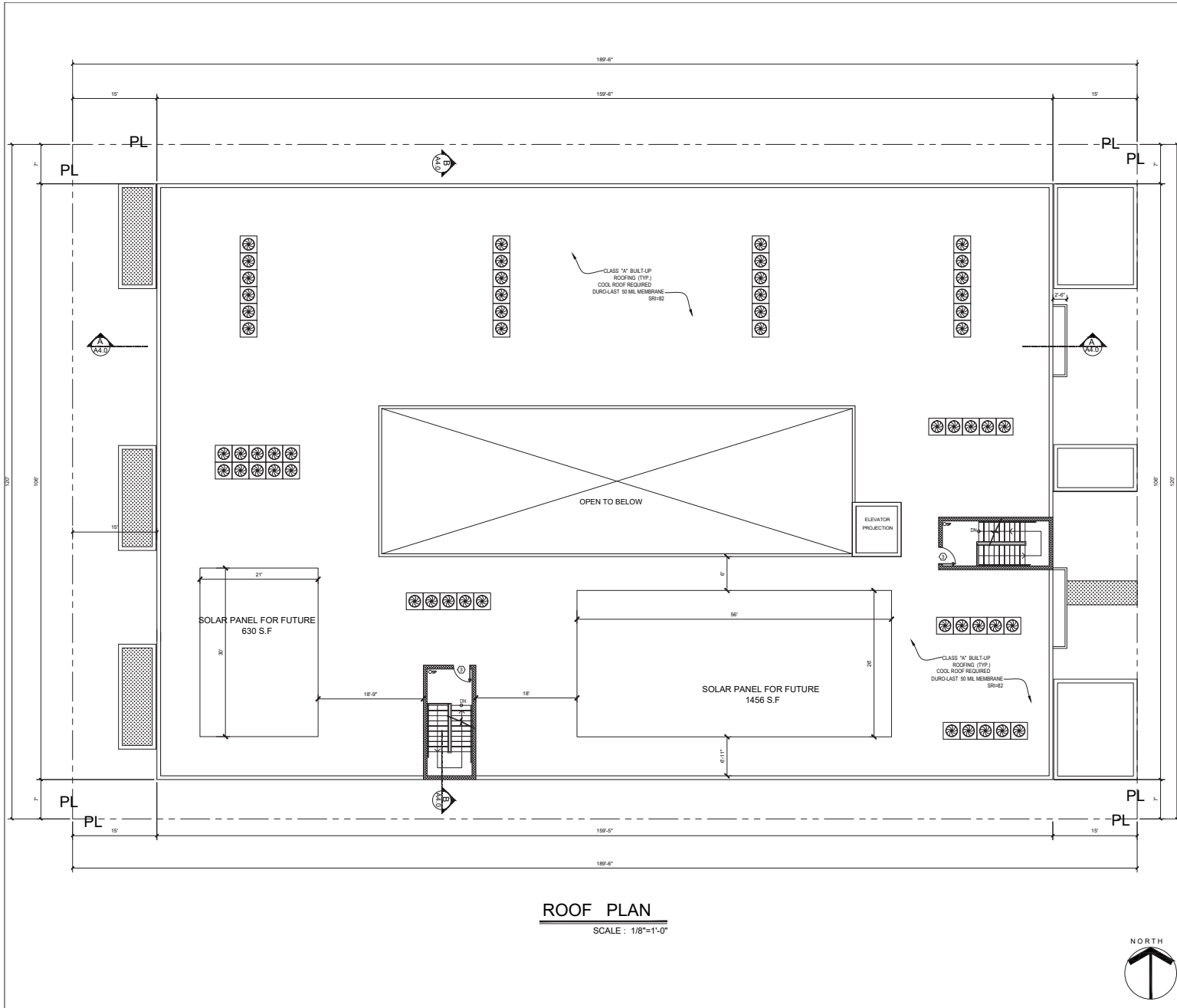
PROJECT
6319-6313 S BRYNHURST AVE
CA 90043

DRAWING TITLE
FOURTH FLOOR PLAN

DATE:	JUNE 10
SCALE:	1/8"=1'-0"
DRAWN:	
APPROVED:	AC
JOB #:	23-1028
SHEET:	

A2.3

Floor Plans



LEGEND

AC UNIT

SOLAR ZONE

15% OF ROOF AREA DESIGNATED FOR FUTURE SOLAR PANEL
ROOF AREA = 13,830 SQ.FT. X 15% = 2,075 SQ.FT.
2 SOLAR AREA = 630' + 1,456' = 2,086 SQ.FT.
UNDER SEPARATE PERMIT

REPRESENT AREA NEXT TO SOLAR PANEL SHALL BE FREE OF OBSTRUCTION AND TO BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.

MAIN SERVICE ELECTRICAL PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC"

2% SLOPE TO DRAIN U.N.O.
NOTE: ALL DIMENSIONS ARE TO F.O.S. U.N.O.

1. ROOFING TO BE FLINTLASTIC GTA-FR WHITE WITH FLINTCOAT ELASTOMERIC WHITE REFLECTED COATING 1004-ESR-1060 (SEE SHEET A4.1) CLASS-A

2. CONDENSER UNITS PER MECHANICAL DRAWINGS DAMPPROOFING: TREMCO PARASEAL LG (LARR 24709)

NOTE: ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLAN.

DURO-LAST® 50-MIL MEMBRANE
THE WORLD'S BEST ROOF

Advantages:
Duro-Last® 50-Mil DLSO membrane is an excellent choice for projects requiring a long lasting, energy efficient roofing membrane. The membrane is available in preformed sections or as roll goods. A complete list of other preformed membranes is located on the DLSO membrane.

Duro-Last membranes must not be used with:
Duro-Last DLSO membrane

PVC Film: Proprietary compound, elastomeric, non-toxic and safe. (See sheet DLSO-010) The same PVC film is used on both sides of the membrane.

Rolls: 18" x 18" preform fabric construction composed of 50 mil Duro-Last membrane provides superior tear and puncture resistance. The membrane is treated to prevent wrinkling.

Roll Thickness: 50 mil nominal.

Weight: 2.2 lb. per square foot.

Colors: White, tan, gray, dark gray and terra cotta.

At Value: 0.17" R-value.

Available Configurations:
Preformed membrane - DLSO is available in preformed sections up to 2,000 sq. ft. with a maximum 8' x 8' other dimensions.

Roll Goods - Typical Dimensions

Width	Length	Roll Area	Approx. Weight
18" x 18"	100' x 100'	1,800 sq. ft.	3,960 lbs.
18" x 18"	100' x 50'	900 sq. ft.	1,980 lbs.
18" x 18"	50' x 100'	900 sq. ft.	1,980 lbs.
18" x 18"	50' x 50'	450 sq. ft.	990 lbs.

Energy Efficiency:
Duro-Last 50-Mil membrane is an excellent product for complying with California Title 24, LEED® and other energy efficiency programs requiring the use of a highly reflective roof membrane. It is an ENERGY STAR® qualified product.

Codes and Standards:
Underwriters Laboratories (UL & Canada), FM Approvals, ICC-ES ESR-1060, Canadian Construction Materials Centre (CCMC 1328P-1), State of Florida, Miami Dade County, Texas Department of Insurance.

Storage:
Store rolls upright on pallets. Use steps to keep rolls dry.

Membrane Installation:
Mechanically Fastened: DLSO membrane may be mechanically attached to a variety of roof deck and wall substrates. Refer to the Duro-Last System Specification for system requirements.
Adhesive: DLSO membrane may be adhesively attached to a variety of properly prepared roof, walls, ceiling, joists and substrates including Duro-Last® ISO products, Duro-Last® PM or Roll Board and SCL-ROCK®. Consult Duro-Last® Roll Board, Roll Board or SCL-ROCK® System Specification for system requirements.

Physical Properties:
DLSO membrane has been subjected to the tests required by ASTM A554 "Standard Specification for Poly (Vinyl Chloride) Sheet Roofing" and has been classified as a Type II, inherently noncorrosive sheet. The results of each test are as listed below:

Physical Property	Test Method	ASTM A554 Requirement	Result	Typical Value
Roll Thickness	ASTM D2037	± 0.005 in.	PASS	0.005 in. (0.005 in. nominal)
Tensile Force System	ASTM D2268	1.00 lb/in.	PASS	1.00 lb/in. (0.90 lb/in. min)
Elongation at Break	ASTM D2268	2.00%	PASS	2.00% (1.80% min)
Heat Shrinkage	ASTM D2191 One Method	1.00%	PASS	0.75% (0.75% max)
Heat Shrinkage	ASTM D2191 Two Method	1.00% (Two Method)	PASS	0.75% (0.75% max)
Tear Strength	ASTM D2268	1.00 lb/in.	PASS	1.00 lb/in. (0.90 lb/in. min)
Low Temp Tear	ASTM D2268	1.00 lb/in.	PASS	1.00 lb/in. (0.90 lb/in. min)
Heat Aging	ASTM D2268	Conditioned for 96 hrs in water at 100°F ± 0.5°F	PASS	PASS
Accelerated Aging	ASTM D2268 (Dry Heat)	Conditioned for 168 hrs at 100°F ± 0.5°F	PASS	PASS
Water Absorption	ASTM D2268	Conditioned for 168 hrs at 100°F ± 0.5°F	PASS	0.20% ± 0.05%
Dimensional Stability	ASTM D2268	Conditioned for 168 hrs at 100°F ± 0.5°F	PASS	± 0.20% ± 0.05%
Water Absorption	ASTM D2268	Conditioned for 168 hrs at 100°F ± 0.5°F	PASS	0.20% ± 0.05%
Static Friction	ASTM D2268	Minimum value of 0.10	PASS	0.10
Dynamic Friction	ASTM D2268	Minimum value of 0.10	PASS	0.10

Additional Tests:
Punch Resistance: ASTM D2191 - No localized puncture or penetration.
Weather Tester Performance: ASTM D2268, D2191 & D2268 - 1.00 lb/in. ± 0.05 in.

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OWNER
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1041 VENICE BLVD#260
LOS ANGELES CA 90034

PROJECT
6319-6313 S BRYNHURST AVE
CA 90043

DRAWING TITLE
ROOF PLAN

DATE: JUNE 10
SCALE: 1/8"=1'-0"
DRAWN:
APPROVED: AC
DATE: 22-1024
SHEET:
A2.5

Elevations



EAST ELEVATIONS

SCALE : 1/8"=1'-0"



NORTH ELEVATIONS

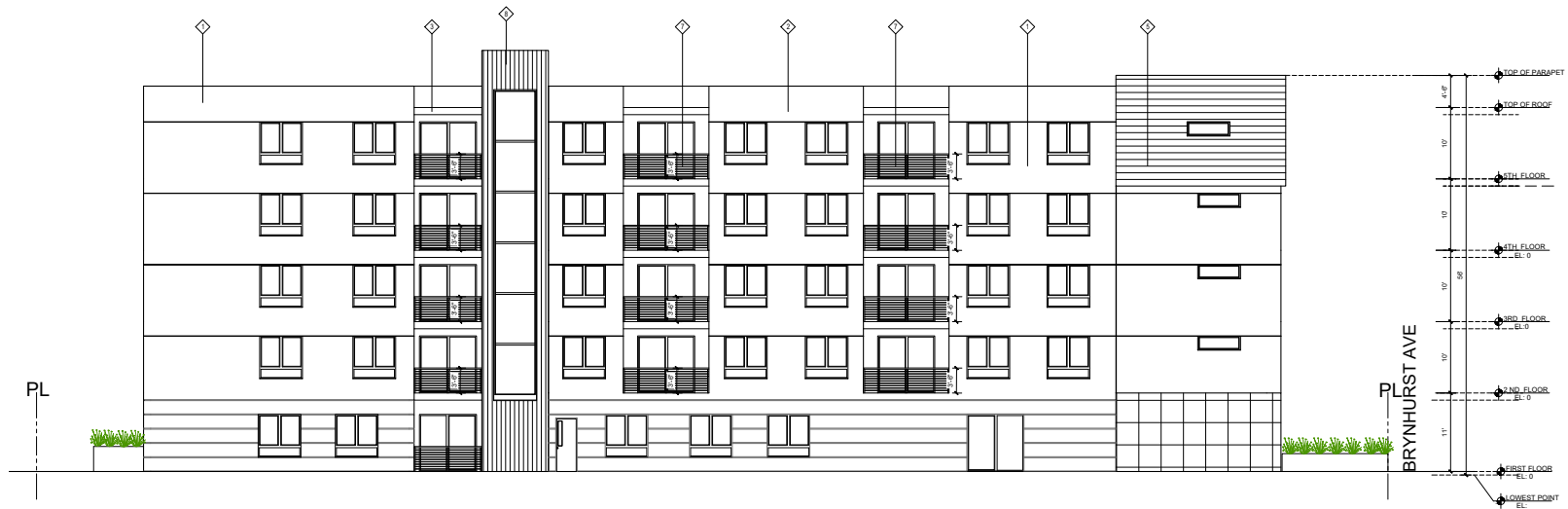
SCALE : 1/8"=1'-0"

Elevations



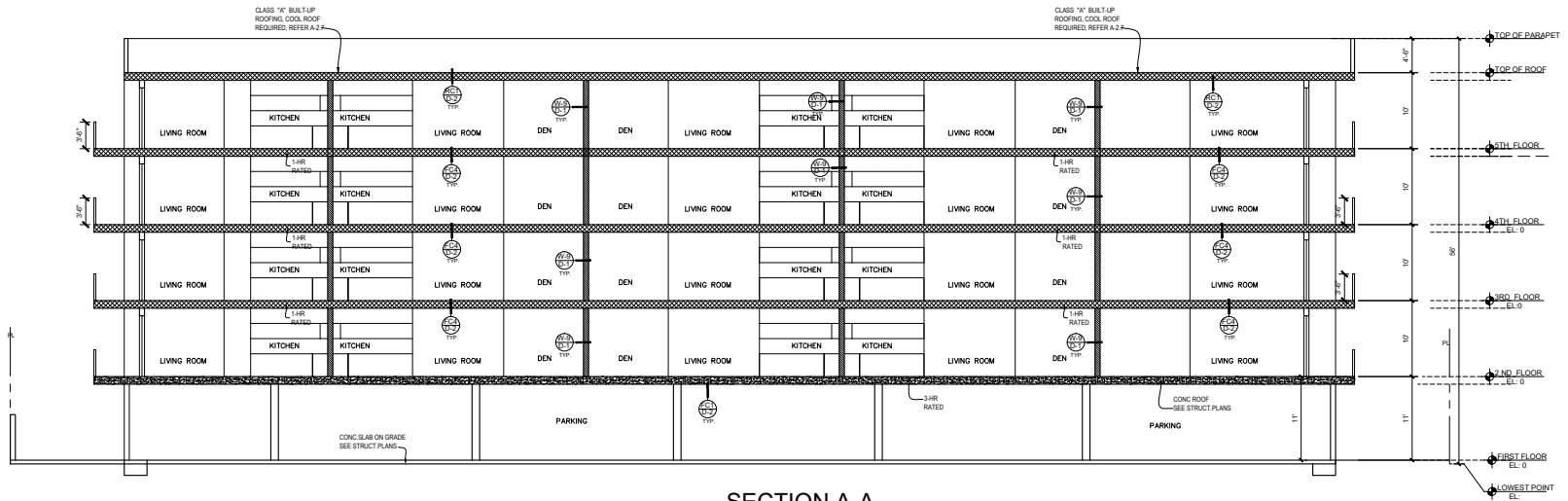
WEST ELEVATIONS

SCALE: 1/8"=1'-0"

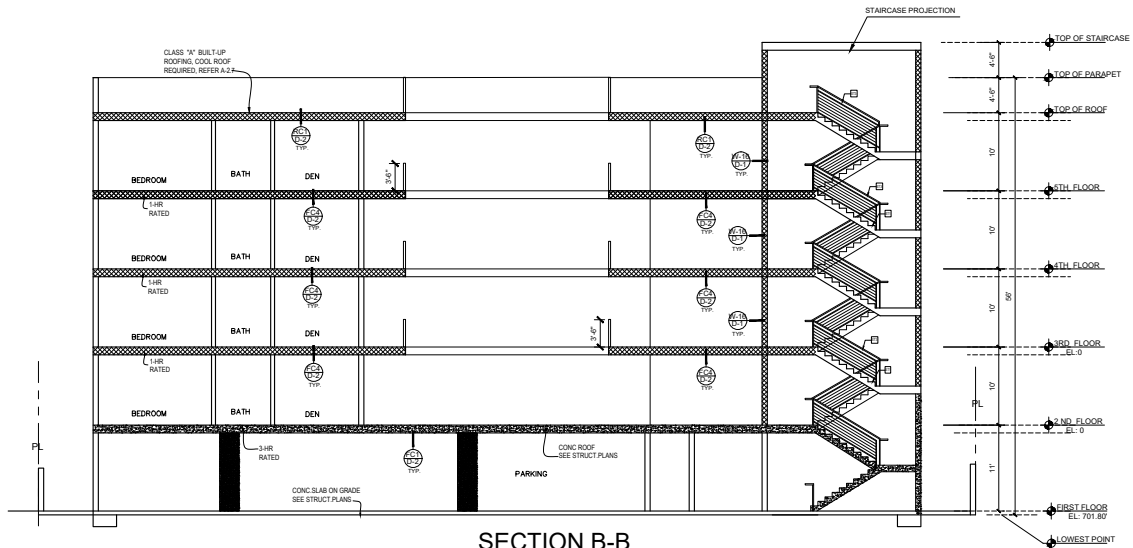


SOUTH ELEVATIONS

SCALE: 1/8"=1'-0"



SECTION A-A
SCALE : 1/8"=1'-0"



SECTION B-B
SCALE : 1/8"=1'-0"

An architectural rendering of a modern, multi-story apartment building. The building features a mix of light-colored panels and dark window frames. Several balconies with glass railings are visible, some with people sitting on them. The ground floor has a recessed entrance area with the number '6319' above the doors. In front of the building is a courtyard with raised garden beds containing various plants. A few people are walking in the courtyard, and a dog is being walked on a leash. The entire image is overlaid with a semi-transparent red filter.

AREA OVERVIEW

6319



OFFERING MEMORANDUM

6313-6319 S. BRYNHURST AVE,
LOS ANGELES



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DRE #01200237

EREG
REAL ESTATE INVESTMENTS



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