

**G. Railside**

The vision for the Railside Sub-district positions Richardson as a community concerned with sustainability and the arts, focusing on adaptive reuse of existing industrial buildings. New development, including residential and other transit supporting uses, is also envisioned with high quality urban character.

**1. Regulating Plan**

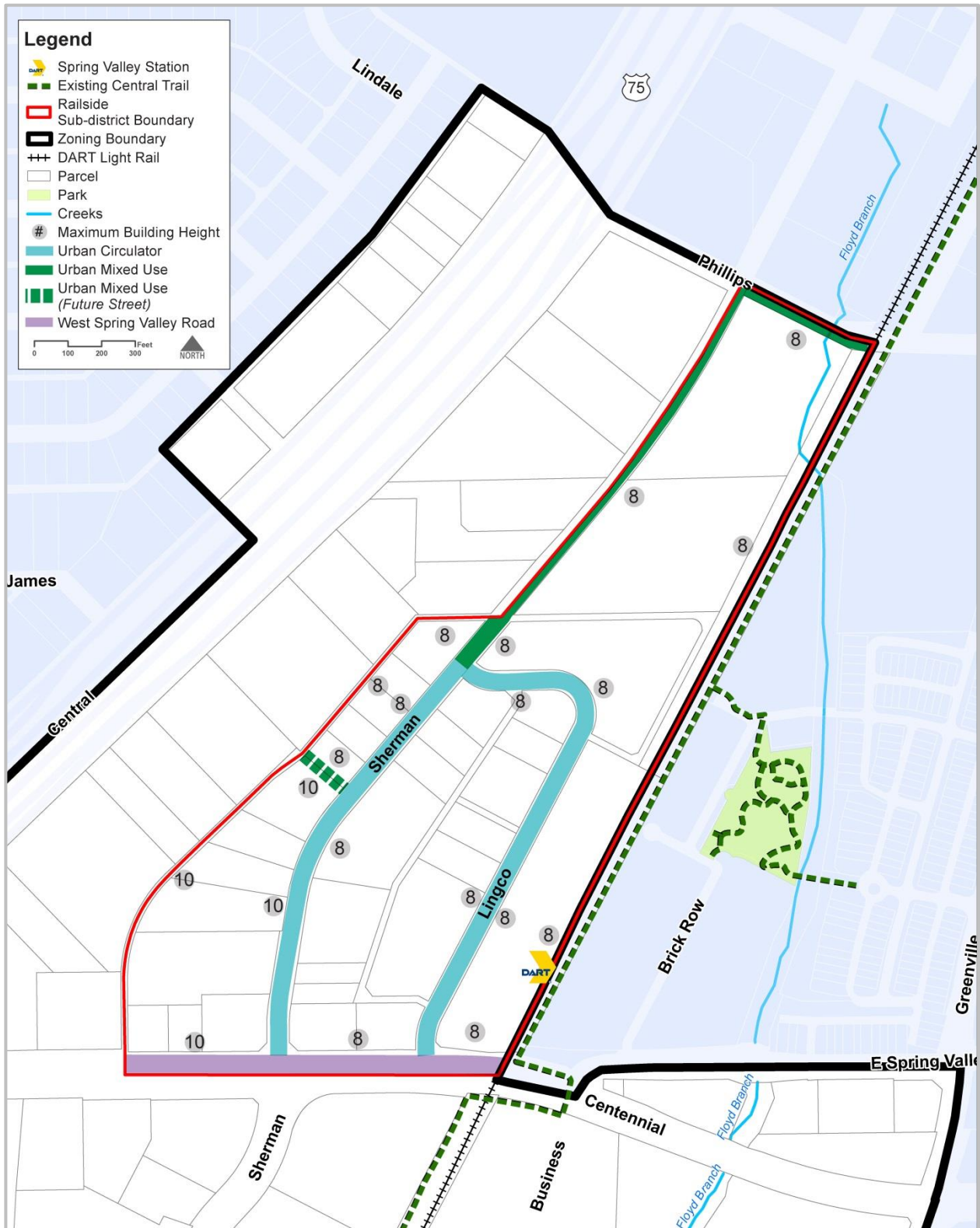
The regulating plan on the following page shall apply to all properties within the Railside Sub-district.

**a. Special Sites**

“Special sites” are sites where certain activities could occur during development/redevelopment opportunities. This includes:

- i. Future Street Connection – Proposing a street connection between Sherman Street and Central Expressway to improve vehicle circulation within the area and increased connectivity to the nearby DART Spring Valley Station.

Railside Sub-district Regulating Plan



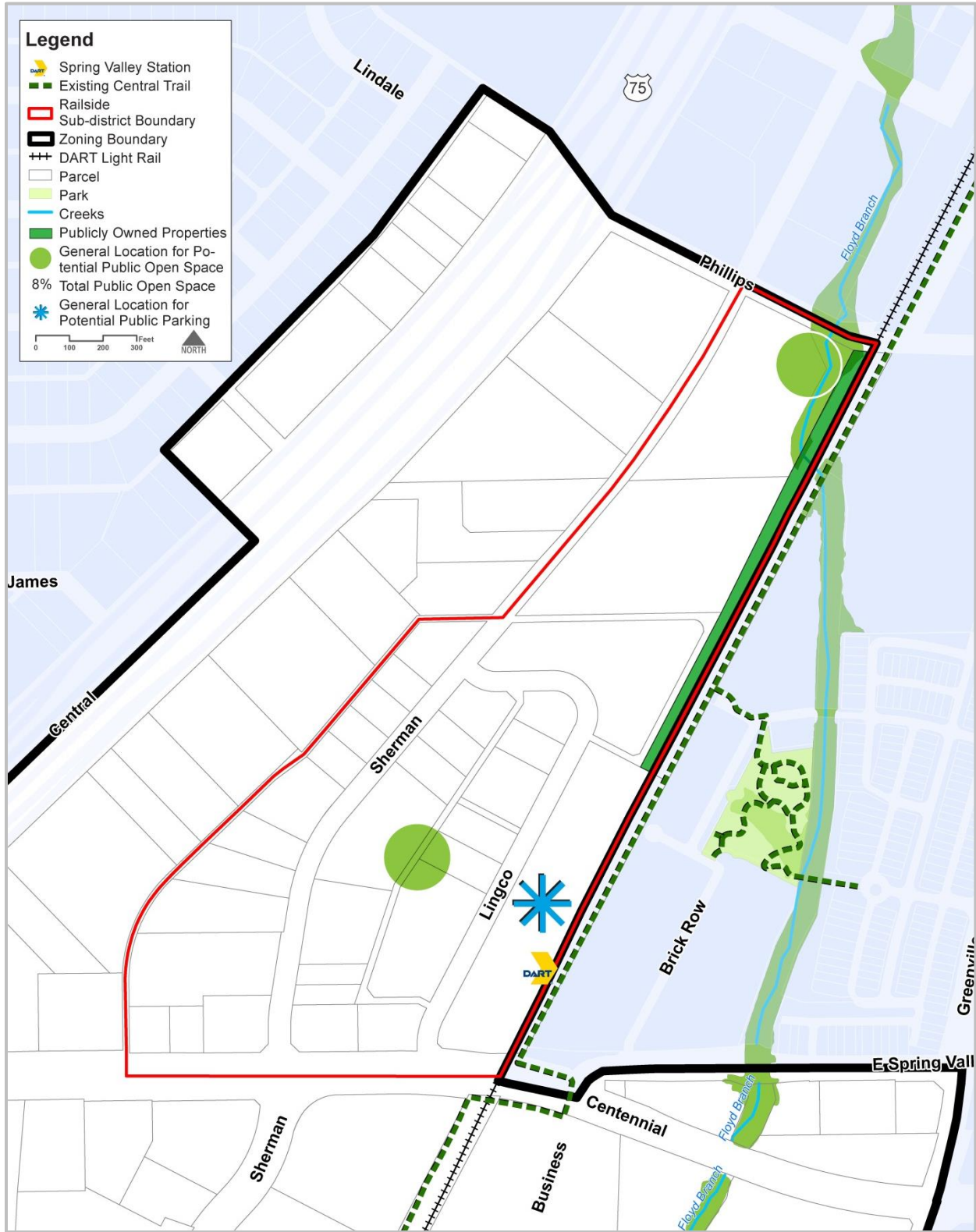
## **2. Public Open Space Plan**

- a. Intent  
Public open spaces are important for the quality of life of residents and property owners in the Railside Sub-district. The intent of open spaces in the Railside Sub-district is recommended to:
  - i. Provide easily accessible recreation areas and to provide visual breaks in the built environment.
  - ii. Create gathering spaces for residents and visitors that are inviting such as inclusion of water features, enhance the overall character of the Sub-district, and serve a variety of users with passive and active recreational options.
  - iii. Promote walking and bicycling within the Sub-district by including a series of pathways that connect to the various neighborhoods, areas, trails, parks and plazas that make up the Sub-district.
  - iv. Preserve prominent natural features that are valuable assets.
  - v. Accommodate placement of public art in accordance with the Richardson Public Art Master Plan.
- b. Public and private open space shall be provided in accordance with Subsection II.G.4.g, Public and Private Open Space Requirements.
- c. The graphic on the following page identifies recommended areas for public open spaces in the Railside Sub-district. The locations of these public open spaces are conceptual only and represent approximate locations. Approximately 8% of the entire Railside Sub-district is targeted for public open space which may be accomplished through a public/private partnership. Incentives may be available to property owners who participate in a public/private partnership.

## **3. Public Parking Plan**

- a. Intent  
Public parking is important for supporting businesses, residences, and other property owners within the Railside Sub-district, and helps contribute to the success and vitality of an area by allowing visitors to “park once,” and walk to multiple destinations. It also allows for a sustainable practice of multiple users benefiting from a shared parking area and supporting the DART Spring Valley Station. Public parking is intended to supplement a development’s required parking, but may also be available to help to satisfy required parking standards, where permitted by the Code.
- b. The graphic on the following page identifies recommended areas for public parking in the Railside Sub-district. The locations of these public parking areas are conceptual only and represent approximate locations. Public parking may be accomplished through a public/private partnership. Incentives may be available for property owners who participate in a public/private partnership.

Railside Sub-district Public Open Space and Public Parking Potential General Locations



**4. Building and Envelope Standards**

The Building and Envelope Standards which regulate site improvements and land uses for properties within the Railside Sub-district are as identified on the following pages. The Building and Envelope Standards shall be used in accordance with the Railside Sub-district Regulating Plan and Street Typology and Streetscape Standards.

- a. Use
  - i. The following uses are allowed in the Railside Sub-district as follows. Special Permit Uses shall require review and approval as per Article XXII-A, Special Permits, Richardson Comprehensive Zoning Ordinance, as amended or its successors. If a use is not specified in the table in this subsection, then the use is prohibited and the Code must be amended in accordance with Article XXIX, Changes and Amendments, Richardson Comprehensive Zoning Ordinance, as amended or its successors, in order to allow such use.

Railside Use Type	How Permitted P – Permitted S – Special Permit	Supplemental Use Requirements
<b>Residential</b>		
Multi-Family	P	Minimum Density of forty dwelling units per acre.
Townhome	P	Minimum Density of ten dwelling units per acre.
<b>Non-Residential</b>		
Adult Day Care	S	
Antenna, Accessory	P	See Article XXII-E, Supplemental Regulations for Certain Uses, Richardson Comprehensive Zoning Ordinance, as amended or its successors.
Antenna, Commercial	P	
Antenna, Commercial, In Excess of Three Antennas	S	
Antenna, Freestanding	S	
Antenna, Mounted	P	
Art Gallery	P	
Assisted Living Facility	S	
Bakery	P	
Bank or Financial Institution	P	
Barber or Beauty Salon	P	Skin and nail care as accessory uses only.
Beer and Wine Package Sales - 75% or more Revenue from Sales	S	
Beer and Wine Package Sales – Less than 75% Revenue from Sales	P	
Catering Service	P	
Child Care Center	S	See Article XXII-E, Supplemental Regulations for Certain Uses, Richardson Comprehensive Zoning Ordinance, as amended or its successors.
Church	P	
Commercial Amusement Center	S	

<b>Railside Use Type</b>	<b>How Permitted P – Permitted S – Special Permit</b>	<b>Supplemental Use Requirements</b>
Construction Field Office	P	
Cultural/Community Center	P	
Drive-Through Facility (All Uses)	S	
Drugstore or Pharmacy	P	
Electronic-Cigarette Establishment	S	
Fine Arts Studio	P	
Food Truck Park	S	
Fraternal Organization	P	
Health Club	P	
Home Occupation	P	See Article I, Title, Definitions, General Provisions, Auto Wrecking Yards and Swimming Pools, Richardson Comprehensive Zoning Ordinance, as amended or its successors.
Hotel, Full Service	P	
Hotel, Other	S	
Independent Living Facility	P	
Large Scale Retail/Service Store	S	
Laundromat	S	
Laundry or Dry Cleaning Service	P	Not to exceed 6,000 SF.
Laundry Pick Up Station	P	
Live/Work Unit	P	
Mailing Service	P	
Manufacturing Facility, Artisanal	P	Establishments 10,000 SF or less are permitted by right. Establishments larger than 10,000 SF require approval of a Special Permit.
Martial Arts School	S	
Massage Establishment	S	
Microbrewery	S	
Movie Theater	P	Maximum of 6 screens.
Nursing or Convalescent Home	S	
Office	P	
Open Air Market	S	Subject to Chapter 12, Code of Ordinances, as amended or its successors.
Parking, Garage	P	
Parking, Surface Lot	S	
Parking, Surface Lot or Garage, Municipal	P	
Performing Arts Center	P	
Pet Sales and Grooming	P	See Article XXII-E, Supplemental Regulations for Certain Uses, Richardson Comprehensive Zoning Ordinance, as amended or its successors.

<b>Railside Use Type</b>	<b>How Permitted P – Permitted S – Special Permit</b>	<b>Supplemental Use Requirements</b>
Photography or Art Studio	P	
Print Shop, Minor	P	
Private Club	S	See Subsection II.G.4.a.ii.b), Establishments Selling and/or Serving Alcoholic Beverages for On-Site Consumption, for exemption.
Public Building	P	
Radio, Recording or Television Studio	P	
Repair Shop, Personal Items	P	
Restaurant with Drive-Through Service	S	
Restaurant Without Drive-Through or Curb Service	P	
Retail Sales	P	
School, Parochial (Located on Same Lot as Religious Institution)	P	
School, Parochial (Not Located on Same Lot as Religious Institution)	S	
Smoking Establishment	S	
Tailor Shop	P	
Technical Training School	S	
Veterinary Office	P	See Article XXII-E, Supplemental Regulations for Certain Uses, Richardson Comprehensive Zoning Ordinance, as amended or its successors.
Winery/Distillery	S	See Subsection II.G.4.a.ii.b), Establishments Selling and/or Serving Alcoholic Beverages for On-Site Consumption, for exemption.

ii. Additional Supplemental Use Requirements

a) Live/Work Units

The business operated within the live/work unit may engage employees in the conduct of the business within the unit; however, if the owner of the business is not residing in the dwelling unit portion of the live/work unit, at least one full-time employee of the business must reside in the live/work unit. In no case shall the dwelling unit within the live/work unit be sold or rented separately from the non-residential area of the live/work unit.

b) Establishments Selling and/or Serving Alcoholic Beverages for On-Site Consumption

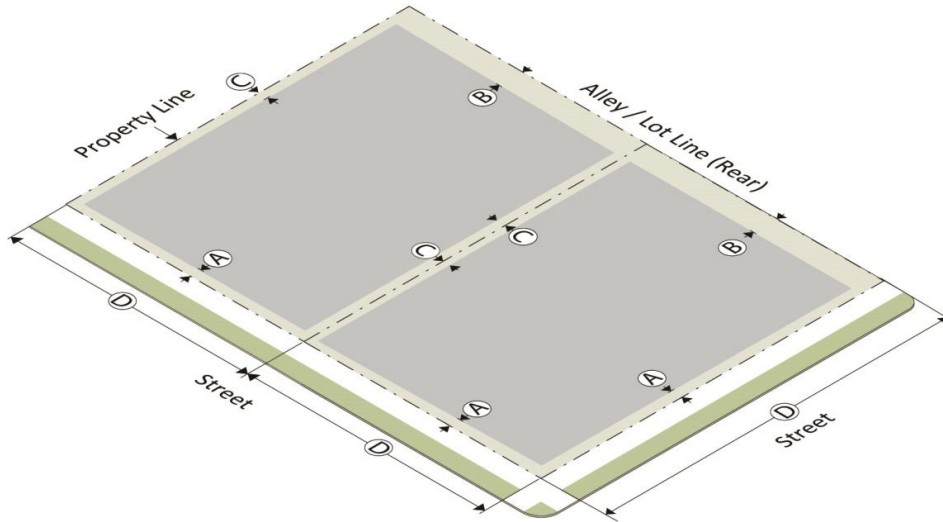
Establishments which sell and/or serve alcoholic beverages for on-site consumption shall be exempt from the zoning acreage requirements and number of establishments per acreage requirements as provided for in Section 4-7, (a) and (b), Chapter 4. Alcoholic Beverages, of the City’s Code of Ordinances, as amended or its successors.

- b. Lots/Blocks
  - i. All lots shall have direct frontage to a street.
- c. Access
  - i. Alleys

Alley construction shall conform to City of Richardson standards for alley construction to provide adequate space for emergency vehicles and service access.
  - ii. Driveways
    - a) For lots utilizing a driveway accessing the street, a continuous driveway shall not be permitted.
    - b) Driveways shall be a maximum twenty-four feet in width. Turning radii shall be as approved by the City Manager or designee.
    - c) Driveways are limited to no more than one driveway per 200 feet of street frontage. However, each lot may be permitted at least one driveway accessible from an alley or a mews street.
    - d) Shared driveways shall be provided, where feasible to reduce the number of driveways along the street.
    - e) Driveways shall conform to City of Richardson standards for driveway construction.
  - iii. Mews Streets
    - a) Mews Streets are designed to provide garage and service access to individual lots. The minimum design standard for Mews Streets is:
      - 1) Twenty-eight feet of right-of-way with a minimum twenty-two feet of paved drive lane.
      - 2) Parkways must be paved, preferably with a contrasting material to better delineate the drive lanes from the parkway.
      - 3) For residential developments, a maximum of 25% of the residential lots may front on a mews street provided that the mews street is designed and constructed in accordance with Appendix C.
      - 4) No parking is allowed on Mews Streets unless additional right-of-way is provided.
    - b) If individual garages access Mews Streets, the face of the garage must be placed between 0-3 feet from the right-of-way line, or at least twenty feet.
    - c) Because of significant challenges which can exist with many sites using Mews Streets, a Minor Modification may be requested to consider variations to these requirements.
  - iv. Sidewalks
    - a) Sidewalks shall be provided along all streets in accordance with the applicable Street Typology and Streetscape Standards for the Railside Sub-district and Subsection II.G.5, Street Typology and Streetscape Standards, as well as conform to City of Richardson standards for sidewalk construction.
    - b) A sidewalk shall be constructed to permit pedestrian access from the street to the building, unless paved access is otherwise provided.



d. Building Placement



Railside - Building Placement by Street Type				
		Urban Circulator	West Spring Valley Road	Urban Mixed Use
(A)	Required Front Build-To Zone <sup>37</sup>	<ul style="list-style-type: none"> <li>•Min. 0 feet</li> <li>•Max. 15 feet</li> </ul>	<ul style="list-style-type: none"> <li>•Min. 10 feet</li> <li>•Max. 80 feet</li> </ul>	<ul style="list-style-type: none"> <li>•Min. 0 feet</li> <li>•Max. 10 feet</li> </ul>
(B)	Required Rear Building Setback <sup>38</sup>	<ul style="list-style-type: none"> <li>•Min. 10 feet if abutting an alley</li> <li>•Min. 0 feet if abutting a property or a mews street</li> </ul>	<ul style="list-style-type: none"> <li>•Min. 10 feet if abutting an alley</li> <li>•Min. 0 feet if abutting a property or a mews street</li> </ul>	<ul style="list-style-type: none"> <li>•Min. 10 feet if abutting an alley</li> <li>•Min. 0 feet if abutting a property or a mews street</li> </ul>
(C)	Required Interior Side Building Setback	•No maximum setback	•No maximum setback	•No maximum setback
(D)	Building Frontage Buildout <sup>39</sup>	•Min. 70% of lot width	•Min. 40% of lot width	•Min. 70% of lot width

- i. Buildings fronts and sides shall be placed parallel to the adjacent street.
- ii. Build-To Zones and building setbacks shall be measured from the property line and shall be provided in accordance with the requirements in the table in this subsection. The Building Frontage Buildout is the percentage of the lot width of where the principal building and/or parking garage shall be located within the required Build-To Zone.

<sup>37</sup> Where easements encumber the entire required Build-To Zone, the building shall be built to the easement line and in accordance with the required Building Frontage Buildout.

<sup>38</sup> Or as permitted by Building Code

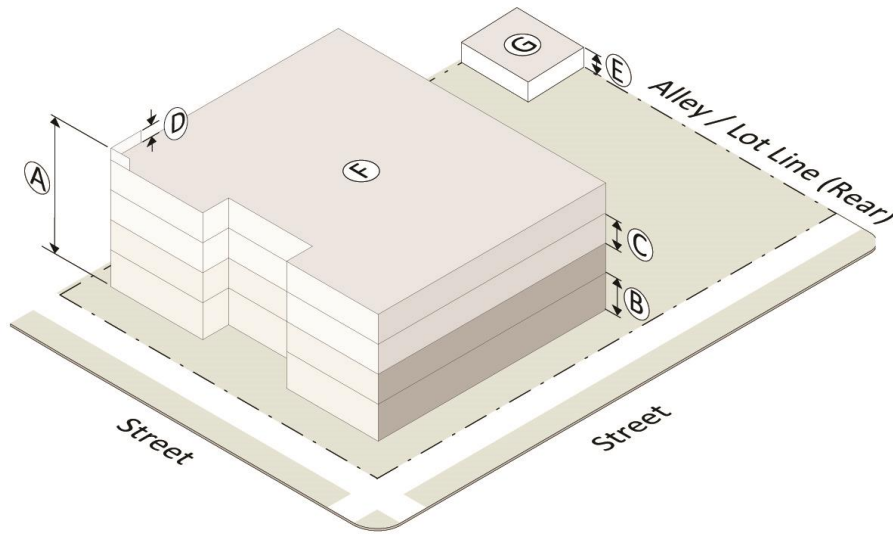
<sup>39</sup> Required along all street Build-To Zones

- iii. Canopies, signs, awnings and balconies may encroach over the sidewalk or Build-To Zone where allowed by this Code. In no case shall an encroachment be located over an on-street parking or travel lane, nor shall the encroachment substantially interfere with tree growth.
- iv. Publicly accessible open space (such as parks, plazas, squares, improved forecourts, pedestrian breezeway frontages, or other amenity which contributes to the streetscape) which is sited within the Build-to Zone and provided to satisfy Subsection II.G.4.g.ii., On-Site Open Space Requirements, may be applied towards satisfying Building Frontage Buildout requirements.
- e. Height and Ground Floor Size
  - i. Principal Buildings and Parking Structures
    - a) The maximum height of a principal building or parking structure shall be as identified on the Railside Sub-district Regulating Plan.
    - b) The height of a building or parking structure shall be measured from at grade to the tallest projecting element on the building or parking structure as provided herein this subsection.
    - c) An additional six feet in height shall be allowed to accommodate parapet walls, and architectural design elements as provided herein this subsection.
    - d) Roof top seating areas shall be allowed on buildings. Shade structures, regardless if freestanding or attached to the building, if provided, shall be limited to a maximum of twelve feet in height and shall count towards the overall total building height.
    - e) Mechanical equipment, including screening mechanisms as required in Subsection II.G.7.d., Roof-mounted Equipment, and elevator penthouses shall be excluded from calculating the height of a building or parking garage.
    - f) The table below summarizes the maximum allowable building heights in relation to building stories.

Building Stories	Maximum Building Height (in feet)	Maximum Height with Parapet/ Architectural Feature
1 story	15 See also II.G.4.e.i.g)	21 See also II.G.4.e.i.g)
2 stories	27	33
3 stories	39	45
4 stories	51	57
5 stories	63	69
6 stories	75	81
7 stories	87	93
8 stories	99	105
9 stories	111	117
10 stories	123	129

- g) Single story buildings shall be permitted to achieve the height of a two story building as identified in the table above.
- h) Multi-story buildings can utilize any combination of height in feet per story as long as the overall height of the building does not exceed the maximum building height in feet for the number of stories proposed.

- ii. Accessory Building:  
An accessory building shall not exceed fifteen feet in height.
- iii. Maximum Ground Floor Size
  - a) Except for multi-family residential buildings and mixed use buildings containing a minimum of 50% residential units, the maximum ground floor size of a principal building shall be identified in the table in this Subsection II.G.4.e.iii.
  - b) A Minor Modification may be requested to exceed the maximum ground floor size permitted in this subsection, provided that the principal building incorporates window glazing in accordance with Subsection II.G.6.d.ii.a), of Architectural Standards, Non-Residential At-Grade. In no case shall a request exceed 25% of the maximum ground floor size identified in the table in this subsection.



Maximum Building Heights		
(A)	Principal Building fronting on:	
	Urban Circulator	8-10 stories max. <sup>40</sup>
	West Spring Valley Road	8-10 stories max. <sup>40</sup>
	Urban Mixed Use	8 – 10 stories max. <sup>40</sup>
(B)	Ground Story	See Maximum Allowable Building Height Table in Subsection II.G.4.e.i.f)
(C)	Subsequent Stories	See Maximum Allowable Building Height Table in Subsection II.G.4.e.i.f)
(D)	Parapet Wall, or Architectural Feature	6' max.
(E)	Accessory Building	15' max.

Maximum Building Ground Floor		
(F)	Principal Building fronting on:	
	Urban Circulator (Sherman Street and Lingco Street West Side)	30,000 sq. ft.
	Urban Circulator (Lingco Drive East Side)	15,000 sq. ft.
	West Spring Valley Road	15,000 sq. ft.
	Urban Mixed Use (Sherman Street East Side)	15,000 sq. ft.
	Urban Mixed Use (Sherman Street West Side)	30,000 sq. ft.
(G)	Accessory Building	15% of Principal Building ground floor

<sup>40</sup> The exact maximum height of a principal building shall be as identified on the regulating plan.

f. Parking

i. Intent

The intent of this section is to:

- a) Manage parking so that it is convenient, efficient and supports an active and vibrant mixed use environment;
- b) Provide flexibility in the leasing of allowed uses, reuse of properties, and for redevelopment of small sites;
- c) Allow people to park once at a convenient location and to access a variety of commercial and civic uses in a pedestrian friendly environment;
- d) Maximize on-street parking; and
- e) Reduce the overall amount of pavement within the Sub-district.

ii. Shared and On-Street Parking

- a) Shared parking is preferred. Centralized parking locations throughout the Sub-district that permit people to park at convenient locations with ample parking to access multiple uses should be considered over individual parking areas on individual lots.
- b) Shared parking areas shall be connected to businesses and residences with paved and landscaped pedestrian walkways.
- c) On-street parking opportunities shall be maximized.

iii. Off-Street Parking Requirements

- a) Required On-Site Spaces. The construction of any new building or expansion of gross square footage of an existing building shall be required to provide on-site parking in accordance with the parking requirements provided in the table below. Additionally, Subsection 21-52(b), Off-Street Parking of the Richardson Comprehensive Zoning Ordinance, as amended or its successors, shall not apply.

Use	Parking Required
Multi-Family	1.5 spaces per dwelling unit
Single Family (attached)	2 spaces per dwelling unit (see II.G.4.f.iii.e), Single Family Dwelling Parking)
Live/Work Unit	2 spaces per dwelling unit
Institutional and Assembly Uses	1 space per 3 persons accommodated
Hotel (Full Service)	1.25 spaces per guest room
Hotel (limited service or suite)	1 space per guest room
All Other Non-Residential Uses	1 space per 300 square feet

- b) Parking Spaces. Spaces shall be dimensioned and designed in accordance with the City’s Parking Design Manual. Handicap accessible parking spaces shall be installed in accordance with State of Texas requirements.
- c) On-Street Parking. On-street parking located on the adjacent street for the distance in front of the property may be used toward satisfying on-site parking requirements (where allowed by the applicable Street Typology and Streetscape Standards).
- d) Public and Shared Parking. A Minor Modification may be requested to allow credit for available public parking or a shared off-street parking facility on another lot within 600 feet of the subject property, to apply towards on-site parking requirements.

- e) Single Family Dwelling Parking.
  - 1) Parking for single family uses (attached) shall be provided within an enclosed garage accessible from a rear entry drive such as an alley, mews street, or private street easement. However, a maximum of 25% of the residential lots within a single family attached development only may have a front entry enclosed garage accessible from a mews street provided that the mews street is designed and constructed in accordance with Appendix C.
  - 2) The elimination of the garage spaces, by enclosing the garage with a stationary wall, shall be prohibited.
  - 3) The face of the garage must be placed between 0-3 feet from the right-of-way or easement line, or at least twenty feet.
- iv. Parking Structures
  - a) Parking structures shall not exceed the maximum building height as shown on the Railside Sub-district Regulating Plan.
  - b) Parking structures shall have a façade design similar to surrounding buildings along the street front. If possible, parking structures should be located behind buildings to minimize their visibility from adjacent streets.
  - c) Where a parking garage must be located adjacent to a street:
    - 1) The parking structure facades shall be designed with both vertical (changes in planes, columns, pilasters, etc.) and horizontal (aligning with horizontal elements along the block) articulation and the building materials shall be compatible with the material of the building the parking structure serves.
    - 2) The parking structure shall be designed and screened in such a way that motor vehicles on all parking levels are hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ramps shall not be located on the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield the lighting inside the structure.
  - d) Off-street below-grade parking may be built to the property lines, but must be designed to allow landscape planting at grade as required by the Railside Sub-district Street Typology and Streetscape Standards. No below-grade parking beneath a building shall be visible from the sidewalk.
  - e) Wayfinding signage should be provided to direct drivers to the parking structure.
- v. Surface Parking
  - a) Surface parking as a primary use of a property shall require approval of a Special Permit, in accordance with Article XXII-A, Special Permits, Richardson Comprehensive Zoning Ordinance, as amended or its successors. Municipal surface parking lots are exempt from this requirement in accordance with Subsection II.G.4.a., Use.
  - b) Off-street surface parking as an accessory use shall be sited in accordance with the following:
    - 1) Be located behind the principal building; however, where it is not feasible to locate parking behind the principal building, parking shall be prohibited within the Required Build-To-Zone with exception of properties with street frontage along West Spring Valley Road. For properties with street frontage along West Spring Valley Road, parking shall be prohibited within a ten foot setback measured from the right-of-way.

- 2) Except when completely integral and internal to a development project, a surface parking lot with fifty or more spaces must be designed as future development sites. The parking shall be arranged as a single parking lot located along the outer edge of the property, adjacent to a property line.
- c) Landscaping for Surface Parking

All surface parking shall be landscaped and screened in accordance with the landscaping requirements provided below.

  - 1) Parking Lots Visible from Required Sidewalks (per the applicable Railside Sub-district Street Typology and Streetscape Standards [Section II.G.5.])

A minimum five-foot wide landscape area shall be provided between the sidewalk and parking lot. Minimum three-inch caliper shade trees at planting, selected from the plant list in Subsection II.G.5.d.vi, Plant List, shall be provided within this landscape area at an average spacing of thirty feet but in no case shall trees be placed greater than forty feet apart. Additionally, a solid evergreen shrubbery hedge shall be provided minimum thirty-six-inches in height at planting, selected from the plant list in Subsection II.G.5.d.vi, Plant List, to screen vehicle headlights and undercarriage. In lieu of the required evergreen shrubbery hedge, a Minor Modification may be requested to allow for the following to screen vehicle headlights and undercarriage provided the screening element is a minimum thirty-six-inches tall:

    - (a) Retaining wall;
    - (b) Berming; or
    - (c) A combination of retaining wall, berming, and/or evergreen screening hedge.
  - 2) Interior Parking Lot Landscaping
    - (a) Each row of parking shall be configured so that there is a minimum ten foot wide landscape island with each run of eight parking spaces. A parking island shall be required on the end of each row of parking.
    - (b) Minimum three-inch caliper shade trees at planting, selected from the plant list in Subsection II.G.5.d.vi, Plant List, shall be provided internal to the parking lot at a rate of one street tree for every six parking spaces.
    - (c) A concrete, pavestone or mulch strip the width of the vehicle overhang shall be provided for parking spaces adjacent to a landscape area. This strip shall be measured from the face of curb to the edge of the landscape area adjacent to the parking space.
    - (d) Diamond tree wells may be used for interior parking lot landscaping in lieu of subsections (a) and (c) above if the parking lot is completely integral and internal to a development project (e.g. surface parking lot is internal to and surrounded by buildings).
      - i. One diamond tree well shall be provided throughout the parking lot at the rate of one diamond tree well for every ten parking spaces.
  - 3) Additional Landscaping. Additional landscaping, where provided, such as shrubbery, ornamental trees and grasses, and groundcover/vines shall be selected from the plant list in Subsection II.G.5.d.vi, Plant List. Other materials may be used in combination with materials from the plant list, subject to landscape plan approval by the City.

- 4) Plant Health. All plant material shall be No.1 grade, free from plant diseases, have a healthy, normal root system, rounded branching pattern, and shall conform to the code of standards set forth in the current addition of the American Standard for Nursery Stock. Drought tolerant trees, plants and grasses are encouraged for meeting landscaping requirements.
- 5) Irrigation. Landscape material shall be irrigated by a mechanical underground system with operating rain and freeze sensors.
- 6) Maintenance
  - (a) The property owner is responsible for maintaining the landscape in accordance with the approved landscape plan and all irrigation systems shall be maintained and operable.
  - (b) Dying plant material, as determined by the City, shall be replaced in accordance with the approved landscape plan.
- vi. Bicycle Parking. Bicycle parking shall be provided in accordance with the City's Bicycle Parking Ordinance and/or Policy, as adopted.
- g. Public and Private Open Space Requirements
  - i. Application
    - a) Open space requirements shall apply to:
      - 1) New development or a complete redevelopment scenario.
    - b) Open space requirements do not apply to:
      - 1) Live/work units;
      - 2) Adaptive reuse sites;
      - 3) Lots one acre or smaller unless subdivided from a larger parent tract resulting in a lot of one acre or smaller; or
      - 4) Single family attached dwellings.
  - ii. On-Site Open Space Requirements

Open spaces shall be provided for the enjoyment of persons within the Railside Sub-district. Amenities may include improved or unimproved areas that are suitable for gathering or recreational activities.

    - a) If the open space provided is not publicly accessible, the minimum set aside for open space shall be 15% of the lot.
    - b) If the open space provided is publicly accessible, the minimum set aside for the open space shall be 8% of the lot.
    - c) Common outdoor space shall be appropriately designed for its public or private purpose. If designed for public use, it shall be highly visible from the public right-of-way and accessible to the general public, and may be applied towards satisfying Building Frontage Buildout requirements in accordance with Subsection II.G.4.d.iv. If designed solely for private use, it shall be centrally located and easily accessible to all individuals it is expected to serve.
    - d) A development plan (site plan or concept plan) shall be submitted demonstrating how the open space requirement is being satisfied for an entire parent tract (development site) and may be approved if a minimum 50% of the required open space is constructed within the first phase of the project, with the remaining required open space being provided in subsequent phases.



## 5. **Street Typology and Streetscape Standards**

### a. Intent

The Street Typology and Streetscape Standards provide for a cohesive streetscape along block faces, emphasizing the public realm with a consistent design theme throughout the Sub-district and enhancing the physical relationship between buildings and their adjacent streets. Additionally, the regulating plan depicts proposed streets which are intended to improve circulation within an area, provide for smaller block sizes to promote increased walkability for pedestrians, and provide additional access opportunities for properties. It is anticipated that these proposed streets will likely be constructed at such time when properties experience redevelopment or should the City decide to construct the proposed streets.

### b. Street Standards

- i. All streets shall conform to the provisions of the Code. The Street Typology and Streetscape Standards (street cross sections) shall be used in accordance with the Railside Sub-district Regulating Plan. Refer to the regulating plan to identify the street name and type adjacent to the subject property, and use the corresponding Street Typology and Streetscape Standards graphic on the following pages.
- ii. Existing Streets. The regulating plan depicts existing streets within the Railside Sub-district. Unless determined otherwise by the City, at such time when properties adjacent to the streets develop and/or redevelop, the property owner shall in accordance with the applicable Street Typology and Streetscape Standards and for the distance adjacent to the property:
  - a) Construct up to one-half of the street section including sufficient travel lanes width to accommodate emergency vehicles;
  - b) Construct the necessary on-street parking, landscape/amenity zone including irrigation system, and sidewalk/multi-purpose trail improvements; and
  - c) Dedicate to the City sufficient right-of-way (or equivalent) to accommodate the necessary street improvements required in a) and b) above. Should the City determine it is not feasible for the street improvements to be constructed in accordance with a) and b) above, the property owner shall still dedicate to the City sufficient right-of-way (or equivalent) to accommodate the necessary street improvements per the applicable Railside Sub-district Street Typology and Streetscape Standards in Subsection II.G.5. Additionally, the City may require the property owner to escrow funds for the roadway improvements in accordance with the City's Subdivision and Development Ordinance (Code of Ordinances, Chapter 21), as amended or its successors. The City shall be responsible for maintaining the travel lanes, on-street parking, landscape/amenity zones including irrigation system, and sidewalk/multi-purpose trail improvements at such time when determined by the City.
- iii. Proposed Streets – Shown on Regulating Plan. The regulating plan depicts new proposed streets to be provided within the Railside Sub-district. Unless determined otherwise by the City, at such time when properties adjacent to the new streets develop and/or redevelop, the property owner shall in accordance with the applicable Street Typology and Streetscape Standards and for the distance adjacent to the property:
  - a) Construct up to one-half of the street section including sufficient travel lanes width to accommodate emergency vehicles;

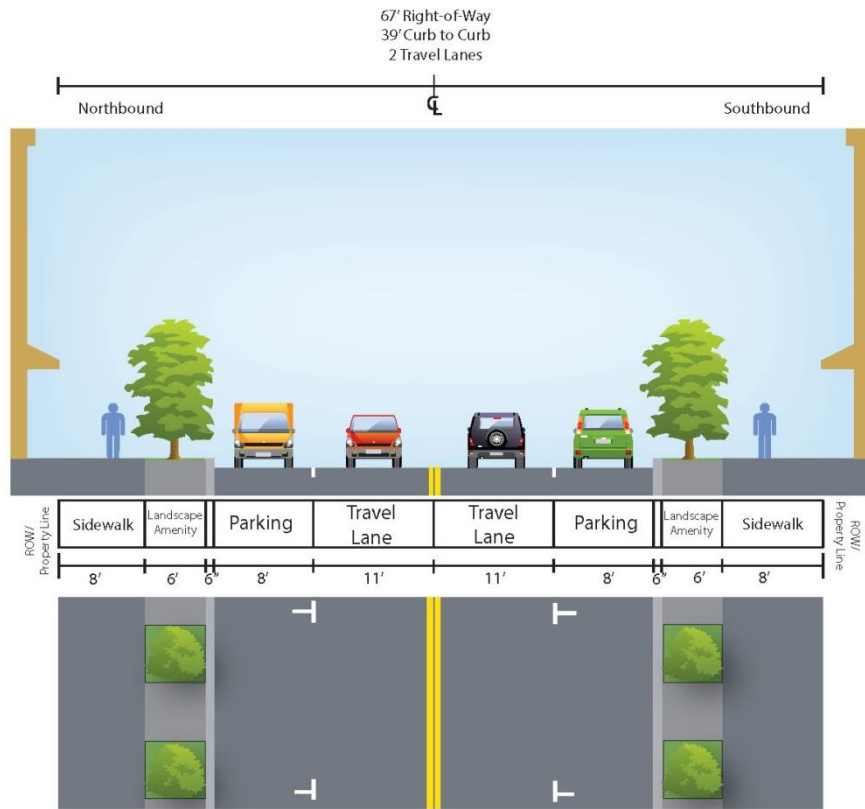
- b) Construct the necessary on-street parking, landscape/amenity zone including irrigation system, and sidewalk/multi-purpose trail improvements; and
  - c) Dedicate to the City sufficient right-of-way (or equivalent) to accommodate the necessary street improvements required in a) and b) in this subsection. Should the City determine it is not feasible for the street improvements to be constructed in accordance with a) and b) in this subsection, the property owner shall still dedicate to the City sufficient right-of-way (or equivalent) to accommodate the necessary street improvements per the applicable Railside Sub-district Street Typology and Streetscape Standards in Subsection II.G.5. Additionally, the City may require the property owner to escrow funds for the roadway improvements in accordance with the City's Subdivision and Development Ordinance (Code of Ordinances, Chapter 21), as amended or its successors. The City shall be responsible for maintaining the travel lanes, on-street parking, landscape/amenity zones including irrigation system, and sidewalk/multi-purpose trail improvements at such time when determined by the City.
  - d) The proposed streets shown on the Railside Sub-district Regulating Plan are the approved street locations. However, should a property owner want to construct a proposed street in an alternate location that achieves the intent of the street location depicted on the regulating plan, the City may approve a Minor Modification to allow the alternate location without modifying the regulating plan. In the case of an approved Minor Modification, the property owner shall construct the entire proposed street cross section for the entire length of the street.
- iv. Proposed Streets – Not Shown on Regulating Plan. Should a property owner want to construct a new street on their property and said street is not shown on the Railside Sub-district Regulating Plan, the property owner shall:
- a) Design the street in accordance with one of the Street Typology and Streetscape Standards provided for in the Railside Sub-district Street Typology and Streetscape Standards subsection (see graphics on the following pages);
  - b) Construct the entire street section including travel lanes, on-street parking, landscape/amenity zone including irrigation system, and sidewalk/multi-purpose trail improvements; and
  - c) Dedicate a private street easement (or equivalent) that provides for vehicle and pedestrian public access. The property owner shall be responsible for maintaining the travel lanes, on-street parking, landscape/amenity zone including irrigation system, and sidewalk/multi-purpose trail improvements required in a) and b) above. However, should the City decide to maintain the street improvements required in a) and b) above, then the property owner shall dedicate to the City sufficient right-of-way (or equivalent) to accommodate the street improvements.
- v. All right-of-way dedication and street construction for all streets (existing and proposed) shall be in accordance with the City's Subdivision and Development Ordinance (Code of Ordinances, Chapter 21) , as amended or its successors.



# Railside

## Urban Mixed Use

- Sherman Street
- Phillips Street
- Future Street

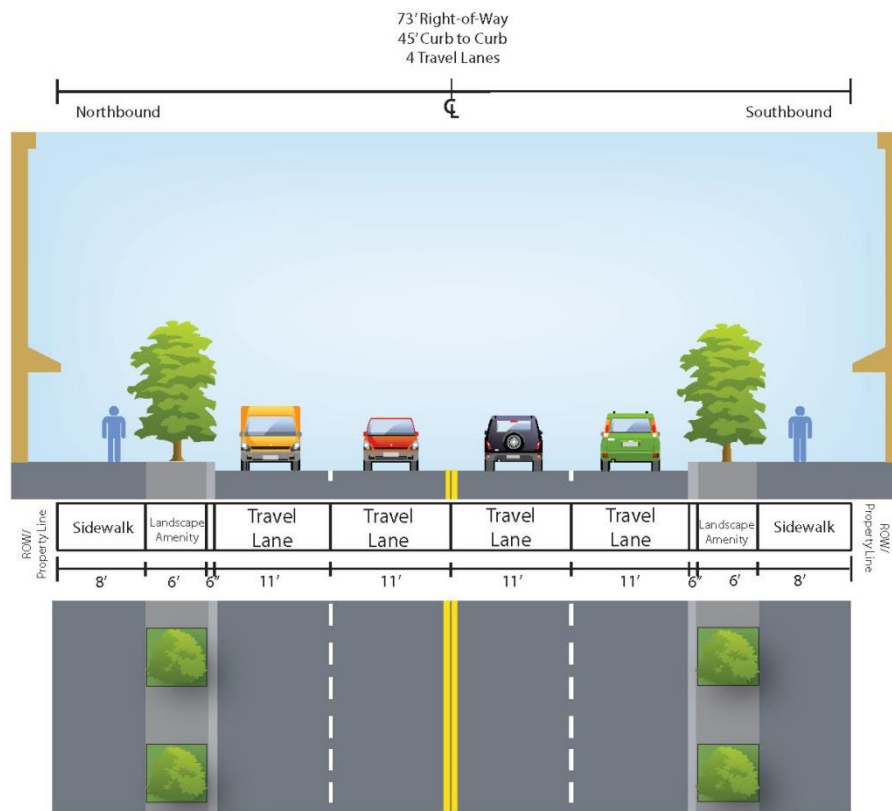


# Railside



## Urban Circulator

- Sherman Street
- Lingco Drive



Southbound Sherman Street at West Spring Valley Road needs minimum three approach lanes consisting of two thru lanes and a dedicated left turn lane.

- c. Street furnishings
  - i. Placement
    - a) Street furnishings shall be located within the landscape/amenity zone as provided for in the Railside Sub-district Street Typology and Streetscape Standards (Subsection II.G.5., Street Typology and Streetscape Standards), and in accordance with Subsection II.G.5.b., Street Standards. The *Example Streetscape Plan Layouts* drawing shown in Appendix A is provided for illustration and intent purposes only. The drawing illustrates recommended dimensions for spacing of street furnishings. Final location of street furnishings shall be determined by the City.
    - b) Street furnishings shall be shown on an approved site plan and landscape plan prior to installation.
  - ii. Type
    - a) Pedestrian light
      - 1) Design/Material: Acorn or modified acorn heads, with round steel/aluminum, powder coated, with straight or tapered shaft and round shaped base (Oncor Electric Delivery Decorative Street Lighting preferred)
      - 2) Color: Dark Grey or Black
      - 3) Dimensions: 12'-16' high pole, approximately 4" diameter
      - 4) Spacing/Placement: Location as determined by the City
      - 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
    - b) Bench
      - 1) Design/Material: Metal (steel or aluminum) with polyester powder coat finish, vertical or horizontal 1½" wide slats
      - 2) Color: Dark Grey or Black
      - 3) Dimensions: 6' long with back and arm rest
      - 4) Spacing/Placement: Location as determined by the City
      - 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
    - c) Trash receptacle
      - 1) Design/Material: Metal (steel or aluminum) with polyester powder coat finish, swing out, side-opening, minimum 1" slats
      - 2) Color: Dark Grey or Black
      - 3) Dimensions: Approximately 24" diameter, approximately 40" High, minimum thirty-six gallon capacity
      - 4) Spacing/Placement: Location as determined by the City
      - 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
    - d) Planter
      - 1) Design/Material: Round tapered, precast concrete/caststone, drainage hole for irrigation option
      - 2) Color: Natural grey concrete
      - 3) Dimensions: Groups of three preferred (dependent upon space availability), approximately 40" diameter, approximately 18"-30" high
      - 4) Spacing/Placement: Groups of three minimum, location as determined by the City

- 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
- e) Bike rack
  - 1) Design/Material: Round steel powder coat finish
  - 2) Color: Dark Grey or Black
  - 3) Dimensions: Approximately 25"-28" wide, 27"-32" high
  - 4) Spacing/Placement: Location as determined by the City
  - 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
- f) Bollard
  - 1) Design/Material: Round Precast Concrete with polyester powder coat finish
  - 2) Color: Dark Grey or Black
  - 3) Dimensions: 12" diameter, 33" high
  - 4) Spacing/Placement: Location as determined by the City
  - 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
- g) Tree grate
  - 1) Design/Material: Cast iron
  - 2) Color: Baked oil finish
  - 3) Dimensions: 6'X6' Square, maximum ½" vertical and horizontal slots , ADA Compliance
  - 4) Spacing/Placement: Location as determined by the City
  - 5) Reference Images: See Railside Sub-district Representative Urban Design Elements
- h) Sidewalk paving
  - 1) Concrete
  - 2) Brick pavers (as approved by the City)
  - 3) Concrete pavers (as approved by the City)
- iii. Alternate Types

Should the City determine that maintenance of the street furnishings as specified in the Code are cost prohibitive or should the specified street furnishings no longer be available, the City may select and install alternate types of street furnishings.

Railside Sub-district Representative Urban Design Elements

Pedestrian Light



Bench



Trash Receptacle



Planter



Tree Grate



Bike Rack





- d. Landscape and Street Trees
- i. Street Trees. Street trees shall be selected from the plant list in Subsection II.G.5.d.vi., Plant List. Trees other than those in the Street Tree list may be used in combination with the approved items, subject to landscape plan approval by the City.
    - a) Street trees shall be large shade trees, and shall be:
      - 1) Planted within the required landscape/amenity zone as specified on each Street Typology and Streetscape Standards graphic;
      - 2) Planted with an average spacing of thirty feet on center, but in no case shall trees be placed greater than forty feet apart, on center; and
      - 3) A minimum three-inch caliper and at least ten feet in height, single trunk at planting. Within the first three years from planting, tree branches shall be maintained at no less than six feet above the adjacent sidewalk and not less than ten feet above on-street parking space or travel lane. After three years from planting, trees shall be maintained at no less than seven feet above the adjacent sidewalk and no less than fourteen feet above on-street parking space or traffic lane.
    - ii. Additional Landscaping. Additional landscaping, where provided, such as shrubbery, ornamental trees and grasses, and groundcover/vines, shall be selected from the plant list in Subsection II.G.5.d.vi, Plant List. Other materials may be used in combination with materials from the plant list, subject to landscape plan approval by the City.
    - iii. Plant Health. All plant material shall be No.1 grade, free from plant diseases, have a healthy, normal root system, rounded branching pattern, and shall conform to the code of standards set forth in the current addition of the American Standard for Nursery Stock. Drought tolerant trees, plants and grasses will be utilized for meeting landscaping requirements.
    - iv. Irrigation. Landscape material shall be irrigated by a mechanical underground system with operating rain and freeze sensors. Irrigation systems provided within the landscape/amenity zone shall be installed and maintained as provided in Subsection II.G.5.b. Street Standards. Irrigation systems for all other landscaping material shall be installed by the property owner.
    - v. Maintenance
      - a) Except as provided in Subsection II.G.5.b. Street Standards, the property owner is responsible for maintaining all landscaping material in accordance with the approved landscape plan and all irrigation systems shall be maintained and operable.
      - b) Except as provided in Subsection II.G.5.b. Street Standards, dying plant material, as determined by the City, shall be replaced by the property owner in accordance with the approved landscape plan.
    - vi. Plant list
      - a) Street Trees (minimum three-inch caliper)
        - Allee Elm, *Ulmus parvifolia* 'Emer II'
        - Aristocrat Pear, *Pyrus calleryana* 'Aristocrat'
        - Autumn Blaze Maple, *Acer freemanii*
        - Cathedral Live Oak, *Quercus virginiana*
        - Cedar Elm, *Ulmus crassifolia*
        - Chinese Pistache (male), *Pistacia chinensis*

- Green Ash, *Fraxinus pennsylvanica*  
 Homestead Elm, *Ulmus* 'Homestead'  
 Locust / Shademaster Locust, *Gleditsia triacanthos*<sup>41</sup>  
 October Glory Maple, *Acer rubrum* 'October Glory'  
 Red Maple, *Acer rubrum*  
 Shantung Maple, *Acer truncatum*  
 Shumard Red Oak, *Quercus shumardii*<sup>42</sup>  
 Shade Master Locust, *Gleditsia triacanthos* 'Shademaster'  
 Urbanite Ash, *Fraxinus pennsylvanica* 'Urbanite'
- b) Understory/Ornamental Trees (minimum four-cane/two-foot diameter root ball)
- Roughleaf Dogwood, *Cornus drummondii*  
 Yaupon Holly, *ilex vomitoria* (female only such as 'Pride of Houston' or 'Will Fleming')  
 Deciduous Holly, Warren's Red, *ilex decidua*  
 Crape Myrtle, *Lagerstromia indica*  
 Mexican Plum, *Prunus mexicana*  
 Mexican Redbud, *Cersis canadensis var. mexicana*  
 Oklahoma Redbud, *Cersis reniformis* 'Oklahoma'  
 Texas Redbud, *Cersis canadensis var. texensis*  
 American Smoke Tree, *Cotinus obovatus*  
 Vitex, *Vitex negundo* 'Heterophylla'  
 Desert Willow, *Chilopsis linearis*
- c) Shrubs for Screening (minimum 36-inches tall)
- Dwarf Nandina, *Nandina domestica nana*  
 Dwarf Burford Holly, *Ilex cornuta* 'burfordi nana'  
 Abelia Grandiflora, *Abelia grandiflora*  
 Barberry, *Barberry spp.*  
 Red Yucca, *Hesperaloe parviflora*  
 Texas Sage, *Leucophyllum frutescans*  
 Indian Hawthorn, *Raphiolepis indica*  
 Native Sumac, *Rhus typhina*  
 Dwarf Crape Myrtle, *Lagerstromia indica* 'nana'  
 Photinia, *Photinia fraseri*  
 Dwarf Yaupon Holly, *Ilex vomitorria* 'nana'
- d) Groundcover/Vines (minimum one gallon unless otherwise noted)
- Asian Jasmine, *Trachelosperum Asiaticum coloratus* 4" pot, heavily rooted, full  
 Purple Winter Creeper, *Euonymus* 4" pot, heavily rooted, full  
 Santolina, *Santolina virens*  
 Trumpet Vine, *Campsis radicans*  
 Coral Honeysuckle, *Lonicera sempervirens*  
 Purple Honeysuckle, *Lonciera japonica* 'purperia'  
 Virginia Creeper, *Parthenocissus quinquefolia*  
 Lady Banks Rose, *Rosa banksiaw lutea*  
 Wisteria, *Wisteria sinensis*

<sup>41</sup> Locust trees have a problem with reflective heat when young; trunks should be wrapped during early stages.

<sup>42</sup> Should provide a limited root barrier to direct spreading roots downward.

- Vinca (major), *Vinca major* 4" pot, heavily rooted, full
- Common Bermuda, *Cynodon dactylon*
- Fescues, *Festuca rubra*
- Buffalo Grass, *Buchloe dactyloides*
- e) Ornamental Grasses
  - Gulf Muhly Grass – *Muehlenbergi a lindheimeri*
  - Feather Reed Grass
  - Miscanthus
  - Indian Grass
  - Purple Autumn Grass

## 6. Architectural Standards

### a. Intent

The Railside Sub-district positions Richardson as a community concerned with sustainability. While the Railside Sub-district focuses on adaptive reuse of existing industrial buildings, new development should encourage a high quality of urban character. New building design should be comprised of simple, clean shapes and forms and may include integration of modern building materials to provide individual building identity. Additionally, exterior façade and wall articulation and rhythm is also important for identification of businesses, pedestrian scale and district identity.

### b. Building Articulation

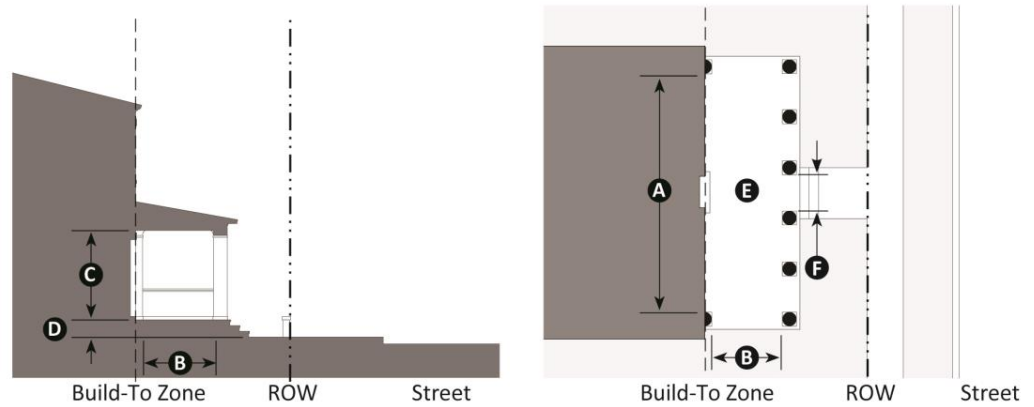
Where clearly visible from a public street or open space:

- i. Buildings must demonstrate both horizontal and vertical articulation.
- ii. For the first two stories, buildings will generally maintain a façade rhythm. This rhythm may be expressed by a change in building plane, stepping portions of facades in and out, utilizing balconies, windows, columns or pilasters that are distinctly set out from the façade or changing types or colors of materials in combination with other techniques.
- iii. Balconies may extend over the sidewalk area and right-of-way provided that they maintain a minimum ten feet of clearance above the sidewalk and do not substantially interfere with street tree growth.

### c. Residential At-Grade

- i. All residential units within four feet of grade will include a primary front door entrance into the unit or outdoor living space which is accessed from the adjacent minimum required sidewalk per the applicable Railside Sub-district Street Typology and Streetscape Standards in Subsection II.G.5. Primary entry doors shall be swing doors and shall include glass and full operating hardware on the outside of the door. Sliding doors or garage type doors shall not be permitted.
- ii. Parking located below the building shall not be visible from the sidewalk or public open space.
- iii. The minimum finished floor elevation for grade-level units shall be located a minimum of eighteen-inches above the elevation of the adjacent minimum required sidewalk per the applicable Railside Sub-district Street Typology and Streetscape Standards, and shall include a minimum twenty-four square foot stoop (i.e. stoop frontage).
- iv. Residential units shall include windows which provide residents a view of the street, sidewalk, or public or private open space.

- v. Lobbies to upper stories shall have an entry from the minimum required sidewalk per the applicable Railside Sub-district Street Typology and Streetscape Standards.
- vi. Balcony railings shall be minimum 50% open or transparent, and constructed of glass or metal.
- vii. Porches
  - a) Porches may be projecting or integrated into the primary entry of a building.
  - b) Encroachment into Build-to Zone – refer to Subsection II.G.4.d, Building Placement.



Projecting Porch



Engaged Porch

Ⓐ	Width	8 feet min.
Ⓑ	Depth	6 feet min.
Ⓒ	Height	8 feet min.
Ⓓ	Finish Level Above Sidewalk	18 inches min.
Ⓔ	Floor Area	48 sq. ft. min.
Ⓕ	Sidewalk Width	3 foot min.

- d. Non-Residential At-Grade
  - i. Primary entrances to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have the primary entrances oriented at an angle to the intersection. Additionally, all primary entrances shall be oriented to the minimum required sidewalk per the applicable Railside Sub-district Street Typology and Streetscape Standards (Section II.G.5.), for ease of pedestrian access. Secondary and service entrances may be located from alleys, mews streets or internal parking areas.
  - ii. Except where parking or vehicle drive aisles are provided between the building and the minimum required sidewalk per the Railside Sub-district Street Typology and Streetscape Standards in Section II.G.5., non-residential uses, which are at-grade shall:
    - a) Have a minimum of 50% of the ground floor façade comprised of window area. However, buildings with a ground floor area that exceeds the maximum allowed area allowed by right, and/or for buildings with retail uses on the ground floor, buildings shall have minimum 60% and maximum 80% of the ground floor façade comprised of window area. Ground floor is defined as that portion of a building from the street-level finish floor elevation and extended twelve and one-half feet above the street-level finish floor elevation.
    - b) Have all primary entries covered with awnings, canopies, or be inset behind the front façade a minimum six feet. A door shall not be permitted to swing into a public right-of-way or minimum sidewalk area.
- e. Building Walls
  - i. Materials

Each exterior wall shall comply with the following materials requirements:

    - a) Primary Materials ( $\geq 75\%$ )
      - 1) Masonry
      - 2) Stone
      - 3) Ventilated façade systems (above ground floor only)
      - 4) Metal grating, cladding or panels (high rise buildings only as defined by the Building Code, as amended)
    - b) Secondary Materials ( $\leq 25\%$ )
      - 1) Stucco
      - 2) Metal Grating, Cladding or Panels
    - c) Accent Materials ( $\leq 5\%$ )
      - 1) Pre-cast stone
      - 2) Metal Accents
      - 3) Other as permitted by the building code and subject to City Manager or designee approval
  - ii. Techniques and Configurations
    - a) Blank facades are prohibited fronting along a street or public open space in lengths greater than twenty linear feet. Design treatments to eliminate blank facades are subject to City Manager or designee approval based on the ability to enhance the pedestrian and visual environment and can include items such as transparent windows and doors, display windows and/or awnings.
    - b) All elevations visible from the public open space or street shall be designed as building “fronts”. Buildings occupying corner lots have two street frontages and each facade should be treated with equal design attention.

- c) In buildings which have more than one material, the “heavier” material should go below the “lighter” material (e.g. a brick masonry wall upper story with a stone base).
- f. Roofs and Parapets

It is anticipated that the majority of roof types within the Railside Sub-district will be flat based on allowable use types. These roof types provide an opportunity for roof-top dining, entertaining, or outdoor pubs and gathering spaces. Roof top plazas are encouraged as well as green roofs.

  - i. Materials
    - a) Roofs may be constructed of any material that is permitted by applicable building codes.
    - b) For flat roofs, “Green Roofs” are encouraged and may be used in lieu of any other roofing material.
  - ii. Techniques and Configurations
    - a) Roof penetrations (fans, exhaust, vents, etc.) must be finished and screened in accordance with Subsection II.G.7.d., Roof-mounted Equipment.
- g. Windows, Doors, Awnings and Canopies

Windows lining a building facade establish the scale and rhythm of the streetscape for pedestrians. This scale is controlled by the placement, type and sizes of windows. For commercial buildings, windows allow for goods and customers to be viewed, thus creating interaction between the building and public realm. For residences, they control the balance of private and public space and can act as surveillance portals for safety and security concerns.

  - i. Windows
    - a) Materials
      - 1) Anodized aluminum, vinyl or steel.
      - 2) For required windows at the ground floor, a minimum 60% visible light transmittance is preferred. However, windows having a visible light transmittance less than 60% may be allowed in order for the windows to satisfy building code requirements related to energy efficiency, provided that the windows maximize, to the extent possible, the visible light transmittance desired for non-residential uses at the ground floor level for urban streetscape environments to maximize the visibility of the interior activities of the building.
      - 3) Mirrored glass is prohibited.
      - 4) Window screens shall match the building frame material color or shall be dark anodized. Window screens shall be prohibited on ground floor non-residential buildings.
      - 5) At the ground floor level:
        - (a) Windows shall not be made opaque by signage or other application treatments, except as allowed in Section III, Signage. However, interior sunscreens or blinds shall be permitted.
        - (b) Black glass, opaque glass and other “false window” techniques are prohibited.

- ii. Doors
  - a) Materials
    - 1) Wood, clad wood, anodized aluminum, glass and/or steel.
  - b) Techniques and Configurations
    - 1) Service, security or garage doors shall not be placed at street frontages; however, these entries may be placed at alleys, mews streets, or internal parking areas.
- iii. Awnings and Canopies
  - a) Materials
    - 1) Metal, canvas, or glass
  - b) Techniques and Configurations
    - 1) Minimum eight feet clear above sidewalks.
    - 2) Shall be constructed in such a way as to be durable and consistent with the architectural character of the building.
    - 3) When used, shall be located to provide shading for exterior windows and doors and shall cover the entire width of the window opening or groups of windows.
- h. Exterior Lighting
  - i. Intent. Lighting systems should be provided that enhance the public realm, and create a positive and safe pedestrian experience. Lighting should be adequate to deter crime while controlling intensity that can rob night vision and create light pollution. Additionally, controlling light glare and light spilling onto adjacent properties will add to the quality of the Sub-district. Equipment and lighting fixtures should be weather resistant and durable to minimize maintenance.
  - ii. Materials
    - a) Permitted Exterior Lighting
      - 1) LED
      - 2) Halogen
      - 3) Metal Halide
      - 4) Incandescent
      - 5) Compact fluorescent
      - 6) Neon lighting may be permitted subject to review and approval of a Minor Modification.
    - b) Prohibited Exterior Lighting
      - 1) High-intensity discharge (HID)
    - c) LED strip type lighting may be used; however, it shall not be visible from the public right-of-way or from adjacent properties.
    - d) A Minor Modification may be requested for review and approval of additional lighting elements comparable to the above list of Permitted Exterior Lighting and consistent with the intent of this subsection.
  - iii. Standards
    - a) Lighting levels shall comply with the standards for glare set forth in Article XXII-B Performance Standards, Richardson Comprehensive Zoning Ordinance, as amended or its successors.
    - b) Lighting shall be directed downward. Up-lighting of building walls may be permitted subject to the review and approval of a Minor Modification.
    - c) Lighting of signage, parking and pedestrian walkways shall be controlled or narrowly focused.

- d) Placement and shielding of light sources shall be done to limit visual impact. Full cut-off metal fixtures are required.
- e) Distracting, flashing, traveling or animated lighting is not permitted.
- i. Outdoor Seating Areas  
Outdoor seating areas (including patios and roof-top areas) are allowed, and may be partially or fully enclosed (except where noted) in accordance with the requirements below. These requirements are not intended to prohibit a non-residential or residential use from using patio umbrellas. Outdoor seating areas:
  - i. May be allowed as an accessory structure and shall be architecturally consistent with the primary building it is serving.
  - ii. Shall not encroach into the minimum required sidewalk per the applicable Railside Sub-district Street Typology and Streetscape Standards (Section II.G.5.)
  - iii. May be enclosed by a perimeter fence and/or wall which shall be constructed of tubular steel, wood, masonry and/or a combination thereof, and shall not exceed forty-two inches in height. When provided for residential uses, the fence and/or wall shall also be a minimum 50% open or transparent.
  - iv. May be enclosed temporarily (except as noted in v. below); however the temporary enclosure shall be constructed of canvas, screen mesh, sun shade fabric, clear vinyl and/or other materials as approved by the City Manager or designee. Materials shall not be used which are not intended for outdoor use.
  - v. When located in a front yard or within the Required Front Build-to Zone, shall not be partially or fully enclosed for residential uses, except if the seating area is located on a rooftop.
  - vi. Shall comply with building and fire codes.
  - vii. Shall be maintained in good condition free from damage including but not limited to tears, cuts, rips, holes, stains, cloudiness appearance, or other dilapidation.
  - viii. Shall be subject to site plan review and approval.
- j. Fences/Screening Walls  
Fences and screening walls are allowed in accordance with the requirements below. Additionally, except as listed in this Code, fencing and screening walls shall comply with Chapter 6, Buildings and Building Regulations and Chapter 22. Traffic of the City's Code of Ordinances, as amended or its successors. Fences and screening walls:
  - i. Shall not be placed between the established building line and right-of-way line (except as noted in vii.a) on the following page).
  - ii. Shall not be placed within the Required Front Build-to Zone or within the front yard building setback (except as noted in vii.b) on the following page).
  - iii. May have a vehicle ingress/egress gate provided that the gate is setback a minimum twenty feet from the right-of-way line. Such gate shall not open outward towards the right-of-way.
  - iv. Shall be constructed of tubular steel, wood, masonry, other materials as approved by the City Manager or designee, and/or a combination thereof. Materials shall not be used which are not intended for fence use. Additionally, the following materials are prohibited: vinyl, chain-link (including but not limited to galvanized, powder or vinyl coated), barbed wire, and/or razor wire.
  - v. Shall not exceed eight feet in height (except as noted in vii.c) in this subsection).
  - vi. Shall be constructed so that the finished side of the fence or screening wall which is visible from streets and/or public open spaces, will face outward.



- vii. When used for outdoor seating areas or yards for residential uses:
  - a) May be placed between the established building line and right-of-way line.
  - b) May be located within the Required Front Build-to Zone or within the front yard building setback, provided that the fence or wall does not encroach into the minimum required sidewalk per the applicable Railside Sub-district Street Typology and Streetscape Standards (Section II.G.5).
  - c) Shall be limited to maximum 42 inches in height.
  - d) Shall be a minimum 50% open or transparent.
- k. Street Walls
 

Street walls establish a defined edge to the public street realm, where building walls do not exist. The street walls help to define outdoor spaces and separate the public street realm from the private realm. Street walls:

  - i. Shall be allowed only in conjunction with buildings that comply with the Required Front Build-to Zone and Building Frontage Buildout placement requirements.
  - ii. May be placed within the Required Front Build-to Zone for the remaining percentage of lot width not occupied by the principal building and/or parking garage.
  - iii. Shall be a minimum six feet and not exceed twelve feet in height.
  - iv. Shall be a masonry wall, and be architecturally designed and constructed of materials consistent with the primary building in which it is serving and/or attached. Blank wall lengths exceeding twenty feet are prohibited.
  - v. Shall be setback no more than twelve inches from the front building façade.

### **7. Mechanical, Service Areas and Utilities**

- a. Intent. Loading and outdoor storage areas, mechanical and rooftop equipment, refuse storage containers and utility accessories shall be screened to reduce the visual impact of these elements on adjoining properties and public rights-of-way in accordance with the Code. Properties shall be exempt from Section 21-47. Screening and Open Space of Chapter 21, Subdivision and Development Ordinance, as amended or its successors.
- b. Loading Docks/Areas
  - i. No off-street loading docks/areas shall be required for buildings containing residential uses.
  - ii. Off-street loading docks/areas for non-residential uses located adjacent to or across the street or alley from buildings containing multifamily uses shall be screened in accordance with the following:
    - a) Solid metal gates;
    - b) Masonry screening walls (minimum eight feet tall) architecturally consistent with the principal building on the site;
    - c) Overhead doors; or
    - d) Any combination of the above.

- c. Outdoor Storage
  - i. Outdoor storage areas as an accessory use shall be located behind a principal building, and shall be screened from view of streets and adjacent properties. Screening shall consist of the following:
    - a) Masonry walls (minimum six feet tall, maximum eight feet tall) architecturally consistent with the principal building on the site;
    - b) Tubular steel fence (minimum six feet tall, maximum eight feet tall) with an irrigated, solid landscape screen consisting of evergreen variety trees and/or shrubs maintained at a minimum height of six feet within two years of planting;  
or
    - c) Any combination of the above.
  - ii. Materials, equipment or commodities shall be stacked no higher than the height of the screening mechanism.
  - iii. Outdoor storage as a primary use is prohibited.
- d. Roof-mounted Equipment
  - i. All roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, shall be screened to eliminate the view of the equipment.
  - ii. The height of the screening device shall be the height of the tallest element of roof-mounted equipment.
  - iii. A parapet or architectural design element on a building may screen mechanical equipment; however, the parapet or architectural design element shall be limited to maximum six feet in height. Mechanical equipment taller than the parapet or architectural design element shall be screened by an additional screening device to achieve the required screening height.
  - iv. The outside of the screening device shall be painted or finished in a similar color to the building façade, trim or roof surface.
  - v. Roof-mounted equipment and the inside of the screening device shall be painted similar to the color of the roof surface in order to minimize the visibility of the equipment and screening mechanism from overhead views from adjacent properties.
- e. Dumpsters

Any dumpsters, compactors, grease dumpsters, recycling dumpsters or any other waste or garbage containers, or combination thereof (herein after referred to as “containers”) located outside an enclosed building, shall be sited and screened in accordance with the following:

  - i. Containers shall be located on a concrete pad that is enclosed on three sides with minimum six foot tall masonry walls; the exterior of the masonry walls shall be constructed with materials similar to, or painted in the same colors as the principal structure on the site.
  - ii. Containers including the required masonry screening walls shall not project into or be located within the Required Front Build-to Zone. Containers may be located in a rear yard or interior side yard.
  - iii. Containers must be fully serviceable. If serviced from an alley, fire lane or other means of access, the container placement must be sited in accordance with the City’s Dumpster/Compactor Pad Detail. Dumpsters may also be serviced at the end of an access driveway/fire lane (i.e. head-in at the end of the drive).
  - iv. A Minor Modification may be requested to allow for alternate container placement standards in order to accommodate servicing the container if it is not feasible to site

- the container in accordance with the requirements of this subsection. Screening requirements shall not be waived.
- f. Ground-mounted Equipment, Utility Meters and Other Utility Apparatus
    - i. Ground-mounted equipment (including air conditioning units, generators and mechanical equipment), utility meters and other utility apparatus (including transformers), should be located to the rear of the structure or to the side of the structure in a designated utility or service yard.
    - ii. Ground-mounted equipment (including air conditioning units, generators and mechanical equipment), utility and other utility apparatus (including transformers) shall be screened from the view of streets, public open space and adjacent properties. Screening shall meet minimum clearances required by affected utility companies. Screening methods include:
      - a) Landscaping, including trees or evergreen shrubbery;
      - b) Masonry walls architecturally consistent with the principal building on the site;
      - c) Tubular steel fence in conjunction with evergreen shrubbery; or
      - d) Other material subject to review and approval of a Minor Modification consistent with the intent of this subsection.
  - g. Wall-mounted equipment.

Wall-mounted equipment, including meters (such as banks of electric meters) shall be screened from the view of streets, public open space and adjacent properties. Screening shall meet minimum clearances required by affected utility companies. Screening methods include:

    - i. Landscaping, including trees or evergreen shrubbery;
    - ii. Masonry walls architecturally consistent with the principal building on the site;
    - iii. Tubular steel fence in conjunction with evergreen shrubbery;
    - iv. Other material subject to review and approval of a Minor Modification consistent with the intent of this subsection; or
    - v. Wall-mounted screening devices, such as cabinets, which are architecturally compatible with the building façade that the device is mounted on.

### **8. Thoroughfare Screening**

Where single family lots are permitted to back upon a dedicated or proposed street, a masonry wall, minimum six feet in height, or living screen within a landscape buffer minimum ten feet in width, or combination thereof shall be provided to screen the residential lots from the street. Tubular steel fencing may be used in combination with the masonry wall or living screen to provide a view to a landscape feature such as a landscaped median or common area. The required screening shall be maintained by a property owners association.

### **9. Signage**

Signage, where provided, shall be in accordance with Section III, Signage.

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