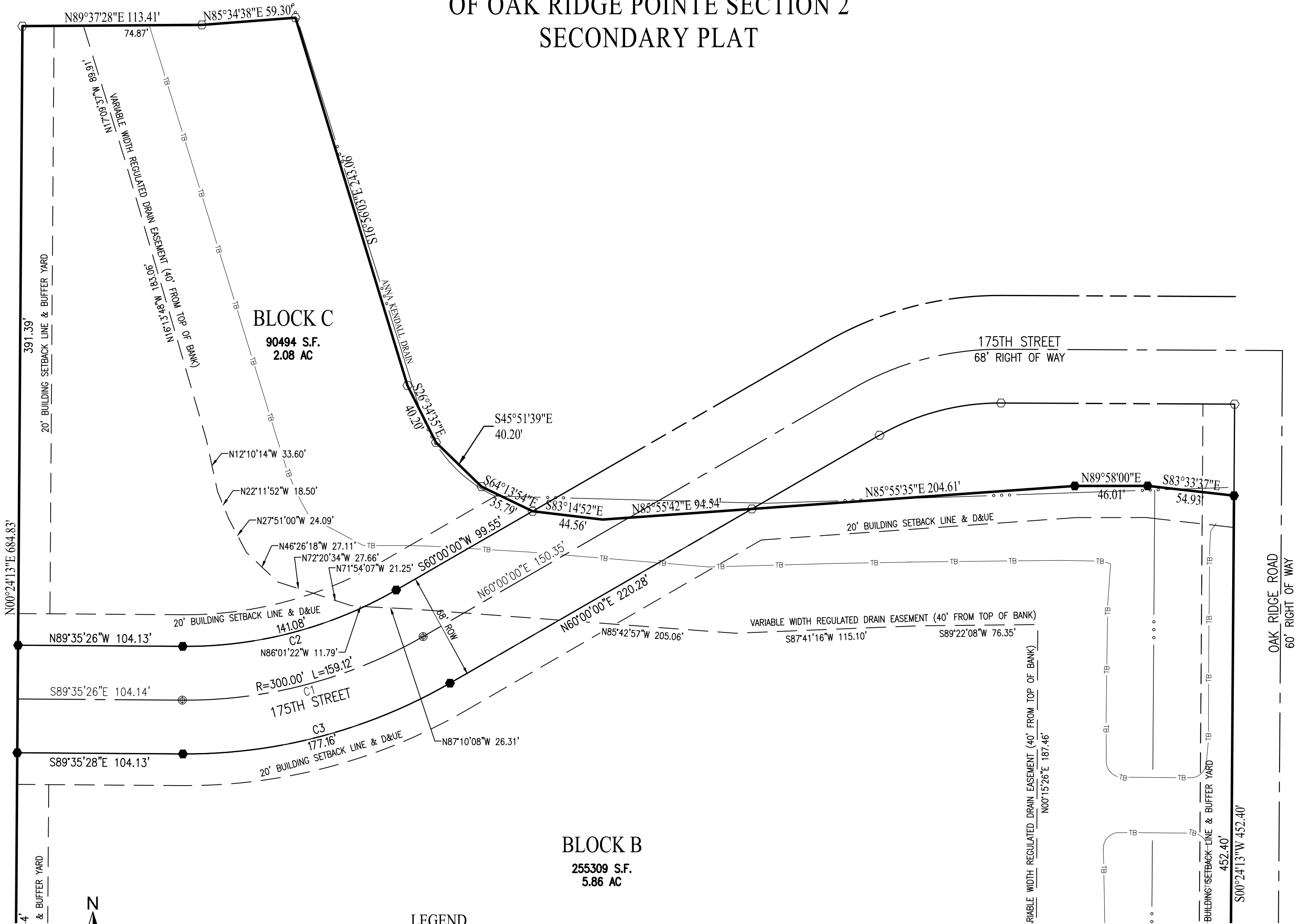


REPLAT OF BLOCK B  
OF OAK RIDGE POINTE SECTION 2  
SECONDARY PLAT



LEGEND

MONUMENTS

- REBAR FOUND
- 5/8" Ø REBAR WITH RED
- PLASTIC CAP STAMPED "FOREFRONT 0140" SET
- ⊕ BRASS OR ALUM. PLUG FOUND/SET

ABBREVIATIONS

- D&UE DRAINAGE & UTILITY EASEMENT
- ROW RIGHT OF WAY
- TB TOB OF BANK

THIS INSTRUMENT PREPARED FOR:

KIMLEY-HORN

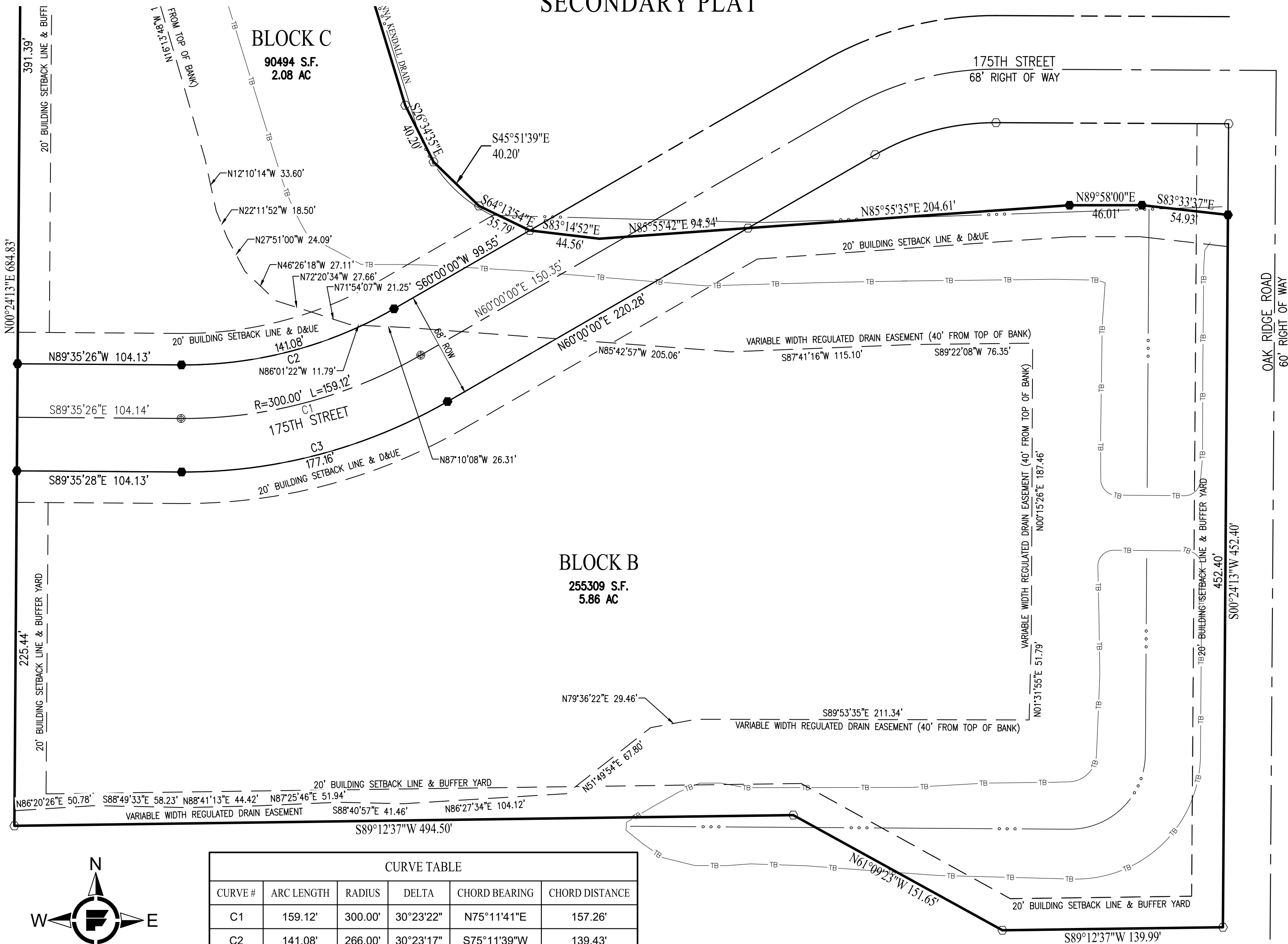
DAKOTA MEDLAND  
250 EAST 96TH STREET, SUITE 580  
INDIANAPOLIS, INDIANA 46240  
PHONE: 317-218-9568

THIS INSTRUMENT PREPARED BY: JOSEPH TRTAN

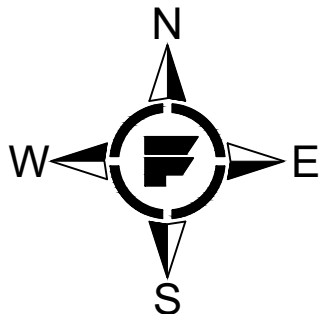


17241 FOUNDATION PARKWAY  
WESTFIELD, IN 46074  
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REPLAT OF BLOCK B  
OF OAK RIDGE POINTE SECTION 2  
SECONDARY PLAT



CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	159.12'	300.00'	30°23'22"	N75°11'41"E	157.26'
C2	141.08'	266.00'	30°23'17"	S75°11'39"W	139.43'
C3	177.16'	334.00'	30°23'29"	N75°11'45"E	175.09'



SCALE: 1" = 50'



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**KIMLEY-HORN**

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17241 FOUNDATION PARKWAY  
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OWNER/SUBDIVIDER:  
WILLIAM ERIC GROUP, LLC  
238 NORTH MAIN STREET  
PO BOX 189  
MAXWELL, IN 46154

REPLAT OF BLOCK B  
OF OAK RIDGE POINTE SECTION 2  
SECONDARY PLAT

LEGAL DESCRIPTION

BLOCK B OF OAK RIDGE POINTE SECTION 2 AS RECORDED IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA AS INSTRUMENT NUMBER 2018040638.

DEED OF DEDICATION

WE THE UNDERSIGNED OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE, SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT.

THIS SUBDIVISION CONSISTS OF TWO (2) BLOCKS LABELED AS "B" & "C", AND SHALL BE KNOWN AND DESIGNATED AS REPLAT OF BLOCK B OF OAK RIDGE POINTE SECTION 2. ALL RIGHTS-OF-WAY SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC.

FRONT AND SIDE YARD BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREET, THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING OR STRUCTURE.

THE STRIPS OF GROUND SHOWN ON THE PLAT AND MARKED "DRAINAGE EASEMENT", "DRAINAGE AND UTILITY EASEMENT", ARE RESERVED FOR THE USE OF UTILITIES FOR THE INSTALLATION OF WATER MAINS, POLES, DUCTS, LINES AND WIRES, AND DRAINAGE FACILITIES, SAID STRIPS ARE ALSO RESERVED FOR THE CITY OF WESTFIELD OR SUCCESSORS IN THE CITY'S INTEREST FOR THE INSTALLATION AND MAINTENANCE OF SANITARY SEWER AND WATER MAINS AND APPURTENANCES SUBJECT AT ALL TIMES TO PROPER AUTHORITIES AND TO THE EASEMENT HEREIN RESERVED. THE STRIPS OF GROUND SHOWN ON THE PLAT AND MARKED "DRAINAGE EASEMENT", "DRAINAGE AND UTILITY EASEMENT" AND "REGULATED DRAIN EASEMENT" ARE ALSO GRANTED TO AND ENFORCEABLE BY THE LOT OWNERS AND GOVERNMENTAL ENTITIES INCLUDING THE HAMILTON COUNTY DRAINAGE BOARD. NO PERMANENT OR OTHER STRUCTURES ARE TO BE ERECTED OR MAINTAINED UPON SAID STRIPS OF LAND; BUT OWNERS OF LOTS IN THIS SUBDIVISION SHALL TAKE THEIR TITLES SUBJECT TO THE RIGHTS OF UTILITIES AND THE RIGHTS OF THE OWNERS OF OTHER LOTS IN THIS SUBDIVISION. SIGN EASEMENT RESERVED FOR THE USE OF SIGNAGE. ACCESS EASEMENT RESERVED FOR INGRESS/ EGRESS.

THE RIGHT TO ENFORCE THESE PROVISIONS BY INJUNCTION, TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL, BY DUE PROCESS OF LAW, OF ANY STRUCTURE OR PART THEREOF ERECTED, OR MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE PUBLIC, AND RESERVED TO THE OWNERS OF THE LOTS IN THIS SUBDIVISION AND TO THEIR HEIRS AND ASSIGNS.

THE FOREGOING COVENANTS, OR RESTRICTIONS, ARE TO RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM UNTIL JANUARY 1, 2043, (A 25 YEAR PERIOD IS SUGGESTED). AT WHICH TIME SAID COVENANTS, OR RESTRICTIONS, SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PERIOD OF TEN YEARS UNLESS CHANGED BY A VOTE OF A MAJORITY OF THE THEN OWNERS OF THE BUILDING SITES COVERED BY THESE COVENANTS, OR RESTRICTIONS, IN WHOLE OR PART. INVALIDATION OF ANY OF THE FOREGOING COVENANT RESTRICTIONS, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

"OWNER"  
NAME

BY: \_\_\_\_\_

NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
 ) SS:  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE AND ACKNOWLEDGED EXECUTING THE FOREGOING RECORD PLAT.

WITNESS MY HAND AND NOTORIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
NOTARY PUBLIC

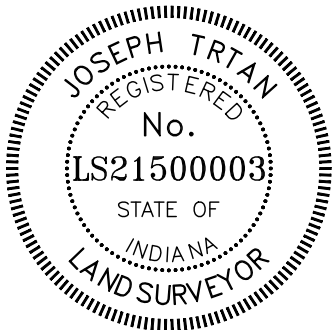
\_\_\_\_\_  
PRINTED NAME

CERTIFICATE OF SURVEY

I, JOSEPH TRTAN, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA:

THIS PLAT IS BASED ON A SURVEY PREPARED BY WEIHE ENGINEERS, INC. RECORDED AS INSTRUMENT NO.2018040638 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA. THERE HAS BEEN NO CHANGE FROM MATTERS OF SURVEY REVEALED BY THE CROSS-REFERENCED SURVEY, OR ANY PRIOR SUBDIVISION PLATS CONTAINED THEREIN, ON ANY LINES THAT ARE COMMON WITH THIS SUBDIVISION AND THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR BOND HAS BEEN POSTED TO COVER THE LATER INSTALLATION OF THESE MONUMENTS AND THAT ALL OTHER REQUIREMENTS SPECIFIED HEREIN, DONE BY ME, HAVE BEEN MET.

DATED: APRIL 27, 2022



\_\_\_\_\_  
JOSEPH TRTAN  
PROFESSIONAL LAND SURVEYOR #LS21500003

I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. - JOSEPH TRTAN

THIS INSTRUMENT PREPARED BY: JOSEPH TRTAN

COMMISSION CERTIFICATE

UNDER AUTHORITY PROVIDED BY I.C. 36-7, ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA, AND ALL ACTS AMENDATORY THERETO, AND AN ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION, AS FOLLOWS:

APPROVED BY THE DIRECTOR OF THE COMMUNITY DEVELOPMENT DEPARTMENT OF THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA, PURSUANT TO THE WESTFIELD-WASHINGTON TOWNSHIP UNIFIED DEVELOPMENT ORDINANCE, ON THE DAY OF \_\_\_\_\_, \_\_\_\_\_

WESTFIELD-WASHINGTON TOWNSHIP PLAN COMMISSION

BY: \_\_\_\_\_  
KEVIN TODD COMMUNITY DEVELOPMENT DEPARTMENT

BOARD OF PUBLIC WORK AND SAFETY CERTIFICATE

THIS PLAT AND THE ACCEPTANCE OF ANY PUBLIC RIGHT-OF-WAY DEDICATED HEREIN IS HEREBY APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_. BY THE DIRECTOR OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF WESTFIELD, INDIANA. ON BEHALF OF THE BOARD OF PUBLIC WORKS AND SAFETY, PURSUANT TO RESOLUTION 15-120 ENACTED BY THE BOARD OF PUBLIC WORKS AND SAFETY ON AUGUST 26, 2015 AND ARTICLE 7.4(B) OF THE UNIFIED DEVELOPMENT ORDINANCE.

\_\_\_\_\_  
JOHNATHAN NAIL, CITY ENGINEER  
PUBLIC WORKS DEPARTMENT

THIS INSTRUMENT PREPARED FOR:

KIMLEY-HORN

DAKOTA MEDLAND  
250 EAST 96TH STREET, SUITE 580  
INDIANAPOLIS, INDIANA 46240  
PHONE: 317-218-9568

THIS INSTRUMENT PREPARED BY: JOSEPH TRTAN



FOREFRONT  
SURVEYING + ENGINEERING

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