

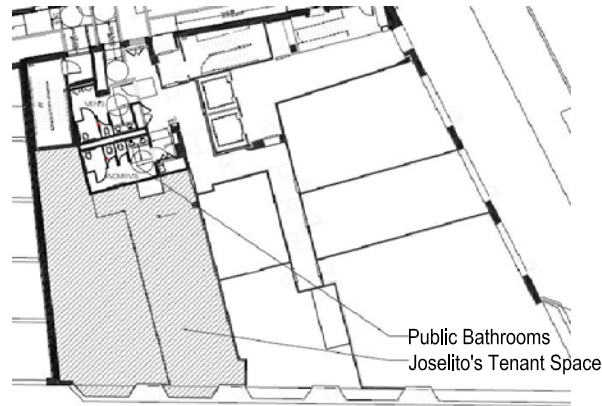
VICINITY MAP:



Building Location

Josecito's

BUILDING KEY:



PROJECT TEAM:

Property Owner:
 660 Pennsylvania Ave. Associates LLC
 305 7th Street SE
 Washington DC 20003
 202-544-6666
 Agolding@stantondevelopment.com
 Contact:
 Kenneth A. Golding

Tenant:
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Architect:
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 606 East Joppa Road
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 410-321-4602
 nestor@curryarchitects.com
 www.CurryArchitects.com

ABBREVIATIONS:

Ⓞ	AT	EA	EACH	ID	INSIDE DIAMETER	QT	QUARRY TILE
A.B.	ANCHOR BOLT	E.F.	EXHAUST FAN	IG	INSULATED GLASS	R	RISER
ACT	ACOUSTICAL CEILING TILE	EJ/EXP.JT.	EXPANSION JOINT	INCL	INCLUDE (D) (ING)	R/RAD	RADIUS
ADA	AMERICANS WITH DISABILITIES ACT	ELEC	ELECTRIC	INSUL	INSULATION	RD	ROOF DRAIN
A.F.F.	ABOVE FINISHED FLOOR	ELEV	ELEVATION/ELEVATOR	INT	INTERIOR	R.L.	RAIN LEADER
ALT	ALTERNATE	EMER	EMERGENCY	INV	INVERT	RM	ROOM
ALUM	ALUMINUM	EOD	EMERGENCY OVERFLOW DRAIN	JAN	JANITOR	R.O.	ROUGH OPENING
APPROX	APPROXIMATE	E.P.	ELECTRICAL PANEL	J.C.	JANITOR'S CLOSET	RTU	ROOF TOP UNIT
ARCH	ARCHITECTURAL	EQ	EQUAL	JT	JOINT	SHT	SHEET
AUTO	AUTOMATIC	EQUIP	EQUIPMENT	LAV	LAVATORY	SPEC	SPECIFICATIONS
		EST	ESTIMATE	L.P.	LOW POINT	SQ	SQUARE
BD	BOARD	E.W.	EACH WAY	LT	LIGHT	S/S	STAINLESS STEEL
B.F.F.	BELOW FINISHED FLOOR	EWC	ELECTRIC WATER COOLER	MACH	MACHINE	STL	STEEL
BLDG	BUILDING	EWH	ELECTRIC WATER HEATER	MAS	MASONRY	STOR	STORAGE
BLK	BLOCK	EXIST/EXTG	EXISTING	MAX	MAXIMUM	STRUCT	STRUCTURAL
BM	BEAM	EXP	EXPOSED/EXPANSION	MECH	MECHANICAL	SYST	SYSTEM
B.O.	BOTTOM OF	EXT	EXTERIOR	MTL	METAL	TEL	TELEPHONE
BRNG/BRG	BEARING	FACP	FIRE ALARM CONTROL PANEL	MFR	MANUFACTURER	TEMP	TEMPERED
BRK	BRICK	F.D.	FLOOR DRAIN	MH	MOUNTING HEIGHT/MANHOLE/METAL HALIDE	T&G	TONGUE AND GROOVE
		FE	FIRE EXTINGUISHER	MIN	MINIMUM	THK	THICK(NESS)
CEIL/CLG	CEILING	FEC	FIRE EXTINGUISHER CABINET	MISC	MISCELLANEOUS	TYP	TYPICAL
CJ/CJT	CONTROL JOINT	FIN	FINISH(ED)	M.O.	MASONRY OPENING	U.C.	UNDERCUT
CL/CL	CENTERLINE	FLG	FLASHING	MULL	MULLION	UL	UNDERWRITERS LABORATORY
CLO	CLOSET	FLR/FL	FLOOR	M.W.P.	MEMBRANE WATER PROOFING		
CMU	CONCRETE MASONRY UNIT	FLUOR	FLUORESCENT	N	NORTH	V.B.	VAPOR BARRIER/VINYL COVE BASE
COL	COLUMN	FND	FOUNDATION	N.I.C.	NOT IN CONTRACT/NOT INCLUDED	VCT	VINYL COMPOSITION TILE
CONC	CONCRETE	F.R.	FIRE RATED	N.T.S.	NOT TO SCALE	VERT	VERTICAL
CONST	CONSTRUCTION	FRT	FIRE-TREATED	NO.	NUMBER	VEST	VESTIBULE
CONT	CONTINUOUS	FTG	FOOTING	NOM.	NOMINAL		
CORR	CORRIDOR	GA	GAUGE	OA	OVERALL	W	WEST/WIDE/WIDTH
CT	CERAMIC TILE	GALV	GALVANIZED	O.C.	ON CENTER	W/	WITH
		G.B.	GRAB BARS	O.D.	OUTSIDE DIAMETER	W/IN	WITHIN
D	DRAIN	G.C.	GENERAL CONTRACTOR	OPNG	OPENING	W/O	WITHOUT
DEM	DEMOLISH/DEMOLITION	GYP BD/GWB	GYP GUM WALL BOARD	OPP.	OPPOSITE	WC	WATER CLOSET
DF	DRINKING FOUNTAIN	H.B.	HOSE BIB	PART'N	PARTITION	WD	WOOD
DIA	DIAMETER	HC	HANDICAPPED/HOLLOW CORE	POD	POINT OF DECISION		
DIM	DIMENSION	HDCP	HANDICAPPED	PTD	PAINTED		
DN	DOWN	HDW	HARDWARE	P.LAM	PLASTIC LAMINATE		
DO	DITTO	HGT/HT	HEIGHT	PWD	PLYWOOD		
D.P.	DAMP-PROOFING	HM/HMTL	HOLLOW METAL				
DR	DOOR	HOR	HORIZONTAL				
DS	DOWNSPOUT	H.P.	HIGH POINT				
DTL	DETAIL	HR	HOUR				
DWG	DRAWING	HWH	HOT WATER HEATER				

INDEX OF DRAWINGS:

Permit:

- G1.01 - Cover Sheet
- G1.02 - Code Analysis
- A1.01 - Existing Conditions & New Work

GENERAL NOTES:

1. THOROUGHLY REVIEW THESE PLANS, VISIT THE SITE, VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
2. ALL EXISTING FIRE LANES TO BE MAINTAINED.
3. ALL EXISTING PUBLIC UTILITY AND ELECTRIC EASEMENTS SHALL BE MAINTAINED.
4. MAXIMUM CROSS SLOPE AT ALL WALKS SHALL BE 2% FOR DISABLED ACCESS.
5. REPAIR EXISTING PUBLIC FACILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION TO THE SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION.
6. ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
7. ENSURE ALL FINISH MATERIALS WILL BE FLUSH WITH ADJACENT SERVICES AND JOINTS, EXCEPT WHERE INDICATED OTHERWISE.
8. PROVIDE AND INSTALL BACKING AND/OR BLOCKING AS REQUIRED AT ALL INDICATED FIXTURE, SIGN, HAND RAILING, ETC., LOCATIONS.
9. PAINT ALL EXPOSED FLASHING AND EXPOSED METAL AND LINTELS TO MATCH ADJACENT FINISH.
10. GENERAL CONTRACTOR TO ISSUE COMPLETE SET OF DOCUMENTS TO ALL TRADES. WHERE DRAWINGS REFER TO OTHER DRAWINGS IE. "SEE STRUCTURAL," AND NO INFO EXISTS, OR THESE DRAWINGS ARE NOT YET PREPARED, THE COST SHALL BE BASED ON INFORMATION PROVIDED WHERE ORIGINAL REFERENCE NOTES EXIST. CONTRACTOR SHALL BRING ISSUE TO THE ATTENTION OF THE ARCHITECT IF ADDITIONAL INFO IS NEEDED FOR PRICING.
11. ALL DIMENSIONS ARE TO FACE OF EXISTING TO FACE OF STUD UNLESS NOTED OTHERWISE
12. ALL NEW DOOR LATCH HANDLES SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM PER ADA 309.
13. FIRE EXTINGUISHERS TO BE PROVIDED IN ACCORDANCE WITH NFPA 101 LIFE SAFETY CODE (LATEST EDITION) AND/OR LOCAL COUNTY CODE. LOCATIONS TO BE DETERMINED BY FIRE DEPARTMENT UPON FINAL INSPECTION.
14. COORDINATE ALL ELECTRICAL, MECHANICAL, AND PLUMBING WITH TRADES.
15. COORDINATE ALL FINISHES WITH OWNER AND TENANT
16. THESE DRAWINGS ARE FOR CONSTRUCTION AT LISTED LOCATION ONLY AND CAN NOT BE USED OR DISTRIBUTED FOR ANY OTHER USE WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

THESE DRAWINGS ARE PROTECTED UNDER THE COPYRIGHT ACT OF 1976 AND SHALL NOT BE REUSED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

CONTENT:

Cover Sheet

DATE: 07.26.16

SCALE: As Noted

DRAWN BY: JF, VL

PROJECT NO.: 160712.00

G1.01

SHEET 1 OF 3



CURRY ARCHITECTS
400 EAST JOPPA ROAD | TORREON, MARYLAND 21286 | 410.237.4832 | WWW.CURRYARCHITECTS.COM

Jose Lito's
660 Pennsylvania Ave SE
Washington DC 20004

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CONTENT:

Code Analysis

DATE: 07.26.16

SCALE: As Noted

DRAWN BY: JF, VL

PROJECT NO.: 160712.00

G1.02

SHEET 2 OF 3

Code Analysis Jurisdiction: Washington D.C.

- Code Authorities: DCRA
- Required Codes:
- 2013 DCMR 12
 - 2013 District of Columbia Building Code
 - 2013 District of Columbia Property Maintenance Code
 - 2013 District of Columbia Green Construction Code
 - 2013 District of Columbia Energy Conservation Code
 - 2013 District of Columbia Fire Code
 - 2013 District of Columbia Mechanical Code
 - 2013 District of Columbia Plumbing Code
 - 2012 International Building Code
 - 2011 National Electrical Code
 - 2012 National Fuel Gas Code
 - 2012 International Plumbing Code
 - 2012 International Fire Code
 - 2012 International Property Maintenance Code
 - 2012 International Existing Building Code

Overall footprint has not changed in any way

Area of work 558 SQ FT

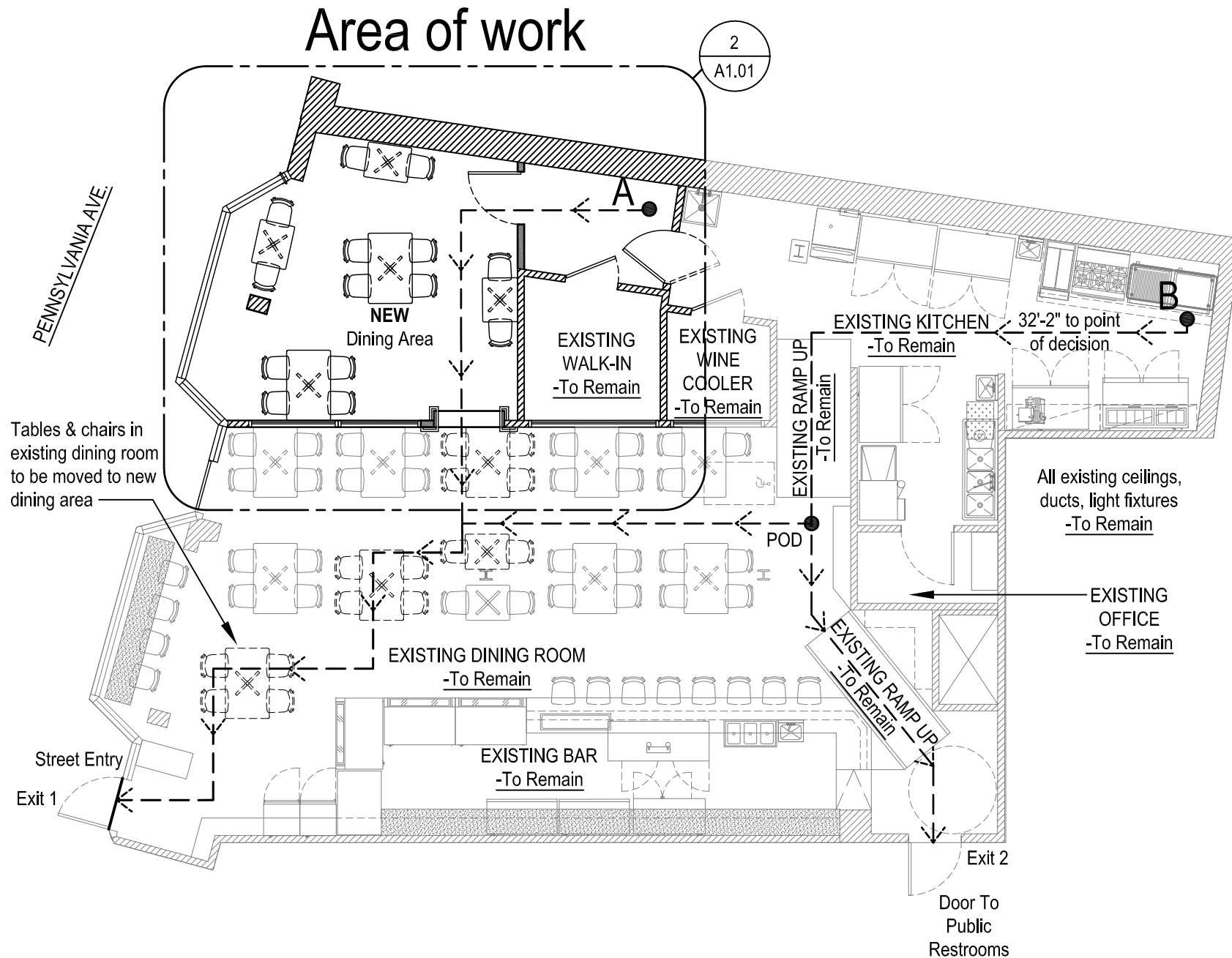
General Information	Existing	Proposed Tenant		
Use and Occupancy	A-2	A-2	-	No Change
Type of Construction	IIB	IIB	-	No Change
Height/Number of Stories	1	1	-	No Change
Fully Suppressed (Sprinkled)	Yes	Yes	-	No Change
Fire Alarm	Yes	Yes	-	No Change
Occupancy Count	65	65	-	No Change

Occupancy Count:

Kitchen	616 SQ FT(/200)	4 People
Dining	58 Seats	58 People
Bar	205 SQ FT(/200)	2 People
Office	1 Person	1 Person

Total Occupancy: 65 People

	Travel Distance	
	A	B
Exit 1	63'-6"	87'-10"
Exit 2	68'-8"	53'-3"



1 Life Safety Plan
G1.02 Scale: 1/8" = 1'-0"



CURRY ARCHITECTS
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CONTENT:
Existing Conditions & New Work

DATE: 07.26.16

SCALE: As Noted

DRAWN BY: JF, VL

PROJECT NO.: 160712.00

A1.01

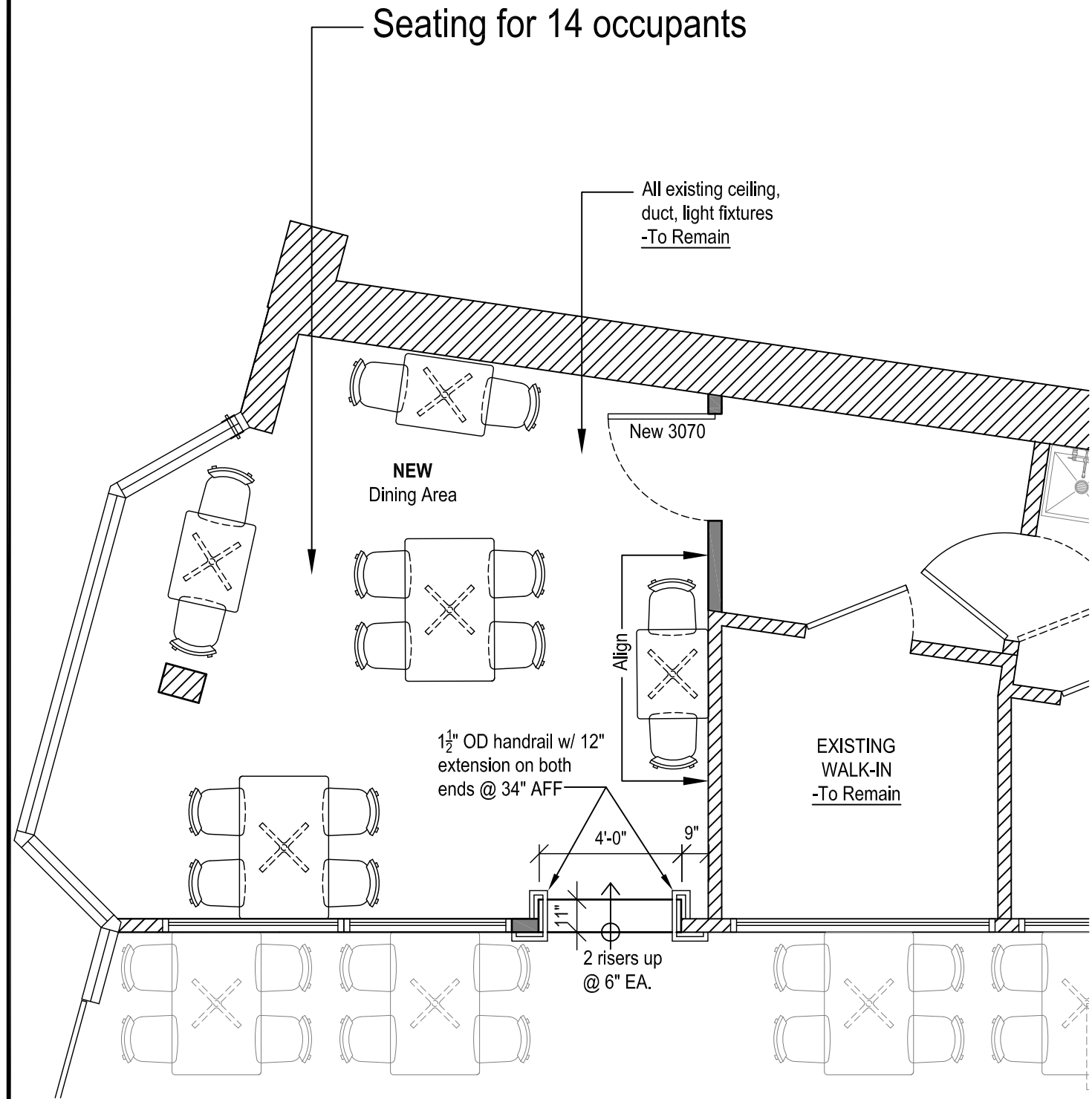
SHEET 3 OF 3

Drawing Legend

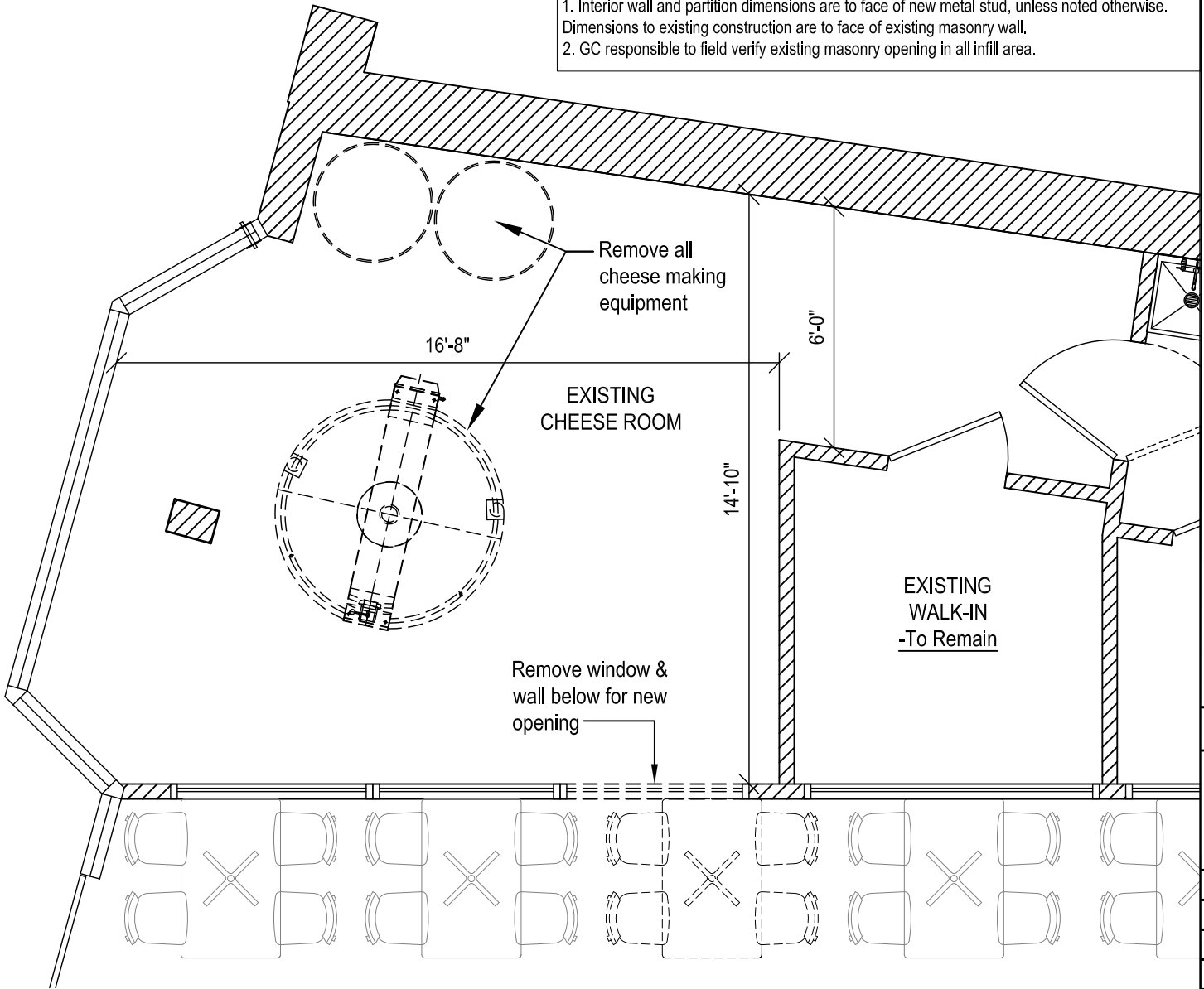
	New wall - $\frac{5}{8}$ " G.W.B. @ each side on $3\frac{5}{8}$ " MTL STD @ 16" O.C.
	Existing to remain
	Demolish
	New door, frame, casing, and hardware
	Existing door to remain

Notes:

- Interior wall and partition dimensions are to face of new metal stud, unless noted otherwise. Dimensions to existing construction are to face of existing masonry wall.
- GC responsible to field verify existing masonry opening in all infill area.



1 New Work
A1.01 Scale: 1/4" = 1'-0"



2 Existing Conditions / Demo Plan
A1.01 Scale: 1/4" = 1'-0"