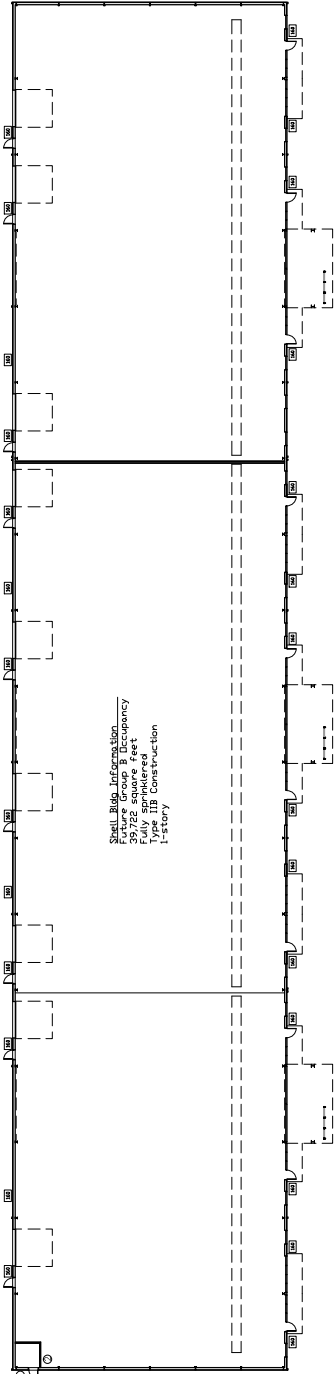




1 LIFE SAFETY PLAN - OVERALL
SCALE: 1/16" = 1'-0"

APPLICABLE CODES

- 2015 International Existing Building Code
- 2015 International Building Code
- 2015 International Fire Code
- 2015 International Plumbing Code
- 2015 International Mechanical Code
- 2015 National Electrical Code
- 2015 National Fire Protection Association Code
- 2015 International Fuel Gas Code
- OSHA Amendments

SYMBOLS & ABBREVIATIONS

100 EGRESS CAPACITY

TRAVEL DISTANCE (T.D.)

KEY NOTES

- Fire Department Connection (FDC)
- Spigot Pipe

GENERAL NOTES

- Building to be fully compliant per NFPA 13. Sprinkler system to be supervised and monitored as required by NFPA 13 and IFC 907.
- Mechanical heating to be provided as necessary to ensure that the indoor temperature will not drop below 40 degrees.
- Fire alarm system and occupant notification not required for shell building.
- Exit signage not required at shell stage.
- Means of egress illumination is not required at shell stage.
- FDC to be within 40ft of fire line and 250ft of fire hydrant.

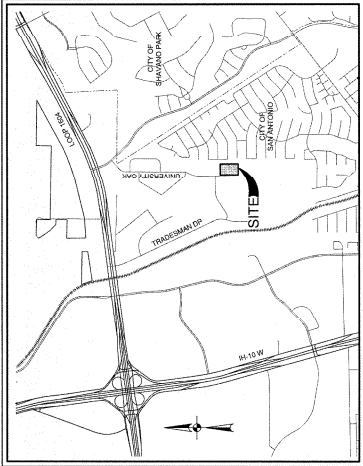
ALLOWABLE HEIGHT & AREA

- Future Occupancy Group B
- Type of Construction: IB
- Building Height: 4-story, 30-ft
- Building Area: 90,722 sf
- Fire Protection: Sprinklered per NFPA 13
- Area Allowable: 23,000 sf
- Escape Route: 75%
- Sprinkler Protection: 30%
- Total Allowable: (23,000 * .75) + (23,000 * .3) = 103,250 sf

UNIVERSITY OAKS FLEX SPACE

SAN ANTONIO, TEXAS

CIVIL CONSTRUCTION PLANS



LOCATION MAP
NOT TO SCALE

Sheet Title	Sheet No.
COVER SHEET	C0.00
DIMENSIONAL CONTROL & PAVING PLAN	C1.00
FIRE PROTECTION SITE PLAN	C2.00
UTILITY PLAN	C3.00
GRADING PLAN	C4.00
TEMPORARY POLLUTION ABATEMENT PLAN	C5.00
TEMPORARY POLLUTION ABATEMENT PLAN DETAILS	C5.10
PERMANENT POLLUTION ABATEMENT PLAN	C5.20
CIVIL DETAILS	C6.00
CIVIL DETAILS	C6.10

1 OF 2
1 OF 2

UNIVERSITY OAKS BUSINESS PARK, LLC
16515 BLANCO ROAD
SAN ANTONIO, TEXAS 78232

APRIL 2016

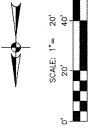
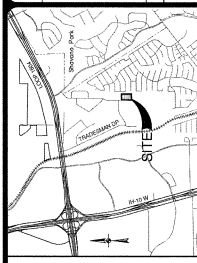
PAPE-DAWSON
ENGINEERS

2005 W. LOOP 410 | SAN ANTONIO, TEXAS 78211 | PHONE: 210.275.8000
FAX: 210.275.8010
E-MAIL: INFO@PAPE-DAWSON.COM
TRADE SHOWS OF PROFESSIONAL LAND SURVEYORS, CIVIL ENGINEERS & ARCHITECTS



SHEET C0.00

FOR CONSTRUCTION



DIMENSIONAL CONTROL NOTES:

- [illegible]

PAVEMENT NOTES:

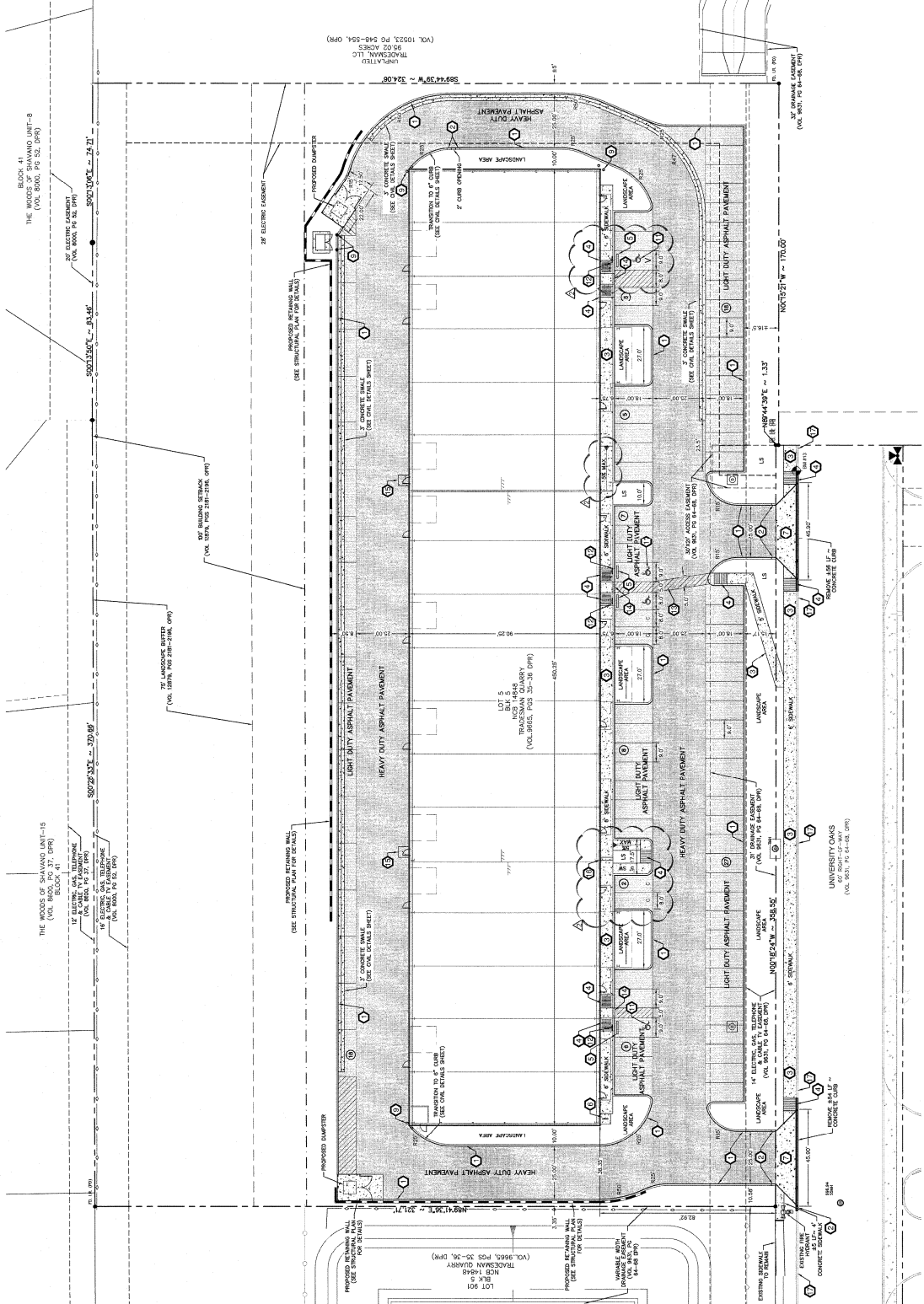
1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF WORK SHALL NOT SPECIFICALLY CONTRADICT THE REGULATIONS OF THE CITY, COUNTY OR HOIST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL PROTECT ALL EXISTING UTILITY AND STORM DRAIN SYSTEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ALL INQUIRIES FROM THE PUBLIC REGARDING THE PROJECT AND LOCATION OF EXISTING UTILITIES, BALANCES, UTILITIES, DEEDS, EASEMENTS, CURBS, OR OTHERS NOT SEPARATE PAY ITEMS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF EXISTING FACILITIES AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
5. ALL PAINT SHALL BE 4" WIDE WHITE REFLECTIVE PAINT.
6. ALL PAINTING MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
7. SIGNAGE SHALL BE PERFORMED IN A PUBLIC RIGHT OF WAY WITHOUT A PERMIT.
8. ALL SIGNS SHALL CONFORM TO MUTCD LATEST EDITION.
9. THE CONTRACTOR SHALL SAW OUT EXISTING PAVING, CURBS, AND SIDEWALKS TO PROVIDE A SMOOTH SURFACE FOR THE NEW PAVING.
10. THE CONTRACTOR SHALL NOT EXISTING, NO ACCED OR

KEYED NOTES

- | | | | |
|----|-----------------------------------|----|-----------------------------------|
| 1 | PROPOSED STAIRCASE CUB (TYPE) | 11 | PROPOSED ACCESSIBLE PARKING SPACE |
| 2 | PROPOSED STAIRCASE CUB TRANSITION | 12 | PROPOSED STAIRCASE CUB TRANSITION |
| 3 | PROPOSED STAIRCASE CUB TRANSITION | 13 | PROPOSED STAIRCASE CUB TRANSITION |
| 4 | PROPOSED STAIRCASE CUB TRANSITION | 14 | PROPOSED STAIRCASE CUB TRANSITION |
| 5 | PROPOSED STAIRCASE CUB TRANSITION | 15 | PROPOSED STAIRCASE CUB TRANSITION |
| 6 | PROPOSED STAIRCASE CUB TRANSITION | 16 | PROPOSED STAIRCASE CUB TRANSITION |
| 7 | PROPOSED STAIRCASE CUB TRANSITION | 17 | PROPOSED STAIRCASE CUB TRANSITION |
| 8 | PROPOSED STAIRCASE CUB TRANSITION | 18 | PROPOSED STAIRCASE CUB TRANSITION |
| 9 | PROPOSED STAIRCASE CUB TRANSITION | 19 | PROPOSED STAIRCASE CUB TRANSITION |
| 10 | PROPOSED STAIRCASE CUB TRANSITION | 20 | PROPOSED STAIRCASE CUB TRANSITION |

PARKING SUMMARY

USE	SIZE	MIN. PARKING SPACES PROVIDED	MAX. PARKING SPACES PROVIDED
WAREHOUSE (FLY SPACES)	40,000 SF	17,000 SF	17,000 SF
MINIMUM REQUIRED PARKING		= 20	
STANDARD PARKING PROVIDED (6'x18')		= 400	
STANDARD PARKING PROVIDED (8'x18')		= 300	
COMPACT PARKING PROVIDED (6'x15')		= 4	
ACCESSIBLE PARKING PROVIDED (6'x18')		= 4	
TOTAL PARKING PROVIDED		= 98	
BICYCLE PARKING SUMMARY			
BICYCLE SPACES REQUIRED (10% OF MIN.)		= 2	
BICYCLE SPACES PROVIDED		= 2 (1 BIKE RACK)	



ADDRESS
15814 UNIVERSITY OAK
SAN ANTONIO, TEXAS 78249

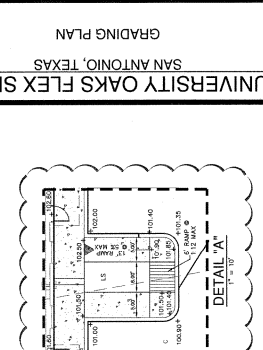
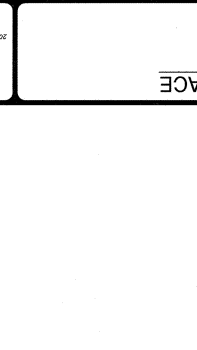
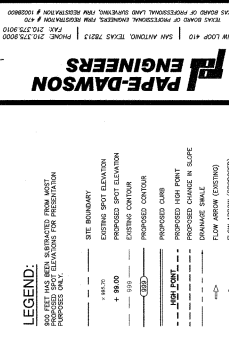
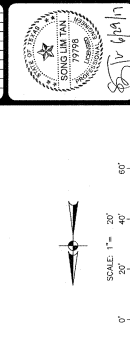
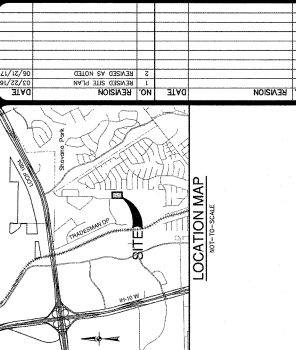
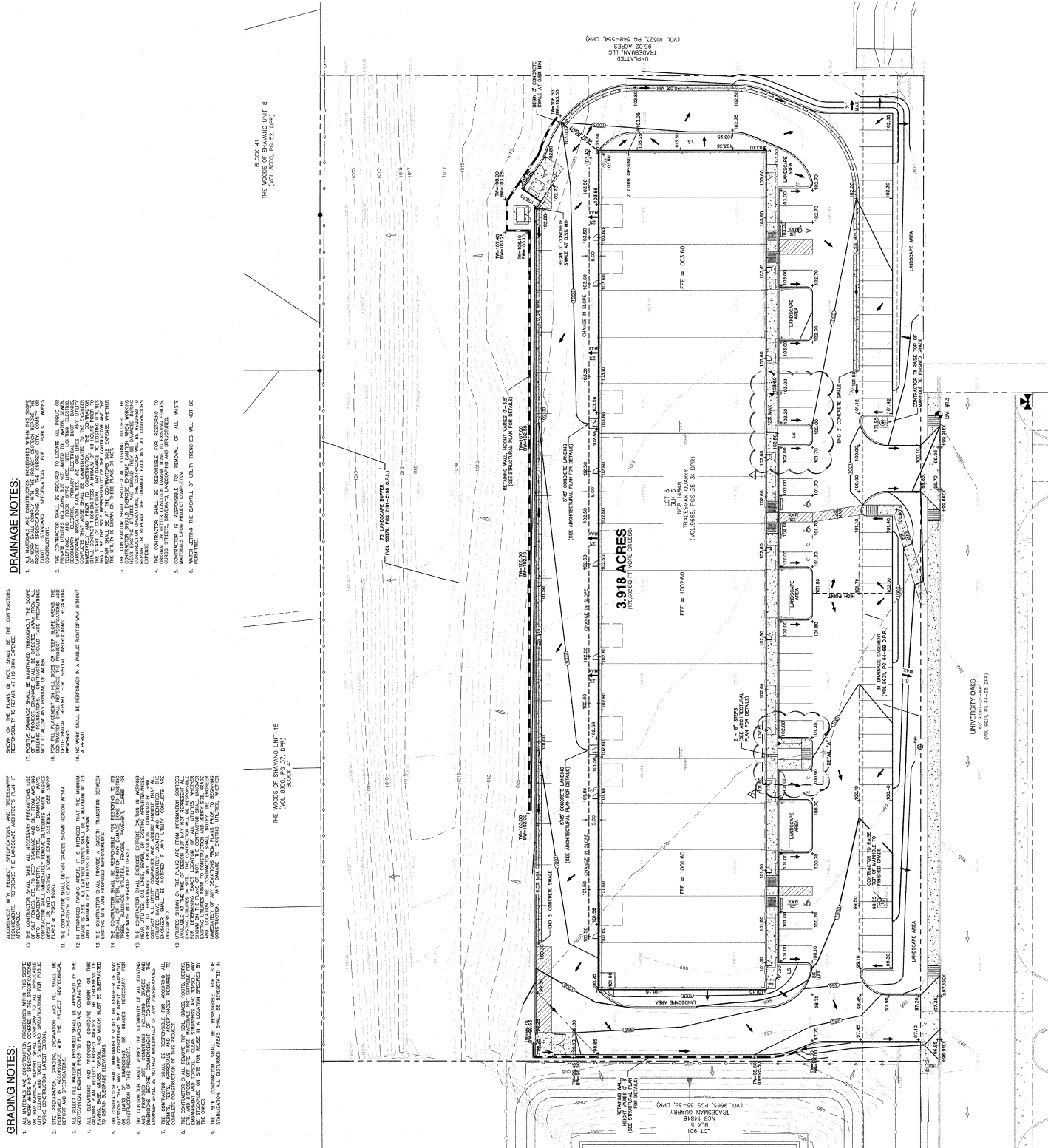
LEGAL DESCRIPTION
LOT 5, BLOCK 5, NCD 14848
TRADESMAN QUARRY
(VOL. 9840, PGS. 35-36, DPH)

GRADING NOTES:

1. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AND THE LATEST EDITIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.
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DRAINAGE NOTES:

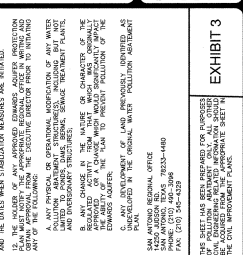
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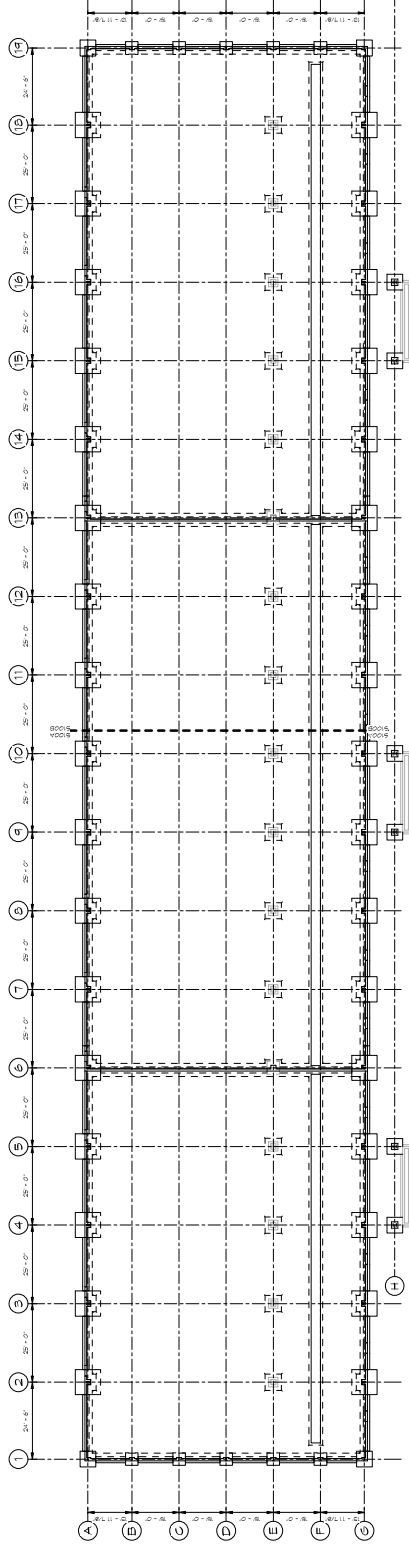


NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/27/17
2	REVISED AS NOTED	09/27/17

PART NO.	140140
DATE	08/27/17
DESIGNED BY	RETS
CHECKED BY	RETS
IN CHARGE	RETS
PROJECT	C4.00

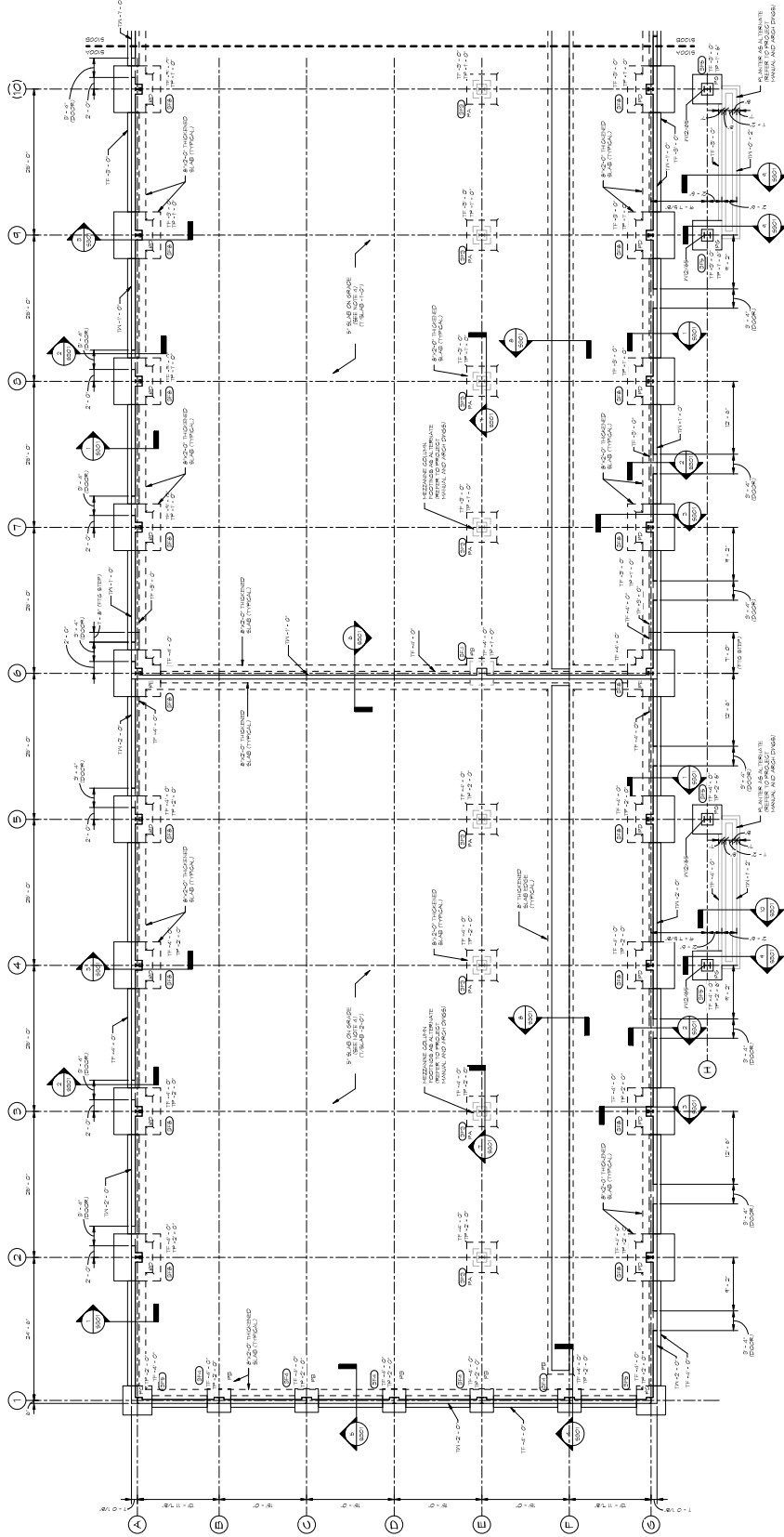
FOR CONSTRUCTION





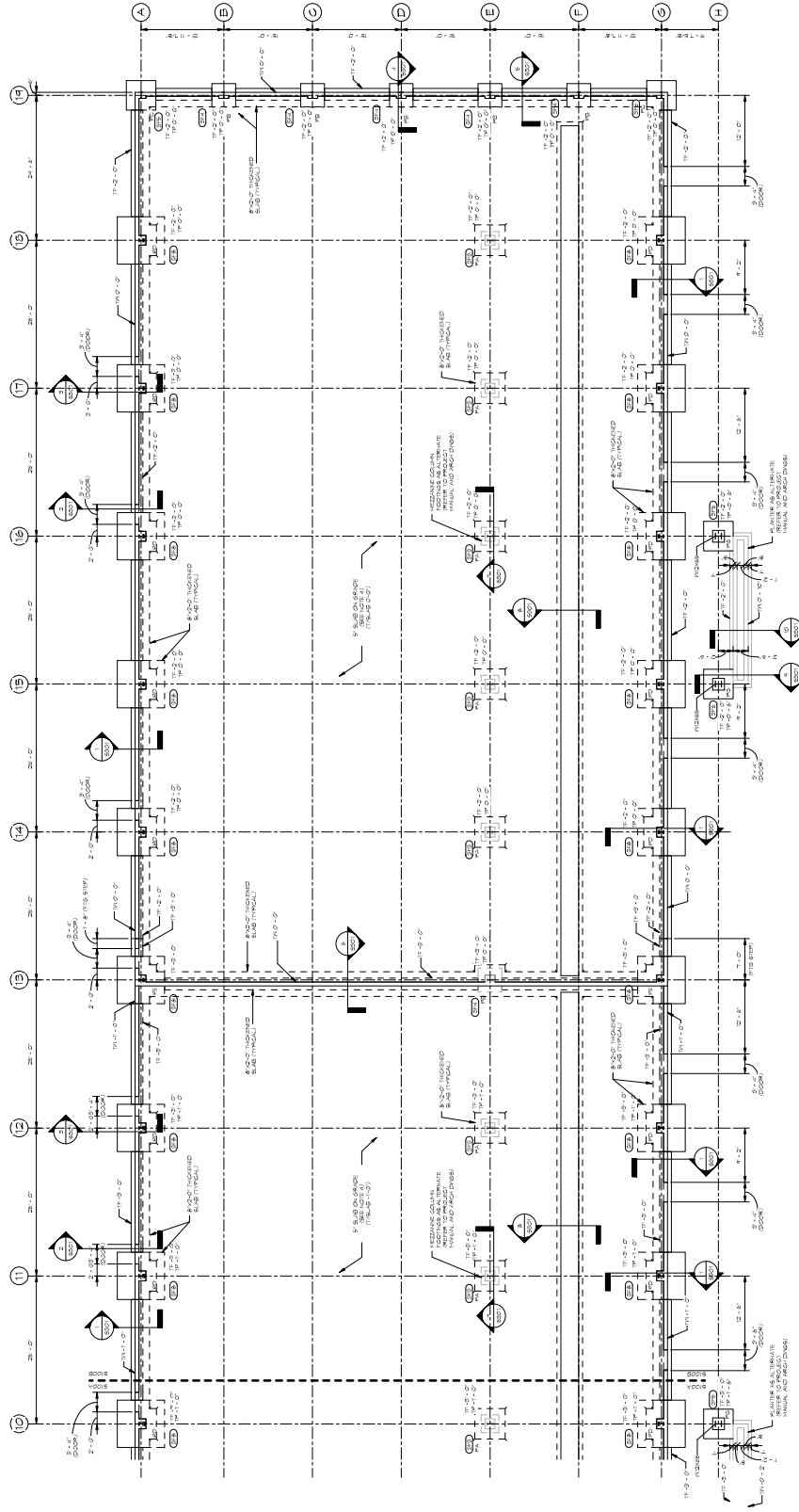
1 FIRST FLOOR SLAB AND FOUNDATION PLAN - OVERALL

- REVISIONS**
1. REFER TO DRAWING NOTES AND SPECIFICATIONS AND TIES.
 2. REFER TO DRAWING NOTES AND SPECIFICATIONS AND TIES.
 3. REFER TO DRAWING NOTES AND SPECIFICATIONS AND TIES.
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 14. REFER TO DRAWING NOTES AND SPECIFICATIONS AND TIES.
 15. REFER TO DRAWING NOTES AND SPECIFICATIONS AND TIES.



- FOUNDATION PLAN**
1. REFER TO DRAWING NOTES FOR GENERAL NOTES AND SPECIAL DIMENSIONS AND TIES.
 2. REFER TO DRAWING NOTES FOR FOUNDATION SCHEDULE AND TYPICAL DETAILS PER HAVING TO DO WITH FOUNDATION.
 3. REFER TO DRAWING NOTES FOR TYPICAL DETAILS PER HAVING TO DO WITH FOUNDATION.
 4. REFER TO DRAWING NOTES FOR TYPICAL DETAILS PER HAVING TO DO WITH FOUNDATION.
 5. REFER TO DRAWING NOTES FOR TYPICAL DETAILS PER HAVING TO DO WITH FOUNDATION.
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 15. REFER TO DRAWING NOTES FOR TYPICAL DETAILS PER HAVING TO DO WITH FOUNDATION.

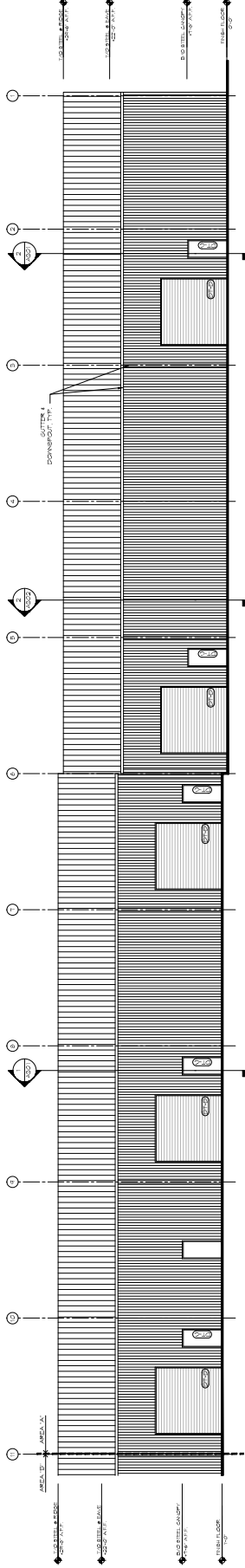
① FIRST FLOOR SLAB AND FOUNDATION PLAN - AREA A
1/8" = 1'-0"



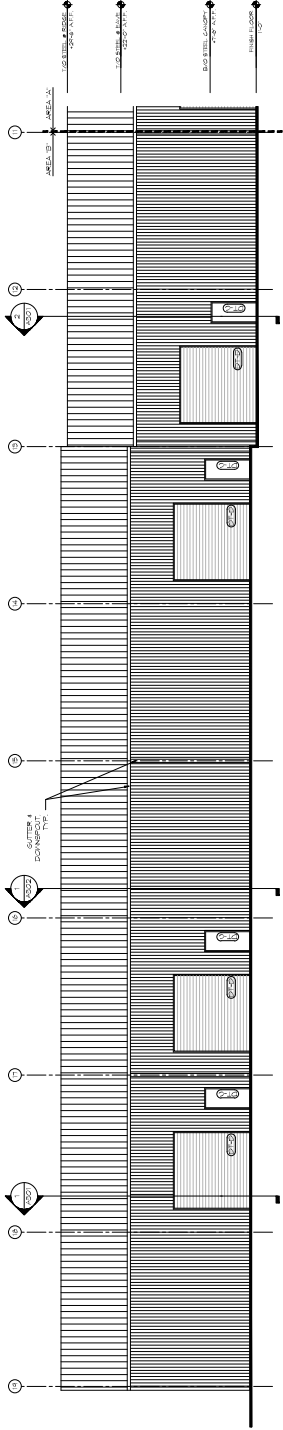
RESEARCH IN PROGRESS

- The authors thank Dr. J. H. Wainwright for his critical review of the manuscript.
- Received March 10, 1968
- Revised May 17, 1968
- Accepted June 11, 1968

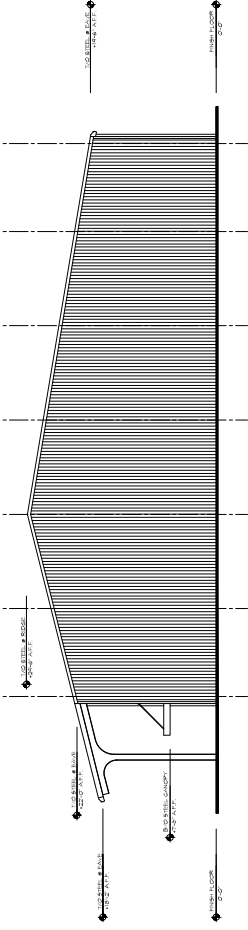
1 FIRST FLOOR SLAB AND FOUNDATION PLAN - AREA B
1/8" = 1'-0"



EAST ELEVATION - AREA "A"
SCALE: 1/8" = 1'-0"



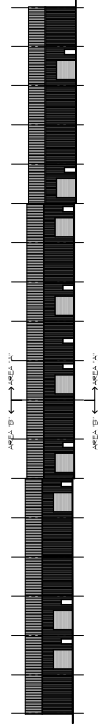
EAST ELEVATION - AREA "B"
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

BRICKWORK	BRICKWORK
CONCRETE	CONCRETE
GLASS	GLASS
PAINT	PAINT
ROOFING	ROOFING
WALLS	WALLS
WINDOWS	WINDOWS
DOORS	DOORS
CEILING	CEILING
FLOORING	FLOORING
LANDSCAPE	LANDSCAPE
UTILITIES	UTILITIES
MECHANICAL	MECHANICAL
ELECTRICAL	ELECTRICAL
PLUMBING	PLUMBING
HEATING	HEATING
Cooling	Cooling
Lighting	Lighting
Acoustics	Acoustics
Security	Security
Accessibility	Accessibility
Fire Protection	Fire Protection
Life Safety	Life Safety
Energy Efficiency	Energy Efficiency
Environmental	Environmental
Historic Preservation	Historic Preservation
Archaeology	Archaeology
Geology	Geology
Hydrology	Hydrology
Soil Science	Soil Science
Transportation	Transportation
Urban Planning	Urban Planning
Public Works	Public Works
Construction Management	Construction Management
Construction Law	Construction Law
Construction Safety	Construction Safety
Construction Quality	Construction Quality
Construction Cost	Construction Cost
Construction Schedule	Construction Schedule
Construction Risk	Construction Risk
Construction Insurance	Construction Insurance
Construction Bonds	Construction Bonds
Construction Financing	Construction Financing
Construction Leasing	Construction Leasing
Construction Sales	Construction Sales
Construction Marketing	Construction Marketing
Construction Research	Construction Research
Construction Development	Construction Development
Construction Innovation	Construction Innovation
Construction Sustainability	Construction Sustainability
Construction Resilience	Construction Resilience
Construction Adaptability	Construction Adaptability
Construction Flexibility	Construction Flexibility
Construction Scalability	Construction Scalability
Construction Portability	Construction Portability
Construction Transferability	Construction Transferability
Construction Reversibility	Construction Reversibility
Construction Decommissionability	Construction Decommissionability
Construction Circularity	Construction Circularity
Construction Inclusivity	Construction Inclusivity
Construction Diversity	Construction Diversity
Construction Equity	Construction Equity
Construction Justice	Construction Justice
Construction Transparency	Construction Transparency
Construction Accountability	Construction Accountability
Construction Responsibility	Construction Responsibility
Construction Integrity	Construction Integrity
Construction Honesty	Construction Honesty
Construction Trustworthiness	Construction Trustworthiness
Construction Reliability	Construction Reliability
Construction Predictability	Construction Predictability
Construction Consistency	Construction Consistency
Construction Uniformity	Construction Uniformity
Construction Standardization	Construction Standardization
Construction Certification	Construction Certification
Construction Accreditation	Construction Accreditation
Construction Registration	Construction Registration
Construction Licensing	Construction Licensing
Construction Qualification	Construction Qualification
Construction Competency	Construction Competency
Construction Proficiency	Construction Proficiency
Construction Expertise	Construction Expertise
Construction Skill	Construction Skill
Construction Knowledge	Construction Knowledge
Construction Experience	Construction Experience
Construction Track Record	Construction Track Record
Construction Reputation	Construction Reputation
Construction Credibility	Construction Credibility
Construction Authority	Construction Authority
Construction Influence	Construction Influence
Construction Leadership	Construction Leadership
Construction Vision	Construction Vision
Construction Mission	Construction Mission
Construction Values	Construction Values
Construction Principles	Construction Principles
Construction Beliefs	Construction Beliefs
Construction Attitudes	Construction Attitudes
Construction Behaviors	Construction Behaviors
Construction Habits	Construction Habits
Construction Customs	Construction Customs
Construction Traditions	Construction Traditions
Construction Culture	Construction Culture
Construction Community	Construction Community
Construction Society	Construction Society
Construction Nation	Construction Nation
Construction World	Construction World
Construction Universe	Construction Universe
Construction Everything	Construction Everything
Construction Nothing	Construction Nothing
Construction Somewhere	Construction Somewhere
Construction Anywhere	Construction Anywhere
Construction Everywhere	Construction Everywhere
Construction Nowhere	Construction Nowhere
Construction Somewhere Else	Construction Somewhere Else
Construction Anywhere Else	Construction Anywhere Else
Construction Everywhere Else	Construction Everywhere Else
Construction Nowhere Else	Construction Nowhere Else
Construction Somewhere, Anywhere, Everywhere, Nowhere, Somewhere Else, Anywhere Else, Everywhere Else, Nowhere Else	Construction Somewhere, Anywhere, Everywhere, Nowhere, Somewhere Else, Anywhere Else, Everywhere Else, Nowhere Else



EAST ELEVATION - KEY
SCALE: 1/8" = 1'-0"



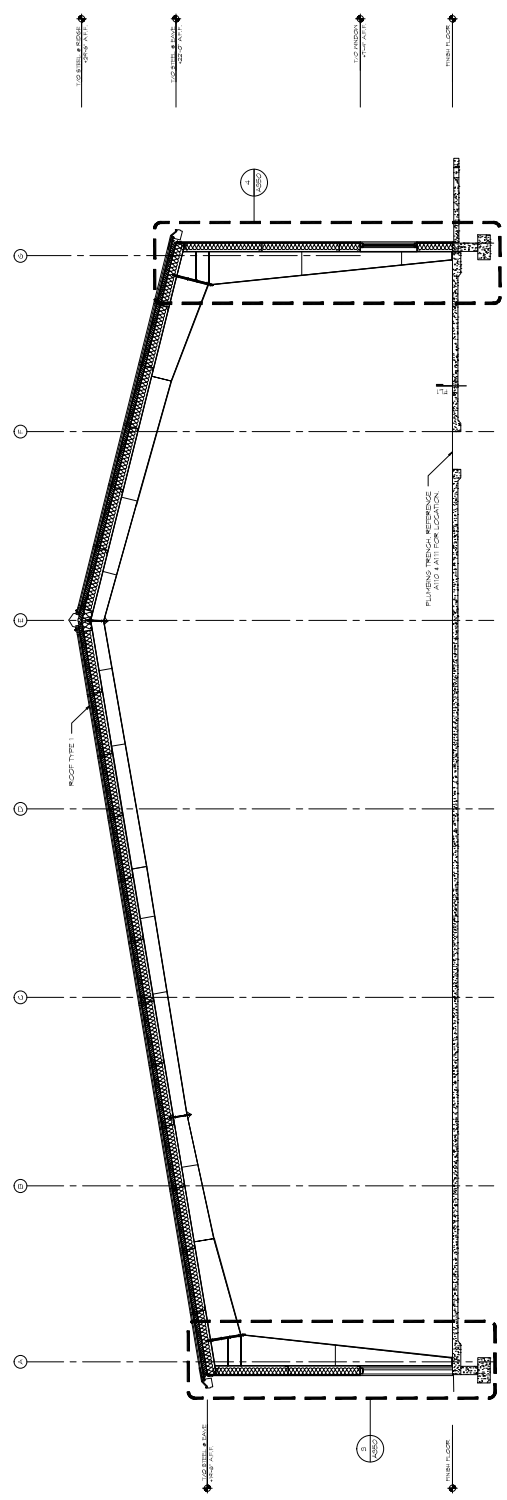
BUILDING SECTIONS

UNIVERSITY OAKS
FLEX SPACE
15014 UNIVERSITY OAKS
SAN ANTONIO, TX 78244

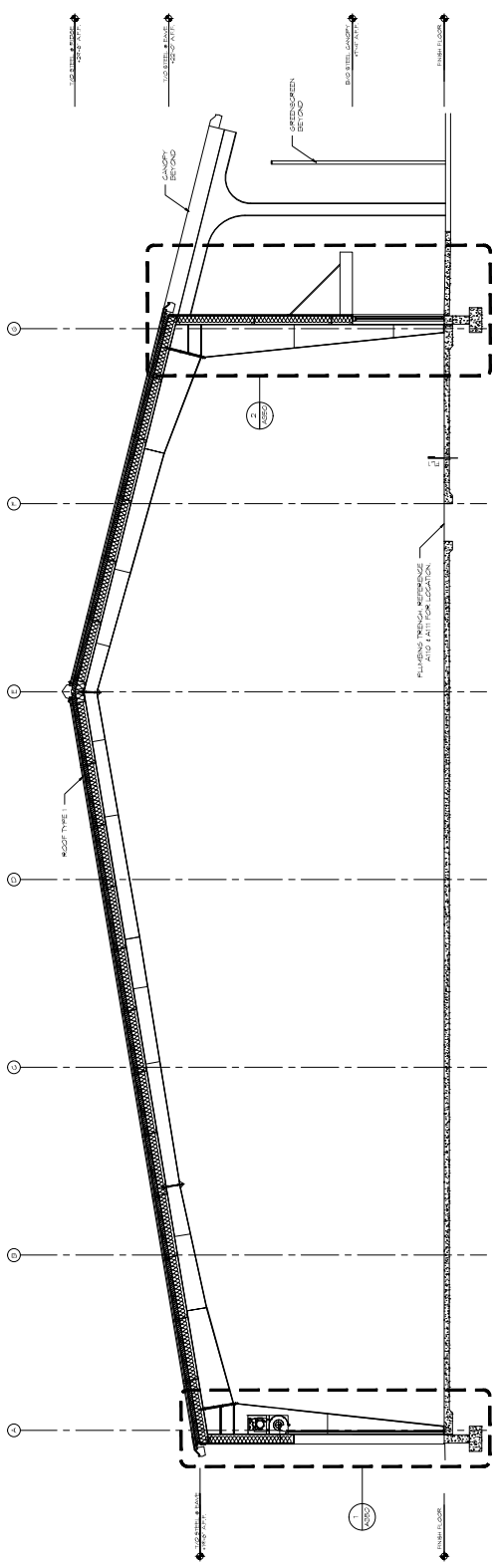
Uni Oaks Flex
Space, LLC
16515 BLANCO ROAD
SAN ANTONIO, TX

STUDIO M
ARCHITECTURE & PLANNING

1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"



SHEET

A302

15107

APRIL 13, 2016

PERMIT DRAWINGS

SEAL



REVISIONS

DRAWING TITLE

BUILDING SECTIONS

PROJECT

UNIVERSITY OAKS
FLEX SPACE
15014 UNIVERSITY OAKS
SAN ANTONIO, TX 78244

CLIENT

Uni Oaks Flex
Space, LLC
16515 BLANCO ROAD
SAN ANTONIO, TX

ARCHITECT

STUDIO M
ARCHITECTURE & PLANNING

