

ALTA/ACSM SURVEY

OF 28 ACRES PARCEL OUT OF THE C.M. GAHAGAN SURVEY No. 258, ABSTRACT No. 182, THE JOHN NOYES SURVEY No. 259, ABSTRACT No. 430 AND BEING A PORTION OF A CALLED 89.818 ACRE PARCEL, COMAL COUNTY, TEXAS

SITE INFO:

INTERSTATE HIGHWAY 35 AND ECKHARDT ROAD
SCHERTZ, TEXAS

ZONING: GB, DVL

DEDICATION FOR ECKHARDT ROAD R.O.W.
AREA = 22,026 SQUARE FEET OR 0.506 ACRES.

FEMA INFO:

ZONE: X
MAP No. 48091C0440F
PANEL 440 OF 508
REVISED SEPTEMBER 02, 2009

SCHEDULE B EXCEPTIONS

-ANY PORTION OF THE SUBJECT LYING WITHIN THE BOUNDARIES OF ROAD OR ROADWAY WHETHER DEDICATED OR NOT.

-RIGHTS OR LEASES, UNDER THE TERMS OF ANY UNRECORDED LEASES

-OIL AND GAS LEASE CONTAINED IN INSTRUMENT DATED MARCH 1, 1924, RECORDED IN VOLUME 48, PAGE 94, OF THE DEED RECORDS OF COMAL COUNTY, TEXAS, REFERENCE TO WHICH INSTRUMENT IS HERE MADE FOR PARTICULARS. NO FURTHER SEARCH OF TITLE HAS BEEN MADE AS TO THE INTEREST(S) EVIDENCED BY THIS INSTRUMENT, AND THE COMPANY MAKES NO REPRESENTATION AS TO THE OWNERSHIP OF SUCH HOLDER OF SUCH INTEREST(S). (TRACT 1) (DOCUMENT ILLEGIBLE)

-ELECTRIC LINE RIGHT OF WAY AGREEMENT TO NEW BRAUNFELS UTILITIES RECORDED UNDER VOLUME 241, PAGE 264, DEED RECORDS, COMAL COUNTY, TEXAS. (TRACT 1)

-EASEMENT TO SOLMS WATER SUPPLY CORPORATION TO FREDIE KROPP AND WIFE, HELEN KROPP UNDER VOLUME 136, PAGE 441, DEED RECORDS, COMAL COUNTY, TEXAS. (TRACT 1)

-ELECTRIC LINE RIGHT OF WAY AGREEMENT BY HARRY HUNT & WIFE, HARRY HUNT TO NEW BRAUNFELS UTILITIES RECORDED JANUARY 24, 1991 UNDER VOLUME 750, PAGE 902, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS. (TRACT 1)

-ELECTRIC LINE RIGHT OF WAY AGREEMENT BY HARRY HUNT TO NEW BRAUNFELS UTILITIES, RECORDED JUNE 19, 1996 UNDER DOCUMENT No. 9606012290, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS. (TRACT 1)

-RIGHTS OF LESSEES, UNDER THE TERMS OF ANY UNRECORDED LEASES WITH LAMAR ADVERTISING COMPANY DOUBLE SIGN BILLBOARD AND IN REGARD TO RENT HOUSE.

-ELECTRIC EASEMENT BY FRED KROPP AND ANNA KROPP IN FAVOR OF COMAL POWER COMPANY, RECORDED IN VOLUME 51, PAGE 233, DEED RECORDS, COMAL COUNTY, TEXAS. EASEMENT AMENDED BY INSTRUMENT RECORDED AUGUST 13, 1999 BY BRIAN K. WETZ AND WIFE, BETH H. WETZ, TO LOWER COLORADO RIVER AUTHORITY UNDER DOCUMENT No. 9906021801, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

-WATER LINE EASEMENT IN FAVOR OF SOLMS WATER SUPPLY CORPORATION DATED DECEMBER 5, 1983, RECORDED IN VOLUME 136, PAGE 441, DEED RECORDS, COMAL COUNTY, TEXAS AND ASSIGNED TO NEW BRAUNFELS UTILITIES UNDER VOLUME 586, PAGE 853, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS. (NOT PLOTTABLE)

-ELECTRIC LINE EASEMENT IN FAVOR OF CITY OF SAN ANTONIO, TEXAS DATED MARCH 2, 1978 AND RECORDED IN VOLUME 278, PAGE 342, DEED RECORDS, COMAL COUNTY, TEXAS.

-EASEMENT TO NEW BRAUNFELS UTILITIES BY BRIAN K. WETZ AND NETH H. WETZ RECORDED APRIL 22, 1998 UNDER DOCUMENT 9806009623, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

-EASEMENT TO SOUTHWESTERN BELL TELEPHONE COMPANY RECORDED JANUARY 22, 2001 UNDER DOCUMENT No. 200106003220, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

-TERMS AND CONDITIONS OF DEVELOPMENT AGREEMENT (1-35 AREA, COMAL COUNTY) RECORDED DECEMBER 1, 2010 UNDER DOCUMENT No. 201006040341, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS. (NOT PLOTTABLE)

-RIGHTS OF BRIAN KEITH WETZ TO USE OF WATER LINE EASEMENT ACROSS SUBJECT PROPERTY AS RECITED IN AGREED FINAL DECREE OF DIVORCE UNDER CAUSE No. C2013-0366C, 874TH JUDICIAL DISTRICT, COMAL COUNTY, TEXAS AND IN SPECIAL WARRANTY DEED RECORDED APRIL 23, 2014 BY BETH WETZ TO BRIAN KEITH WETZ RECORDED UNDER DOCUMENT No. 201406013314, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

-SUBJECT PROPERTY LIES WITHIN THE EDWARDS WATER DISTRICT AS REFLECTED UPON THE TAX ROLLS.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH DETERMINED BY GPS RTK OBSERVATIONS, TEXAS SOUTH CENTRAL ZONE (4203), NORTH AMERICAN DATUM OF 1983, GRS 1986.

BENCHMARK

TXDOT GEODETIC CONTROL STATION HO460012 3/4" ALUMINUM ROD TO REFUSAL. AT THE INTERSECTION OF FM 482 AND A PRIVATE ROAD

ELEVATION 678.03 (MVD '88)

UTILITY NOTES

THIS IS AN ABOVE GROUND SURVEY. UTILITIES SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.

SURVEYOR'S NOTES

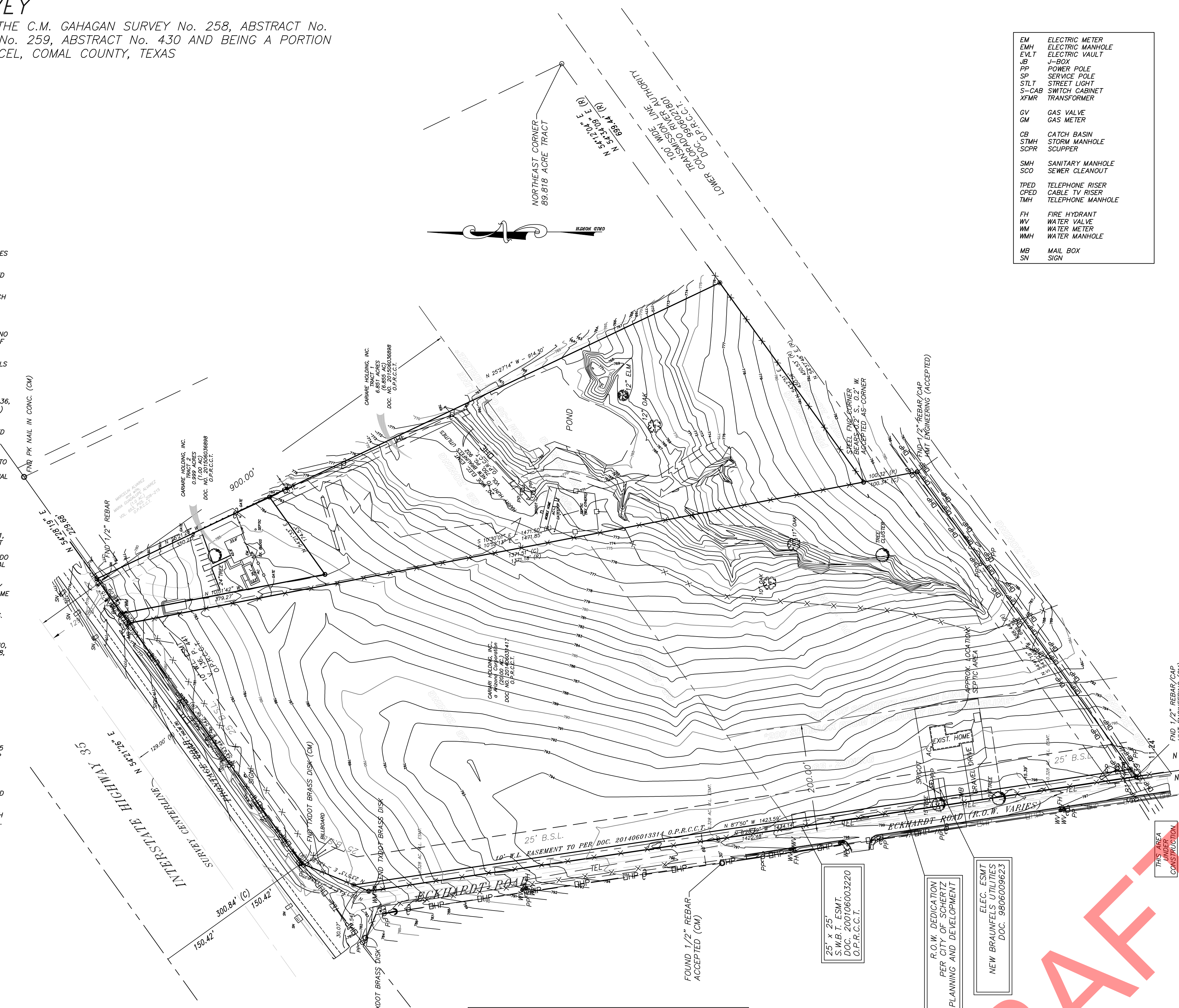
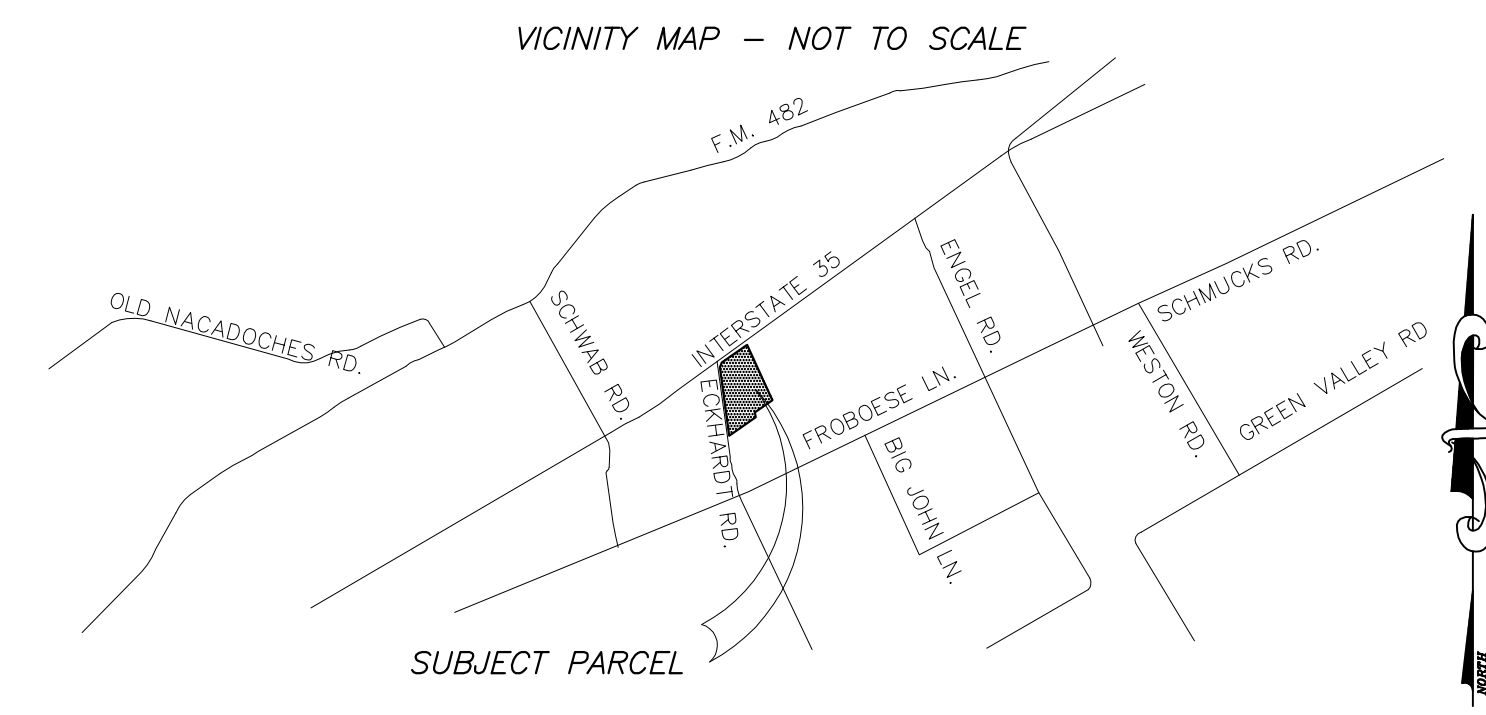
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY. C.F. No. 030051STC, EFFECTIVE DATE - OCTOBER 10, 2016, 8:00 AM.

LEGEND

- FOUND CORNER AS NOTED
- SET REBAR/CAP OR AS NOTED STAMPED RPLS 6192
- FOUND CONTROL MONUMENT AS NOTED
- CALCULATED POINT

PROPERTY LINE	---
CENTERLINE OF ROAD	---
EASEMENT	---
WALL LINE	---
RIGHT-OF-WAY	---
BLD. SETBACK LINE	---

EM	ELECTRIC METER
EMH	ELECTRIC MANHOLE
EVLT	ELECTRIC VAULT
UB	U-BOX
PP	POWER POLE
SP	SERVICE POLE
STLT	STREET LIGHT
S-CAB	SWITCH CABINET
XFMR	TRANSFORMER
GV	GAS VALVE
GM	GAS METER
CB	CATCH BASIN
STMH	STORM MANHOLE
SCUPR	SCUPPER
SMH	SANITARY MANHOLE
SCO	SEWER CLEANOUT
TPED	TELEPHONE RISER
CPED	CABLE TV RISER
TMH	TELEPHONE MANHOLE
FH	FIRE HYDRANT
WV	WATER VALVE
WM	WATER METER
WMH	WATER MANHOLE
MB	MAIL BOX
SN	SIGN



LEGAL DESCRIPTION (PER TITLE COMMITMENT)

TRACT 1: BEING 7.855 ACRES OF LAND OUT OF THE JOHN NOYES SURVEY No. 259, ABSTRACT 430 COMAL COUNTY, TEXAS (AS DESCRIBED IN EXHIBIT "A" PER TITLE COMMITMENT)

BEING 6.855 ACRES OF LAND OUT OF THE JOHN NOYES SURVEY No. 259, COMAL COUNTY, TEXAS, AND BEING BEING 6.855 ACRES OF LAND OUT OF THAT CERTAIN 7.855 ACRE TRACT OF LAND CONVEYED BY HELEN E. KROPP TO ROGER W. KROPP BY DEED DATED JUNE, 18, 1976 AND RECORDED IN VOLUME 240, ON PAGES 500-501, OF THE DEED RECORDS OF COMAL COUNTY, TEXAS, AND DESCRIBED MORE PARTICULARLY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT AN IRON PIN IN THE SOUTHEAST LINE OF IH 35, SET FOR THE WEST CORNER OF THE ABOVE DESCRIBED ROGER W. KROPP 7.855 ACRE TRACT, FOR THE WEST CORNER OF THE HEREIN DESCRIBED 6.855 ACRE TRACT;

THENCE WITH THE SOUTHEAST LINE OF IH 35, THE NORTHWEST LINE OF THE SAID 7.855 ACRE TRACT, N. 54° 45' E. 22.03 FEET TO AN IRON PIN SET FOR THE WEST CORNER OF A 1.000 ACRE TRACT,

THENCE WITH THE COMMON LINE BETWEEN THE SAID 1.000 ACRE TRACT AND THIS TRACT, S. 10° 27' E. 379.57 FEET AND N. 54° 45' E. 174.87 FEET TO AN IRON PIN IN THE NORTHWEST LINE OF THE SAID 7.855 ACRE TRACT, SET FOR THE EAST CORNER OF THE 1.000 ACRE TRACT, FOR A NORTH CORNER OF THIS TRACT;

THENCE WITH THE NORTHEAST LINE OF THE SAID 7.855 ACRE TRACT, S. 25° 00' E. 914.35 FEET TO AN IRON PIN SET FOR THE EAST CORNER OF THE SAID 7.855 ACRE TRACT, FOR THE EAST CORNER OF THIS TRACT;

THENCE WITH THE SOUTHWEST LINE OF SAID 7.855 ACRE TRACT, S. 54° 45' W. 450.0 FEET TO AN IRON PIN SET FOR THE SOUTH CORNER OF THE SAID 7.855 ACRE TRACT, FOR THE SOUTH CORNER OF THIS TRACT;

THENCE WITH THE SOUTHWEST LINE OF THE SAID 7.855 ACRE TRACT, N. 10° 27' W. 1370.7 FEET TO THE PLACE OF BEGINNING.

BEING 1.000 ACRES OF LAND OUT OF THE JOHN NOYES SURVEY No. 259, COMAL COUNTY, TEXAS, AND BEING BEING 1.000 ACRES OF LAND OUT OF THAT CERTAIN 7.855 ACRE TRACT OF LAND CONVEYED BY HELEN E. KROPP TO ROGER W. KROPP BY DEED DATED JUNE, 18, 1976 AND RECORDED IN VOLUME 240, ON PAGES 500-501, OF THE DEED RECORDS OF COMAL COUNTY, TEXAS, AND DESCRIBED MORE PARTICULARLY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT AN IRON PIN IN THE SOUTHEAST LINE OF IH 35, SET FOR THE NORTH CORNER OF THE ABOVE DESCRIBED ROGER W. KROPP 7.855 ACRE TRACT, FOR THE NORTH CORNER OF THE HEREIN DESCRIBED 1.000 ACRE TRACT;

THENCE WITH THE NORTHEAST LINE OF THE SAID 7.855 ACRE TRACT, S. 25° 00' E. 350.15 FEET TO AN IRON PIN SET FOR THE NORTH CORNER OF A 6.855 ACRE TRACT, FOR THE EAST CORNER OF THIS TRACT;

THENCE WITH THE COMMON LINE BETWEEN THE SAID 6.855 ACRE TRACT AND THIS TRACT, S. 54° 45' W. 174.87 FEET AND N. 10° 27' W. 379.57 FEET TO AN IRON PIN IN THE SOUTHEAST LINE OF IH 35, THE NORTHWEST LINE OF THE SAID 7.855 ACRE TRACT, SET FOR A NORTH CORNER OF THE SAID 6.855 ACRE TRACT, FOR THE WEST CORNER OF THIS TRACT;

THENCE WITH THE SOUTHWEST LINE OF THE SAID 7.855 ACRE TRACT, N. 54° 45' E. 77.97 FEET TO THE PLACE OF BEGINNING.

TRACT 2: BEING 20.00 ACRES OF LAND OUT OF THE C.M. GAHAGAN SURVEY No. 258 ABSTRACT No. 182, COMAL COUNTY, TEXAS (AS DESCRIBED IN EXHIBIT "B" PER TITLE COMMITMENT)

BEING A 20.00 ACRE TRACT OF LAND OUT OF C.M. GAHAGAN SURVEY No. 258, ABSTRACT No. 182, AND THE JOHN NOYES SURVEY No. 259, ABSTRACT No. 430, COMAL COUNTY, TEXAS, AND BEING OUT OF TRACT OF LAND CALLED 89.818 ACRES DESCRIBED IN VOLUME 908, PAGES 14-18, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS, SAID 20.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CONCRETE DISK MONUMENT AT THE NORTHERLY END OF THE CUT BACK CORNER OF SAID 89.818 ACRE TRACT AND INTERSTATE HIGHWAY 35, COMMON WITH THE NORTHWEST CORNER OF SAID 89.818 ACRE TRACT AND THIS HEREIN DESCRIBED 20.00 ACRE TRACT;

THENCE ALONG THE SOUTHEASTLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35, COMMON WITH THE NORTHWEST CORNER OF SAID 89.818 ACRE TRACT, NORTH 54° 43' 44" EAST, A DISTANCE OF 542.38 FEET TO A 1/2" IRON PIN FOUND FOR THE NORTHWEST CORNER OF A CALLED 6.855 ACRE TRACT RECORDED IN VOLUME 741, PAGES 98-101, DEED RECORDS, COMAL COUNTY, TEXAS, FOR A NORTHEAST CORNER OF SAID 89.818 ACRE TRACT, AND THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED 20.00 ACRE TRACT;

THENCE ALONG THE WEST LINE OF SAID 6.855 ACRE TRACT, COMMON WITH A NORTHEASTLY LINE OF SAID 89.818 ACRE TRACT, SOUTH 10° 30' 01" EAST, AT 1371.18 FEET PASS A 1/2" IRON PIN FOUND FOR THE SOUTHWEST CORNER OF SAID 6.855 ACRE TRACT, COMMON WITH AN INTERIOR CORNER OF SAID 89.818 ACRE TRACT, CONTINUING THROUGH SAID 89.818 ACRE TRACT, IN ALL A TOTAL DISTANCE OF 1471.50 FEET TO A 1/2" IRON PIN (WITH PLASTIC CAP STAMPED "HMT") SET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED 20.00 ACRE TRACT;

THENCE CONTINUING THROUGH SAID 89.818 ACRE TRACT, SOUTH 54° 41' 19" WEST, A DISTANCE OF 688.44 FEET TO A 1/2" IRON PIN (WITH PLASTIC CAP STAMPED "HMT") SET IN THE EAST RIGHT-OF-WAY OF ECKHARDT ROAD, COMMON WITH THE WESTERLY LINE OF SAID 89.818 ACRE TRACT, FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED 20.00 ACRE TRACT;

THENCE ALONG THE EAST RIGHT-OF-WAY LINE OF ECKHARDT ROAD, COMMON WITH THE WESTERLY LINE OF SAID 89.818 ACRE TRACT, NORTH 08° 07' 50" WEST, A DISTANCE OF 1423.59 FEET TO A FOUND CONCRETE DISK MONUMENT AT THE SOUTHERLY END OF A CUT BACK CORNER OF THE INTERSECTION OF ECKHARDT ROAD AND INTERSTATE HIGHWAY 35, FOR A NORTHWEST CORNER OF SAID 89.818 ACRE TRACT, AND THIS HEREIN DESCRIBED 20.00 ACRE TRACT;

THENCE ALONG SAID CUT BACK CORNER, NORTH 23° 05' 24" EAST, A DISTANCE OF 132.97 FEET TO THE POINT OF BEGINNING AND CONTAINING 20.00 ACRES OF LAND IN COMAL COUNTY, TEXAS.

CERTIFICATION

TO DON BUTTRUM AND STEWART TITLE GUARANTY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 5, 6b, 11, AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 17, 2016.

Saul V. Castillo
SAUL V. CASTILLO, R.P.L.S. 6192 DATE: 10-24-16

A 7.855 ACRE TRACT OF LAND OUT OF THE JOHN NOYES SURVEY No. 259, ABSTRACT 430 COMAL COUNTY, TEXAS AND A 20.00 ACRE TRACT OF LAND OUT OF THE C.M. GAHAGAN SURVEY No. 258 ABSTRACT No. 182, COMAL COUNTY, TEXAS		
ALTA VISTA SURVEYING, LLC 8452 FREDERICKSBURG RD. #120 SAN ANTONIO, TX 78229		
PREPARED FOR: CORNELL ARCHITECTURE		
DRAWN BY: S.V.C.	SCALE: 1" = 100'	JOB: 016-TX-006
CHECKED BY: S.V.C.	DATE: 10-24-16	SHEET 1 OF 1
FIELD WORK: S.V.C.		



SITE REQUIREMENTS:

ZONING R-4: APARTMENT/MULTI-FAMILY

MIN. AREA: 10,000 SF
MIN. WIDTH: 100 FT
MIN. DEPTH: 100 FT

MIN. FRONT YARD: 25 FT.
MIN. SIDE YARD: 10 FT.
MIN. REAR YARD: 20 FT.

MAX. HEIGHT: 45 FT.
MAX. IMPERVIOUS COVER: 75%

Add 1,800 square feet of area for each unit after the first 3 units. Maximum density shall not exceed 24 units per acre.

1.5 parking spaces per bedroom.

Site Plan approval required.

Swimming pools count toward the maximum impervious cover limitations, unless the swimming pool is equipped with a water overflow device appropriate for such pool, and only if it drains into any pervious surface, in which case the water surface shall be excluded.

No variances may be permitted to exceed the maximum impervious cover limitations

Refer to Article 14, section 21.14.3 for additional design requirements

ZONING GB: GENERAL BUSINESS

MIN. AREA: 10,000 SF
MIN. WIDTH: 100 FT
MIN. DEPTH: 100 FT

MIN. FRONT YARD: 25 FT.
MIN. SIDE YARD ADJ. NON-RES. ZONE: 0 FT.
MIN. SIDE YARD ADJ. RES. ZONE: 25 FT.
MIN. REAR YARD ADJ. NON-RES. ZONE: 0 FT.
MIN. REAR YARD ADJ. RES. ZONE: 25 FT.

MAX. HEIGHT: 120 FT.
MAX. IMPERVIOUS COVER: 80%

See Article 10 for parking requirements. (Office: 1 space per 250 sf of gross floor area) (Restaurant: 1 parking space for each 100 square feet of gross floor area, or 1 space for each 4 seats, whichever is less based on maximum design capacity)

Uses may require a Specific Use Permit. The City of Schertz will follow the guidelines outlined in the Air Installation Compatible Use Zone (AICUZ) study for Randolph Air Force Base.

No variances may be permitted to exceed the maximum impervious cover limitations

Refer to Article 14, Sec. 21.14.3 for additional design requirements

OUTLINE LANDSCAPE REQUIREMENTS: REFER TO UNIFIED DEVELOPMENT CODE FOR DETAILS

A minimum of twenty percent (20%) of the total land area of any proposed multifamily or nonresidential development shall be landscaped and shall be comprised of trees, shrubs, sod or other ground cover. In the event of the construction of a phased development, the minimum twenty percent (20%) requirement shall apply to each phase as it is developed.

All properties shall provide shade trees at a ratio of nine (9) trees per acre (43,560 square feet) of gross lot area.

Nonresidential and Multifamily Landscape Buffer Requirements: In addition to any screening requirements of section 21.9.8, a nonresidential or multifamily use adjacent to a residential use or residentially zoned property shall provide a minimum twenty foot (20') landscape buffer adjacent to the property line of the residential use or residentially zoned property. A minimum of one (1) shade tree shall be planted for each thirty linear feet (30') of landscape buffer. A minimum of ten (10) shrubs shall be planted for each fifty linear feet (50') of landscape buffer. All other areas within the landscape buffer shall be covered with grass or another solid vegetative cover approved at the time of Site Plan approval.

Parking Area Landscaping: Parking lots, vehicular use areas and parked vehicles are to be effectively screened from the public view and adjacent property. Both the interior and perimeter of such areas shall be landscaped in accordance with the following criteria. Areas used for parking or vehicle storage that are under, on or within buildings are exempt from these standards.

- Interior Landscaping: A minimum of ten percent (10%) of the gross parking areas shall be devoted to living landscaping which includes grass, ground covers, plants, shrubs and trees. Gross parking area is to be measured from the edge of the parking and/or driveway and sidewalks. The following additional criteria shall apply to the interior of parking lots.
 - Interior landscape areas shall be protected from vehicular encroachment of overhang through appropriate wheel stops or curbs.
 - There shall be a minimum of one (1) shade tree planted for each 400 square feet or fraction thereof of required interior landscape area.
 - Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Planter islands must be located no further apart than every twelve (12) parking spaces and at the terminus of all rows of parking. Such islands shall be a minimum of 200 square feet or ten feet (10') by twenty feet (20') in size.
 - Planter islands shall contain a combination of trees, shrubs, lawn, ground cover and other appropriate materials provided such landscaping does not cause visual interference within the parking area.
- Perimeter Landscaping: All parking lots and vehicular use areas shall be screened from all abutting properties and abutting public rights-of-way with a wall, fence, hedge, berm or other durable landscape barrier. Any living barrier shall be established in a minimum five foot (5') planting strip. Plants and materials used in living barriers shall be at least thirty inches (30") high at the time of planting and shall be of a type and species that will attain a minimum height of three feet (3') one (1) year after planting. Any landscape barrier not containing live plants or trees shall be a minimum of three feet (3') high at time of installation. Perimeter landscaping shall be designed to screen off-street parking lots and other vehicular use areas from public rights-of-way and adjacent residential properties.
 - Whenever an off-street parking or vehicular use area abuts a public right-of-way, except a public alley, a perimeter landscape area of at least fifteen feet (15') in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular area. An appropriate landscape screen or barrier shall be installed in this area and the remaining area shall be landscaped with at least grass or other ground cover. Necessary access ways from the public right-of-way shall be permitted through all such landscaping.
 - Whenever an off-street parking or vehicular use area abuts an adjacent residential property line, a perimeter landscape area of at least ten feet (10') in width shall be maintained between the edge of the parking area and the adjacent property line. Access ways between lots may be permitted through all perimeter landscape areas. Landscaping shall be designed to visually screen the parking area. Whenever such property is zoned or used for single family residential purposes, a landscape buffer shall include a masonry wall and hedge, or berm which shall be a minimum of three feet (3') in height and a maximum of eight feet (8') in height.
 - Perimeter landscape areas shall contain at least one (1) shade tree for each fifty linear feet (50'), or fraction thereof, of perimeter area.

Landscape Buffer: In addition to the requirements of section 21.9.7 of this UDC for landscaping, a minimum twenty foot (20') wide landscape buffer shall be provided adjacent to any public right-of-way. Trees shall be planted at an average density of one (1) tree per twenty linear feet (20') of street frontage. The landscape buffer shall require an irrigation system and shall be maintained by the property owner.

Building Setback Line: A minimum fifty foot (50') building setback shall be required adjacent to all rights-of-way.

PROJECT PHASE ONE OF TWO:

SITE AREA SUMMARY & NOTES:

R-4 ZONING:
1,044,438.97 SF = 23.98 ACRES TOTAL
554,426.49 SF = 12.73 ACRES PHASE 1
490,012.48 SF = 11.25 ACRES PHASE 2
24 UNITS/ACRE x 12.73 = 305 UNITS MAX. (PHASE 1)

BUILDING SUMMARY & NOTES:

APARTMENTS (PHASE 1)
(7) BUILDINGS TYPE 1 - 3 STORIES
9,617.78SF PER FLOOR - 28,853.34SF PER BUILDING
6 - 1 BED UNITS
12 - 2 BED UNITS
6 - 3 BED UNITS

BUILDINGS TYPE 2 (NOT USED)

COMMUNITY BUILDING (PHASE 1)

(1) BUILDING TYPE 3 - 1 STORY
4,992.00SF

201,973.38SF APARTMENTS (PHASE 1)
4,992.00SF COMMUNITY BUILDING (PHASE 1)

(42) 1BED 25%
(84) 2BED 50%
(42) 3BED 25%
= 168 UNITS TOTAL

PARKING SPACES 10'x20', 26' TRAVELWAY
7 BLDGS x 24 = 168 UNITS
TYPE 1: 7BLDGSx48BEDS=336

PARKING REQ'D @ 1.5 =504
OFFICE: 600 SF / 250/SF =3
507 PARKING REQUIRED
429 PARKING PROVIDED (PHASE 1)
PER ADA TABLE 208.2:
501-1000 SPACES PROVIDE 2% ACCESSIBLE
1001 & OVER PROVIDE 20+1 PER 100 ACCESSIBLE

NOTE: A VARIANCE WILL BE REQUIRED TO ACCOMMODATE A MORE REALISTIC PARKING REQUIREMENT. FOR EXAMPLE:

CALCULATION BASED ON SEGUIN CODE:
1B: 42 x 1.5 SPACES = 63 SPACES
2B: 84 x 2 SPACES = 168 SPACES
3B: 42 x 3 SPACES = 126 SPACES
357 SPACES REQUIRED (51 PER BLDG.)

SITE AREA SUMMARY & NOTES:

GB ZONING:
168,934.16 SF = 3.88 ACRES

R-4 ZONING:
1,044,438.97 SF = 23.98 ACRES TOTAL
554,426.49 SF = 12.73 ACRES PHASE 1
490,012.48 SF = 11.25 ACRES PHASE 2
24 UNITS/ACRE x 23.98 = 575 UNITS MAX.

IMPERVIOUS AREA:

15 TYPE 1 APARTMENTS: 144,266.40 SF
1 COMMUNITY BUILDING: 4,862.69 SF
PARKING: 323,646.29 SF
SIDEWALKS: 49,838.90 SF
TOTAL: 523,751.59 SF
ALLOWED 75%:
783,329.23 SF

BUILDING SUMMARY & NOTES:

APARTMENTS
(15) BUILDINGS TYPE 1 - 3 STORIES
9,617.78SF PER FLOOR - 28,853.34SF PER BUILDING
6 - 1 BED UNITS
12 - 2 BED UNITS
6 - 3 BED UNITS

BUILDINGS TYPE 2 (NOT USED)

COMMUNITY BUILDING
(1) BUILDING TYPE 3 - 1 STORY
4,992.00SF

432,800.10SF APARTMENTS TOTAL
4,992.00SF COMMUNITY BUILDING

(90) 1BED 25%
(180) 2BED 50%
(90) 3BED 25%
= 360 UNITS TOTAL

PARKING SPACES 10'x20', 26' TRAVELWAY
15 BLDGS x 24 = 360 UNITS
TYPE 1: 15BLDGSx48BEDS =720

PARKING REQ'D @ 1.5 =1,080
OFFICE: 600 SF / 250/SF =3
1,083 PARKING REQUIRED
795 PARKING PROVIDED
PER ADA TABLE 208.2:
501-1000 SPACES PROVIDE 2% ACCESSIBLE
1001 & OVER PROVIDE 20+1 PER 100 ACCESSIBLE

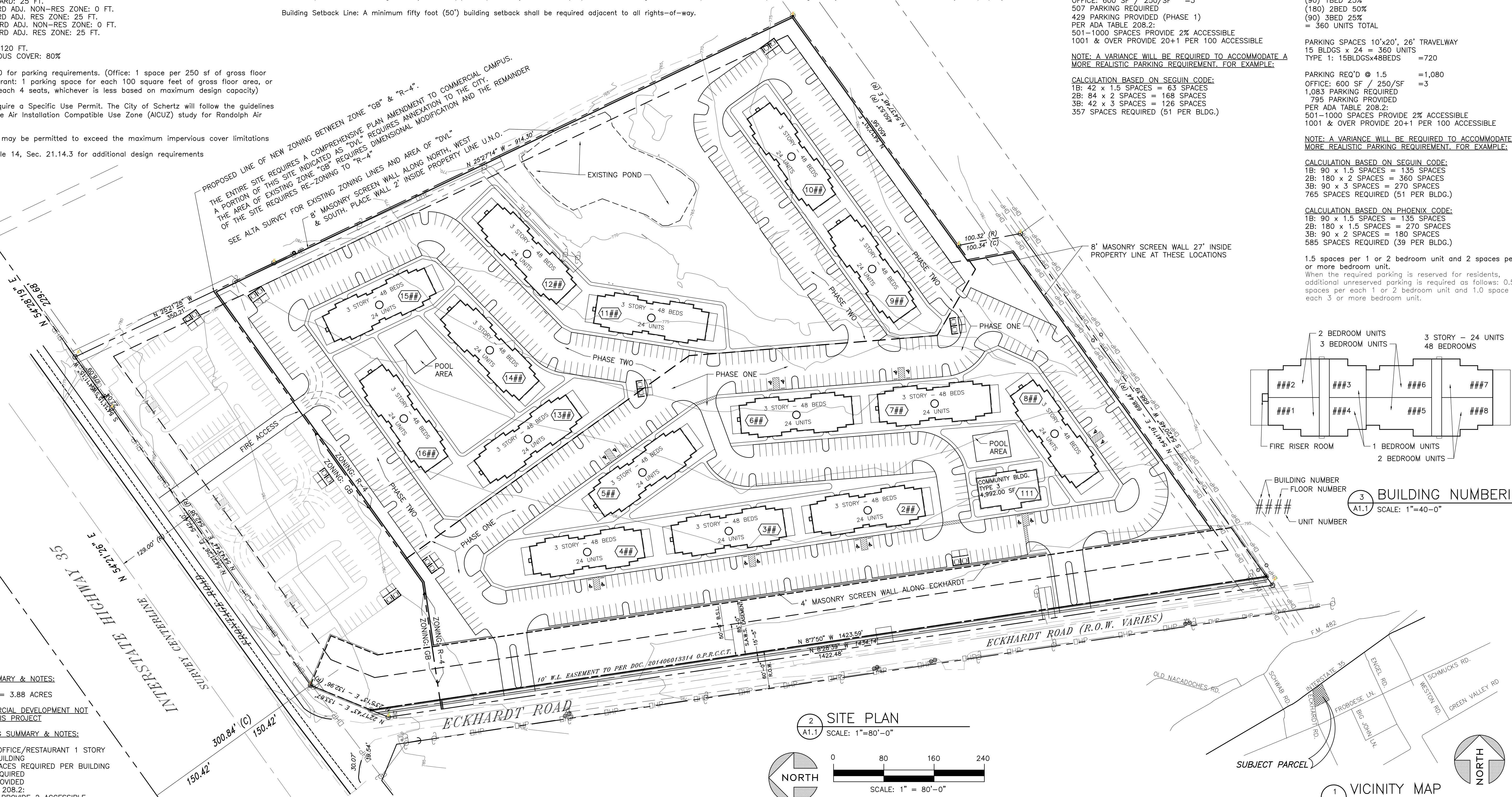
NOTE: A VARIANCE WILL BE REQUIRED TO ACCOMMODATE A MORE REALISTIC PARKING REQUIREMENT. FOR EXAMPLE:

CALCULATION BASED ON SEGUIN CODE:
1B: 90 x 1.5 SPACES = 135 SPACES
2B: 180 x 2 SPACES = 360 SPACES
3B: 90 x 3 SPACES = 270 SPACES
765 SPACES REQUIRED (51 PER BLDG.)

CALCULATION BASED ON PHOENIX CODE:
1B: 90 x 1.5 SPACES = 135 SPACES
2B: 180 x 1.5 SPACES = 270 SPACES
3B: 90 x 2 SPACES = 180 SPACES
585 SPACES REQUIRED (39 PER BLDG.)

1.5 spaces per 1 or 2 bedroom unit and 2 spaces per 3 or more bedroom unit.

When the required parking is reserved for residents, additional unreserved parking is required as follows: 0.5 spaces per each 1 or 2 bedroom unit and 1.0 space per each 3 or more bedroom unit.



SITE AREA SUMMARY & NOTES:

GB ZONING:
168,934.16 SF = 3.88 ACRES

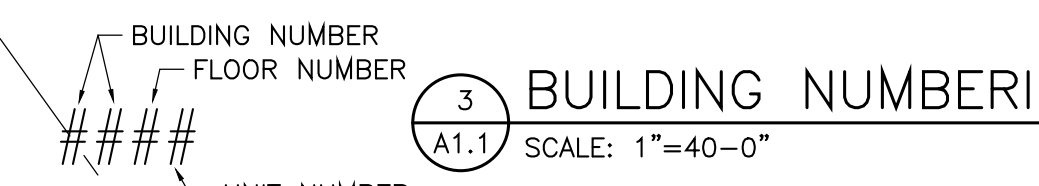
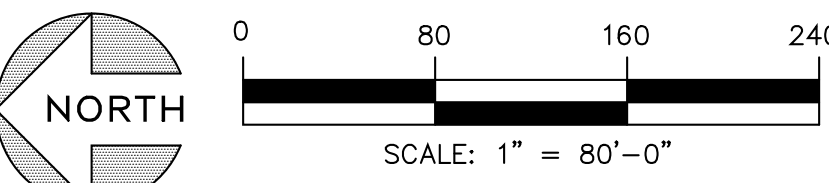
FUTURE COMMERCIAL DEVELOPMENT NOT INCLUDED IN THIS PROJECT

OFFICE BUILDING SUMMARY & NOTES:

(3) BUILDINGS OFFICE/RESTAURANT 1 STORY
4,096SF PER BUILDING
41 PARKING SPACES REQUIRED PER BUILDING
123 SPACES REQUIRED
129 SPACES PROVIDED
PER ADA TABLE 208.2:
26-50 SPACES PROVIDE 2 ACCESSIBLE

2 SITE PLAN

A1.1 SCALE: 1"=80'-0"



1 VICINITY MAP

A1.1 SCALE: NONE

REVISIONS:
NOT FOR REGULATORY APPROVAL
PRELIMINARY PERMITTING OR CONSTRUCTION

APARTMENT COMPLEX:
SILVERLEAF APARTMENTS
24860 INTERSTATE HIGHWAY 35
SCHERTZ, TEXAS 78132

GORNELL ARCHITECTURE
2558 WEST ROUGHRIIDER ROAD
PHOENIX, ARIZONA 85087-8264
TEL 602-346-4507
GORNELLARCHITECTURE.COM

SITE PLANS

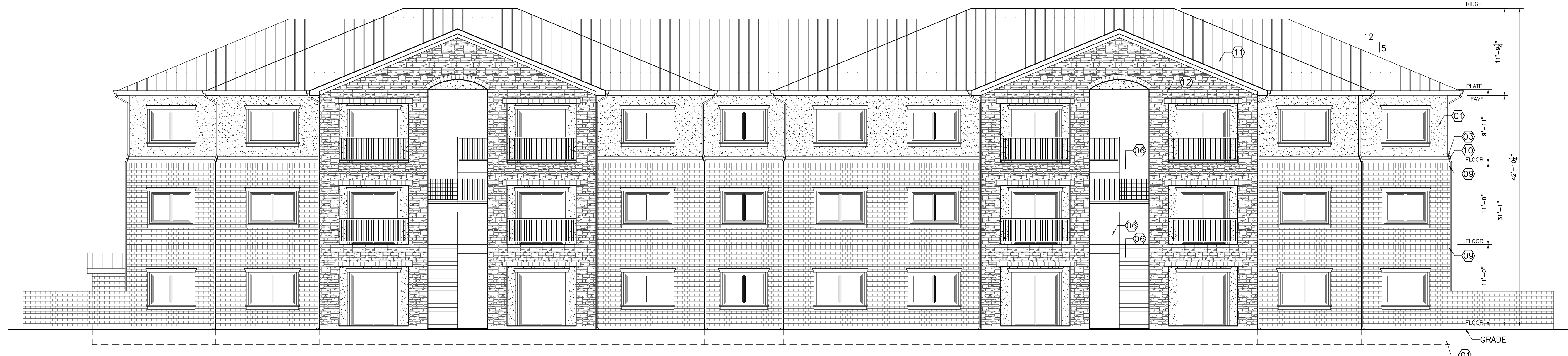
10/23/16 Expires 12/31/2016
PROJECT: 1605 SCHERTZ
DRAWN: GRC
CONTACT: GRC
DATE: 10-23-16
SHEET:
A1.1

REVISIONS:

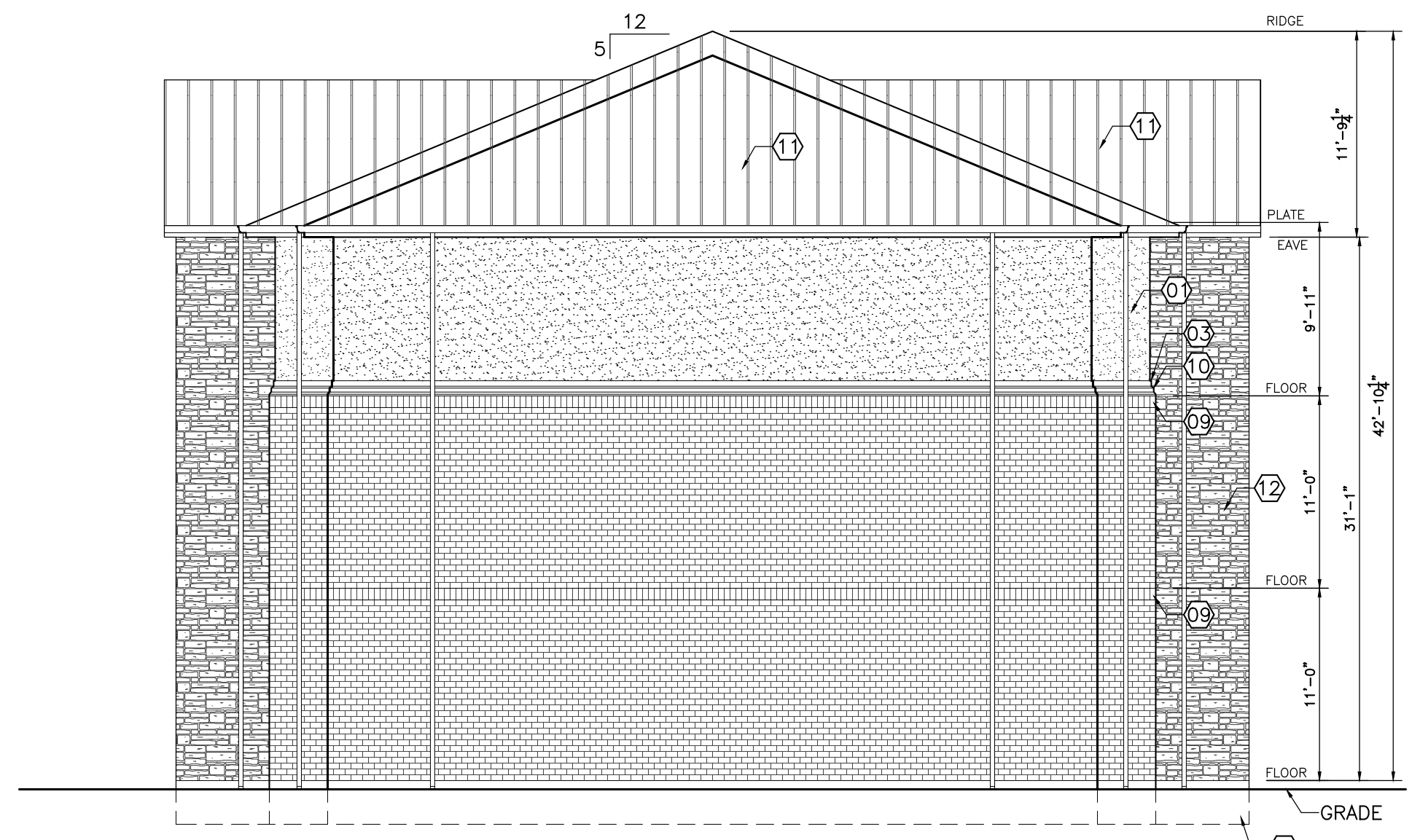
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EXTERIOR ELEVATION AREAS:

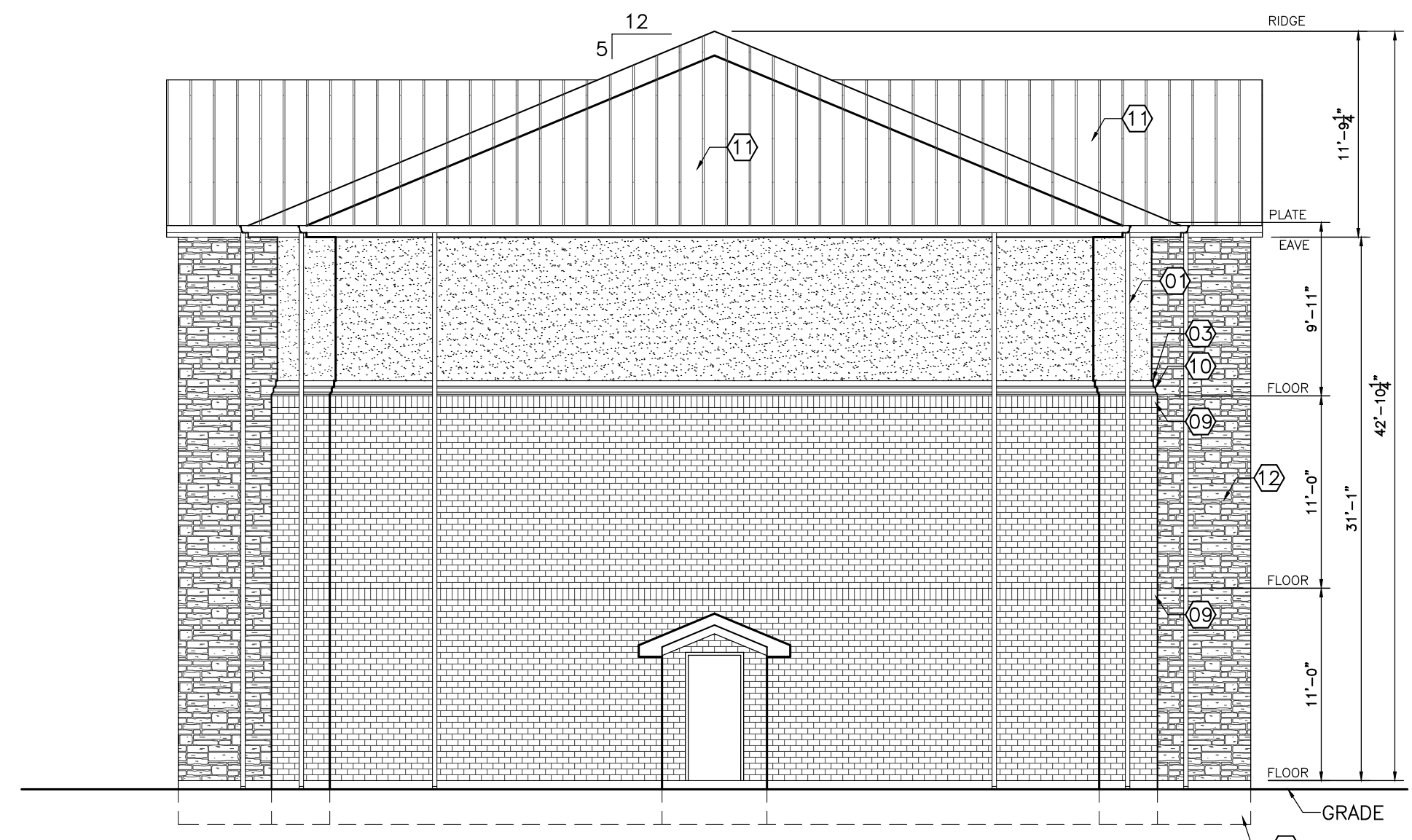
FRONT:		
GROSS AREA:	24.00 x 15	5,838.50
LARGE WINDOWS:	21.33 x 9	360.00
SMALL WINDOWS:	74.67 x 12	191.97
BALCONY OPENINGS:	260.61 x 2	869.04
STAIR OPENING:		521.22
NET AREA:		3,896.27
FRONT INSET:		266.29
SIDE:		1,884.51
NET TOTAL:	80% PROVIDED	6,047.07
		4,837.66
		5,061.71



1 EXTERIOR ELEVATION
A3.1 SCALE: 1/8"=1'-0"

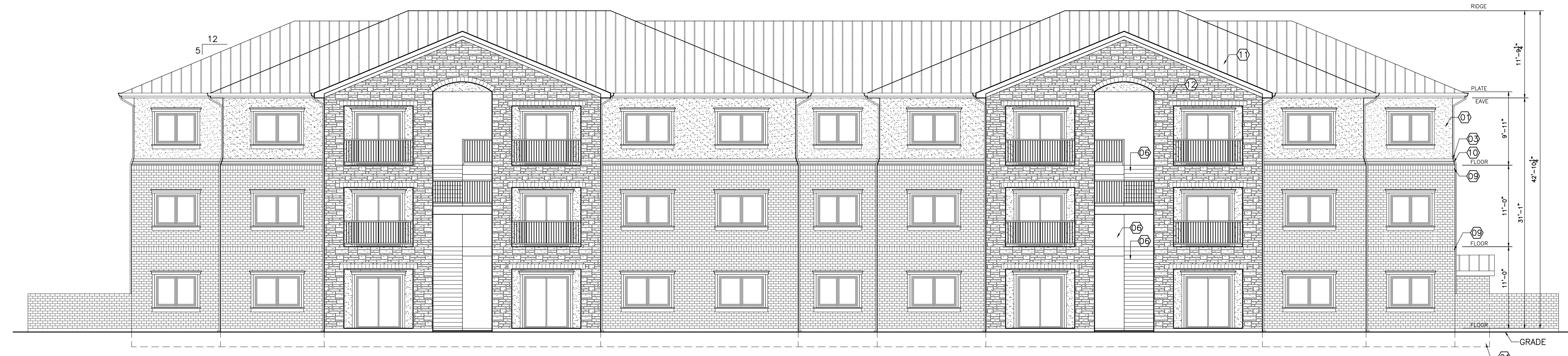


3 EXTERIOR ELEVATION
A3.1 SCALE: 1/8"=1'-0"



2 EXTERIOR ELEVATION
A3.1 SCALE: 1/8"=1'-0"

- KEY NOTES**
- 01 REINFORCED CONCRETE SLAB AND FOOTING. SEE STRUCTURAL PLANS.
 - 02 EFIS OVER 1" FOAM INSULATION ON 1/2" WOOD SHEATHING.
 - 03 EFIS OVER 2"x3" FOAM INSULATION DETAIL BAND.
 - 04 WINDOW-SEE SCHEDULE.
 - 05 DOOR-SEE SCHEDULE.
 - 06 STAIRS-BEYOND.
 - 07 HANDRAIL-BEYOND.
 - 08 BRICK VENEER RUNNING BOND PATTERN. MODULAR ECONOMY 3/8"D x 3/8"H x 7/8"L.
 - 09 BRICK SOLDIER COURSE. MODULAR ECONOMY 3/8"D x 3/8"H x 7/8"L.
 - 10 BRICK CAP DETAIL. STACK PATTERN DOUBLE COURSE W/SLOPED STRETCHER VERTICAL 2 1/2"D x 3/8"H x 7/8"L ON TOP OF SLOPED STRETCHER HORIZONTAL 3/8"D x 2 1/4"H x 7/8"L SHEATHING.
 - 11 METAL STANDING SEAM ROOFING OVER 30# FELT AND 5/8" T&G WOOD ROOF SHEATHING.
 - 12 ADHERED MANUFACTURED STONE VENEER. ANCIENT VILLA LEDGESTONE PATTERN AND 8"x6" TRIM STONE AT HEADERS AND ARCHES.
 - 13 BALCONY RAILING.



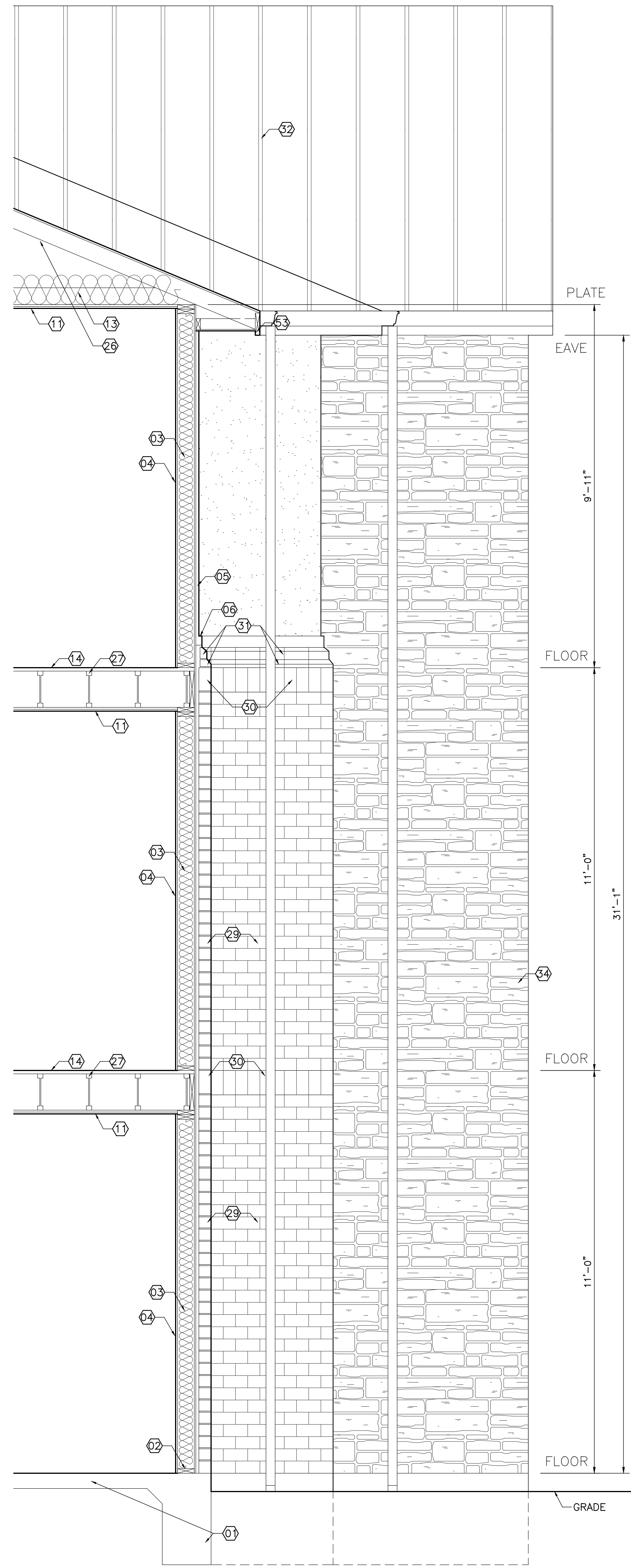
4 EXTERIOR ELEVATION
A3.1 SCALE: 1/8"=1'-0"

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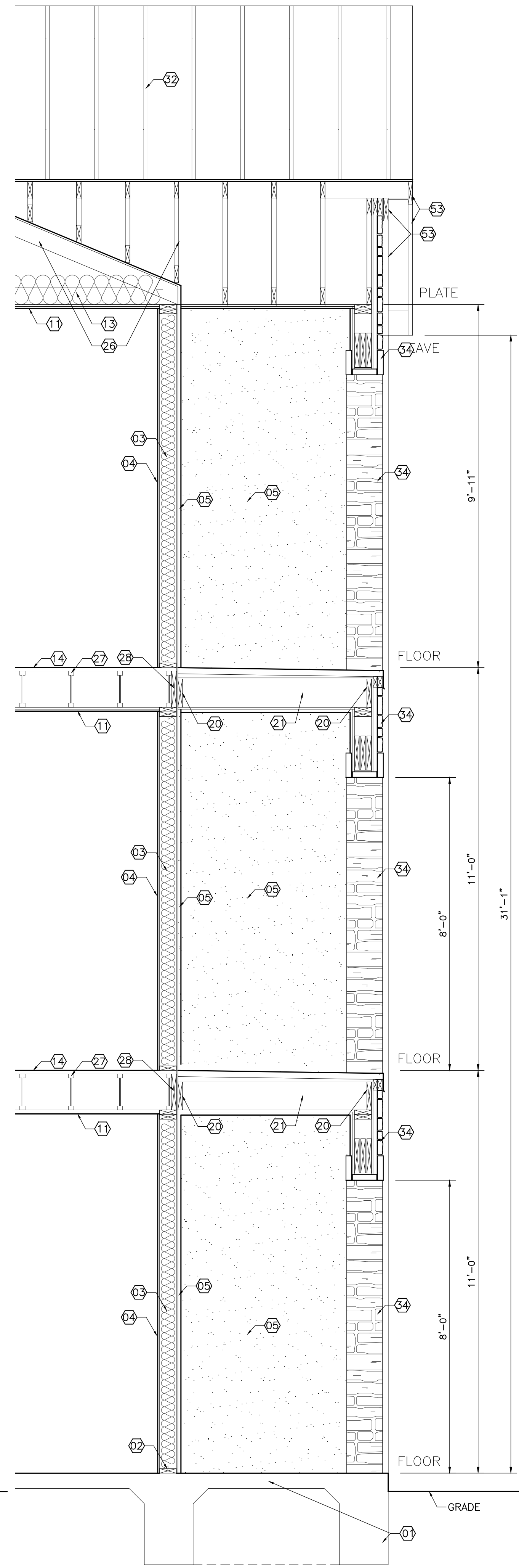
GORNELL
ARCHITECTURE
2558 WEST ROUGHRIIDER ROAD
PHOENIX, ARIZONA 85087-8264
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BUILDING TYPE 1

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A3.1



2 WALL SECTION
A5.1 SCALE: 1/2"=1'-0"



1 WALL SECTION
A5.1 SCALE: 1/2"=1'-0"

KEY NOTES

- 01 REINFORCED CONCRETE SLAB AND FOOTING. SEE STRUCTURAL PLANS.
- 02 PRESSURE TREATED 2"x6" WOOD SILL PLATE.
- 03 2"x6" WOOD STUDS AT 16" O.C. EXTERIOR WALL U.L. DESIGN No. U356.
- 04 5/8" DRYWALL OVER R-21 BATT INSULATION.
- 05 EFIS OVER 1" FOAM INSULATION ON 1/2" WOOD SHEATHING.
- 06 EFIS OVER 2"x3" FOAM INSULATION DETAIL BAND.
- 07 WINDOW-SEE SCHEDULE.
- 08 HEADER-SEE SCHEDULE.
- 09 DOUBLE 2"x6" WOOD TOP PLATE.
- 10 2"x6" WOOD STUDS AT 16" O.C. INTERIOR WALL U.L. DESIGN No. U305.
- 11 TWO LAYERS OF 1/2" DRYWALL FOR ONE HOUR HORIZONTAL ASSEMBLY U.L. DESIGN No. L542.
- 12 WOOD FLOOR TRUSS AT 16" O.C.-SEE STRUCTURAL PLANS.
- 13 R-36 BATT INSULATION.
- 14 1 1/8" T&G WOOD FLOOR SHEATHING.
- 15 1 1/2" LVL SOLID BLOCKING-SEE FRAMING DETAILS.
- 16 2"x6" WOOD BLOCKING-SEE FRAMING DETAILS.
- 17 DOOR-SEE SCHEDULE.
- 18 STAIRS-BEYOND.
- 19 HANDRAIL-BEYOND.
- 20 2"x10" WOOD LEDGER OR RIM JOIST.
- 21 2"x10" WOOD JOISTS AT 16" O.C.
- 22 3/4" EXTERIOR T&G PLYWOOD SHEATHING.
- 23 2" CONCRETE-SEE NOTE THIS SHEET.
- 24 5/8" MOISTURE RESISTANT DRYWALL WITH TEXTURED FINISH.
- 25 2"x8" WOOD RAFTERS AT 16" O.C.
- 26 ROOF TRUSS AT 16" O.C.-SEE STRUCTURAL PLANS.
- 27 TJI 110 x 1 1/2" FLOOR JOISTS @ 16" O.C. TYP.
- 28 TIMBERSTRAND LSL 1 1/2" x 1 1/2" RIM JOIST TYP.
- 29 BRICK VENEER RUNNING BOND PATTERN, MODULAR ECONOMY 3/8"D x 3/8"H x 7/8"L.
- 30 BRICK SOLDIER COURSE, MODULAR ECONOMY 3/8"D x 3/8"H x 7/8"L.
- 31 BRICK CAP DETAIL. STACK PATTERN DOUBLE COURSE W/SLOPED STRETCHER VERTICAL 2 1/4" x 3/8"H x 7/8"L ON TOP OF SLOPED STRETCHER HORIZONTAL 3/8"D x 2 1/4"H x 7/8"L.
- 32 METAL STANDING SEAM ROOFING OVER 30# FELT AND 5/8" T&G WOOD ROOF SHEATHING.
- 33 WALL-BEYOND.
- 34 ADHERED MANUFACTURED STONE VENEER, ANCIENT VILLA LEDGESTONE PATTERN AND 8"x6" TRIM STONE AT HEADERS AND ARCHES.
- 35 FRAMED COLUMN-BEYOND.
- 36 FRAMED COLUMN-BEYOND.
- 37 BEAM-SEE STRUCTURAL.
- 38 ACOUSTICAL LAY-IN CEILING.
- 39 2"x6" WOOD LEDGER.
- 40 2"x4" WOOD LEDGER.
- 41 2"x4" WOOD SOFFIT FRAMING WITH TEXTURED FINISH OVER 5/8" DRYWALL.
- 42 ROOF TRUSS AT 24" O.C.-SEE STRUCTURAL PLANS.
- 43 PRESSURE TREATED 2"x4" WOOD SILL PLATE.
- 44 2"x4" WOOD STUDS AT 16" O.C. INTERIOR WALL DESIGN U.L. U305.
- 45 DOUBLE 2"x4" WOOD TOP PLATE.
- 46 5/8" DRYWALL WITH TEXTURED FINISH OVER 2"x4" WOOD STUD FRAMING.
- 47 BALCONY RAILING.
- 48 SOFFIT-BEYOND.
- 49 2"x8" WOOD LEDGER.
- 50 2"x8" WOOD FASCIA.
- 51 2"x6" WOOD SILL PLATE. PRESSURE TREATED AT CONCRETE FOUNDATION.
- 52 2"x6" WOOD STUDS AT 16" O.C.
- 53 2"x8" WOOD FASCIA



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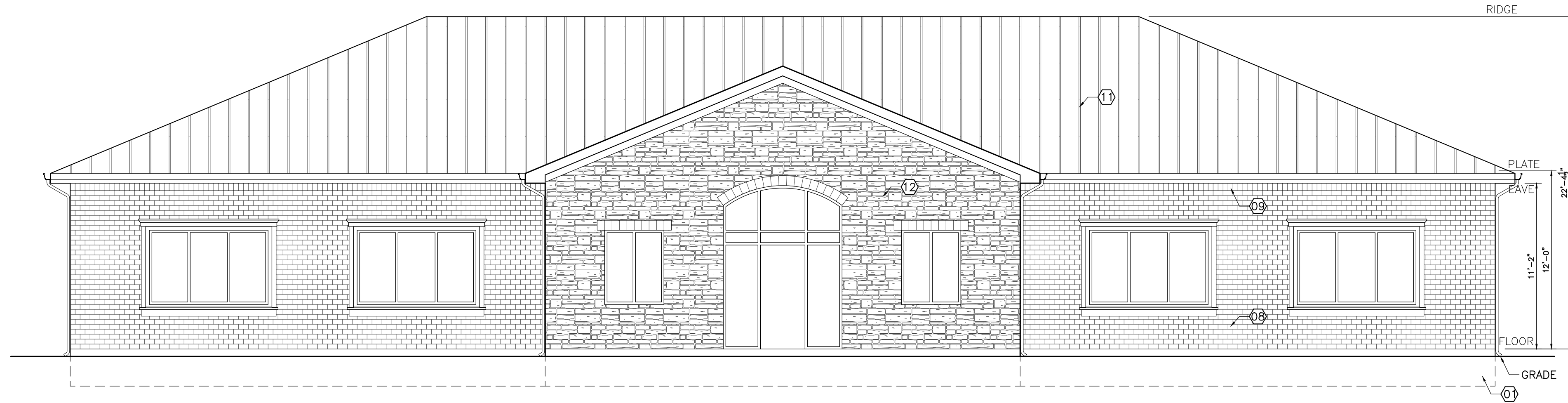
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BUILDING TYPE 1
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A5.1



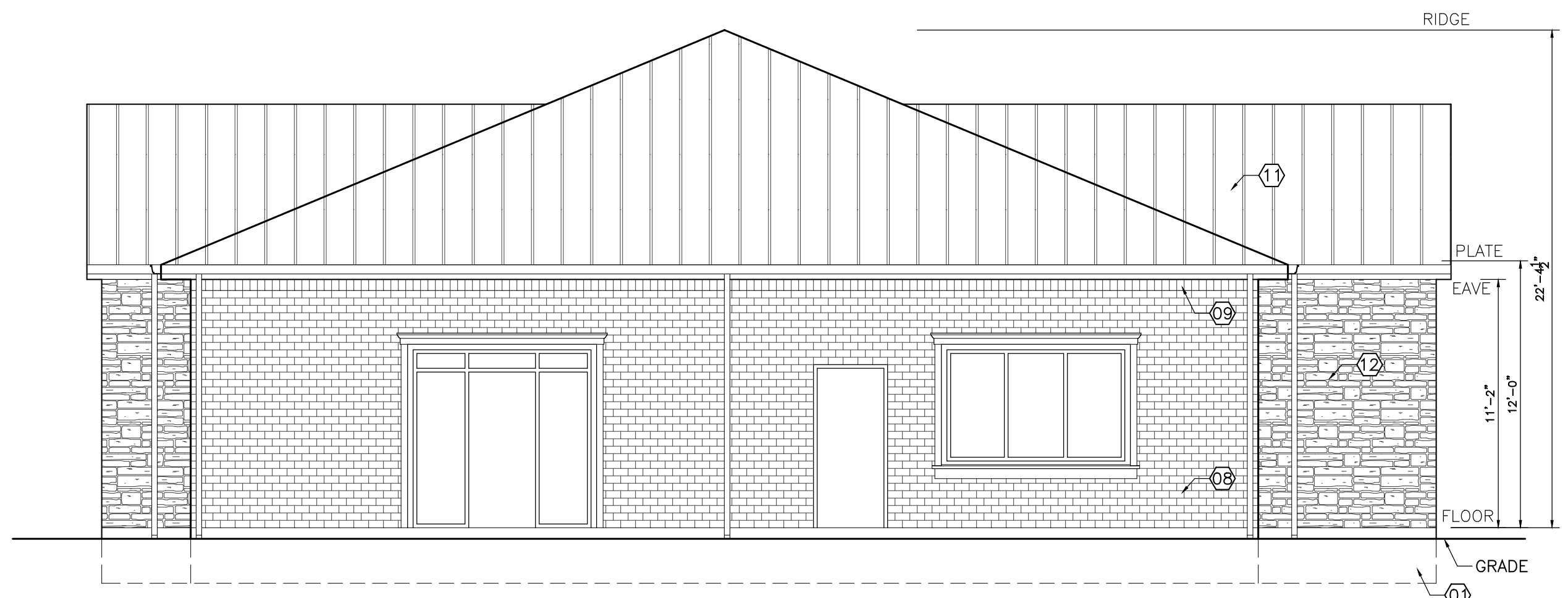
1 EXTERIOR ELEVATION
A3.1 SCALE: 3/16"=1'-0"

- KEY NOTES
- 01 REINFORCED CONCRETE SLAB AND FOOTING. SEE STRUCTURAL PLANS.
 - 02 EFIS OVER 1" FOAM INSULATION ON 1/2" WOOD SHEATHING.
 - 03 EFIS OVER 2"x3" FOAM INSULATION DETAIL BAND.
 - 04 WINDOW-SEE SCHEDULE.
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 - 13 BALCONY RAILING.

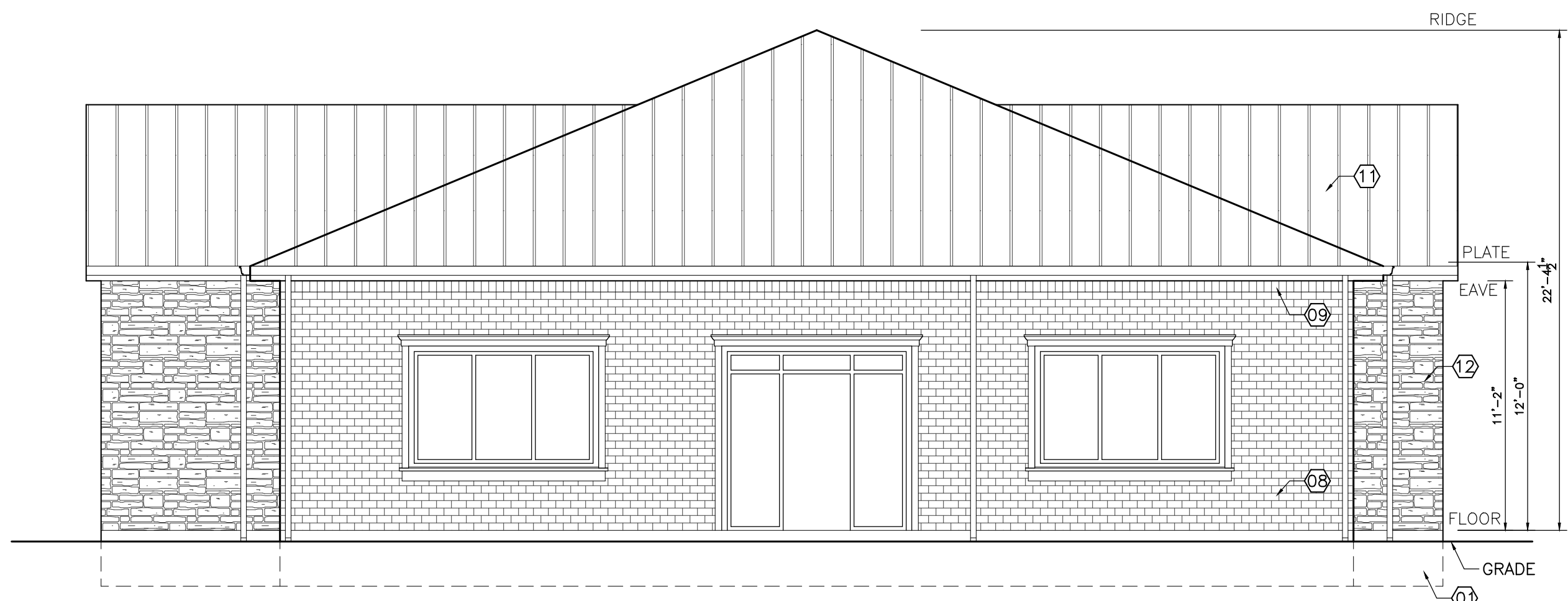
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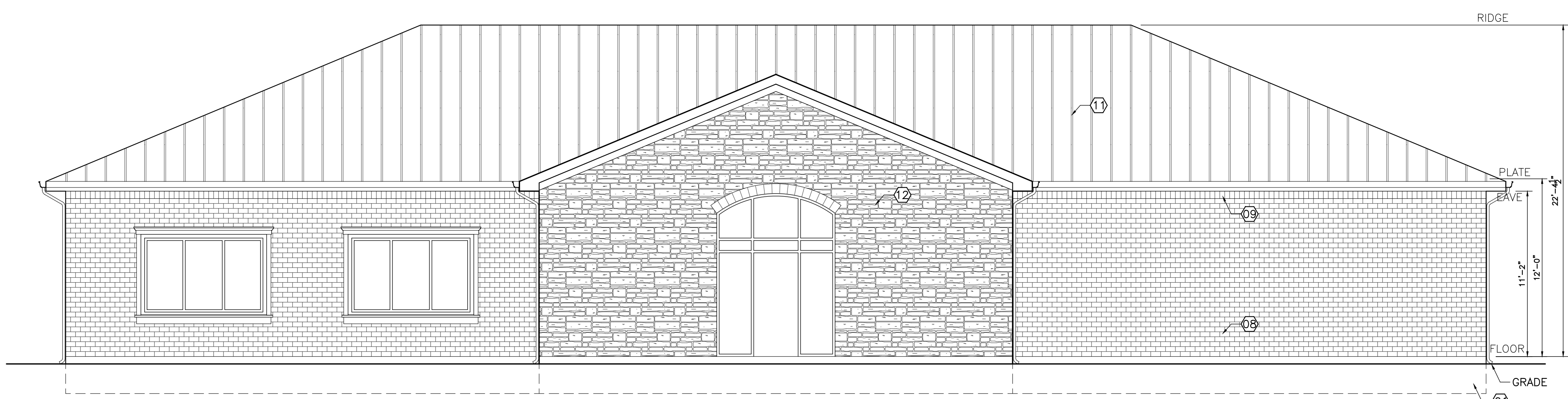
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3 EXTERIOR ELEVATION
A3.1 SCALE: 3/16"=1'-0"



2 EXTERIOR ELEVATION
A3.1 SCALE: 3/16"=1'-0"



4 EXTERIOR ELEVATION
A3.1 SCALE: 3/16"=1'-0"

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BUILDING TYPE 3

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DATE: 10-23-16
SHEET:

A3.1