

CITY OF JACKSONVILLE NOTES

GENERAL

All construction shall be performed in accordance with the approved plans and comply with all standard city policies and practices. City approval is contingent upon any required state or federal permit approvals such as those from the Department of Environmental Protection or the St. Johns River Water Management District (SJRWMD).

It is the developer's responsibility to obtain required Site Work and Building Permits for the project. Apply for the required permits through:

Building Inspection Division
Edward Ball Building, 2nd Floor
214 N. Hogan St.
Jacksonville, FL 32202
(904) 635-1100
http://www.cj.net/Departments/Planning-and-Development/Building-Inspection/

UTILITY WORK

State Health Department approval must be obtained for any newly constructed water and sewer systems.

Plan approval through Development Services does not include utilities. Proposed water, sewer or electric construction must be approved separately through the respective utility company. In most cases, this will be:

JEA
JEA Tower - 4th Floor
21 W. Church Street
Jacksonville, FL 32202
http://www.jea.com/business/services/devandbuild/builders.asp

WORK WITHIN THE RIGHT-OF-WAY

CITY: All work performed within a City of Jacksonville right-of-way or easement requires a Right-of-way Permit. The contractor performing the proposed work must have a current Right-of-way Bond on file with Development Services. Right-of-way Permit applications are processed at:

Development Services Customer Service Counter
Edward Ball Building, 2nd Floor
214 N. Hogan St.
Jacksonville, FL 32202
(904) 252-6572
http://www.cj.net/Departments/Planning-and-Development/Development+Services/Right-of-Way+Permitting.html

STATE: All work performed within a state right-of-way requires a permit from the Florida Department of Transportation (FDOT). It is the developer's responsibility to obtain required FDOT permits or maintenance-of-traffic approvals for work within FDOT right-of-ways. The FDOT regional office can be contacted at (904) 360-5200 Any changes to the approved plans needed for FDOT approval must be submitted to Development Services as revisions.

RAILROAD: Railroad companies may require special approvals or permits to work within their right-of-ways. It is the developer's responsibility to obtain permission from any railroad right-of-way owner before performing any work within their right-of-way.

STORMWATER

Annual reports in compliance with the SJRWMD stormwater permits are required from the maintenance entity of all stormwater management facilities. Send copies of the reports to:

Engineering and Construction Management
Edward Ball Building, 10th Floor
214 N. Hogan St.
Jacksonville, FL 32202
http://www.cj.net/Departments/Public-Works/Engineering-and-Construction/Management/

The owner of any project one (1) acre or larger is required to provide a Notice of Intent (NOI) in accordance with criteria set forth in the city's NPDES permit within 48 hours of beginning construction. Send NOI and NOI fee to:

Florida Department of Environmental Protection
NPDES Stormwater Notices Center, Mail Station #2510
2600 Blair Stone Road
Tallahassee, Florida 32399-2400
(850) 336-6312
http://www.dep.state.fl.us/water/stormwater/npdes/

FIRE MARSHALL

Plan review and approval does not relieve the contractor of complying with all applicable State Fire Codes.

Underground mains and hydrants shall be installed, completed, and in service prior to construction work.

Underground contractor shall submit to the Fire Marshall for approval complete specs for all underground pipe and fittings relating to fire protection PRIOR to installation and inspection. Contractor shall include manufacturer's name and pipe ID along with contractor's state license number.

LANDSCAPE

Site Work Permit is required for this project.

Tree Fund payment is due: Yes No _____ inches at \$ _____ = \$ _____

Article 25 funds are due: Yes No _____ inches at \$ _____ = \$ _____

TRAFFIC ENGINEERING

TRAFFIC SIGNS

Metro Name	Cost	Unit	Notes
Standard	\$100.00	ea.	
Stop/Yield	\$75.00	ea.	
Design	\$45.00		
Installation	\$45.00	/hr.	
TOTAL			

Streelights Required? Yes No

NOTE: Traffic sign costs change from time to time. If the costs change after plan approval but prior to payment for installation, the developer must pay the for the signs at the current costs at the time of payment. The above total assumes the subdivision will be platted as one phase. If the development is platted as separate phases, design and installation will be calculated separately for each phase.

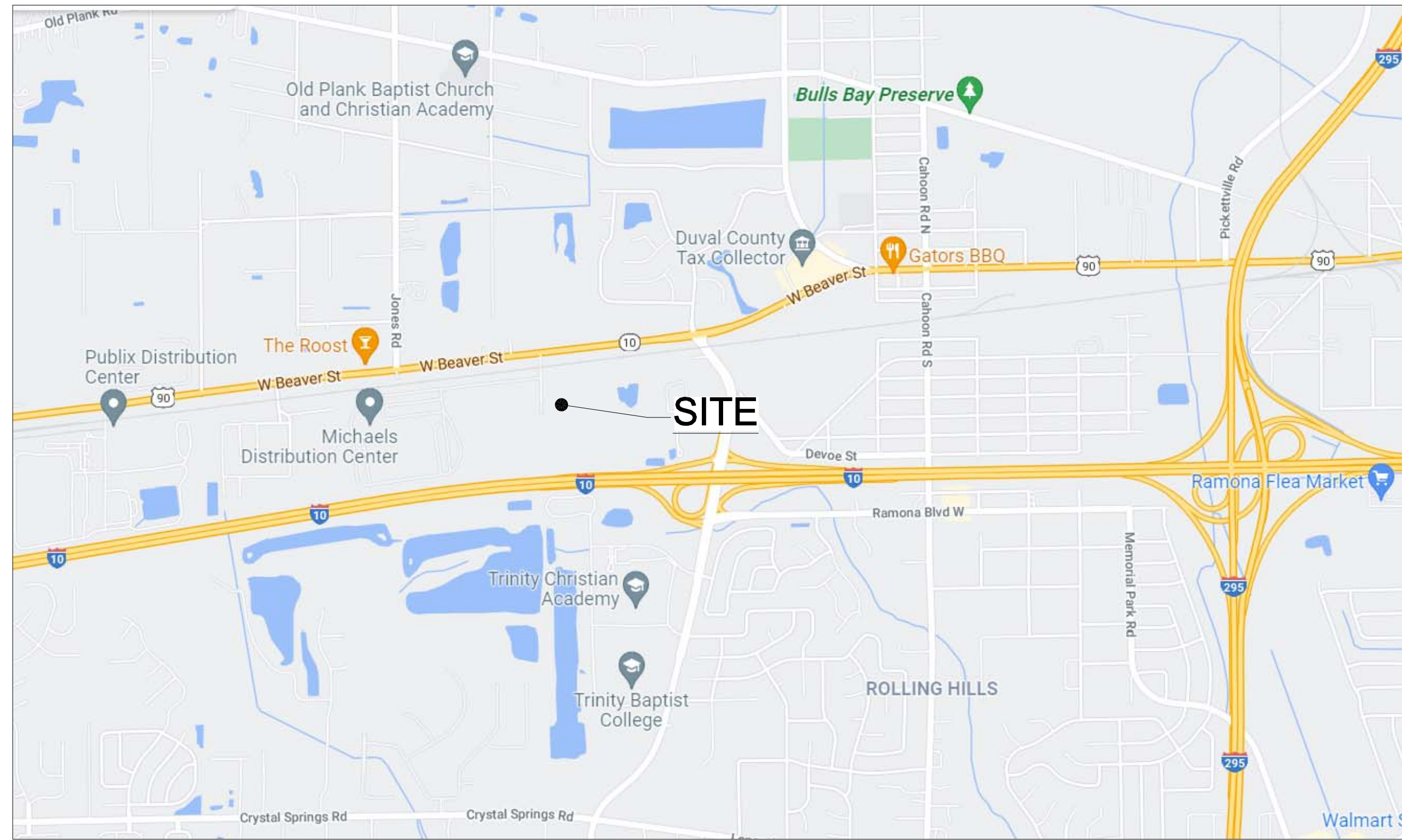
No lane closures allowed from 7 a.m. till 9 a.m. and from 4 p.m. till 6 p.m.

SITE DATA

SITE ADDRESS:	514 ADDOR LANE JACKSONVILLE, FLORIDA 32220	NAME OF LANDSCAPE ARCHITECT:	DONNELL LANDSCAPE DESIGN, INC. 5617 SALERNO ROAD JACKSONVILLE, FL 32244 904-333-2342
NAME OF OWNER:	BACHELOR PROPERTIES, LLC 10463 HARRIER STREET PLANTATION, FL 33324	NAME OF AGENT:	THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302
NAME OF ENGINEER:	THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302	EXISTING ZONING:	IL
NAME OF SURVEYOR:	BOATWRIGHT LAND SURVEYORS, INC. 1500 ROBERTS DRIVE JACKSONVILLE BEACH, FL 32250 (904) 241-8550	BUILDING COVERAGE:	40% (501,079 sq ft) - FUTURE
		VEHICULAR USE AREA:	39% (492,823 sq ft) - FUTURE
		TOTAL SITE DISTURBANCE:	25.66 ACRES
		TOTAL SITE AREA:	28.51 ACRES

PERMIT ISSUE, 01-02-2024

BACHELOR PROPERTIES SITE CLEARING AND GRADING



VICINITY MAP
NTS

514 ADDOR LANE, JACKSONVILLE, FLORIDA

SHEET INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES AND LEGEND
C-02	EXISTING SITE CONDITIONS
C-03	SITE LAYOUT AND GEOMETRY
C-05	GRADING AND DRAINAGE PLAN
C-06	ON-SITE WETLANDS
C-07.0	ON-SITE PRE-DEV. DRAINAGE AREA
C-07.1	OFF-SITE PRE-DEV DRAINAGE AREA-WEST
C-07.2	OFF-SITE PRE-DEV DRAINAGE AREA-NORTH
C-08	POST-DEV DRAINAGE PLAN
C-10	STORM WATER POLLUTION PREVENTION PLAN

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THE SHEET INDEX BELOW IN ACCORDANCE WITH RULE 61G15-23.003 F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY DAVID E. TOURING, PE. LICENSE NUMBER 53503. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC DOCUMENTS.

PLAN APPROVAL

Date _____ Development Services Division (Chief)

Date _____ Review Group (Reviewer)

PLAN APPROVAL IS SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS:

GENERAL PROJECT INFORMATION

GENERAL	
City Development Number	8148.003
Concurrency Application Number	CCAS 110437.1
Property Appraiser Number (RE #)	006867-0200, 006970 0000, 006973 0000
Zoning Designation	IL
PUD Ordinance Number	NA
Zoning Exception Number	NA
Administrative Deviation Number	NA
FIRM Community – Panel	12031C – 0333 H
Flood Zones (Show in Plans)	X
Base Flood Elev. (Show in Plans)	NA
JEA Availability Number	2022-3266
SUBDIVISION	
PSD Number	NA
City or Private Inspection	NA
Public or Private Roads	NA
Subdivision (“911”) Disk Provided?	NA
NON-SUBDIVISION	
North American Industry Classification System (NAICS)	23331
Impervious Area (Sq. Ft.)	993,902 sq. ft. (future)

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

8833 PERMETER PARK BLVD., SUITE 201
JACKSONVILLE, FLORIDA 32216
(P) 904.642.8229 (F) 904.642.8599

STATE OF FLORIDA
CERTIFICATE OF AUTHORITY
NO. 24328

© The Touring Company, Inc. Copyright 2024. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without permission in writing from the Touring Company.

BACHELOR PROPERTIES
PROPOSED WAREHOUSE

SEAL

GENERAL NOTES

- 1. ALL DISTURBED AREAS SHALL BE SOODED OR SEEDED AND MULCHED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES SHOWN OR NOT SHOWN
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING FOR THE NECESSARY PERMITS FOR ANY RELOCATION, DISRUPTION OF SERVICE OR CLARIFICATION OF UTILITY REGARDING SAID UTILITY.

EROSION & SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
2. THE CONTRACTOR SHALL MINIMIZE DISTURBANCE OF NATURAL VEGETATION TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION PERIOD.
3. SILT FENCE OR HAY BALES AND TURBIDITY BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE.

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE EROSION CONTROL, BEST MANAGEMENT PRACTICES, FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER.

- 1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING, BARRICADES AND OTHER PROTECTIVE FENCING
2. LOCATIONS WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFORESAID LOCATIONS, WHILE THESE ITEMS NEAREST TO THE CONSTRUCTION ACTIVITY.
3. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING.

SITE PLAN & SUBDIVISION TESTING

- A. MATERIALS
1. THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES ARE TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS, LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD.
2. THE CONTRACTOR SHALL SUBMIT SUCH SAMPLES OR SUCH SPECIMENS OR TEST PIECES OF MATERIALS AS THE ENGINEER OF RECORD MAY REQUIRE.
B. LABORATORY CONTROL AND CERTIFICATES
1. SPECIFICATIONS, SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM.

WATER CONSTRUCTION NOTES

- 1. LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.
2. ALL TRENCHES SHALL BE PROVIDED TO FINISH GRAD AT A MINIMUM OF 6 INCHES BELOW MAIN BEING LAID.
3. ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCH, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
4. TRENCHES SHALL BE PROVIDED TO FINISH ACCEPTABLE TO THE LOCAL UTILITY COMPANY WITH A MINIMUM COMPACTION OF 98% IN PAVED AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180.

ROADWAY CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SITE PLAN SHALL BE IN CONFORMANCE WITH THE CITY, FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
2. ALL RIGHT-OF-WAY OTHER THAN ROADWAY AREAS SHALL BE GRASSED AND MULCHED OR SOODED. ALL SLOPES STEEPER THAN 6:1 SHALL REQUIRE SOODING.
3. THE FOLLOWING WILL BE THE STANDARD PROTECTION FOR DITCHES UNLESS DRAINAGE CALCULATIONS INDICATE OTHERWISE.

Table with columns: SWALE PROFILE GRADES, PROTECTION REQUIRED, and DESCRIPTION. Includes rows for 2.2% - 4.0% and 4.0% AND GREATER swale grades, and descriptions for concrete curbs, expansion joints, and drainage structures.

- 1. SOIL BORINGS BY A CERTIFIED TESTING LAB ARE REQUIRED WITHIN THE ROAD RIGHT-OF-WAY AT EVERY 200-FOOT INTERVALS AND TO A MINIMUM DEPTH OF 8 FEET.
2. ROADWAY FILL MATERIAL SHALL BE GOOD, CLEAN SAND. CLASSIFICATIONS AS: FREE OF DEBRIS, COMPACTED IN 12-INCH LIFTS AND TESTED FOR COMPACTION IN EACH LIFT AT 200-FOOT INTERVALS.
3. ROADWAY SUBGRADE COMPACTION TESTS ARE REQUIRED EVERY 200 FEET.

SANITARY SEWER NOTES

- 1. THE LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION.
2. ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 8" DIAMETER MINIMUM COMMERCIAL SERVICE LATERALS WITH MULTIPLE CONNECTIONS SHALL BE GREEN 8" DIA. OR LARGER.
3. ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE GREEN PVC SDR 35, ASTM D 3004. IN PLACES WHERE A MINIMUM COVER OF 3' CANNOT BE MAINTAINED, AWWA C-900 OR C-905 GREEN PVC DR-D, CLASS 100 OR CONCRETE ENCASUREMENT SHALL BE USED.
4. MINIMUM GRAVITY SANITARY SEWER SLOPES ARE AS FOLLOWS:
4" PIPE 1.00%
6" PIPE 0.60%
8" PIPE 0.40%
10" PIPE 0.30%
12" PIPE 0.22%

TESTING REQUIREMENTS

- 1. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETED PROPERLY.
2. ALL IN-LINE SANITARY SEWER FORCE MAIN VALVES SHALL BE FULL BORE PLUG VALVES.
3. THE CONTRACTOR SHALL RESERVE THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO EXISTING CUSTOMERS.
4. ALL SANITARY SEWER FORCE MAIN SANITARY SEWER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE CONSTRUCTED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR OR LICENSED GENERAL CONTRACTOR WHO IS LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE CITY.

AS-BUILT DRAWING REQUIREMENTS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION (WHERE APPLICABLE) IS REQUIRED ON ALL AS-BUILT DRAWINGS.

- 1. PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK.
2. ALL RADI AT INTERSECTIONS SHALL BE VERIFIED AND DIMENSIONED. THIS INFORMATION IS TO BE CLEARLY INDICATED ON THE AS-BUILT DRAWINGS.
3. ROADWAY ELEVATIONS SHALL BE RECORDED AT ALL GRADE CHANGES, 100' INTERVALS ALONG ROADWAY, AND OTHER INTERVALS AS NEEDED.
4. ACTUAL MEASUREMENTS SHALL BE TAKEN FOR ALL STREETS, STREET CORNERS, RADIUS POINTS, STRUCTURES, AND ARCHING CURVES AT SIXTY FEET (60') INTERVALS.
5. STORM DRAINAGE PIPE INVERT AND INLET ELEVATIONS SHALL BE RECORDED AND CLEARLY INDICATED AS AS-BUILT INFORMATION.
6. STORM DRAINAGE PIPE MATERIAL, LENGTH, AND SIZE SHALL BE MEASURED AND/OR VERIFIED.
7. ALL APPLICABLE TOPOGRAPHIC INFORMATION PERTINENT TO THE ON-SITE DRAINAGE SYSTEM, SUCH AS DITCHES, SWALES, LAKES, CANALS, ETC. THAT ARE DEEMED NECESSARY BY THE CITY TO VERIFY THE FUNCTIONAL PERFORMANCE OF THE STORMWATER SYSTEM, SHALL BE NOTED.

ADDITIONAL NOTES

- 1. THE NOTES ON THIS PAGE ARE GENERAL CONSTRUCTION NOTES ONLY AND DO NOT CONTAIN ALL CITY/COUNTY STANDARD CONSTRUCTION NOTES.
2. SEE SITE WORK SPECIFICATIONS FOR ADDITIONAL INFORMATION.

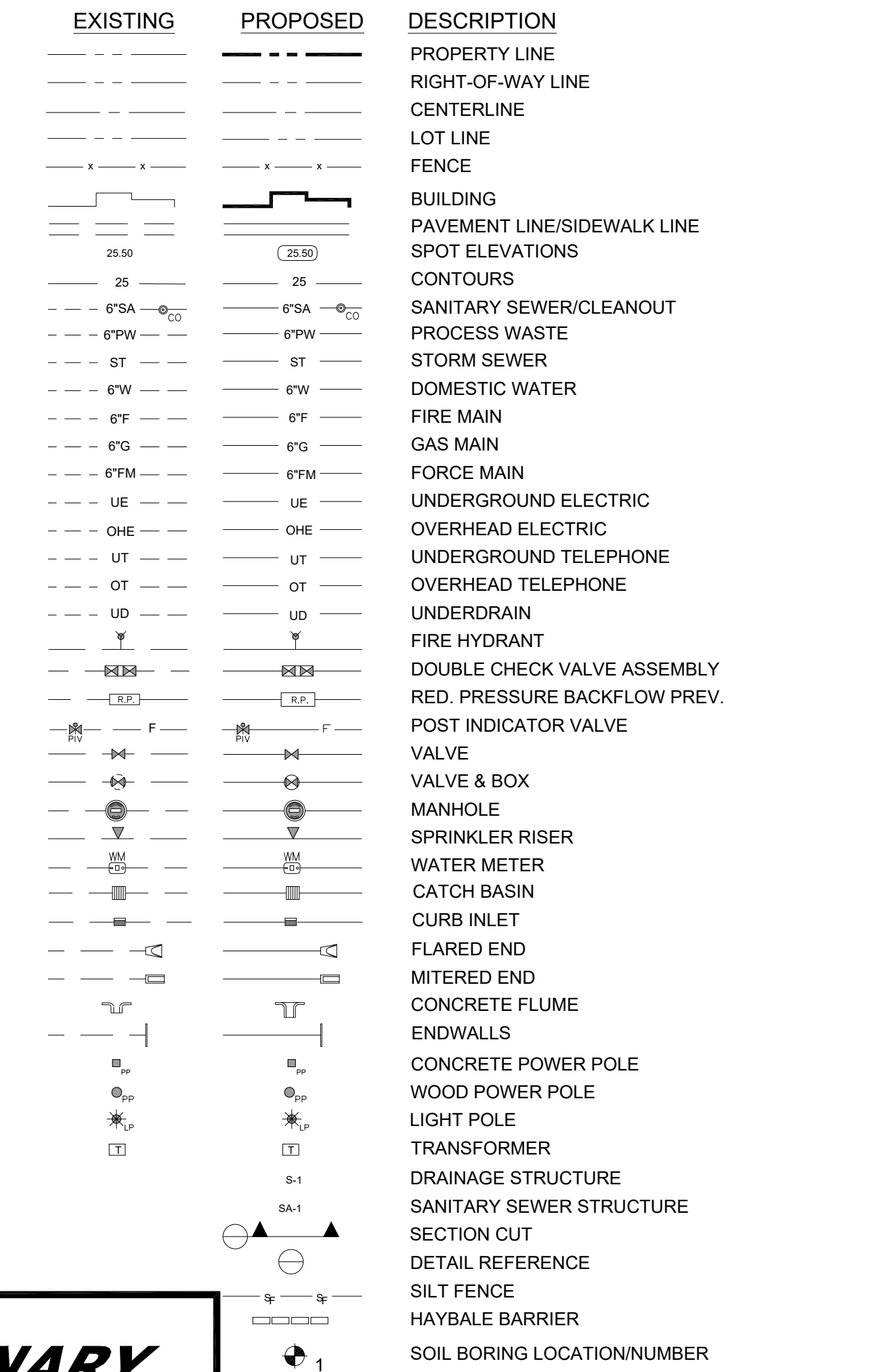
STORM DRAINAGE CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
2. ALL STORM SEWERS AND CURBVERTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE.
3. SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, ASHTO MP7, ASTM D3330 AND ASTM D3041 FOR SIZES UP TO 42" IN DIAMETER.
4. ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH FILTER FABRIC WITH A MINIMUM WIDTH OF 42" AND A MINIMUM OF 24" OVERLAP SECURED WITH PLASTIC OR STAINLESS BANDS.
5. STORM INLETS SHALL BE 12" IN DIAMETER UNLESS OTHERWISE NOTED BY THE CITY ENGINEER.

POTABLE WATER/SANITARY SEWER MAINS SEPARATION NOTES

- 1. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
2. THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE.

CIVIL ENGINEERING LEGEND



GENERAL NOTES AND LEGEND

JOB NO. 21-0070

DRAWN BY: NAD

CHECKED BY: DET

SCALE: 1"=50'

C-01 SHEET NO.

THE TOURING COMPANY, INC. CIVIL AND MARINE CONSULTING
STATE OF FLORIDA CERTIFICATE OF AUTHORITY 12586
16285-16 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32209
(P) 904.614.3302 (F) 904.223.9045

LAST PLOTTED: 1/22/2024 9:35:4M

BY: DAVID E. TOURING, PE

LAST SAVED: 1/22/2024 9:28:4M

FILE LOCATION: Z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWG\Jobs_Trust_Indust_21-0070-DWG_Site Plan_21-0070.dwg

BACHELOR PROPERTIES
SITE CLEARING AND GRADING
514 ADDOR LANE, JACKSONVILLE, FLORIDA

PRELIMINARY
NOT FOR CONSTRUCTION

FILE LOCATION: Z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWGS\Jobs_Trust_Indust_21-0070.dwg LAST SAVED: 1/2/2024 9:28 AM LAST PLOTTED: 1/2/2024 9:36 AM BY: DAVID E. TOURING, PE



MAP SHOWING SURVEY OF
 TRACT 15 AND PART OF TRACTS 14 AND 18, BLOCK 1, SECTION 21 AND TRACT 9 AND PART OF TRACT 10, BLOCK 2, SECTION 22 AND PART OF A 300 FOOT RIGHT OF WAY (CLOSED BY ORANGE 40-127-528 AND RECORDED IN CUR. BOOK 7034, PAGE 1485) LYING BETWEEN SAID BLOCKS 1 AND 2, TOWNSHIP 2 SOUTH, RANGE 25 EAST, JACKSONVILLE HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 5, PAGE 83 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF C.S.X. RAILROAD (A 200.0 FOOT RIGHT OF WAY) WITH THE WEST LINE OF ADDOR LANE (FORMERLY KNOWN AS PINE ROAD) (A 80.0 FOOT RIGHT OF WAY); THENCE THE FOLLOWING TWO COURSES ALONG THE WEST LINE AND THE SOUTHERLY PROLONGATION OF SAID ADDOR LANE (FORMERLY PINE ROAD), SOUTH 00°46'41" EAST, 018.8 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°46'41" EAST, 80.0 FEET, TO THE NORTH LINE OF INTERSTATE HIGHWAY NO. 10 (A LIMITED ACCESS 300.0 FOOT RIGHT OF WAY) AND A POINT ON A CURVE COMMENCING TO THE SOUTHEAST A RADIUS OF 3,000.0 FEET; THENCE THE FOLLOWING TWO COURSES ALONG THE NORTH LINE OF SAID INTERSTATE HIGHWAY NO. 10, COURSE 1, AROUND AND ALONG SAID CURVE AND THE NORTH LINE OF SAID INTERSTATE HIGHWAY NO. 10 THROUGH A CURVE HAVING AN ANGLE OF 02°48'20", AN ARC DISTANCE OF 1,136.27 FEET (CHORD BEARING AND DISTANCE NORTH 86°58'31" EAST, 1,136.16 FEET, TO ITS POINT OF TANGENCY; THENCE COURSE 2, NORTH 86°59'24" EAST, 278.25 FEET; THENCE NORTH 02°48'20" WEST, 755.57 FEET; THENCE NORTH 86°16'48" WEST, 679.81 FEET; THENCE SOUTH 87°55'22" WEST, 894.87 FEET, TO THE POINT OF BEGINNING.

LESS AND EXCEPT FROM THE ABOVE THE FOLLOWING DESCRIBED LANDS: LIFT STATION SITE (PARCEL 3) A PART OF TRACT 15, BLOCK 1, SECTION 21, TOWNSHIP 2 SOUTH, RANGE 25 EAST, JACKSONVILLE HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 5, PAGE 83 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF THE C.S.X. RAILROAD (A 200.0 FOOT RIGHT OF WAY) WITH THE WEST LINE OF ADDOR LANE (FORMERLY KNOWN AS PINE ROAD) (A 80.0 FOOT RIGHT OF WAY); THENCE SOUTH 00°46'41" EAST, 80.0 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°46'41" EAST, 80.0 FEET, TO THE NORTH LINE OF INTERSTATE HIGHWAY NO. 10 (A LIMITED ACCESS 300.0 FOOT RIGHT OF WAY) AND A POINT ON A CURVE COMMENCING TO THE SOUTHEAST A RADIUS OF 3,000.0 FEET; THENCE THE FOLLOWING TWO COURSES ALONG THE NORTH LINE OF SAID INTERSTATE HIGHWAY NO. 10, COURSE 1, AROUND AND ALONG SAID CURVE AND THE NORTH LINE OF SAID INTERSTATE HIGHWAY NO. 10 THROUGH A CURVE HAVING AN ANGLE OF 02°48'20", AN ARC DISTANCE OF 1,136.27 FEET (CHORD BEARING AND DISTANCE NORTH 86°58'31" EAST, 1,136.16 FEET, TO ITS POINT OF TANGENCY; THENCE COURSE 2, NORTH 86°59'24" EAST, 278.25 FEET; THENCE NORTH 02°48'20" WEST, 755.57 FEET; THENCE NORTH 86°16'48" WEST, 679.81 FEET; THENCE SOUTH 87°55'22" WEST, 894.87 FEET, TO THE POINT OF BEGINNING.

TOGETHER WITH:

THE WEST HALF OF TRACT 8, BLOCK 2, SECTION 22, TOWNSHIP 2 SOUTH, RANGE 25 EAST, JACKSONVILLE HEIGHTS, ACCORDING TO PLAT BOOK 5, PAGE 83 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, EXCEPTING THEREFROM THAT PART CONVEYED TO COUNTY FOR ROAD PURPOSES IN DEED BOOK 1485, PAGE 302 AND ANY PART WHICH MAY LIE IN SEABOARD COAST LINE RAILROAD RIGHT OF WAY

(AS RECORDED IN OFFICIAL RECORDS BOOK 18822, PAGE 490, OF SAID PUBLIC RECORDS)

TOGETHER WITH:

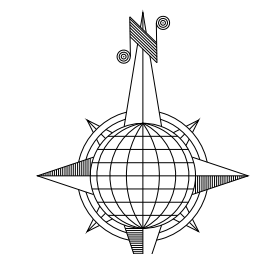
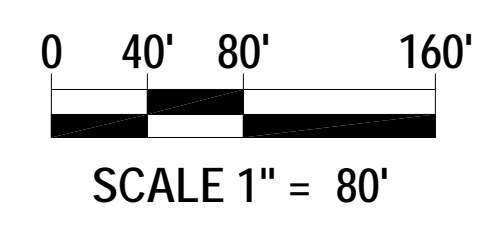
PART OF THE EAST HALF OF TRACT 8, BLOCK 2, SECTION 22, TOWNSHIP 2 SOUTH, RANGE 25 EAST, JACKSONVILLE HEIGHTS, ACCORDING TO PLAT BOOK 5, PAGE 83 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, EXCEPTING ANY PART WHICH MAY LIE IN SEABOARD COAST LINE RAILROAD RIGHT OF WAY, BEING MORE PARTICULARLY DESCRIBED AS:

STARTING 330 FEET FROM SDC ONE ON N.W. CORNER EAST 100 FEET THENCE SOUTH 150 FEET THENCE WEST 100 FEET THENCE NORTH 150 FEET BACK TO STARTING POINT.

THIS 100 X 150 FEET LOT BEING LOCATED IN SECTION 22, BLOCK 8 OF JACKSONVILLE HEIGHTS, JACKSONVILLE, FLORIDA.

PART OF E 1/2 TRACT 8, BLOCK 2, SECTION 22 25 R25E.

(AS RECORDED IN OFFICIAL RECORDS BOOK 10780, PAGE 1849, OF SAID PUBLIC RECORDS)



THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
 CERTIFICATE OF
 AUTHORITY
 NO. 28326

14286-10 BEACH BLVD., UNIT 355
 JACKSONVILLE, FLORIDA 32250
 (P) 904.614.3302 (F) 904.223.8045

© The Touring Company, Inc. 2024. All rights reserved. No part of this work may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the prior written consent of The Touring Company.

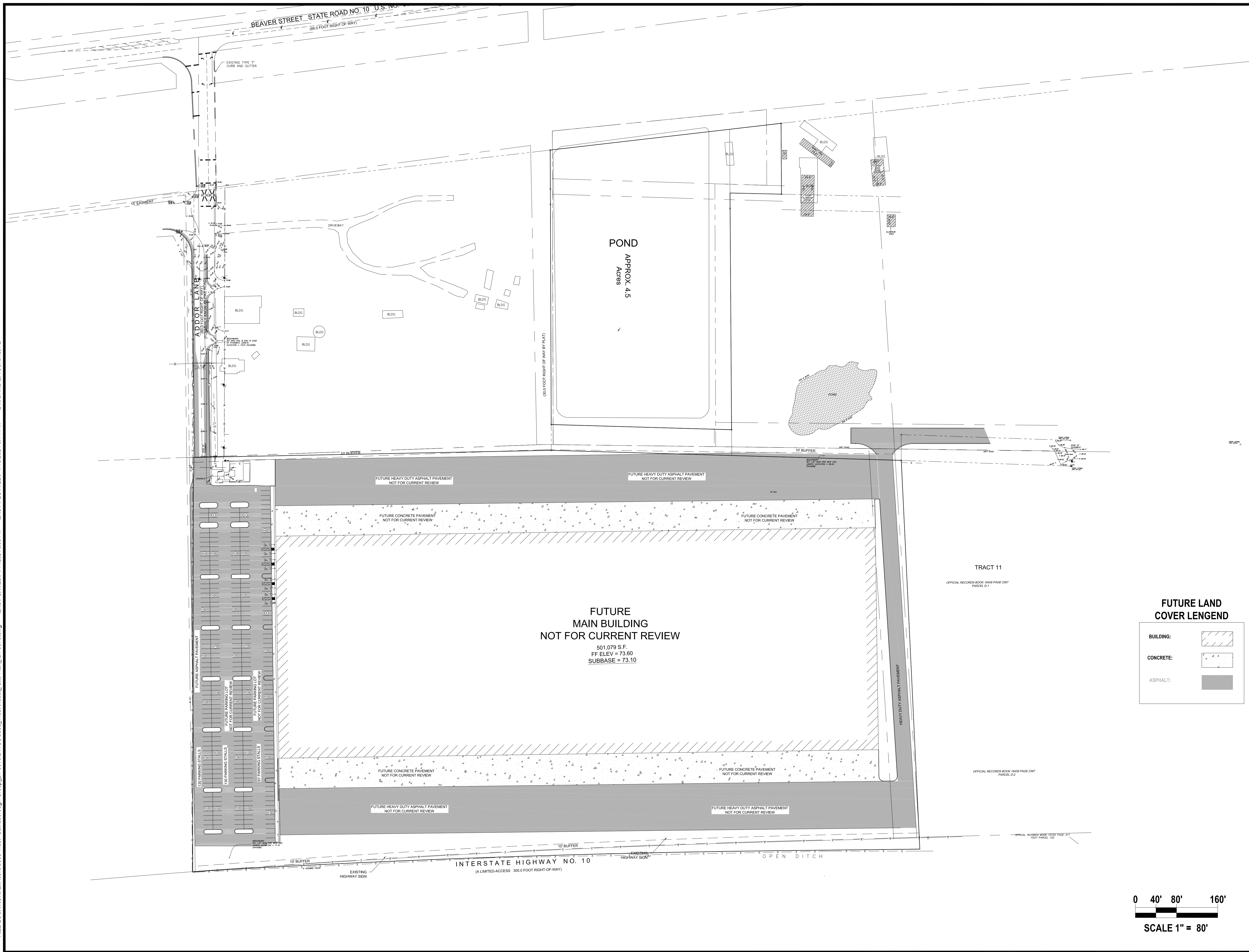
REV.	DATE	BY	DESCRIPTION
0	01-02-2024	DET	MASS GRADINGSITE CLEARING PERMIT ISSUE

BACHELOR PROPERTIES
SITE CLEARING AND GRADING
ADDOR LANE, JACKSONVILLE, FLORIDA

EXISTING CONDITIONS

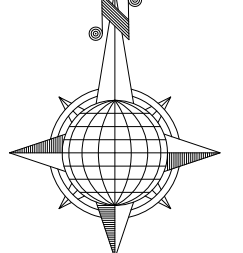
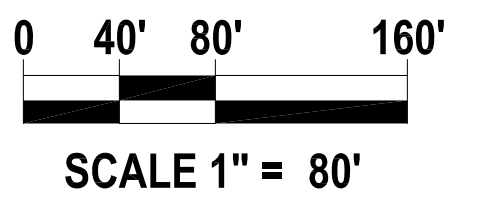
JOB NO. 21-0070
 DRAWN BY: NAD
 CHECKED BY: DET
 SCALE: 1" = 80'

C-02
 SHEET NO.



FUTURE LAND COVER LENGEND

- BUILDING:
- CONCRETE:
- ASPHALT:



THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING
 STATE OF FLORIDA
 CERTIFICATE OF
 AUTHORIZATION
 NO. 26526
 14286-19 BEACH BLVD., UNIT 355
 JACKSONVILLE, FL 32216
 (P) 904.814.3302 (F) 904.223.8945

REV.	DATE	BY	DESCRIPTION

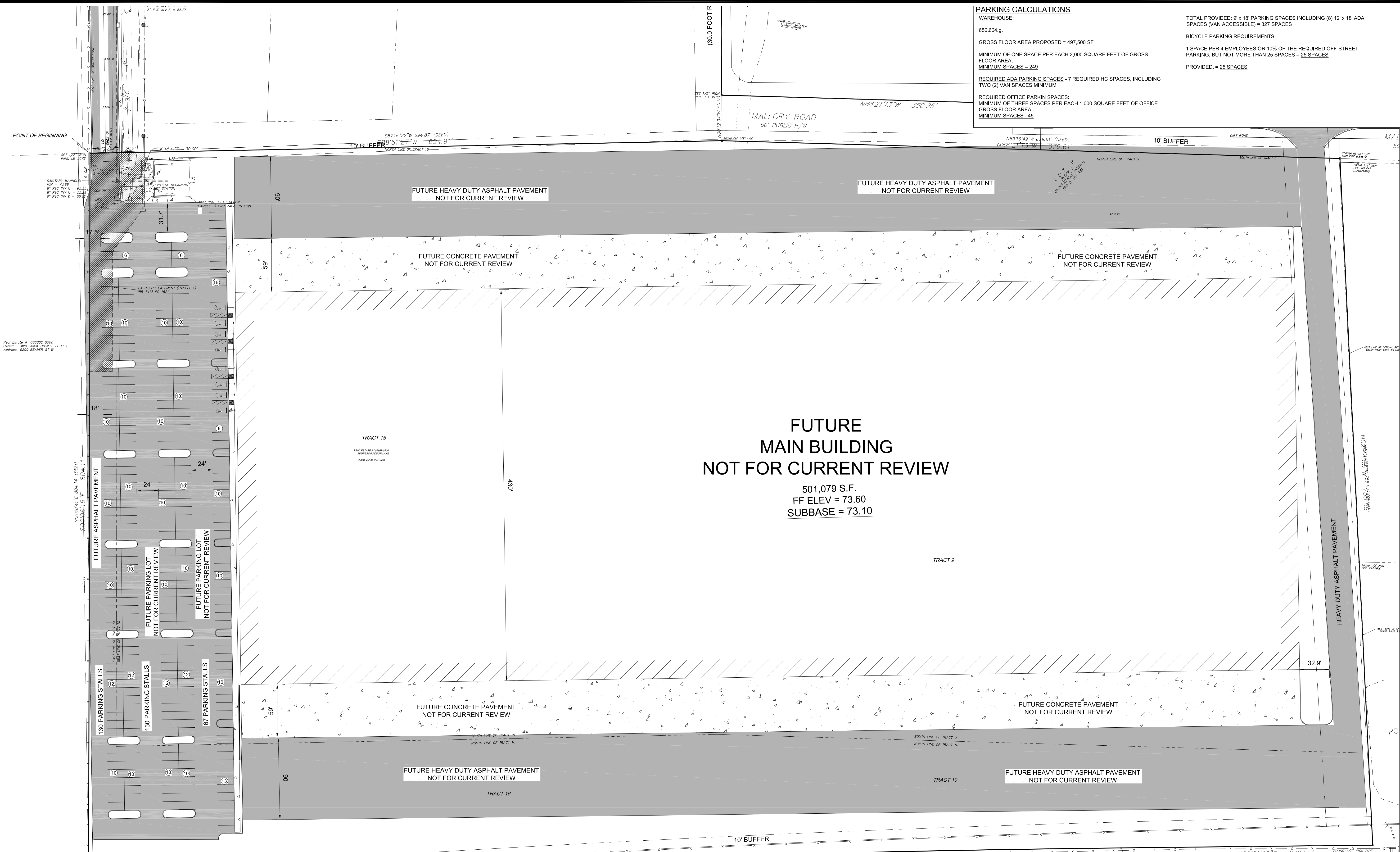
**BACHELOR PROPERTIES
 SITE CLEARING AND GRADING
 ADDOR LANE, JACKSONVILLE, FLORIDA**

**OVERALL
 SITE PLAN**

JOB NO. **21-0070**
 DRAWN BY: **NAD**
 CHECKED BY: **DET**
 SCALE: **1" = 80'**

C-03.0
 SHEET NO.

FILE LOCATION: Z:\Active\Jobs_Trust\Cainstborough Group_21-0070\DWGS\Jobs_Trust\Indust_Site Plan_21-0070.dwg LAST SAVED: 1/18/2024 3:56 PM LAST PLOTTED: 1/18/2024 3:56 PM BY: DAVID E. TOURING, PE



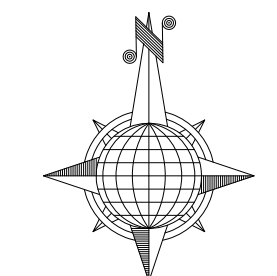
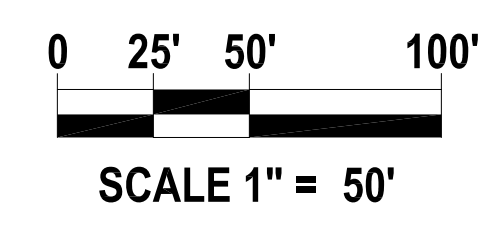
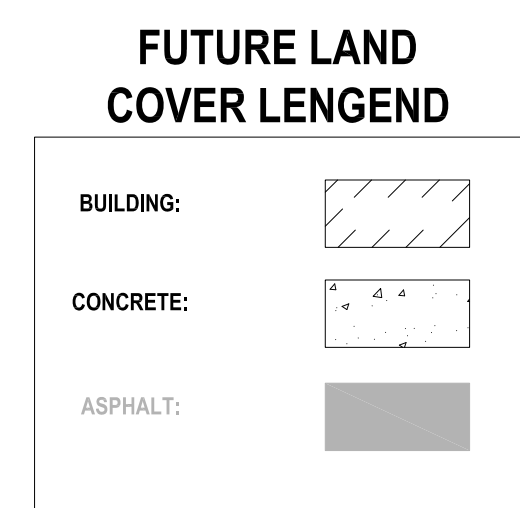
PARKING CALCULATIONS
 WAREHOUSE:
 656,604 g.
 GROSS FLOOR AREA PROPOSED = 497,500 SF
 MINIMUM OF ONE SPACE PER EACH 2,000 SQUARE FEET OF GROSS FLOOR AREA.
 MINIMUM SPACES = 249
 REQUIRED ADA PARKING SPACES - 7 REQUIRED HC SPACES, INCLUDING TWO (2) VAN SPACES MINIMUM
 REQUIRED OFFICE PARKING SPACES:
 MINIMUM OF THREE SPACES PER EACH 1,000 SQUARE FEET OF OFFICE GROSS FLOOR AREA.
 MINIMUM SPACES = 45

TOTAL PROVIDED: 9' x 18' PARKING SPACES INCLUDING (8) 12' x 18' ADA SPACES (VAN ACCESSIBLE) = 327 SPACES
 BICYCLE PARKING REQUIREMENTS:
 1 SPACE PER 4 EMPLOYEES OR 10% OF THE REQUIRED OFF-STREET PARKING, BUT NOT MORE THAN 25 SPACES = 26 SPACES
 PROVIDED: = 25 SPACES

FUTURE MAIN BUILDING
 NOT FOR CURRENT REVIEW

501,079 S.F.
 FF ELEV = 73.60
 SUBBASE = 73.10

INTERSTATE HIGHWAY NO. 10
 (A LIMITED-ACCESS 300.0 FOOT RIGHT-OF-WAY)



THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING
 STATE OF FLORIDA
 CERTIFICATE OF AUTHORIZATION
 NO. 26526
 14266-19 BEACH BLVD., UNIT 355
 JACKSONVILLE, FL 32216
 (P) 904.814.3302 (F) 904.223.8045

REV.	DATE	BY	DESCRIPTION
1	01/16/2023	APZ	REVISED PERMIT
2	01/16/2023	APZ	REVISED PERMIT
0	2/14/2023	DET	REVISED PERMIT
0	2/14/2023	DET	REVISED PERMIT

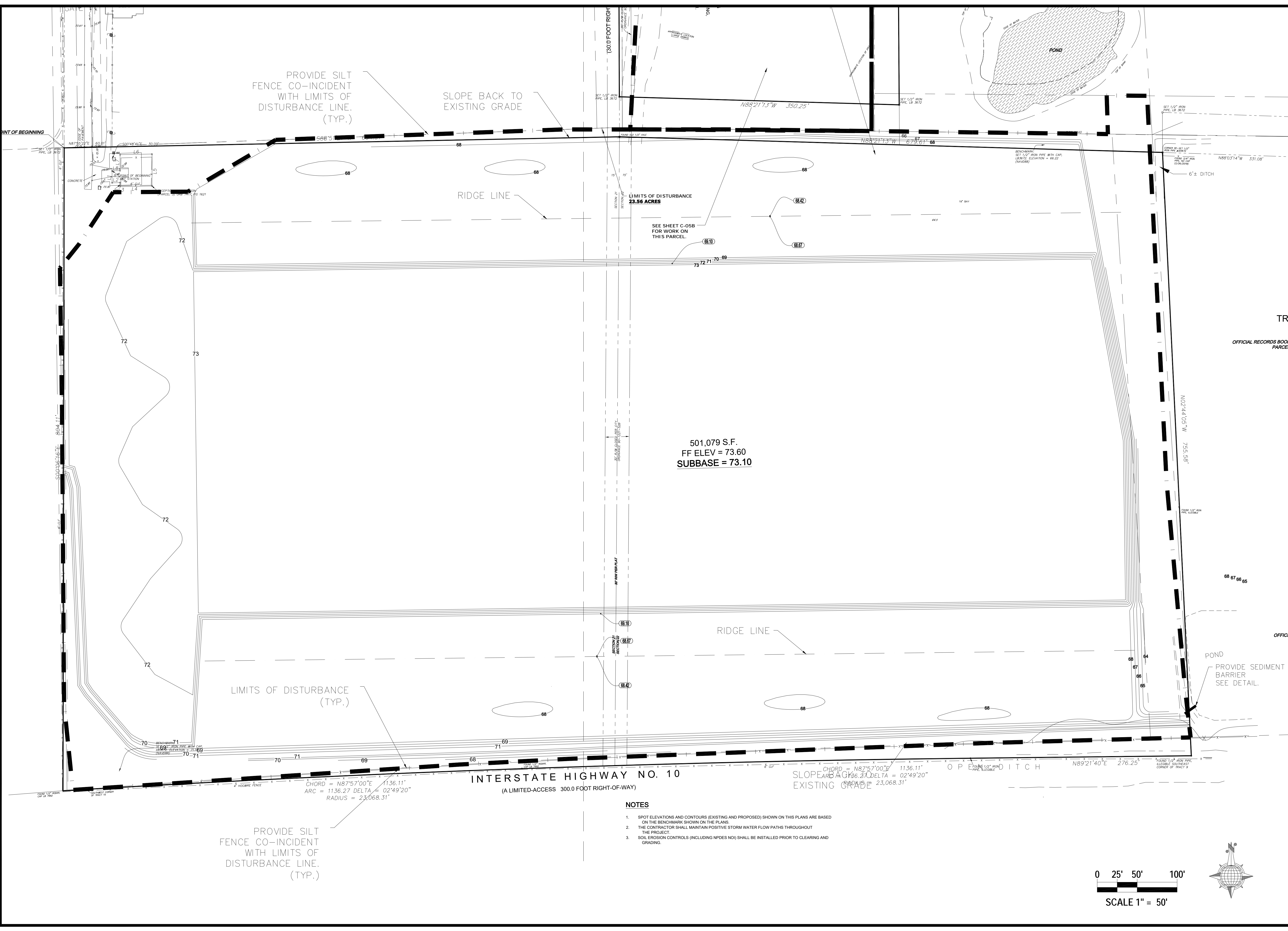
BACHELOR PROPERTIES
SITE CLEARING AND GRADING
 ADDR LANE, JACKSONVILLE, FLORIDA

FUTURE CONCEPT SITE LAYOUT AND GEOMETRY

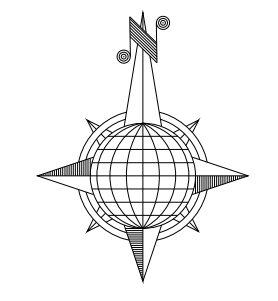
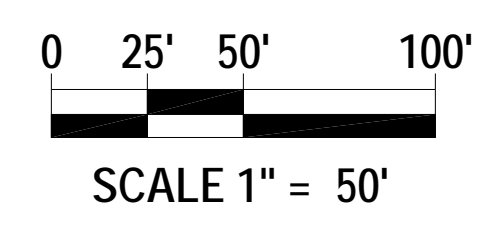
JOB NO. 21-0070
 DRAWN BY: NAD
 CHECKED BY: DET
 SCALE: 1"=50'

C-03
 SHEET NO.

FILE LOCATION: z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWG\SS\Jobs_Trust_Indust_Site Plan_21-0070.dwg LAST SAVED: 1/2/2024 9:28 AM LAST PLOTTED: 1/2/2024 9:36 AM BY: DAVID E. TOURING, PE



- NOTES**
1. SPOT ELEVATIONS AND CONTOURS (EXISTING AND PROPOSED) SHOWN ON THIS PLANS ARE BASED ON THE BENCHMARK SHOWN ON THE PLANS.
 2. THE CONTRACTOR SHALL MAINTAIN POSITIVE STORM WATER FLOW PATHS THROUGHOUT THE PROJECT.
 3. SOIL EROSION CONTROLS (INCLUDING NPDES NOI) SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING.



THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
 CERTIFICATE OF AUTHORITY
 NO. 24826

14286-10 BEACH BLVD. UNIT 365
 JACKSONVILLE, FLORIDA 32250
 (P) 904.614.3302 (F) 904.223.8045

© The Touring Company, Inc. 2024. All rights reserved. No part of this work may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the prior written permission of The Touring Company.

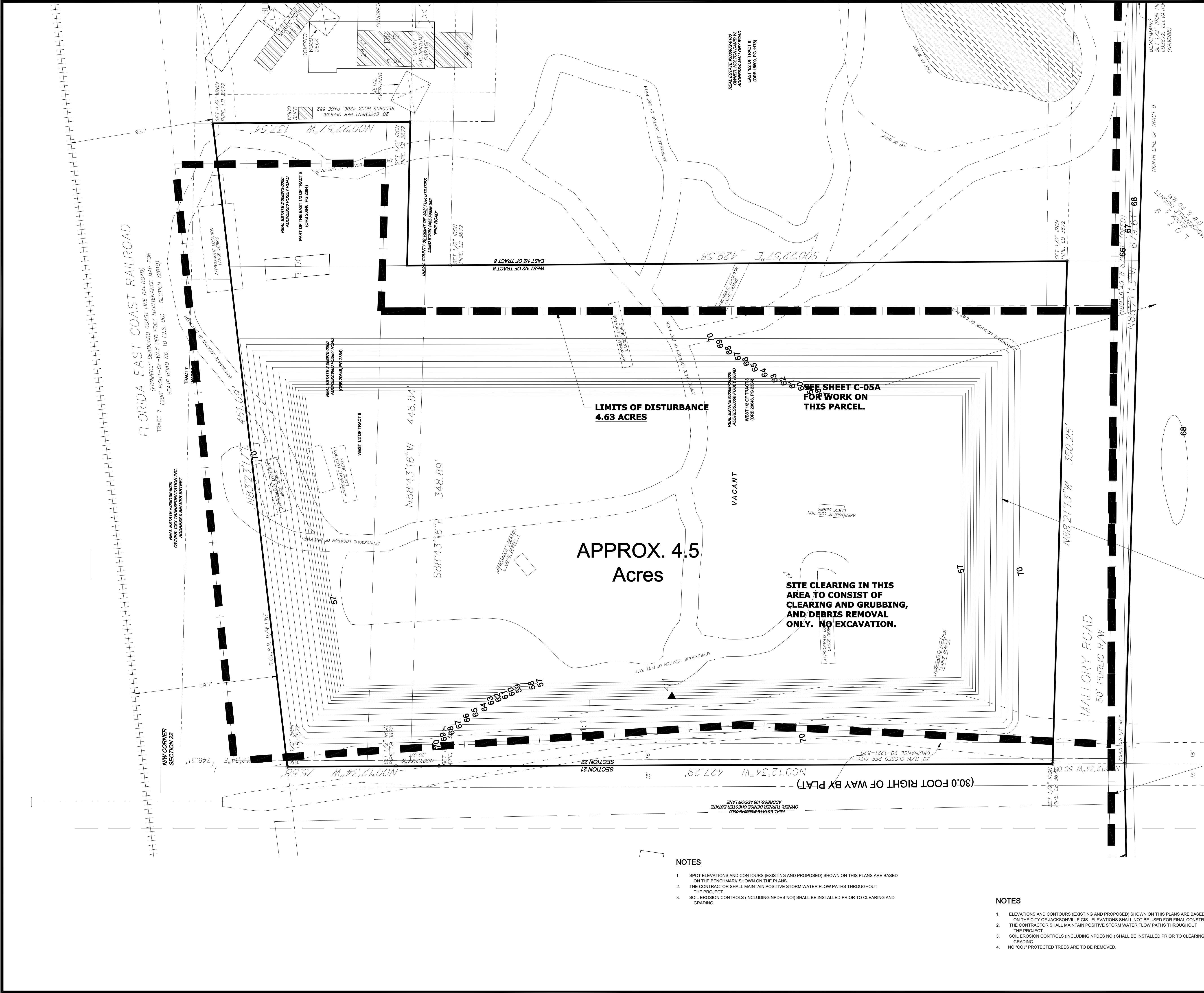
REV.	DATE	BY	DESCRIPTION
0	01-02-2024	DET	MASS GRADING/SITE CLEARING PERMIT ISSUE

BACHELOR PROPERTIES
SITE CLEARING AND MAINTENANCE
 ADDOR LANE, JACKSONVILLE, FLORIDA

CLEARING AND GRADING PLAN

JOB NO. 21-0070
 DRAWN BY: NAD
 CHECKED BY: DET
 SCALE: 1"=50'

C-05A
 SHEET NO.



SITE CLEARING IN THIS AREA TO CONSIST OF CLEARING AND GRUBBING, AND DEBRIS REMOVAL ONLY. NO EXCAVATION.

APPROX. 4.5 Acres

LIMITS OF DISTURBANCE 4.63 ACRES

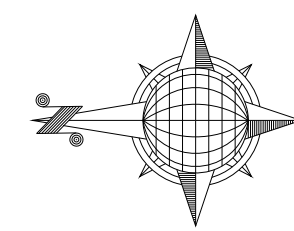
SEE SHEET C-05A FOR WORK ON THIS PARCEL.

NOTES

1. SPOT ELEVATIONS AND CONTOURS (EXISTING AND PROPOSED) SHOWN ON THIS PLANS ARE BASED ON THE BENCHMARK SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL MAINTAIN POSITIVE STORM WATER FLOW PATHS THROUGHOUT THE PROJECT.
3. SOIL EROSION CONTROLS (INCLUDING NPDES NOI) SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING.

NOTES

1. ELEVATIONS AND CONTOURS (EXISTING AND PROPOSED) SHOWN ON THIS PLANS ARE BASED ON THE CITY OF JACKSONVILLE GIS. ELEVATIONS SHALL NOT BE USED FOR FINAL CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN POSITIVE STORM WATER FLOW PATHS THROUGHOUT THE PROJECT.
3. SOIL EROSION CONTROLS (INCLUDING NPDES NOI) SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING.
4. NO "COP" PROTECTED TREES ARE TO BE REMOVED.



0 15' 30' 60'
SCALE 1" = 30'

**BACHELOR PROPERTIES
SITE CLEARING AND MAINTENANCE
ADDOR LANE, JACKSONVILLE, FLORIDA**

REV.	DATE	BY	DESCRIPTION
0	01-02-2024	DET	MASS GRADINGSITE CLEARING PERMIT ISSUE

CLEARING AND GRADING PLAN

JOB NO.	21-0070
DRAWN BY:	NAD
CHECKED BY:	DET
SCALE:	1"=30'

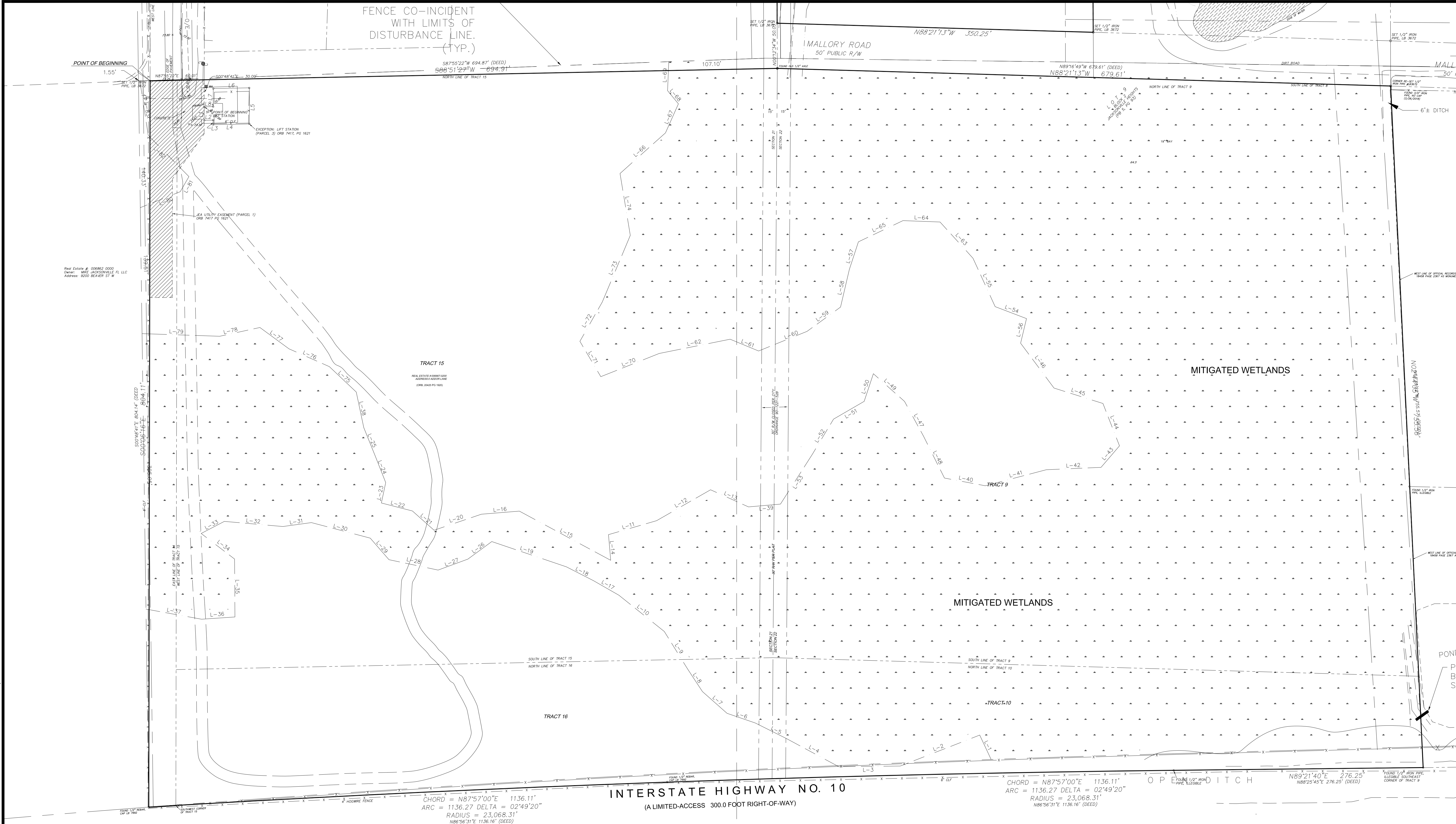
C-05B
SHEET NO.

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF AUTHORITY
NO. 28328

14286 10 BEACH BLVD., UNIT 305
JACKSONVILLE, FLORIDA 32250
(P) 904.614.3302 (F) 904.223.8045

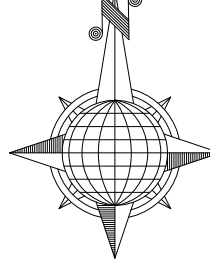
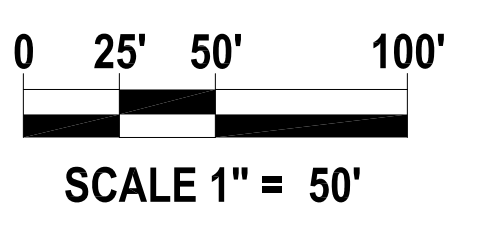
FILE LOCATION: Z:\Active\Jobs_Trust\Gainsborough Group_21-0070\DWGS\Jobs_Trust\Indust_Site Plan_21-0070.dwg LAST SAVED: 1/19/2024 3:48 PM LAST PLOTTED: 1/19/2024 3:48 PM BY: DAVID E. TOURING, PE



- EROSION AND SEDIMENT CONTROL NOTES:**
- THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
 - ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
 - THE SITEWORK CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICAL TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURES DETAILED HEREIN SHALL BE CONTINUED UNTIL THE PERMANENT DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED AND UNTIL ALL DISTURBED AREAS HAVE BEEN REESTABLISHED SO AS TO ESTABLISH AN EFFECTIVE EROSION DETERRENT. ALL COLLECTED SEDIMENT REMOVED FROM IMPOUNDMENT AREAS SHALL BE EVENLY DISTRIBUTED AND PERMANENTLY ESTABLISHED. TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENTS.
 - SITEWORK CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT IN DETENTION PONDS AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
 - ALL DISTURBED AREAS OUTSIDE OF EXISTING AND PROPOSED PAVEMENT SHALL RECEIVE TEMPORARY AND PERMANENT SEEDING IN ACCORDANCE WITH LOCAL REGULATIONS.

LEGEND

EXISTING WETLANDS TO BE IMPACTED



THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF
AUTHORIZATION
NO. 26526

14286-19 BEACH BLVD., UNIT 355
JACKSONVILLE, FL 32218
(P) 904.814.3302 (F) 904.223.8045

© The Touring Company 2021. Copyright. The Touring Company, 2021. All rights reserved. No part of this work may be used, reproduced, or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of The Touring Company.

REV.	DATE	BY	DESCRIPTION

BACHELOR PROPERTIES
PROPOSED WAREHOUSE
ADDRESS: LANE, JACKSONVILLE, FLORIDA

ON-SITE WETLANDS

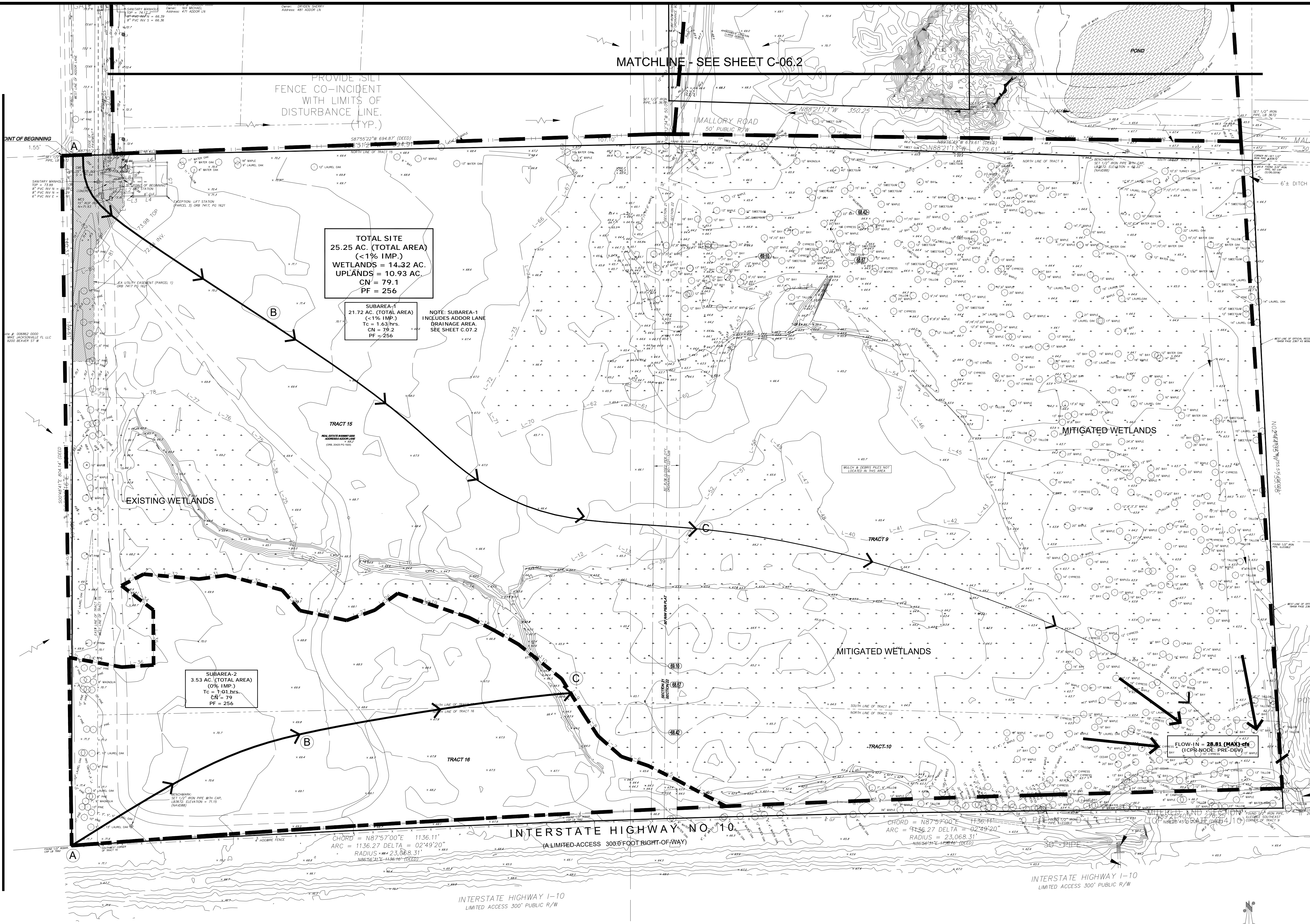
JOB NO. **21-0070**
DRAWN BY: **NAD**
CHECKED BY: **DET**
SCALE: **1"=50'**

C-06
SHEET NO.

FILE LOCATION: Z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWG\Site Plan_21-0070.dwg LAST SAVED: 1/22/2024 9:28 AM LAST PLOTTED: 1/22/2024 9:36 AM BY: DAVID E. TOURING, PE

MATCHLINE - SEE SHEET C-06.1

MATCHLINE - SEE SHEET C-06.2



TOTAL SITE
25.25 AC. (TOTAL AREA)
(< 1% IMP.)
WETLANDS = 14.32 AC.
UPLANDS = 10.93 AC.
CN = 79.1
PF = 256

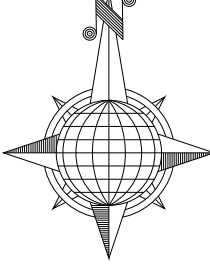
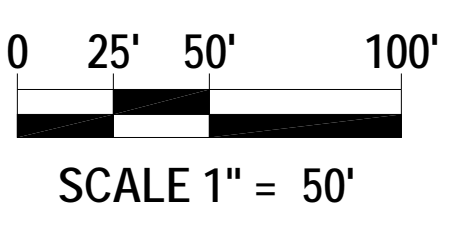
SUBAREA-1
21.72 AC. (TOTAL AREA)
(< 1% IMP.)
Tc = 1.63 hrs.
CN = 79.2
PF = 256

NOTE: SUBAREA-1
INCLUDES ADDOR LANE
DRAINAGE AREA.
SEE SHEET C.07.2

SUBAREA-2
3.53 AC. (TOTAL AREA)
(0% IMP.)
Tc = 1.01 hrs.
CN = 79
PF = 256

FLOW-IN = 28.81 (MAX) cfs
(ICBP NODE: PRE-DEV)

CHORD = N87°57'00"E 1136.11'
ARC = 1136.27 DELTA = 02°49'20"
RADIUS = 23,068.31'
N86°56'34"E 1136.16' (CORDED)



THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING
STATE OF FLORIDA
CERTIFICATE OF
AUTHORITY
JACKSONVILLE, FLORIDA 32250
(P) 904.614.3302 (F) 904.223.8045
NO. 28328
The Touring Company, Inc. is a Florida corporation. The Florida Corporation No. 28328 is a Florida corporation. The Florida Corporation No. 28328 is a Florida corporation.

REV.	DATE	BY	DESCRIPTION
0	02-04-2022	DET	REVISED PERMIT
1	07-25-22	DET	PERMIT ISSUE

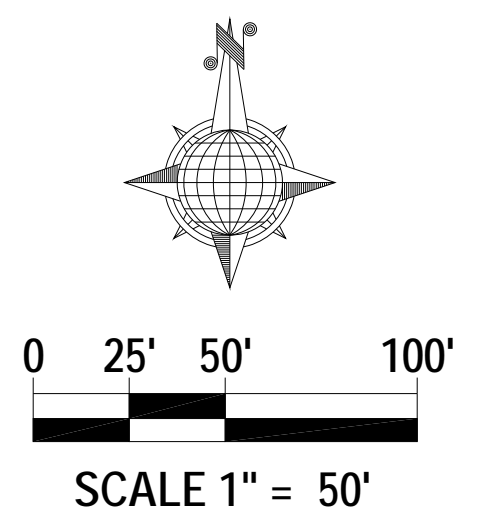
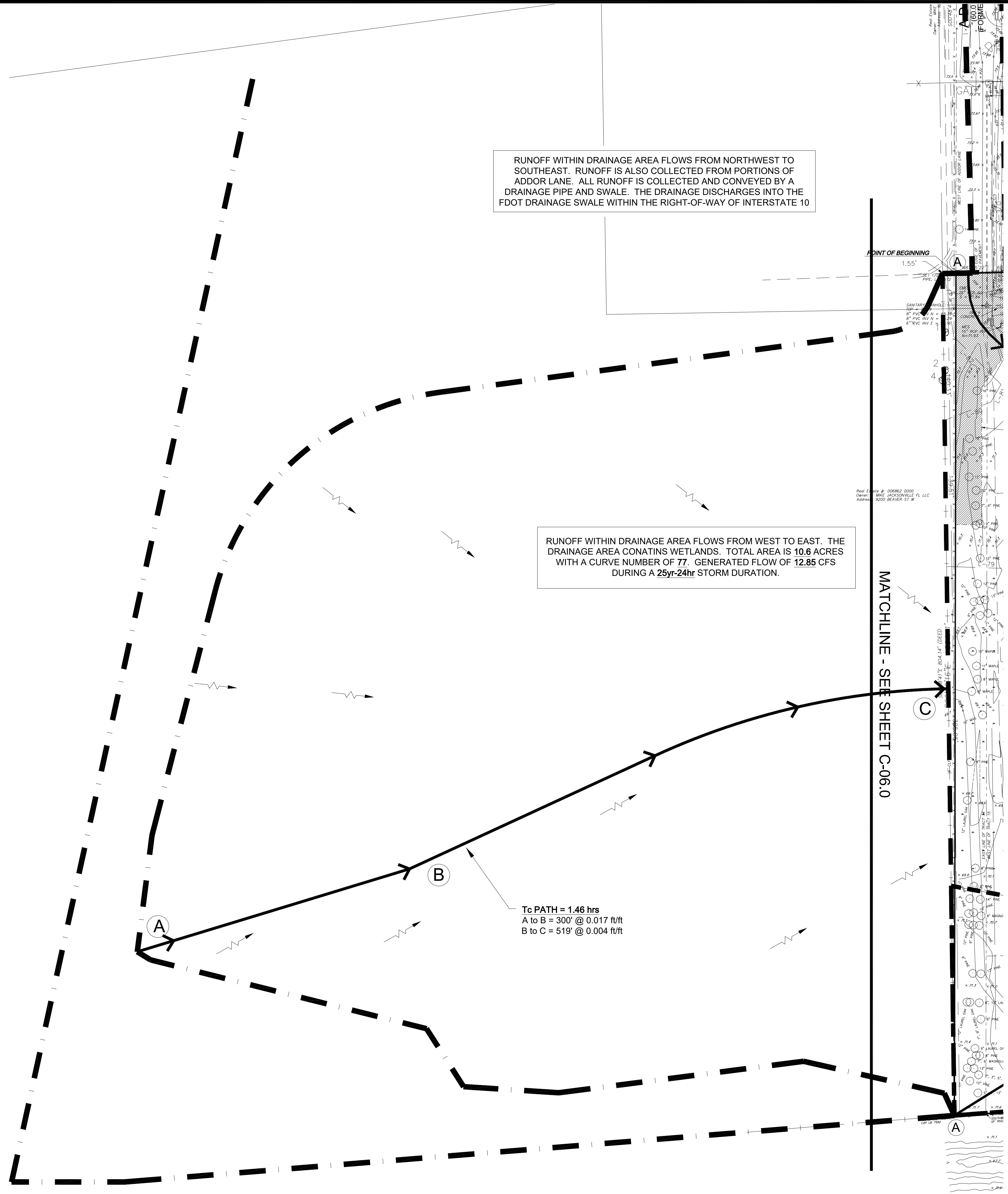
BACHELOR PROPERTIES
PROPOSED WAREHOUSE
ADDOR LANE, JACKSONVILLE, FLORIDA

**ON-SITE
PRE-DEV.
DRAINAGE
AREA**

JOB NO. 21-0070
DRAWN BY: NAD
CHECKED BY: DET
SCALE: 1"=50'

C-07.0
SHEET NO.

FILE LOCATION: z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWGS\Jobs_Trust\Indust_Site Plan_21-0070.dwg LAST SAVED: 1/2/2024 9:28 AM LAST PLOTTED: 1/2/2024 9:36 AM BY: DAVID E. TOURING, PE



THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
 CERTIFICATE OF AUTHORITY
 NO. 24826

14286-10 BEACH BLVD. UNIT 365
 JACKSONVILLE, FLORIDA 32250
 (P) 904.614.3302 (F) 904.223.8045

© The Touring Company, 2017. All rights reserved. No part of this work may be reproduced or transmitted in any form or by any means, without the prior written permission of The Touring Company.

REV.	DATE	BY	DESCRIPTION
1	07-25-22	DET	REV. SRWID PERMIT
0	02-04-2022	DET	PERMIT ISSUE

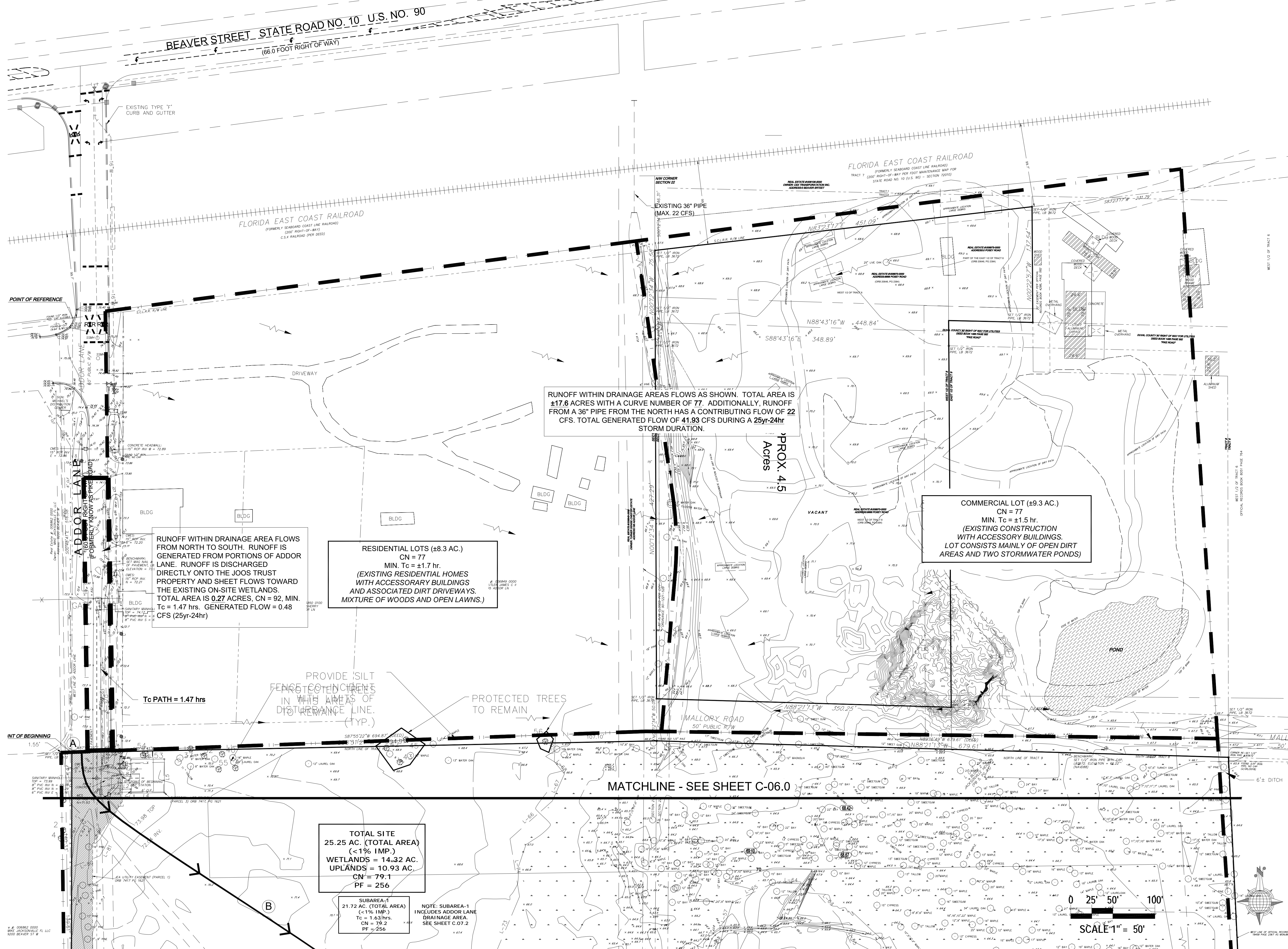
BACHELOR PROPERTIES
PROPOSED WAREHOUSE
 ADDOR LANE, JACKSONVILLE, FLORIDA

OFF-SITE PRE-DEV DRAINAGE AREA-WEST

JOB NO. 21-0070
 DRAWN BY: NAD
 CHECKED BY: DET
 SCALE: 1"=50'

C-07.1
 SHEET NO.

FILE LOCATION: Z:\Active\Joos Trust-Gainsborough Group_21-0070\DWG\Joos_Trust_Indust_Site Plan_21-0070.dwg LAST SAVED: 1/2/2024 9:28 AM LAST PLOTTED: 1/2/2024 9:36 AM BY: DAVID E. TOURING, PE



THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING
 STATE OF FLORIDA
 CERTIFICATE OF AUTHORITY
 JACKSONVILLE, FLORIDA 32250
 (P) 904.614.3302 (F) 904.223.8045
 NO. 28326
 © The Touring Company, Inc. 2019. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, without the prior written consent of The Touring Company, Inc.

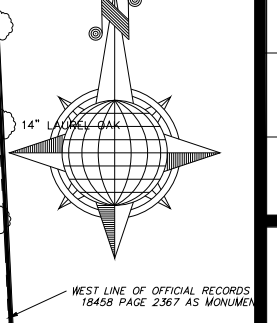
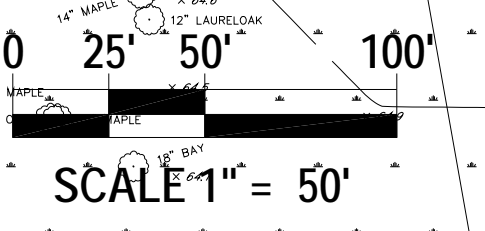
REV.	DATE	BY	DESCRIPTION
0	02-04-2022	DET	REVISED PERMIT
1	07-25-22	DET	PERMIT ISSUE

BACHELOR PROPERTIES
PROPOSED WAREHOUSE
 ADDOR LANE, JACKSONVILLE, FLORIDA

OFF-SITE PRE-DEV DRAINAGE AREA-NORTH

JOB NO. 21-0070
 DRAWN BY: NAD
 CHECKED BY: DET
 SCALE: 1"=50'

C-07.2
 SHEET NO.



STORM WATER POLLUTION PREVENTION PLAN

OWNER'S REQUIREMENTS SITE DESCRIPTION

PROJECT NAME AND LOCATION:
BACHELOR PROPERTIES
 ADDOR LANE
 JACKSONVILLE, FLORIDA

SECTION: 21
TOWNSHIP: 2S
RANGE: 25E

OWNER NAME AND ADDRESS:
 BACHELOR PROPERTIES

DESCRIPTION:
 THIS PROJECT WILL CONSIST OF: INDUSTRIAL DEVELOPMENT

SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND EARTHWORK

RUNOFF COEFFICIENTS

- 1. PRE-CONSTRUCTION = 0.00
- 2. DURING CONSTRUCTION = 85.0
- 3. POST-CONSTRUCTION = 85.0

SOILS: SEE STORMWATER MANAGEMENT & GEOTECHNICAL REPORTS

SITE MAPS: SEE STORMWATER MANAGEMENT & GEOTECHNICAL REPORTS

SITE AREA:

- 1. TOTAL AREA OF SITE = 24.98 ±ACRES
- 2. TOTAL AREA TO BE DISTURBED = 23.0 ±ACRES

NAME OF RECEIVING WATERS: I-10 CORRIDOR

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES:

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN.
4. CONSTRUCT SEDIMENTATION BASIN.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCK PILE TOP SOIL, IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS.
10. APPLY BASE TO PARKING AREAS.
11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
12. COMPLETE FINAL PAVING.
13. REMOVE ACCUMULATED SEDIMENT FROM BASINS.
14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED.

NOTE: VERTICAL CONSTRUCTION OF THE BUILDING WILL BE TAKING PLACE DURING ALL THE SEQUENCE STEPS LISTED ABOVE.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN. (DWG. 11)

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED TO MEET THE SEDIMENT AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

1. STRAW BALE BARRIER: STRAW BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
 - D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS A POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.

2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.

4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE DRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL RECONCENTRATE AFTER RELEASE.

5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENINGS OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.

11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARILY GRASSSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTRIBUTED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.

2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN AN DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH FOLLOWING LIMITATIONS:

- A. THE SEDIMENT TRAP MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE.

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA.

4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS APPLY TO FLOWS FROM OFFSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SHEET DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

CONCRETE	FERTILIZERS	WOOD
ASPHALT	PETROLEUM BASED PRODUCTS	MASONRY BLOCKS
TAR	CLEANING SOLVENTS	ROOFING MATERIALS
DETERGENTS	PAINTS	METAL STUDS

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCTS MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL PROPERLY BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THIS PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (I.E. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEAN UP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

- NO MORE THAN 10 ACRES OF THE SITE WILL BE DENuded AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY TORM EVENT OF 0.25 INCHES OR GREATER.
- ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER: IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

- IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
- WATER FROM WATER LINE FLUSHING.
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAV OCCURED).
- UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	RESPONSIBLE FOR/DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR

FILE LOCATION: Z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWGS\Docs_Trust_Indust_Site Plan_21-0070.dwg
 LAST SAVED: 1/2/2024 9:28 AM
 LAST PLOTTED: 1/2/2024 9:36 AM
 BY: DAVID E. TOURING, PE

REV.	DATE	DET	BY	DESCRIPTION
0	01-02-2024			MASS GRADING/SITE CLEARING PERMIT ISSUE

STORM WATER POLLUTION PREVENTION PLAN

JOB NO. 21-0070
DRAWN BY: NAD
CHECKED BY: DET
SCALE: 1"=50'
C-10
 SHEET NO.

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

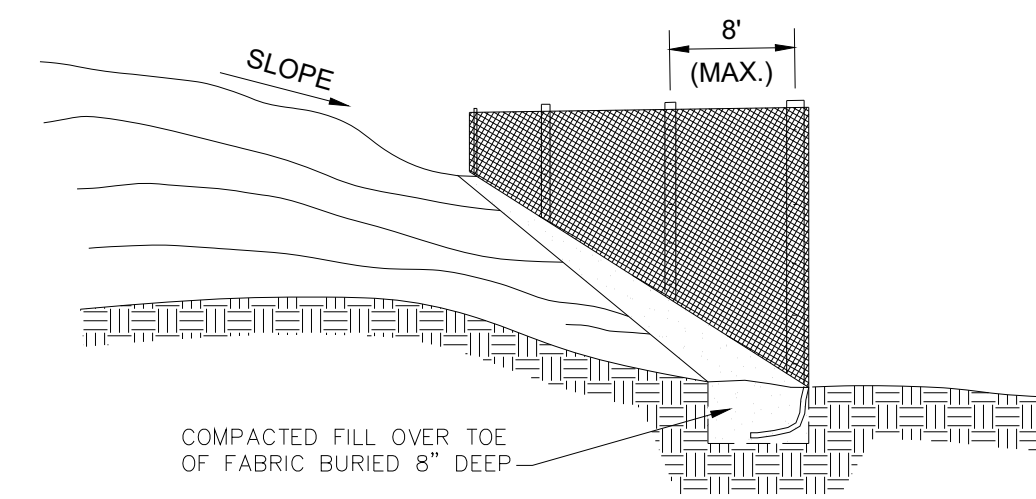
- NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDERSTORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
- SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
- WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, HAY BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
- PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT APPLICATION AND THROUGHOUT PROJECT CONSTRUCTION.
- WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.
- AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN 30 DAYS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR SHALL INSTALL SEED AND MULCH OF SOD, AS REQUIRED.
- FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
- ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION PRIOR TO EACH DAY OF DESIRED BURNING.
- ABSOLUTELY NO BURYING OF CLEARED MATERIALS IS PERMITTED.
- THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED. TEMPORARY STOCKPILE SLOPES SHALL NOT EXCEED 4:1 (H:V).
- A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING.
- FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 98% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
- IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY, WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNIT CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY.
- ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE.
- ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

GENERAL NOTES

- ALL DISTURBED AREAS SHALL BE SODDED OR SEEDED AND MULCHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, DISRUPTION OF SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
- THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE STRUCTURES SHALL DETERMINE THE LENGTH OF PIPE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT" SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL FIELD CHANGES ARE TO BE SHOWN. THESE CHANGES ARE TO BE INCORPORATED IN THE "AS-BUILT" SURVEY FURNISHED TO THE ENGINEER.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION.
- ALL REQUIRED FIRE LINES AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF VERTICAL CONSTRUCTION.
- DURING CONSTRUCTION, AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE APPARATUS.

EROSION & SEDIMENT CONTROL NOTES

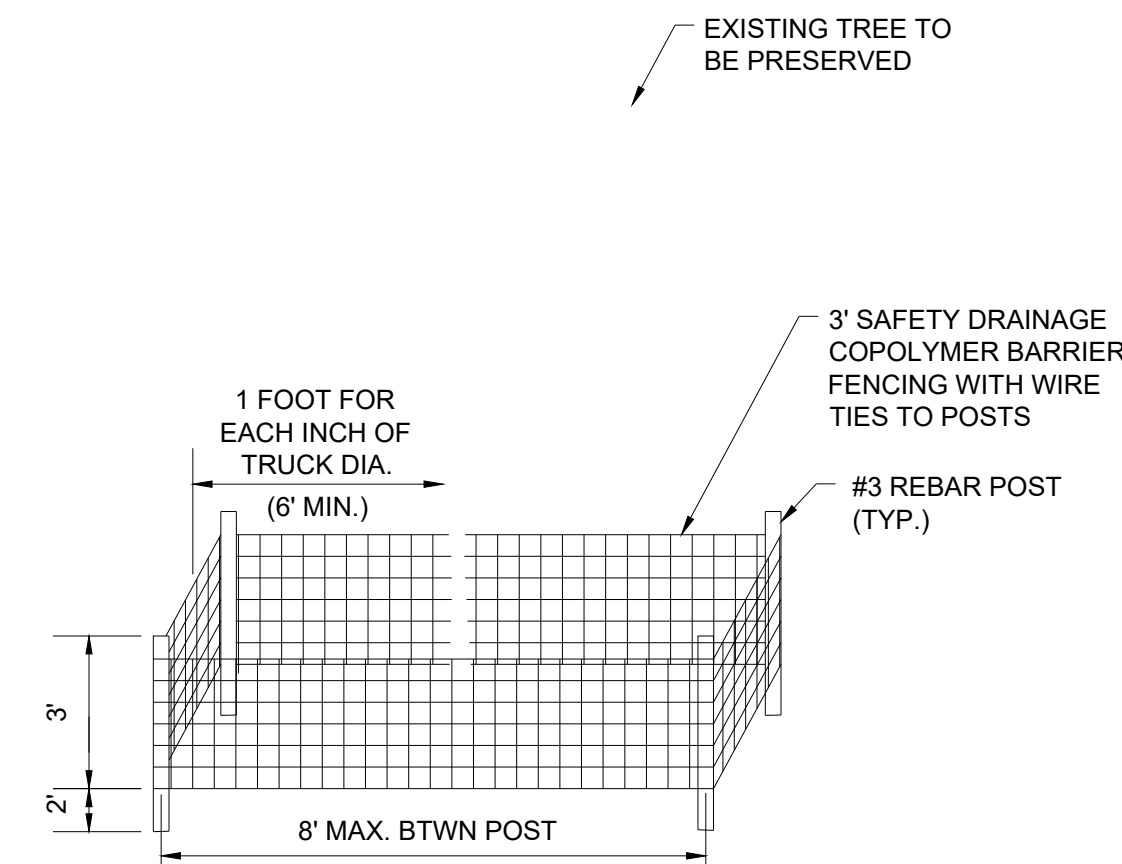
- ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE OF NATURAL VEGETATION TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION PROCESS.
- SILT FENCE OR HAY BALES AND TURBIDITY BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE, TO BE INSPECTED WEEKLY AND CORRECTIVE ACTION TAKEN AS NECESSARY.
- STORMWATER RETENTION AND DETENTION STORAGE MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS. ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SILTATION OF THESE TREATMENT SYSTEMS AND CONTROL STRUCTURES DURING CONSTRUCTION OR SILTATION MUST BE REMOVED PRIOR TO FINAL GRADING AND STABILIZATION.
- CONTRACTORS SHALL SOD ALL SWALES AND STORMWATER PONDS IN ACCORDANCE WITH THE DETAIL PROVIDED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN ORDER TO STABILIZE THE SLOPES AND MINIMIZE EROSION.
- DURING ANY CONSTRUCTION OF THE PERMITTED SYSTEM INCLUDING STABILIZATION AND REVEGETATION OF DISTURBED SURFACES, THE CONTRACTOR IS RESPONSIBLE FOR THE SELECTION, IMPLEMENTATION, AND OPERATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ONSITE TO PREVENT VIOLATIONS OF THE WATER QUALITY STANDARDS IN ACCORDANCE WITH THE FLORIDA ADMINISTRATIVE CODE.
- THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A PROTECTIVE COVER (VEGETATIVE OR SUITABLE ALTERNATIVE) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. UNLESS MODIFIED BY ANOTHER CONDITION OF THE PERMIT OR OTHERWISE SPECIFIED ON A DISTRICT APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION. THE PERMITTEE'S REQUIREMENT TO MAINTAIN COVER ON OFFSITE SURFACES SHALL NOT BE COMPLETE UNTIL AFTER THE DISTRICT RECEIVES THE PERMITTEE'S STATEMENT OF COMPLIANCE.
- AT A MINIMUM, TURBIDITY BARRIERS AND SILT FENCES SHALL BE INSTALLED PER PLAN. ADDITIONAL MEASURES MUST BE TAKEN TO MINIMIZE IMPACTS OF RECEIVING WATERS SUCH AS THE USE OF HAY BALES AT INLETS, ADDITIONAL SILT FENCING, AND SODDING.
- MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED BY THE HOMEOWNERS ASSOCIATION.
- MAINTENANCE SHALL INCLUDE BIWEEKLY MOWING AND QUARTERLY INSPECTION OF INLETS AND DRAINAGE CONTROL STRUCTURES.



NOTES:

- POSTS TO BE 1" x 2" PINE WITH A MINIMUM LENGTH OF 4 FEET; LOCATE POSTS ON DOWNSLOPE SIDE OF FILTER FABRIC.
- BURY TOE OF FENCE APPROXIMATELY 8" DEEP TO PREVENT UNDERCUTTING.
- WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT POST.
- FILTER FABRIC TO BE NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH = 50LB/LIN. IN. (MINIMUM) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQ. FT./MINUTE. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.

2 **SILT FENCE**
NTS



NOTE:

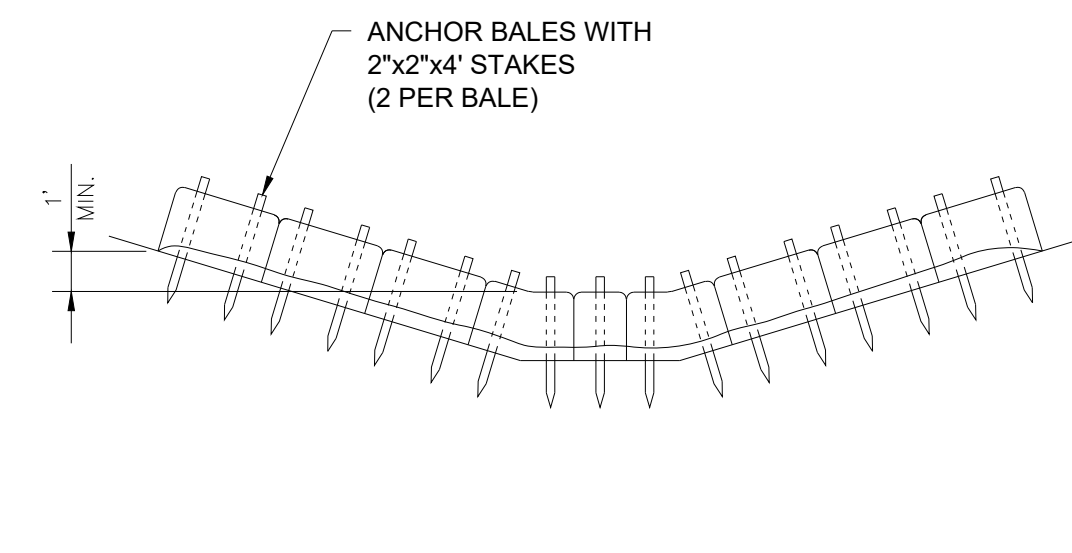
DO NOT STORE MATERIALS WITHIN PROTECTIVE BARRIER.

THE TREE PROTECTION BARRICADE SHALL BE AT LEAST THREE (3) FEET HIGH. THE BARRIER SHALL CONSIST OF EITHER A WOOD FENCE WITH 2x4 POSTS PLACED AT A MAXIMUM EIGHT (8) FEET APART, WITH A 2x4 MINIMUM TOP RAIL, OR A TEMPORARY WIRE MESH FENCE, OR OTHER SIMILAR BARRIER WHICH WILL LIMIT ACCESS TO THE PROTECTED AREA.

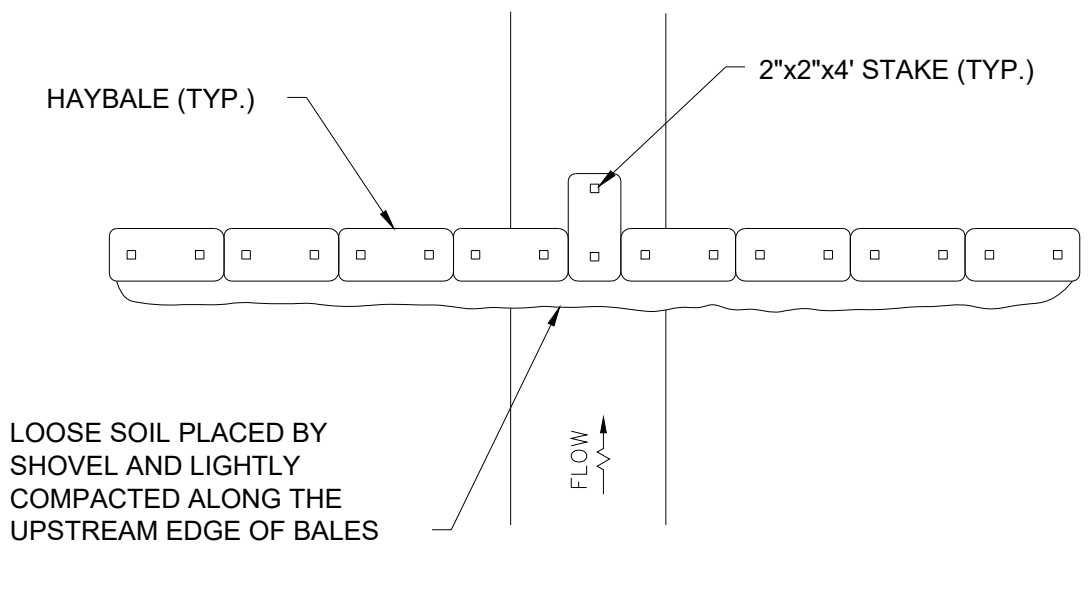
THE BARRICADE SHALL BE AT LEAST ONE FOOT DIAMETER FOR EACH INCH OF TRUNK DIAMETER. FOR TREES LESS THAN 12" DBH, THE MINIMUM BARRICADE SHALL BE AT LEAST SIX (6) FEET AWAY FROM THE BASE OF THE TREE.

TREE BARRICADE APPROVAL: OBTAIN CITY APPROVAL OF TREE BARRICADE BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.

3 **TREE PROTECTION DETAIL**
NTS



ELEVATION



PLAN

1 **HAYBALE CHECK DAM**
NTS

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF AUTHORITY
NO. 24826

14286-10 BEACH BLVD., UNIT 365
JACKSONVILLE, FLORIDA 32250
(P) 904.614.3302 (F) 904.223.8045

© The Touring Company, Inc. Copyright. This drawing is the property of The Touring Company, Inc. and shall not be reproduced without the prior written consent of The Touring Company, Inc.

NO.	DATE	BY	DESCRIPTION
0	01-02-2024	DET	MASS GRADING/SITE CLEARING PERMIT TISSUE

BACHELOR PROPERTIES
SITE CLEARING AND MAINTENANCE
ADDOR LANE, JACKSONVILLE, FLORIDA

NOTES AND DETAILS

JOB NO.	21-0070
DRAWN BY:	NAD
CHECKED BY:	DET
SCALE:	N.T.S.

CD-02
SHEET NO.

FILE LOCATION: Z:\Active\Jobs Trust-Gainsborough Group_21-0070\DWGS\Jobs_Trust\Indust_Site Plan_21-0070.dwg LAST SAVED: 1/2/2024 9:28 AM LAST PLOTTED: 1/2/2024 9:37 AM BY: DAVID E. TOURING, PE