CITY OF JACKSONVILLE NOTES

GENERAL

All construction shall be performed in accordance with the approved plans and comply with all standard city policies and practices. City approval is contingent upon any required state or federal permit approvals such as those from the Department of Environmental Protection or the St. Johns River Water Management District (SJRWMD).

It is the developer's responsibility to obtain required Site Work and Building Permits for the project. Apply for the required permits through:

Building Inspection Division Edward Ball Building, 2nd Floo 214 N. Hogan St. Jacksonville, FL 32202 (904) 630-1100

http://www.coj.net/Departments/Planning+and+Development/Building+Inspection

UTILITY WORK

State Health Department approval must be obtained for any newly constructed water and sewer systems.

Plan approval through Development Services does not include utilities. Proposed water, sewer or electric construction must be approved separately through the respective utility company. In most cases, this will be:

JEA Tower - 4th Floo 21 W. Church Street Jacksonville, FL 32202

http://www.jea.com/business/services/devandbuild/developers as

WORK WITHIN THE RIGHT-OF-WAY

CITY: All work performed within a City of Jacksonville right-of-way or easement requires a Right-of-way Permit. The contractor performing the proposed work must have a current Right-of-way Bond on file with Development Services. Right-of-way Permit applications are processed at:

Development Services Customer Service Counter Edward Ball Building, 2nd Floor 214 N. Hogan St.

Jacksonville, FL 32202 (904) 255-8572

http://www.coj.net/Depart ents/Planning+and+Development/Development+Services/Right+of+Way+Permitting.htm

STATE: All work performed within a state right-of-way requires a permit from the Florida Department of Transportation (FDOT). It is the developer's responsibility to obtain required FDOT permits or maintenance-of-traffic approvals for work within FDOT right-of-ways. The FDOT regional office can be contacted at (904) 360-5200 Any changes to the approved plans needed for FDOT approval must be submitted to Development Services as revisions.

RAILROAD: Railroad companies may require special approvals or permits to work within their right-of-ways. It is the developer's responsibility to obtain permission from any railroad right-of-way owner before performing any work within their right-of-way.

STORMWATER

Annual reports in compliance with the SJRWMD stormwater permits are required from the maintenance entity of all stormwater management facilities. Send copies of the reports to:

Engineering and Construction Management Edward Ball Building, 10th Floor 214 N. Hogan St.

Jacksonville, FL 32202 http://www.coj.net/Departments/Public+Works/Engineering+and+Construction+Management/

The owner of any project one (1) acre or larger is required to provide a Notice of Intent (NOI) in accordance with criteria set forth in the city's NPDES permit within 48 hours of beginning construction. Send NOI and NOI fee to:

NPDES Stormwater Notices Center, Mail Station #2510 2600 Blair Stone Road Tallahassee, Florida 32399-2400 (866) 336-6312

http://www.dep.state.fl.us/water/stormwater/npdes

FIRE MARSHALL

Plan review and approval does not relieve the contractor of complying with all applicable State Fire Codes

Underground mains and hydrants shall be installed, completed, and in service prior to construction work

Underground contractor shall submit to the Fire Marshall for approval complete specs for all underground pipe and fittings relating to fire protection PRIOR to installation and inspection. Contractor shall include manufacturer's name and pipe ID along with contractor's state license number.

LANDSCAPE

Site Work Permit is required	for this project.		
Tree Fund payment is due:	Yes	No	inches a

Article 25 funds are due: Yes inches at \$___

__ = \$_____

TRAFFIC ENGINEERING

TRAFFIC SIG	INS				
	Metro Name		\$100.00	ea.	
	Standard		\$100.00	ea.	
	Stop/Yield		\$75.00	ea.	
	Design		\$45.00		
	Installation		\$45.00	/hr.	
			TOTAL		
Streetlights Required	I? Yes	N	0		
NOTE: Traffic sign co installation, the devel assumes the subdivis installation will be ca	osts change from tin loper must pay the f sion will be platted a lculated separately f	ne to time. If for the signs a as one phase for each phas	the costs cha at the current . If the develo se.	ange aft t costs a opment	er plan approval but prior to payment for at the time of payment. The above total is platted as separate phases, design and
No lane closures allo	wed from 7 a.m. till	9 a.m. and fr	om 4 p.m. till	6 p.m.	

BACHELOR PROPERTI SITE CLEARING AND GRADIN





SITE ADDRESS:

NAME OF OWNER:

NAME OF ENGINEER:

NAME OF SURVEYOR:

NTS 514 ADDOR LANE, JACKSONVILLE, FLORIDA

VICINITY MAP

SHEET INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES AND LEGEN
C-03	SITE LAYOUT AND GEOMETR
C-05	
C-06	ON-SITE WETLANDS
C-07.0	ON-SITE PRE-DEV. DRAINAGE
C-07.1	OFF-SITE PRE-DEV DRAINAGE
C-07.2	OFF-SITE PRE-DEV DRAINAGE
C-08	POST-DEV DRAINAGE PLAN
C-10	STORM WATER POLLUTION P

SITE DATA

514 ADDOR LANE

(904) 614-3302

(904) 241-8550

JACKSONVILLE, FLORIDA 32220

BACHELOR PROPERTIES, LLC

THE TOURING COMPANY INC

14286-19 BEACH BLVD., UNIT 355

BOATWRIGHT LAND SURVEYORS, INC

JACKSONVILLE BEACH, FL 32250

JACKSONVILLE, FLORIDA 32250

10463 HARRIER STREET

PLANTATION, FL 33324

1500 ROBERTS DRIVE

NAME OF LANDSCAPE ARCHITECT:

NAME OF AGENT:

EXISTING ZONING: BUILDING COVERAGE: VEHICULAR USE AREA: TOTAL SITE DISTURBANCE: 25.66 ACRES

TOTAL SITE AREA:

DONNELL LANDSCAPE DESIGN, INC. 5617 SALERNO ROAD JACKSONVILLE, FL 32244 904-333-2342

THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302

40% (501,079 sq ft) - FUTURE 39% (492,823 sq ft) - FUTURE

28.51 ACRES

PERMIT ISSUE, 01-02-2024

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THE SHEET INDEX BELOW IN ACCORDANCE WITH RULE 61G15-23-003 F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY DAVID E. TOURING, PE. LICENSE NUMBER 53503. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC DOCUMENTS

PLAN APPROVAL

Development Services Division (Chief)

Review Group (Reviewer)

PLAN APPROVAL IS SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS:

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BAC

GENERAL PROJECT INFORMATION

AREA E AREA-WEST

E AREA-NORTH

PREVENTION PLAN

City Development Number **Concurrency Application Number** Property Appraiser Number (RE #) 00 Zoning Designation PUD Ordinance Number Zoning Exception Number Adminstrative Deviation Number FIRM Community – Panel Flood Zones (Show in Plans) Base Flood Elev. (Show in Plans) JEA Availability Number SUBDIVISION **PSD** Number

GENERAL

City or Private Inspection Public or Private Roads Subdivision ("911") Disk Provided?

NON-SUBDIVISION North American Industry Classification System (NAICS) Impervious Area (Sq. Ft.)

8148.003
CCAS 110437.1
06867-0200, 006970 0000, 006973 0000
IL
NA
NA
NA
12031C - 0333 H
X
NA
2022-3266
NA
NA
NA
NA

23331 993,902 sq. ft. (future) **ANY, INC. N S UL T I N G** STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION MIN 26326 TOURING COMP AND MARINE CO THE ' З° і́н Ц

GE	NERAL NOTES
1. 2	ALL DISTURBED AREAS SHALL BE SODDED OR SEEDED AND MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIEVING ALL ELEVATIONS OF EXISTING LITILITIES SHOWN OR NOT SHOWN
	PRIOR TO CONSTRUCTION AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY
	RELOCATION, DISRUPTION OF SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. UTILITIES WHICH INTERFERE
	WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY DURING RELOCATION OPERATIONS. THE CONTRACTOR
3	SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF
0.	TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
4.	THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE STRUCTURES SHALL DETERMINE THE LENGTH OF PIPE.
5.	IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT"
	SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.
6.	THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL
7.	PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS AND CABLE
•	TELEVISION COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION.
o. 9.	DURING CONSTRUCTION, AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE APPARATUS.
ЕР	
ER	USION & SEDIMENT CONTROL NOTES
1.	ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION, SEDIMENTATION, AND THE
2	POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
Ζ.	PROCESS.
3.	SILT FENCE OR HAY BALES AND TURBIDITY BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE, TO BE INSPECTED WEEKLY AND
4.	STORMWATER RETENTION AND DETENTION STORAGE MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR
	PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS. ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SIL TATION OF THESE TREATMENT SYSTEMS AND CONTROL STRUCTURES DURING CONSTRUCTION OR SILTATION MUST BE REMOVED PRIOR TO
	FINAL GRADING AND STABILIZATION.
5.	CONTRACTORS SHALL SOD ALL SWALES AND STORMWATER PONDS IN ACCORDANCE WITH THE DETAIL PROVIDED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN ORDER TO STABILIZE THE SLOPES AND MINIMIZE EROSION
6.	DURING ANY CONSTRUCTION OF THE PERMITTED SYSTEM INCLUDING STABILIZATION AND REVEGETATION OF DISTURBED SURFACES, THE
	CONTRACTOR IS RESPONSIBLE FOR THE SELECTION, IMPLEMENTATION, AND OPERATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ONSITE TO PREVENT VIOLATIONS OF THE WATER QUALITY STANDARDS IN ACCORDANCE WITH THE FLORIDA
	ADMINISTRATIVE CODE.
7.	THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A PROTECTIVE COVER (VEGETATIVE OR SUITABLE ALTERNATIVE) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. UNLESS MODIFIED BY
	ANOTHER CONDITION OF THE PERMIT OR OTHERWISE SPECIFIED ON A DISTRICT APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE
	PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION. THE PERMITTEE'S REQUIREMENT TO MAINTAIN COVER ON
	OFFSITE SURFACES SHALL NOT BE COMPLETE UNTIL AFTER THE DISTRICT RECEIVES THE PERMITTEE'S STATEMENT OF COMPLIANCE.
8.	AT A MINIMUM, TURBIDITY BARRIERS AND SILT FENCES SHALL BE INSTALLED PER PLAN. ADDITIONAL MEASURES MUST BE TAKEN TO MINIMIZE IMPACTS OF RECEIVING WATERS SUCH AS THE USE OF HAY BALES AT INLETS, ADDITIONAL SILT FENCING, AND SODDING.
9.	MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED BY THE HOMEOWNERS ASSOCIATION.
10.	MAINTENANCE SHALL INCLUDE BIWEEKLY MOWING AND QUARTERLY INSPECTION OF INLETS AND DRAINAGE CONTROL STRUCTURES.
~	
2	TE CLEARING AND GRADING NOTES
TH	IE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A
PF Al	ROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS ND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY
W	ITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".
1.	NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS. NATURAL BUFFERS. OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL
	LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING
	ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDERSTORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
2.	SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY
	DARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
3.	WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND
4.	THE TAIMING WALLS MUST DE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL
	STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE
	INTEASURES INCLODE, DUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, MAY BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE
	DURATION OF THE ENTIRE PROJECT, MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION
5.	CONTROL DEVICES. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY
	AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4)
	AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL
	INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS
	REPRESENT THE MINIMUM REQUIREMENTS, THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT APPLICATION AND
-	
6.	WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH
	FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO
7.	AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN
^	
8.	IT SHALL DE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR
-	SHALL INSTALL SEED AND MULCH OF SOD, AS REQUIRED.
9.	FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
10	ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
11	. ANT DURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION PRIOR TO EACH DAY OF DESIRED BURNING.
12	ABSOLUTELY NO BURYING OF CLEARED MATERIALS IS PERMITTED.
13	. THE REWOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED
	GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED. TEMPORARY STOCKPILE
14	A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE

BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 98% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).

- IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY, WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO. WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNIT CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND
- SIMILAR MATERIAL THAT COULD DECOMPOSE ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

SITE PLAN & SUBDIVISION TESTING

A. MATERIALS

THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES ARE TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS. LABORATORIES. OR AGENCIES APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUBMIT SUCH SAMPLES OR SUCH SPECIMANS OR TEST PIECES OF MATERIALS AS THE ENGINEER OF RECORD MAY REQUIRE. THE CONTRACTOR SHALL NOT INCORPORATE ANY MATERIAL OR FINISHED ARTICLE INTO THE WORK UNTIL THE RESULTS OF THE INSPECTIONS OR TESTS ARE KNOWN AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER OF RECORD THAT THE MATERIAL OR FINISHED ARTICLE IS ACCEPTED. ALL MATERIALS MUST BE OF THE SPECIFIED QUALITY AND BE EQUAL TO THE APPROVED SAMPLE IF A SAMPLE HAS BEEN SUBMITTED. CERTIFIED COPIES OF ALL TESTS MADE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS WELL AS TO THE CITY'S DESIGNATED SITE INSPECTOR. THE CITY'S DESIGNATED SITE INSPECTOR MUST RECEIVE COPIES OF ALL TESTING REPORTS AND CERTIFICATES PRIOR TO THE ENGINEER OF RECORD REQUESTING A FINAL PROJECT INSPECTION FROM THE CITY.

LABORATORY CONTROL AND CERTIFICATES

SPECIFICATIONS SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM. WHERE AASHTO OR ASTM SPECIFICATIONS ARE USED. THE REFERENCE SHALL BE CONSTRUED TO BE THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE AASHTO OR ASTM IN FORCE ON THE DATE OF THE TEST.

TESTS & CERTIFICATES

THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED. ADDITIONAL TESTS THAT MAY BE REQUIRED BY EITHER THE ENGINEER OF RECORD OR THE CITY SHALL ALSO BE PROVIDED BY THE CONTRACTOR. THE FOLLOWING SHALL NOT BE TAKEN AS A COMPLETE AND EXHAUSTIVE LIST OF THE CONTRACTOR'S TESTING RESPONSIBILITIES.

- SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION. • PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FIELD DENSITIES, AND ATTERBERG LIMITS. ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION.
- ASPHALT MIX DESIGN, BITUMEN CONTENT, SIEVE ANALYSIS, HUBBARD FIELD STABILITY TESTS, NUCLEAR DENSITY TESTS (BACKSCATTER METHOD), AND ANALYSIS OF CORE SAMPLES. CONCRETE MIX DESIGNS FOR ALL APPLICATIONS INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS,
- BIKE PATHS, APRONS AND DRIVEWAYS. • COMPRESSIVE TEST CYLINDERS AND SLUMP TESTS FOR ALL APPLICATIONS OF CONCRETE, INCLUDING PAVEMENT, CAST-IN-PLACE
- STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS, AND DRIVEWAYS. CHLORINE RESIDUAL AND BACTERIOLOGICAL TESTING OF WATER MAINS.
- PRESSURIZED LEAK TESTING OF WATER MAINS, FORCE MAINS, AND RECLAIMED WATER MAINS.

WATER CONSTRUCTION NOTES

LOCAL UTILITY COMPANY SHALL BE GIVEN A MININ
BEGINNING ANY POTABLE WATER SYSTEM CONST
DEWATERING SHALL BE PROVIDED TO KEEP GROU
ALL WATER MAINS SHALL BE LAID ON A FIRM FOUN
REPLACED WITH CLEAN GRANULAR MATERIAL.
TRENCHES SHALL BE BACKFILLED WITH MATERIAL
AREAS AND 95% IN UNPAVED AREAS IN ACCORDAI
IT SHALL BE THE CONTRACTORS RESPONSIBILITY
PIPE AND AT 12 INCHES VERTICAL INTERVALS TO F
3" METALLIZED PIPE LOCATION TAPE SHALL BE LO
ALL PVC LINES. MARKER TAPE SHALL BE USED ON
ALL SINGLE RESIDENTIAL WATER SERVICES SHALL
SPECIFICATIONS: POLYETHYLENE TUBING SHALL B
SDR OF 9 (CTS). THE TUBING SHALL HAVE A VIRGIN
CERTIFICATE OF PURITY. THE TUBING SHALL HAVE
COMPLY WITH OR EXCEED THE APPLICABLE STAN
WITH A LIFETIME WARRANTY. ACCEPTABLE MANUI
ALL WATER SERVICE ENDINGS SHALL BE MARKED
SERVICES SECURED 12" MAXIMUM ABOVE THE GR
WATER VALVES SHALL BE PLACED AT ALL STREET
AT ALL WATER MAIN TEES AND CROSSES, VALVES
ALL WATER VALVES SHALL BE ADJUSTED TO FINIS
UPON FINAL ACCEPTANCE OF NEW WATER SYSTE
TIME SHALL CONTRACTOR OPERATE ANY EXISTING
TYPICALLY, A MINIMUM OF ONE FIRE HYDRANT SH
TO PRODUCE A MAXIMUM 500 FEET HOSE LAY TO
ALL WATER MAINS SHALL BE NSF-APPROVED FOR
ALL PROPOSED WATER MAINS SHALL BE FLUSHED
LATEST AWWA STANDARDS AND THE FLORIDA DEP
UPON CONSTRUCTION COMPLETION AND ACCEPT.
THE SYSTEM IS PROPERLY CERTIFIED AND ACCEP
COMPANY PRIOR TO ANY USE OF THIS SYSTEM.
WATER DISTRIBUTION SYSTEM SHALL BE DESIGNE
ALL POTABLE WATER MAINS SHALL USE A THRUST
ASSOCIATION (DIPRA) GUIDELINES. IN THE EVENT
THE RECOMMENDED ADDITIONAL RESTRAINT LEN
MEGALUGS, BOLTLESS RESTRAINED JOINTS, GRIP
MINIMUM DEPTH OF BURY ON PIPES NOT MEETING
RESTRAINT DESIGN GUIDELINES.
GRIPPER RING GASKETS BY ROMAC AND OR STAR
VALVES, ETC.
WATER SYSTEMS SHALL BE PRESSURE TESTED A
ALL WATER SERVICES SHALL BE MARKED WITH AN
ALL WATER VALVES SHALL BE MARKED WITH AN ">
MARKED SIMILARLY, AS WELL.
ALL TAPPING OF MAINS SHALL BE PERFORMED BY
RESOLUTION, SCHEDULING OF THESE CONNECTIO
DIRECTED TO THE LOCAL UTILITY COMPANY DESIG
UTILITIES DEPARTMENT. SUBSEQUENTLY, THE CO
APPROPRIATE DAY.
ALL PROPOSED POTABLE WATER MAINS SHALL BE
WHEN APPROPRIATE IN ACCORDANCE WITH THE L
REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY
BEGINNING FLUSH OF THE MAINS PRIOR TO THE C
WITH RESPECT TO TIE-IN CONNECTIONS, THE LOC
DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:0
ALL WORK PERFORMED UPON POTABLE WATER F
CONSTRUCTED BY AN UNDERGROUND UTILITY CO
WITH THE LOCAL UTILITY COMPANY.
POTABLE WATER SYSTEM EXTENSIONS MAY NOT I
COMPANY THIS INCLUDES CONSTRUCTION WATER
ALL LLD DE DIDE LITUUZED FOD MATED FODOE MA

R	DADWAY CONSTRUCTION NOTES
1.	ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SITE PLAN SHALL BE IN CONFORMANCE WITH THE CITY, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). AND THE FDOT
0	ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION.)
2. 3.	ALL RIGHT-OF-WAY OTHER THAN ROADWAY AREAS SHALL BE GRASSED AND MULCHED OR SODDED. ALL SLOPES STEEPER THAN 6:1 SHALL REQUIN SODDING. THE CITY RESERVES THE RIGHT TO REQUIRE SODDING IN SPECIAL AREAS WHERE EROSION IS A CONCERN. THE FOLLOWING WILL BE THE STANDARD PROTECTION FOR DITCHES UNLESS DRAINAGE CALCULATIONS INDICATE OTHERWISE:
4.	SWALE PROFILE GRADES PROTECTION REQUIRED
	0.2% - 1.0% GRASSING AND MULCHING 1.0% - 4.0% SODDING
	4.0% AND GREATER DITCH PAVING
5.	THE PAVEMENT, BASE AND SUBBASE THICKNESS PRESENTED ON DETAILS REPRESENTS THE MINIMUM REQUIREMENTS FOR LOCAL PUBLIC STREET AND PRIVATE PARKING LOTS. THE CITY RESERVES THE RIGHT AT ITS DISCRETION TO INCREASE THESE REQUIREMENTS FOR COLLECTOR AND ARTERIAL ROADWAYS AND PRIVATE PARKING LOTS SUBJECTED TO HEAVY VEHICULAR COMMERCIAL TRAFFIC.
6.	THE DEVELOPER SHALL PROVIDE AT THEIR OWN EXPENSE A CERTIFIED SOILS ENGINEERING LABORATORY TO PERFORM ALL FIELD AND LABORATORY TESTING REQUIRED TO VERIFY THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE CITY'S MINIMUM STANDARDS. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO ENSURE THAT COPIES OF ALL TEST REPORTS ARE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOF
7	PRIOR TO THE PROJECT FINAL INSPECTION IN ORDER TO ALLOW PROJECT ACCEPTANCE BY THE CITY. REFER TO THE SITE DETAILS AND ATTACHED SPECIFICATIONS TO DETERMINE THE EXACT DESIGN FOR ALL PAVEMENT SECTIONS
8.	CEMENT DELIVERY TICKETS SHALL BE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR AT THE TIME OF PLACEMENT. IF THE INSPECTOR IS NOT ON SITE THROUGHOUT THE ENTIRE INSTALLATION, ACCUMULATED DELIVERY TICKETS CAN BE PROVIDED TO THE INSPECTOR BY THE CONTRACTOR ON THE FOLLOWING DAY.
9.	THE ROADWAY CROWN SHALL HAVE A STANDARD ONE QUARTER INCH (1/4") PER FOOT SLOPE, UNLESS NOTED OTHERWISE
10.	CENTERLINE SHALL BE CLEARLY MARKED ON THE DESIGN PLANS. AT A MINIMUM, DESIGN ROADWAY CENTERLINE ELEVATIONS SHALL BE NOTED AT
11.	ALL GRADE CHANGES AND AT 100' INTERVALS ALONG THE ROADWAY PROFILE ON BOTH THE DESIGN PLANS AND AS-BUILT DRAWINGS. THE FINISHED PAVEMENT EDGE SHALL BE WITHIN ONE QUARTER INCH (1/4") ABOVE THE ADJACENT CONCRETE CURB FOR CURBS COLLECTING AND
10	
12.	CONCRETE AT 28 DAYS.
13.	CONCRETE CURBING, SIDEWALKS, PAVEMENT AND SIMILAR CONCRETE AREAS SHALL BE SAW CUT WITHIN 4 TO 18 HOURS OF PLACEMENT. SAW CUTS SHALL BE 1/4" IN WIDTH TO A DEPTH OF 1/4 OF THE TOTAL DEPTH OF CONCRETE OF 1-1/2" WHICHEVER IS LESS. SAW CUTS SHALL BE LOCATEI AT INTERVALS OF TEN FEET (10') WITH EXPANSION JOINTS AT STREET INTERSECTIONS, RADIUS POINTS, STRUCTURES, AND ALONG CURVES AT SIXTY FEET (60') INTERVALS. ALL EXPANSION JOINT MATERIAL IS REQUIRED TO BE INSTALLED THROUGH THE ENTIRE DEPTH OF THE CONCRETE
	CURB. FOR LINEAL SECTIONS OF CURBS, EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM SPACING OF FIVE-HUNDRED FEET (500') AND SHALL BE 1/2" IN WIDTH.
14.	AN "X" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF WATER DISTRIBUTION SYSTEM VALVE.
15. 16.	A "V" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL SEWER SERVICES. A "^" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL POTABLE WATER SERVICES.
17.	THE DEVELOPER SHALL PROVIDE ALL REQUIRED PAVEMENT MARKINGS ON ALL ROADWAYS PER CITY, COUNTY, AND STATE REQUIREMENTS. CENTERLINE STRIPES SHALL BE PROVIDED ON EXTENSIONS OF CITY COLLECTOR OR ARTERIAL ROADS, COUNTY ROADS, STATE HIGHWAYS, AND ALONG LOCAL STREETS IN THE VICINITY OF THEIR INTERSECTION WITH THE ABOVE MENTIONED ROADWAYS.
18. 19.	ALL TRAFFIC CONTROL DEVICES PLACED AT INTERSECTIONS, PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND STATE HIGHWAYS WITHIN THE CITY LIMITS SHALL BE INSTALLED ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. THE MAINTENANCE-OF-TRAFFIC (MOT) INSTALLATION AND SUBSEQUENT OPERATION SHALL BE OVERSEEN BY A CONTRACTOR CERTIFIED BY THE
20.	AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION, OR EQUIVALENT CERTIFICATION RECOGNIZED BY FDOT. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR TRAFFIC CONTROL DEVICES TO THE CITY FOR INSTALLATION. STREET SIGNS AND STOP SIGNS SHALL BE PLACED AT ALL INTERSECTIONS, INCLUDING BUT NOT LIMITED TO PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND STATE HIGHWAYS WITHIN THE CITY LIMITS.
21.	THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR ALL STREET LIGHTS PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CITY.
22. 23.	BIKE PATHS SHALL BE CONSTRUCTED EIGHT FEET (8') IN WIDTH ALONG ARTERIAL HIGHWAYS AS DIRECTED BY THE CITY. (SEE DETAIL INDEXES M-1 ND M S)
24.	AND M-2) STANDARD TURNING RADII FOR INTERSECTIONS
	RESIDENTIAL STREETS WITH STATE & COUNTY ROADWAYS OR MAJOR THOROUGHFARES WITHIN THE CITY <u>35-50 FT.</u>
	• ENTRANCES TO COMMERCIAL SITES OFF OF CITY STREETS <u>35 FT.</u>
	• INTERSECTIONS INTERIOR IN SUBDIVISIONS <u>35 FT.</u>
38.	SHOULD THE COUNTY OR THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DETERMINE THAT LARGER RADII ARE WARRANTED WITHIN THEI
39.	RIGHT-OF-WAY, THE LARGER RADII SHALL PREVAIL. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS (INCLUDING WATER MAINS, SANITARY SEWER MAINS, RECLAIMED WATER MAINS, STORM WATER PIPES AND INLETS, ROADWAYS, AND PARKING FACILITIES) SHALL BE
40.	CERTIFIED WITH THE STATE OF FLORIDA BOARD OF PROFESSIONAL REGULATIONS 98PK) FOR THE TYPE OF WORK THAT THEY PERFORM. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION WORK OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS SHALL BE LICENSED BY THE STATE OF FLORIDA AND REGISTERED WITH THE CITY. THE LICENSE AND REGISTRATION SHALL PERTAIN DIRECTLY TO THE TYPE OF WORK BEING PERFORMED
41.	CONCRETE COLLARS SHALL NOT BE PERMITTED/PLACED AROUND SANITARY/STORM MANHOLES. CONTRACTORS SHALL PROVIDE AND COMPACT SUBBASE, BASE & ASPHALT ADJACENT TO STRUCTURES.
DE\	VELOPMENT SERVICES DEPARTMENT ROADWAY CONSTRUCTION REQUIREMENTS

- COMPACTION RATE IS 98% OF MAXIMUM DRY DENSITY. PER THE MODIFIED PROCTOR TEST.
- LAB. THE MINIMUM COMPACTION RATE IS 98% OF MAXIMUM DRY DENSITY. 4. ROADWAY BASE MATERIAL SHALL BE LIMEROCK AND SHALL BE TESTED FOR COMPACTION EVERY 200-FEET AND AT EACH UTILITY MANHOLE OR

- TO THE CONTRACTOR PLACING THE WEARING COURSE.
- THICKNESS AT SELECTED LOCATIONS BY THE CITY ENGINEER.
- FLORIDA PROFESSIONAL ENGINEER.

SANITARY SEWER NOTES

THE LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION.

IUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO RUCTION UNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW MAIN BEING LAID NDATION WITH ALL UNSUITABLE MATERIAL (MUCH, ROCK, COQUINA, ETC.) REMOVED AND

ACCEPTABLE TO THE LOCAL UTILITY COMPANY WITH A MINIMUM COMPACTION OF 98% IN PAVED NCE WITH AASHTO T-180. TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 12 INCHES ABOVE THE FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET CATED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS SPECIFIED BY MANUFACTURER FOR

ALL DUCTILE IRON PIPE. AS WELL. L BE 1". POLYETHYLENE TUBING SHALL BE USED, IN ACCORDANCE WITH THE FOLLOWING BE CTS 3408 HIGH DENSITY TUBING, BLUE IN COLOR, AND RATED FOR A MINIMUM OF 200 PSI WITH N HIGH DENSITY POLYETHYLENE CENTER FOR WHICH THE MANUFACTURER SHALL FURNISH A UV PROTECTION AND SHALL NOT BE AFFECTED BY DIRECT SUNLIGHT. THE TUBING SHALL DARDS OF A.S.T.M D1248, D3350, D2239, D2737, N.S.F. 14 AND A.W.W.A. C901 AND SHALL COME

FACTURERS: ENDOT ENDO PURE OR APPROVED EQUAL WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER INTERSECTIONS AND AT MAXIMUM SPACINGS OF 750 FEET. SHALL BE INSTALLED ON ALL LEGS EXCEPT ONE.

HED GRADE AND THE CAPS PAINTED BLUE TO MAKE THEN PLAINLY VISIBLE. MS, WATER VALVES SHALL BE COMPLETELY OPENED BY THE LOCAL UTILITY COMPANY. AT NO G VALVES WITHOUT A LOCAL UTILITY COMPANY INSPECTOR PRESENT. ALL BE LOCATED AT EVERY INTERSECTION. OTHER FIRE HYDRANTS SHALL BE LOCATED SO AS

COVER THE REAR OF ALL BUILDINGS. POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 36 INCHES. , DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE PARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. ANCE OF THE SYSTEM IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT

TED BY THE DEPARTMENT OF HEALTH AND AS-BUILTS ARE PROVIDED TO THE LOCAL UTILITY ED TO COMPLY WITH THE CITY'S FIRE (WATER) FLOW CODE. RESTRAINT JOINT METHOD IN COMPLIANCE WITH THE DUCTILE IRON PIPE RESEARCH THAT PVC FITTINGS ARE SPECIFIED, THE RESTRAINT SHALL BE MODIFIED IN ACCORDANCE WITH GTH REQUIRED FOR PIPE WRAPPED WITH POLYETHYLENE.

PER GASKETS, OR STAR GRIPS SHALL BE USED ON ALL RESTRAINED JOINT INSTALLATIONS. REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE MOST RECENT DIPRA THRUST AU-GRIP MAY BE USED AS APPROPRIATE FOR RESTRAINING PRESSURE PIPE TO FITTINGS,

T 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS PER AWWA STANDARDS. N "^" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT. X" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT. BLOW-OFFS SHALL BE

THE LOCAL UTILITY COMPANY AND BILLED IN ACCORDANCE WITH THE ADOPTED FEE ONS SHALL REQUIRE A MINIMUM 48 HOUR NOTIFICATION (MEASURED ON NORMAL WORK DAYS) GNATED SITE INSPECTOR WHO SHALL COORDINATE THE WORK DIRECTLY WITH THE PUBLIC NNECTION SHALL BE SCHEDULED TO COMMENCE BETWEEN 8:00 AM AND NOON ON THE

FLUSHED, DISINFECTED, PRESSURE TESTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE ATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR AT LEAST 48 HOURS PRIOR TO OMMENCEMENT OF PRESSURE TESTING.

CAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED 00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO EXISTING CUSTOMERS. ACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE ONTRACTOR OR GENERAL CONTRACTOR LICENSED IN THE STATE OF FLORIDA AND REGISTERED

BE USED PRIOR TO FINAL TESTING, CLEARANCE AND ACCEPTANCE BY THE LOCAL UTILITY REQUIRED FOR SEWER LINE CLEANING OR RELATED USES. ALL H.D.P.E PIPE UTILIZED FOR WATER, FORCE MAIN AND/OR REUSE WATER MAIN EXTENSIONS SHALL BE S.D.R.11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP PIPE TO WHICH IT IS ATTACHED. ALL VALVES 2" AND LARGER SHALL BE STANDARD 2" GATE VALVES (CORP STOPS ARE NOT ACCEPTABLE)

/ULCHING

LOCATION OF WATER DISTRIBUTION SYSTEM VALVE. CATION OF ALL SEWER SERVICES

Y ROADWAYS

1. SOIL BORINGS BY A CERTIFIED TESTING LAB ARE REQUIRED WITHIN THE ROAD RIGHT-OF-WAY AT EVERY 200-FOOT INTERVALS AND TO A MINIMUM DEPTH OF 6 FEET; THE LOCATIONS MUST BE STAGGERED FROM THE RIGHT SIDE, LEFT SIDE OR CENTERLINE, AT THE DISCRETION OF THE TESTING

2. ROADWAY FILL MATERIAL SHALL BE GOOD, CLEAN SAND. CLASSIFICATIONS A3, FREE OF DEBRIS, COMPACTED IN 12-INCH LIFTS AND TESTED FOR COMPACTION IN EACH LIFT AT 200-FOOT INTERVALS. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB. THE MINIMUM 3. ROADWAY SUBGRADE COMPACTION TESTS ARE REQUIRED EVERY 200-FEET. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING

IN ET WITHIN THE PAVEMENT. THE LIMEROCK BASE THICKNESS SHALL BE DETERMINED FROM THE SITE DETAILS AND SPECIFICATIONS. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB OR THE CITY ENGINEER. SHELL BASE MATERIAL AND SOIL CEMENT IS NOT ALLOWED. THE MINIMUM COMPACTION RATE OF THE LIMEROCK BASE IF FLORIDA BEARING VALUE (FBV) 75 OR LIMEROCK BEARING RATION (LBR) 40. 5. THE WEARING COURSE SHALL BE 1 1/2" MINIMUM THICKNESS, TYPE I, TYPE S-3 OR TYPE S-1 ASPHALTIC CONCRETE. AN EXTRACTION TEST IS REQUIRED ON THE ASPHALTIC CONCRETE WEARING COURSE. THE CITY ENGINEERING DEPT. MUST INSPECT THE IN-PLACE BASE SURFACE PRIOR

6. CORE BORINGS OF THE ASPHALTIC CONCRETE WEARING COURSE AND THE BASE MATERIAL ARE REQUIRED TO DETERMINE THE IN-PLACE THE ABOVE TESTS ARE TO BE PERFORMED BY A CERTIFIED TESTING LAB, AT THE EXPENSE OF THE DEVELOPER, AND ALL TEST RESULTS MUST BE SUBMITTED TO THE CITY ENGINEER, AS THEY BECOME AVAILABLE. ALL TEST RESULTS ARE REQUIRED TO BE SIGNED, SEALED AND DATED BY A

- ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 8" DIAMETER MINIMUM. COMMERCIAL SERVICE LATERALS WITH MULTIPLE CONNECTIONS SHALL BE GREEN 8" DIA. OR LARGER. ALL SINGLE FAMILY RESIDENTIAL SERVICE LATERALS SHALL BE 6" - SINGLE ALL GRAVITY SANITARY SEWER LINES SHALL BE GREEN PVC SDR 35, ASTM D-3034. IN PLACES WHERE A MINIMUM COVER OF 3.0' CANNOT BE MAINTAINED, AWWA C-900 OR C-905 GREEN PVC DR-25, CLASS 100 OR CONCRETE ENCASEMENT SHALL BE USED. WATER LINES, REUSE LINES, AND STORM DRAINAGE CROSSINGS SHALL ALSO FOLLOW THE CONCRETE ENCASEMENT REQUIREMENT PER THESE STANDARDS AND AS PER REGULATORY REQUIREMENTS. MINIMUM GRAVITY SANITARY SEWER SLOPES ARE AS FOLLOWS: 4" PIPE 1.00%
 - 6" PIPE 0.65% 8" PIPE 0.40% 10" PIPE 0.30% 12" PIPE 0.22% OR OTHERWISE NOTED BY THE CITY ENGINEER
- GRAVITY SANITARY SEWER LINES SHALL BE INSTALLED WHENEVER POSSIBLE UNDER PAVED AREAS WITHIN PUBLIC RIGHTS-OF-WAY, UTILITY EASEMENTS SHALL BE PROVIDED WHENEVER PUBLICLY-OWNED SEWER LINES ARE CONSTRUCTED OUTSIDE OF A PUBLIC RIGHT-OF-WAY GRAVITY SANITARY SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY THE LOCAL UTILITY COMPANY.
- THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING OPERATIONS, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH. ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES IS NOT ACCEPTABLE. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE LOCAL UTILITY COMPANY
- ON ALL EXCAVATION AND BACKFILLING THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING IN ORDER TO PROVIDE FOR THE SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE LOCAL UTILITY COMPANY, THE DESIGN ENGINEER AND THE DEVELOPER. ALL TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO THE SPECIFIED MINIMUM COMPACTION (95% IN UNPAVED AREAS AND 98% IN PAVED AREAS) OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED
- THE CONTRACTOR SHALL INSTALL A #8 COPPER WIRE, OR SIMILAR DEVICE AS MAY BE APPROVED BY THE CITY FOR THE FULL LENGTH OF ALL PVC SEWAGE FORCE MAINS. THIS PIPE LOCATOR AID SHALL BE INSTALLED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS DIRECTED BY THE MANUFACTURER. TAPE SHALL BE COLOR CODED GREEN FOR SANITARY SEWER AND FORCE MAIN. STANDARD MANHOLES SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 300 FEET, UNLESS OTHERWISE NOTED ON PLANS
- MANHOLE RIMS SHALL MATCH FLUSH WITH THE FINISH GRADE ELEVATION IN PAVED AREAS AND A MINIMUM OF 0.2 FEET AND MAXIMUM OF 0.5 FEET ABOVE GRADE FOR UNPAVED AREAS. ALL SEWER LINES WHICH ARE CONSTRUCTED OUTSIDE OF PUBLIC RIGHT-OF-WAY WITHIN SIDE YARDS, BACKYARDS, AND OTHER POORLY ACCESSIBLE AREAS SHALL BE CONSTRUCTED OF DUCTILE IRON OR C-900 PVC. ABSOLUTELY NO USE OF PLASTIC STYRENE FITTINGS SHALL BE
- 15. SEWER LATERAL LOCATIONS SHALL BE MARKED ALONG THE OUTSIDE OF THE CURB WITH A SAW CUT "V" OR BY A METAL TAB SET INTO THE
- PAVEMENT. EZ-WRAP PLASTIC, AS MANUFACTURED BY PRESS SEAL GASKET CORPORATION, SHALL BE USED ON THE OUTSIDE OF ALL MANHOLE AND WETWEL JOINTS. APPLY ONE LAYER OF 9" WRAP CENTERED ON EACH JOINT. A CITY INSPECTOR SHALL PERSONALLY INSPECT ALL JOINT SEALS PRIOR TO BACKEILLING OPERATIONS
- ALL IN-LINE SANITARY SEWER FORCE MAIN VALVES SHALL BE FULL BORE PLUG VALVES. WITH RESPECT TO TIE-IN CONNECTIONS AND CORING OPERATIONS. THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO EXISTING CUSTOMERS.
- 19 ALL WORK PERFORMED UPON SANITARY SEWER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE CONSTRUCTED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR OR LICENSED GENERAL CONTRACTOR WHO IS LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE CITY
- UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM. IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AS-BUILTS ARE PROVIDED TO THE LOCAL UTILITY COMPANY PRIOR TO ANY USE OF THE SYSTEM. ALL HDPE PIPE INSTALLED FOR SEWAGE FORCE MAINS SHALL BE SDR 11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP TO WHICH IT IS ATTACHED.

TESTING REQUIREMENTS

- THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETED PROPERLY. TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT ONE FOOT VERTICAL INTERVALS UNTIL FINAL GRADE IS REACHED. TESTING SHALL BE COMPLETED AND TEST DOCUMENTS SUBMITTED TO THE LOCAL UTILITY COMPANY AT A MINIMUM FREQUENCY OF ONE SET OF TESTS PER EACH 300 FOOT OF PIPING AND ONE ADDITIONAL SET OF TESTS AT EVERY MANHOLE. IDENTIFICATION OF TEST LOCATIONS SHALL BE CLEARLY INDICATED ON TEST REPORTS. TEST RESULTS SHALL BE FORWARDED PROMPTLY TO THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR
- ALL TESTING REQUIRED BY THE LOCAL UTILITY COMPANY SHALL BE PAID FOR BY THE CONTRACTOR/DEVELOPER. THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE THE DEVELOPER TO PERFORM VACUUM TESTING OF ALL SANITARY MANHOLES AND TO AIR TEST SEWER MAINS. ALL PROPOSED SEWER FORCE MAINS SHALL BE FLUSHED. PRESSURE TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR WHO SHALL COORDINATE THE THE LOCAL UTILITY COMPANY PERSONNEL AT THE WATER OR WASTEWATER TREATMENT PLANT (AS APPROPRIATE) AT LEAST 24 HOURS PRIOR TO BEGINNING A FULL DIAMETER FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE TESTING PRESSURE TESTING (SUBJECT TO AVAILABILITY).
- SANITARY SEWER FORCE MAINS SHALL BE PRESSURE TESTED TO 100 PSI FOR 2 HOURS. CONCRETE COLLARS SHALL NOT BE PERMITTED/PLACED AROUND SANITARY/STORM MANHOLES. CONTRACTOR SHALL PROVIDE AND COMPACT SUBBASE, BASE & ASPHALT ADJACENT

AS-BUILT DRAWING REQUIREMENTS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION (WHERE APPLICABLE) IS REQUIRED ON ALL AS-BUILT DRAWINGS

- PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. (FOR SUBDIVISIONS) AND AS APPROPRIATE TO CONFIRM PAVING LIMITS (ON SITE PLANS) ALL RADII AT INTERSECTIONS SHALL BE VERIFIED AND DIMENSIONED. THIS INFORMATION IS TO BE CLEARLY INDICATED ON THE AS-BUILT. ROADWAY ELEVATIONS SHALL BE RECORDED AT ALL GRADE CHANGES, 100' INTERVALS ALONG ROADWAY, AND OTHER INTERVALS AS NEEDED ALONG ALL STREETS, STREET CENTERLINE AND CURB INVERT ELEVATIONS SHALL BE RECORDED AS NOTED. THE AS-BUILT CENTERLINE PROFILE OF ALL STREETS SHALL ALSO BE SHOWN ON THE PLAN AND PROFILE SO IT MAY BE COMPARED TO THE DESIGN PROFILE GRADE LINES. IN THE EVENT THAT THE AS-BUILT CENTERLINE LONGITUDINAL GRADE DOES NOT MEET THE CITY MINIMUM STANDARDS, ADDITIONAL LONGITUDINAL
- GRADES OF THE ADJACENT CURBING AND SIMILAR ROADWAY CROSS-SECTION SURVEYS TO VERIFY THE CORRECT CROSS SLOPE. SHALL BE REQUIRED TO VERIFY THAT THE SYSTEM WILL FUNCTION AS ORIGINALLY DESIGNED. STORM DRAINAGE STRUCTURES SHALL BE LOCATED AND/OR DIMENSIONED FROM CENTERLINES OR LOT LINES AS APPROPRIATE. EACH STRUCTURE SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE, LONGITUDE AND ELEVATION DATA PROVIDED. STORM DRAINAGE PIPE INVERT AND INLET ELEVATIONS SHALL BE RECORDED AND CLEARLY DENOTED AS AS-BUILT INFORMATION. DESIGN
- ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT. STORM DRAINAGE PIPE MATERIAL, LENGTH, AND SIZE SHALL BE MEASURED AND/OR VERIFIED. THIS INFORMATION IS TO BE CLEARLY INDICATED AS AS-BUILT INFORMATION. ALL APPLICABLE TOPOGRAPHIC INFORMATION PERTINENT TO THE ON-SITE DRAINAGE SYSTEM, SUCH AS DITCHES, SWALES, LAKES, CANALS, ETC.
- THAT ARE DEEMED NECESSARY BY THE CITY TO VERIFY THE FUNCTIONAL PERFORMANCE OF THE STORMWATER SYSTEM. SHALL BE NOTED. NORMALLY, RECORDING ELEVATIONS EVERY 100 FEET AT THE TOP OF BANK AND TOE OF SLOPE WILL BE REQUIRED. RETENTION AREAS SHALL HAVE THEIR TOP-OF BANK AND BOTTOM ELEVATIONS RECORDED. ACTUAL MEASUREMENTS SHALL BE TAKEN AND DIMENSIONS RECORDED OF THE SIZE OF ALL RETENTION AREAS. MEASUREMENTS SHALL BE DONE FROM TOP-OF- BANK TO TOP-OF-BANK WITH
- SIDE SLOPES INDICATED. SEPARATE CALCULATIONS SHALL BE SUBMITTED TO INDICATE REQUIRED AND PROVIDED RETENTION VOLUMES. ACTUAL MATERIALS USED AND ELEVATIONS AND DIMENSIONS OF OVERFLOW WEIR STRUCTURES AND SKIMMERS SHALL BE NOTED ON THE AS-BUILT. 10. STORM DRAINAGE SWALE CENTERLINES SHALL BE LOCATED AND ELEVATIONS OF FLOW LINE AND TOP OF BANK SHALL BE RECORDED EVERY 100 FEET. SIDE SLOPES SHALL ALSO BE INDICATED.
- 11. SANITARY SEWER MANHOLES SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. ALL RIM AND INVERT ELEVATIONS SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. DESIGN ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT. FOR SUBDIVISIONS, PROPOSED DESIGN FINISHED FLOOR ELEVATIONS SHALL APPEAR ON ALL SUBDIVISION LOTS ON THE APPROPRIATE PLAN AND
- PROFILE SHEET AS WELL AS ON THE MASTER DRAINAGE PLAN. 13. SANITARY SEWER LINE LENGTHS, SIZES, MATERIAL, ETC. SHALL BE VERIFIED AND RECORDED. THIS INFORMATION IS TO BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION.
- 14. SEWER LATERALS SHALL BE VERIFIED AND RECORDED AT THEIR CLEAN-OUT LOCATIONS. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TOWARDS UPSTREAM. 15. LIFT STATIONS AND FORCE MAINS SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. FORCE MAIN DEPTH AND LOCATION INCLUDING VALVES WILL BE PROVIDED AND TIED TO PERMANENT ABOVE GRADE FEATURES. DIMENSIONAL AND ELEVATION INFORMATION INDICATED ON THE APPROVED PLAN SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. BURIED ELECTRICAL SERVICE LINE SHALL BE CLEARLY DIMENSIONED, LOCATED, AND LABELED.
- EACH LIFT STATION SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE. LONGITUDE AND ELEVATION DATA PROVIDED. 16. CURB CUTS OF METAL TABS, USED TO MARK SEWER LATERALS, WATER SERVICES AND WATER VALVES, SHALL BE VERIFIED FOR PRESENCE AND ACCURACY OF LOCATION. 17. POTABLE AND RECLAIMED WATER MAIN LINES SHALL BE DIMENSIONED OFF THE BASELINE CONSTRUCTION. WATER MAIN LINE MATERIAL, SIZE,
- SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. 18. POTABLE AND RECLAIMED WATER VALVES, TEES, BENDS, ALL SERVICES, AND FIRE HYDRANTS SHALL BE LOCATED BY TYING THEM TO BASELINE CONSTRUCTION (STA. & OFFSET) SIMILARLY, FORCE MAIN VALVES, TEES AND BENDS SHALL BE LOCATED IN THE SAME MANNER. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TO UPSTREAM MANHOLES. ALL VALVES AND HYDRANTS SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE, LONGITUDE AND ELEVATION DATA PROVIDED.
- 19. FOR PERPENDICULAR CROSSINGS OF STORMWATER, SANITARY SEWER, POTABLE WATER, OR RECLAIMED WATER, THE AS-BUILT PLANS SHALL CLEARLY INDICATE WHICH UTILITIES ARE LOCATED OVER OR UNDER OTHER UTILITIES. AS NECESSAR) 20. ANY SPECIAL FEATURES SUCH AS CONCRETE FLUMES, LAKE BANKS, WALLS, FENCING, ETC., WHICH WERE A PART OF THE APPROVED
- 21. IF AN APPROVED SUBDIVISION PLAT OR SITE PLAN SHOWS A CONSERVATION EASEMENT. THE PROJECT SURVEYOR SHOULD PROVIDE THE EXACT LOCATION OF THE SPECIMEN TREE(S) FROM THE RIGHT-OF-WAY OR PROPERTY LINES AND PROPOSED EASEMENT BOUNDARIES ON THE AS-BUILT DRAWING. THE AS-BUILT LOCATION OF THESE TREES WILL HELP VERIFY THE SUFFICIENCY OF THE CONSERVATION EASEMENT PRIOR TO PLAT RECORDING OR CERTIFICATE OF OCCUPANCY.
- 22. WHEN STORMWATER, POTABLE WATER, RECLAIMED WATER, OR SANITARY SEWER IMPROVEMENTS ARE LOCATED WITHIN AN EASEMENT, THE AS-BUILT DRAWING SHALL ACCURATELY DEPICT THE LOCATION OF THE EASEMENT ITSELF AS WELL AS THE EXACT LOCATION OF THE IMPROVEMENTS WITHIN THE EASEMENT. THIS IS REQUIRED IN ORDER TO VERIFY THAT THE IMPROVEMENTS HAVE BEEN PROPERLY LOCATED AND TO ENSURE THAT FUTURE SUBSURFACE EXCAVATION TO PERFORM REMEDIAL REPAIR CAN BE ACCOMPLISHED WITHOUT DISTURBANCE BEYOND THE EASEMENT

ADDITIONAL NOTES

- 1 THE NOTES ON THIS PAGE ARE GENERAL CONSTRUCTION NOTES ONLY AND DO NOT CONTAIN ALL CITY/COUNTY STANDARD CONSTRUCTION NOTES FOR WHICH THIS PROJECT IS LOCATED. REVIEW ALL PLANS FOR ANY ADDITIONAL CITY/COUNTY STANDARD CONSTRUCTION NOTES.
- SEE SITE WORK SPECIFICATIONS FOR ADDITIONAL INFORMATION.



- LENGTH AND DEPTH PLACED SHALL BE NOTED. LOCATIONS OF VALVES SHALL ALSO BE TIED TO BASELINE CONSTRUCTION. THIS INFORMATION
- CONSTRUCTION DRAWING SHOULD ALSO BE LOCATED AND DIMENSIONED.

STORM DRAINAGE CONSTRUCTION NOTES

ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION)

- 1. ALL STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE. OUTSIDE OF ROADWAY EASEMENTS AND R.O.W. PIPE MAY BE MADE OF ALTERNATE MATERIALS INCLUDING: a. SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, AASHTO MP7, ASTM D3350 AND ASTM D2412 FOR SIZES UP TO 42" IN DIAMETER
- 2. ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH FILTER FABRIC WITH A MINIMUM WIDTH OF 42" AND A MINIMUM OF 24" OVERLAP SECURED WITH PLASTIC OR STAINLESS BANDS. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT SUBSTITUTE FOR MEETING THIS REQUIREMENT. THIS PRACTICE IS ENCOURAGED ON PRIVATE SITES ADDITIONALLY. ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL PIPE.
- DEPTH OF COVER MEASURED TO THE TOP OF PIPE (NOT INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 1 FOOT. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPE'S STRUCTURAL CAPACITY. THIS DEVIATION MUST BE SPECIFIED ON THE PLANS APPROVED FOR CONSTRUCTION AND SUBSEQUENTLY REFLECTED ON THE SHOP DRAWINGS AND AS-BUILT PLANS. ALL STORM DRAINAGE PIPES LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF TWELVE INCH (12")
- DIAMETER OR EQUIVALENT. STORM DRAINAGE PIPES SMALLER THAN 15" ARE PERMITTED ON PRIVATE SITE PLANS PROVIDING THAT MAINTENANCE SHALL BE PERFORMED BY THE OWNER. STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE FITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION. ALL STRUCTURES SHALL BE IN COMPLIANCE WITH ASTM C-478 AND SHALL HAVE 8" THICK WALLS. 6" THICK WALLS MAY BE PERMITTED PROVIDING THAT THE PLANS SPECIFY INCREASED REINFORCEMENT IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 201 IN ADDITION THIS REQUIREMENT MUST BE REFLECTED ON BOTH THE SHOP DRAWING AND
- AS-BUILT PLANS FOR CONNECTIONS BETWEEN INLETS WITH PIPING 15" IN DIAMETER AND LARGER, THE MAXIMUM DISTANCES BETWEEN INLETS AND/OR CLEAN-OUT JUNCTION BOXES SHALL BE 300 FEET, UNLESS OTHERWISE NOTED ON PLANS. CULVERTS SHALL BE SLOPED TO MAINTAIN A MINIMUM SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND USING A MANNING'S 'N' OF 0.012. SPACING FOR CLEAN-OUTS AND INLETS FOR SMALLER PIPING SHALL BE REDUCED AND EVALUATED ON A CASE BY CASE BASIS. ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED SIDE SLOPE NOT GREATER THAN 3:1 AT MINIMUM. THE MAXIMUM PERMITTED
- BACKSLOPE SHALL BE 3:1 PROVIDED THAT A 2' WIDE BERM IS INSTALLED. DESIGN CENTERLINE AND TOP-OF-BANK ELEVATIONS SHALL BE NOTED AT INTERVALS OF 100' 8. PIPED STORMWATER SYSTEMS SHALL HAVE A MINIMUM DRAINAGE MAINTENANCE EASEMENT WIDTH OF 20 FEET, AND MAY BE INCREASED DEPENDING UPON THE SIZE AND DEPTH OF PIPE.
- CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES 10. SOIL EROSION CONTROL MEASURES, SATISFACTORY TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION.
- 11 ADEQUATE MAINTENANCE EASEMENTS OR RIGHTS-OF-WAY AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL LAKES AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF LAKES. APPLICABLE CROSS SECTIONS SHALL BE INCLUDED ON ALL FINAL DEVELOPMENT PLANS 12. IN GENERAL, ALL RETENTION / DETENTION SITES MUST BE CONSTRUCTED ON ALL PROJECTS PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING
- CONSTRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE. SEWER AND WATER MAINS MAY BE INSTALLED PRIOR TO RETENTION/ DETENTION SITE CONSTRUCTION IF DEWATERING IS NOT REQUIRED THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL DEWATERING PERMITS THAT MAY BE REQUIRED WHEN CULVERTS ARE INSTALLED TO MAINTAIN THE FLOW OF EXISTING DRAINAGE WAYS WHERE NEWLY PROPOSED ROADS WOULD OTHERWISE
- SEVER THE DRAINAGE WAY, THEN CULVERTS CROSSING RIGHTS-OF-WAY SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY. CULVERTS SHALL BE DESIGNED TO ACCOMMODATE THE FLOW FROM THE 100 YEAR - 24 HOUR STORM EVENT WITHOUT FLOODING ADJACENT PROPERTY OR SURCHARGING THE SAID ROADWAY. 15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND MAINTAIN A COPY OF THE SJRWMD PERMIT AT THE CONSTRUCTION SITE.
- AND ABIDE BY ALL CONDITIONS OF THE PERMIT 16. COMPACTING FOR BACKFILL SHALL COMPLY WITH FDOT SPECIFICATIONS

POTABLE WATER/SANITARY SEWER MAINS SEPARATION NOTES

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. THE MINIMUM HORIZONTAI
- SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSE GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT
- LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE
- PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS. OR PIPELINES CONVEYING RECLAIMED WATER. AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER.

CIVIL ENGINEERING LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		CENTERI INE
x x	x x	FENCE
	_	
	(25 50)	SPOT ELEVATIONS
25.50	25.50	CONTOURS
25	23	SANITARY SEWER/CLEANOUT
– – – 6"PW – –	6"PW	PROCESS WASTE
- — - st — —	ST	STORM SEWER
- — - 6"W — —	6"W	DOMESTIC WATER
- <u> </u>	6"F	FIRE MAIN
- — - 6"G — —	6"G	GAS MAIN
– — – 6"FM — —	6"FM	FORCE MAIN
– — – UE — —	UE	UNDERGROUND ELECTRIC
- — - OHE — —	OHE	OVERHEAD ELECTRIC
- — - UT — —	UT	
- — - OT — —	OT	OVERHEAD TELEPHONE
– — – UD — —		UNDERDRAIN
ø	\ م	FIRE HYDRANT
		DOUBLE CHECK VALVE ASSEMBLY
R.P.]	R.P	RED. PRESSURE BACKFLOW PREV.
F	F	POST INDICATOR VALVE
		VALVE
	Q	VALVE & BOX
	6	MANHOLE
	▼	SPRINKLER RISER
₩M ————————————————————————————————————	WM	WATER METER
		CATCH BASIN
		CURB INLET
		FLARED END
		MITERED END
		CONCRETE FLUME
		ENDWALLS
		CONCRETE POWER POLE
PP Opp		WOOD POWER POLE
**	HP I	LIGHT POLE
	ΓT]	TRANSFORMER
	 S-1	DRAINAGE STRUCTURE
	SA-1	SANITARY SEWER STRUCTURE
		SECTION CUT
	\smile \bigcirc	
		SILT FENCE
		HAYBALE BARRIER
IINARY	₩ 1	SUL DURING LUCATION/NUMBER
NSTRUCTION		

BACHELOR PROPERTIES Image:			A THE TOURING COMPANY, INC.	CIVIL AND MARINE CONSULTING	14286-19 BEACH BLVD., UNIT 355	JACKSONVILLE, FLORIDA 32250 AUTHORIZATION	(P) 904.614.3302 (F) 904.223.6045 NO. 26326	© The Touring Company 2021. Copyright: The Touring Company. 2021. All rights reserved. No part of this work may be used reproduc	distributed, displayed or otherwise communicated in any form or by any means without the prior, written consent of The Touring Compar-
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SHEET NO.



OWNER'S REQUIREMENTS SITE DESCRIPTION

PROJECT NAME AND LOCATION: BACHELOR PROPERTIES ADDOR LANE JACKSONVILLE, FLORIDA

OWNER NAME AND ADDRESS: BACHELOR PROPERTIES

DESCRIPTION:

THIS PROJECT WILL CONSIST OF: INDUSTRIAL DEVELOPMENT

SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND EARTHWORK

SECTION: 21

TOWNSHIP: 2S

RANGE: 25E

RUNOFF COEFFICIENTS . PRE-CONSTRUCTION = 0.00 . DURING CONSTRUCTION = 85.0

3. POST-CONSTRUCTION = 85.0

SEE STORMWATER MANAGEMENT & GEOTECHNICAL REPORTS SOILS: SITE MAPS: SEE STORMWATER MANAGEMENT & GEOTECHNICAL REPORTS

SITE AREA:

TOTAL AREA OF SITE = 24.98 ±ACRES 2. TOTAL AREA TO BE DISTURBED = 23.0 ±ACRES NAME OF RECEIVING WATERS: I-10 CORRIDOR

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUNN OFF. DRAWING NO. 11 HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS AS PER PLAN AS WELL AS ENSURING THE PLAN IS PROFVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL STATE AND LOCAL LAWS. REFER TO "CONTRACTORS REQUIREMENTS" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY CURB AND GUTTER STORM SEWER, CURB INLETS AND CATCH BASINS FOR THE DEVELOPED AREAS. AREASWHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE. WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF 12 ACRES± WILL HAVE BEEN REGRADED, 10.85 ACRES± LEFT UNDISTURBED WITH A TOTAL OF 2.30 ACRES± OF WET DETENTION. THE DRAINAGE AREA FOR THE DETENTION SYSTEM IS 20.55 ACRES± WHERE PRACTICAL, THE TEMPORARY SEDIMENT BASIN WILL BE IN THE LOCATION OF THE PERMANENT DETENTION BASIN. WHEN UPSLOPE AREAS ARE STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM SEDIMENT BASIN, AND THE AREAS ON THE SIDE OF THE BASIN WILL BE PLANTED WITH VEGETATION. THE WET DETENTION SYSTEM IS DESIGNED WITH A 21 DAY MINIMUM RESIDENCE VOLUME OF 13.96 ACRE-FEET±. THIS IS IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FOR THIS TYPE OF DEVELOPMENT AT THE TIME OF PERMITTING.

REFER TO *CONTRACTORS REQUIREMENTS* FOR THE TIMING OF CONTROL/MEASURES.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN AN EFFORT TO ENSURE COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWAS REGARDING EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED.

D.E.P. DREDGE/FILL PERMIT C.O.E. DREDGE/FILL PERMIT S.J.R.W.M.D. M.S.S.W. PERMIT CITY OF JACKSONVILLE DEVELOPMENT PERMIT # TBD

POLLUTION PREVENTION PLAN CERTIFICATION

CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED	•

CORPORATE OFFICER, GENERAL PARTNER, PROPRIETOR, EXECUTIVE OFFICER, OR RANKING ELECTED OFFICIAL

DATE

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES:

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

- 1. INSTALL STABILIZED CONSTRUCTION ENTERANCE.
- 2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN.
- CONSTRUCT SEDIMENTATION BASIN.
- CONTINUE CLEARING AND GRUBBING. STOCK PILE TOP SOIL IF REQUIRED.
- PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
- STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
- INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS, 10. APPLY BASE TO PARKING AREAS.
- 11. COMPLETE GRADING AND INSTALL PERMANENT SEDDING/SOD AND PLANTING.
- 12. COMPLETE FINAL PAVING.
- 13. REMOVE ACCUMULATED SEDIMENT FROM BASINS. 14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED.

NOTE: VERTICAL CONSTRUCTION OF THE BUILDING WILL BE TAKING PLACE DURING ALL THE SEQUENCE STEPS LISTED ABOVE.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES. STABILIZED CONSTRUCTION ENTERANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN. (DWG. 11)

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY OT IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED. MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRATOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL B IMPLEMENTED BY THE CONTRACTOR AS REQUIRED TO MEET THE SEDIMENT AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

- 1. STRAW BALE BARRIER: STRAW BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM
- CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS A POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
- 2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:

A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

- 3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
- 4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE DRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL RECONCENTRATE AFTER RELEASE.
- 5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
- 6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

STORM WATER POLLUTION PREVENTION PLAN

- 7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- 8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
- 9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADITIOINALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATED TO PREVENT MOVEMENT OF SEED AND MULCH.
- 10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
- 11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER
- 12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OT THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- 13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.
- 14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTRUBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONALVEGETATION. SLOPES TEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.

STRUCTURAL PRACTICES

- TEMPORARY DIVERSION DIKE: TERMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
- TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN AN DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH FOLLOWING LIMITATIONS: A. THE SEDIMENT TRAP MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE.
- OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA.
- 4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THERS SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3.600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS APPLY TO FLOWS FROM OFFSITE AREAS THAT ARE AEITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DITRUBED AREA AND THE SEDIMENT BASIN ANY TEMPORARY SEDIMENT BASINCS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

CONCRETE FERTILIZERS PETROLEUM BASED PRODUCTS ASPHALT TAR CLEANING SOLVENTS DETERGENTS PAINTS

WOOD

MASONARY BLOCKS

METAL STUDS

ROOFING MATERIALS

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE

- DURING THE CONSTRUCTION PROJECT. • AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL

HAZARDOUS PRODUCTS

PETROLEUM PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCTS MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE

REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANGE O LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THIS PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (I.E. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

- REPORT

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDEMEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEAN UP COORDINATOR HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

 NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

 ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT. THE PERSON RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY TORM EVENT OF 0.25 INCHES OR GREATER.

 ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER: IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF

 BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

• SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT FENCE POSTS ARE FIRMLY IN THE GROUND.

 THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB.

 DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED

 TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

 A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

 THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

 PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

 IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

WATER FROM WATER LINE FLUSHING.

• PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAV OCCURED).

UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	RESPONSIBLE FOR/DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR

BACHELOR PROPERTI BACHELOR PROPERTI SITE CLEARING AND MAINTEN STOR LANE, JACKSONVILLE, FLOR PREVENTION			EV	ANCE STATE OF	JACKSONVILLE, FLORIDA 32250 AUTHC	(P) 904.614.3302 (F) 904.223.6045	0 01-02-2024 DET MASS GRADING/SITE CLEARING PERMIT ISSUE
PLAN JOB NO. 21-0070 DRAWN BY: NAD CHECKED BY: DET SCALE: 1"-50			BACHELOK PROPERIE	SITE CLEARING AND MAINTENA		ADDOR LANE, JACKSONVILLE, FLORI	•

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

- 1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDERSTORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
- 2. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
- 3. WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY. 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, HAY BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS.
- FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT, MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES. 5. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION
- EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT APPLICATION AND THROUGHOUT PROJECT CONSTRUCTION.
- 6. WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.
- 7. AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN 30 DAYS. 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR SHALL INSTALL SEED AND MULCH OF SOD, AS REQUIRED.
- 9. FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- 10. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED. 11. ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION PRIOR TO EACH DAY OF DESIRED BURNING.
- 12. ABSOLUTELY NO BURYING OF CLEARED MATERIALS IS PERMITTED. 13. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED. TEMPORARY STOCKPILE SLOPES SHALL NOT EXCEED 4:1 (H:V)
- 14. A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING.
- 15. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 98% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180). 16. IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- 17. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY, WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT. 18. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS
- SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNIT CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY.
- 19. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE. 20. ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

NOTES

- 1. POSTS TO BE 1"x 2" PINE WITH A MINIMUM LENGTH OF 4 FEET; LOCATE POSTS ON DOWNSLOPE SIDE OF FILTER FABRIC.
- 2. BURY TOE OF FENCE APPROXIMATELY 8" DEEP TO PREVENT UNDERCUTTING.
- 3. WHEN JOINTS ARE NECESSARY, SECURLY FASTEN THE FABRIC AT A SUPPORT POST
- WITH OVERLAP TO THE NEXT POST.
- 4. FILTER FABRIC TO BE NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA

- STRENGTH 50LB/LIN. IN. (MINIMUM) AND WITH A FLOW RATE OF AT LEAST 0.3 GAL /

SILT FENCE

NTS

GENERAL NOTES

- 1. ALL DISTURBED AREAS SHALL BE SODDED OR SEEDED AND MULCHED. SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES.
- TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
- STRUCTURES SHALL DETERMINE THE LENGTH OF PIPE.
- FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.

- 9. DURING CONSTRUCTION. AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE APPARATUS.

EROSION & SEDIMENT CONTROL NOTES

- POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- PROCESS.
- CORRECTIVE ACTION TAKEN AS NECESSARY. STABILIZATION.
- CONSTRUCTION IN ORDER TO STABILIZE THE SLOPES AND MINIMIZE EROSION.
- ADMINISTRATIVE CODE.

- 9. MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED BY THE HOMEOWNERS ASSOCIATION.

EXISTING TREE TO **BE PRESERVED**

NOTE:

DO NOT STORE MATERIALS WITHIN PROTECTIVE BARRIER

THE TREE PROTECTION BARRICADE SHALL BE AT LEAST THREE (3) FEET HIGH. THE BARRIER SHALL CONSIST OF EITHER A WOOD FENCE WITH 2x4 POSTS PLACED AT A MAXIMUM EIGHT (8) FEET APART, WITH A 2x4 MINIMUM TOP RAIL, OR A TEMPORARY WIRE MESH FENCE, OR OTHER SIMILAR BARRIER WHICH WILL LIMIT ACCESS TO THE PROTECTED AREA.

THE BARRICADE SHALL BE AT LEAST ONE FOOT DIAMETER FOR EACH INCH OF TRUNK DIAMETER. FOR TREES LESS THE 12" DBH, THE MINIMUM BARRICADE SHALL BE AT LEAST SIX (6) FEET AWAY FROM THE BASE OF THE TREE.

TREE BARRICADE APPROVAL: OBTAIN CITY APPROVAL OF TREE BARRICADE BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.

ELEVATION

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, DISRUPTION OF SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY DURING RELOCATION OPERATIONS. THE CONTRACTOR

3. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF

4. THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT"

SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND SHALL BE SIGNED AND SEALED BY A

6. THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL FIELD CHANGES ARE TO BE SHOWN. THESE CHANGES ARE TO BE INCORPORATED IN THE "AS-BUILT" SURVEY FURNISHED TO THE ENGINEER. 7. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION. 8. ALL REQUIRED FIRE LINES AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF VERTICAL CONSTRUCTION.

1. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION. SEDIMENTATION, AND THE

2. CONTRACTOR SHALL MINIMIZE DISTURBANCE OF NATURAL VEGETATION TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION

3. SILT FENCE OR HAY BALES AND TURBIDITY BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE, TO BE INSPECTED WEEKLY AND

4. STORMWATER RETENTION AND DETENTION STORAGE MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS. ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SILTATION OF THESE TREATMENT SYSTEMS AND CONTROL STRUCTURES DURING CONSTRUCTION OR SILTATION MUST BE REMOVED PRIOR TO FINAL GRADING AND

5. CONTRACTORS SHALL SOD ALL SWALES AND STORMWATER PONDS IN ACCORDANCE WITH THE DETAIL PROVIDED AS SOON AS POSSIBLE AFTER

6. DURING ANY CONSTRUCTION OF THE PERMITTED SYSTEM INCLUDING STABILIZATION AND REVEGETATION OF DISTURBED SURFACES, THE CONTRACTOR IS RESPONSIBLE FOR THE SELECTION, IMPLEMENTATION, AND OPERATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ONSITE TO PREVENT VIOLATIONS OF THE WATER QUALITY STANDARDS IN ACCORDANCE WITH THE FLORIDA

7. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A PROTECTIVE COVER (VEGETATIVE OR SUITABLE ALTERNATIVE) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. UNLESS MODIFIED BY ANOTHER CONDITION OF THE PERMIT OR OTHERWISE SPECIFIED ON A DISTRICT APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION. THE PERMITTEE'S REQUIREMENT TO MAINTAIN COVER ON OFFSITE SURFACES SHALL NOT BE COMPLETE UNTIL AFTER THE DISTRICT RECEIVES THE PERMITTEE'S STATEMENT OF COMPLIANCE.

8. AT A MINIMUM, TURBIDITY BARRIERS AND SILT FENCES SHALL BE INSTALLED PER PLAN. ADDITIONAL MEASURES MUST BE TAKEN TO MINIMIZE IMPACTS OF RECEIVING WATERS SUCH AS THE USE OF HAY BALES AT INLETS, ADDITIONAL SILT FENCING, AND SODDING.

10. MAINTENANCE SHALL INCLUDE BIWEEKLY MOWING AND QUARTERLY INSPECTION OF INLETS AND DRAINAGE CONTROL STRUCTURES.

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THE TOURING COMPANY, INC. CIVIL AND MARINE CONSULTING CIVIL AND MARINE CONSULTING IVIL AND MARINE CONSULTING STATE OF FLORIDA STATE OF FLORIDA STATE OF FLORIDA STATE OF FLORIDA STATE OF FLORIDA (P) 904.614.3302 (F) 904.223.6045 (P) 904.614.3302 (F) 904.223.6045 The Touring Company 2021. Copyright. The Touring Company. 2021. An inghts reserved. No part of this work may be used. reproduced. distributed, displayed or otherwise communicated in any form or by any means without the prior, written consent of The Touring Company.									
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