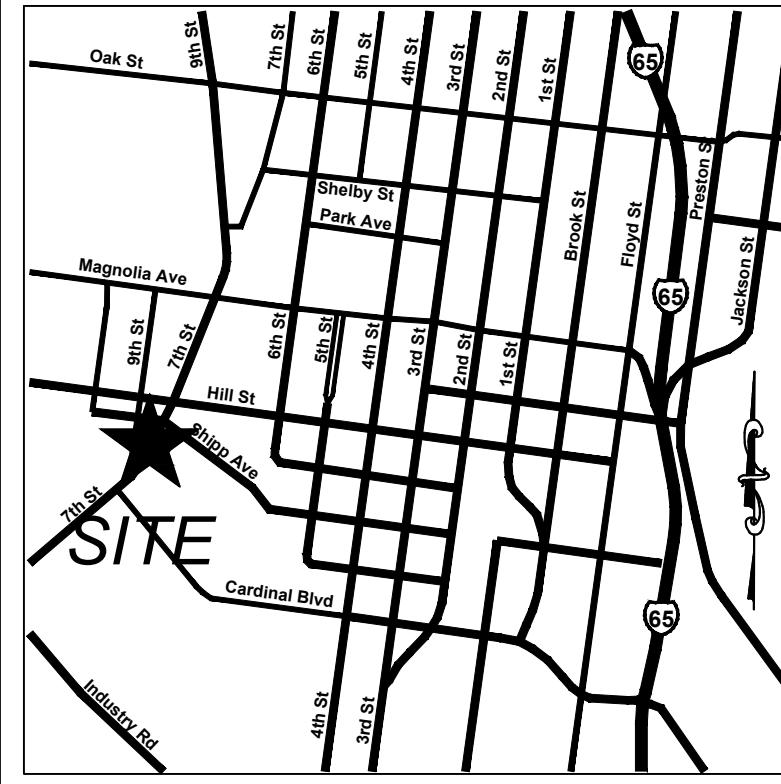


**SITE IMPROVEMENT PLANS
FOR
SOUTH 7TH STREET WAREHOUSE SUITES
1512 SOUTH 7TH STREET
LOUISVILLE, KENTUCKY 40202**

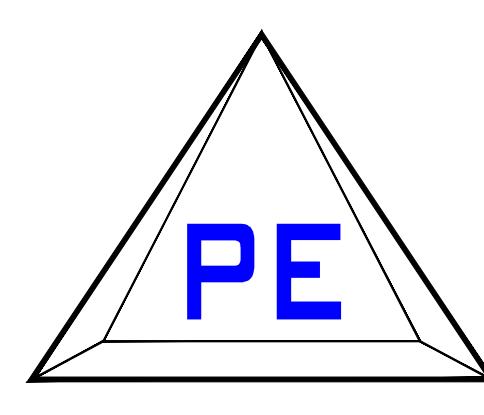
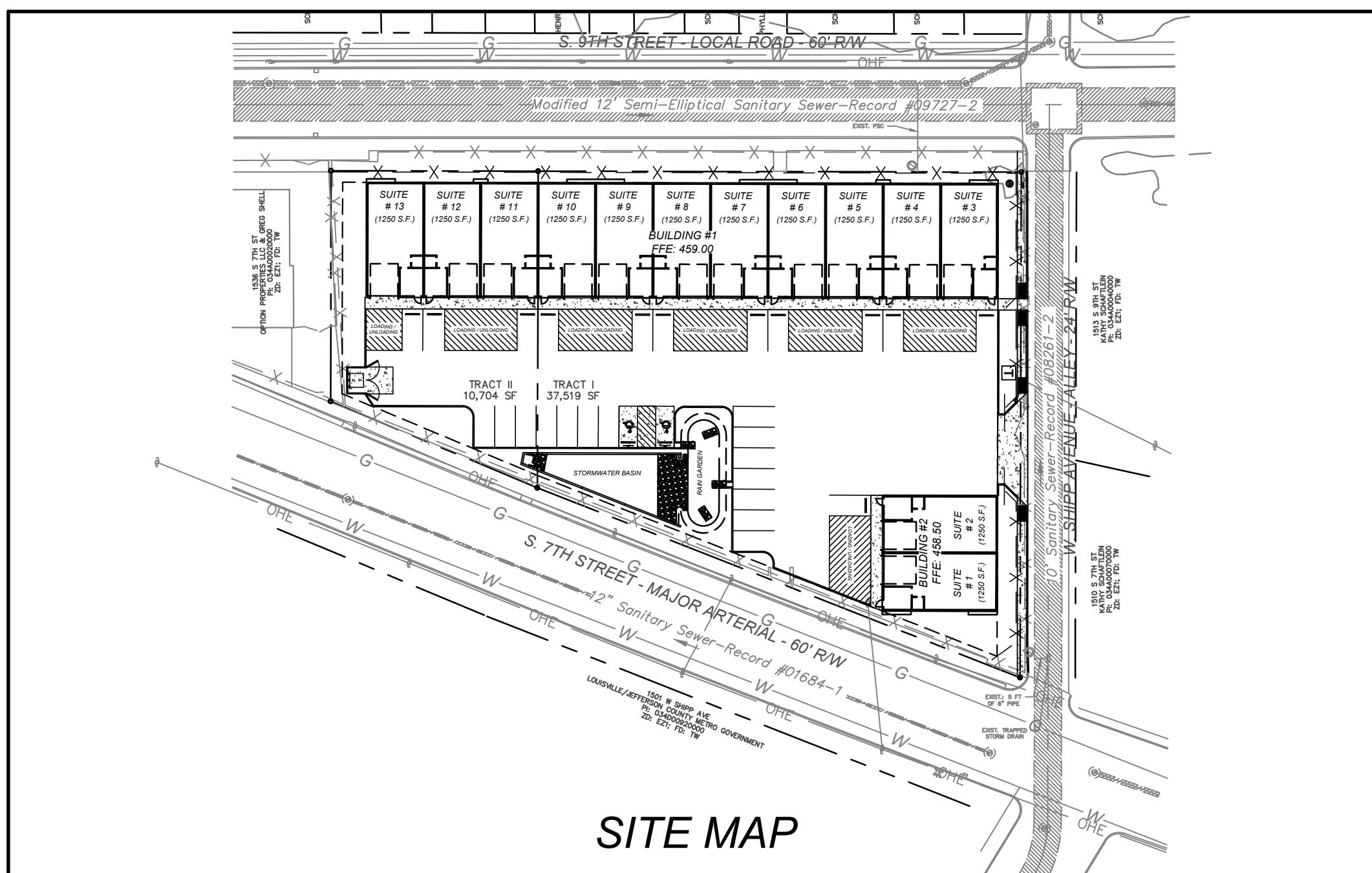


Location Map

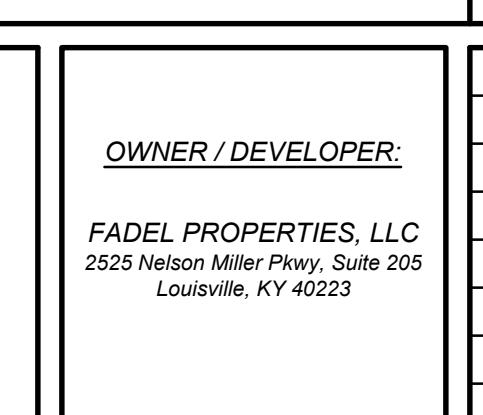
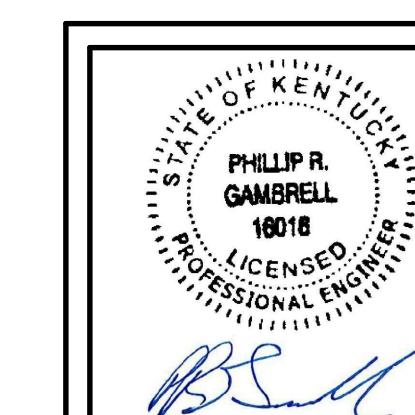
Not To Scale

PLAN INDEX:

<u>DRAWING NUMBER</u>	<u>DRAWING TITLE</u>
C0.0.....	COVER SHEET
C0.1.....	GENERAL NOTES & LEGEND
C1.0.....	EPSC PLAN
C1.1.....	SITE & UTILITIES PLAN
C2.0.....	GRADING PLAN
C3.0.....	DRAINAGE PLAN
C3.1.....	BASIN DETAILS
C4.0.....	SITE DETAILS
L1.0.....	LANDSCAPE PLAN
L1.1.....	LANDSCAPE DETAILS



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SPD-24-1096	WM # 12674	23-CAT2-0047
REVISIONS		
0.	DESCRIPTION	DATE
	MSD REVIEW COMMENTS	5/31/24
2	MSD 2nd REVIEW COMMENTS	7/15/24
3	MSD 3rd REVIEW COMMENTS	8/27/24
PE PROJ. # 223032-E2		
FEBRUARY 26, 2023		
COVER SHEET		
C0.0		

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, CONTROLS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR THIS PROJECT.
- CONTRACTOR SHALL MAINTAIN TEMPORARY BARRICADES, FENCES AND BRIDGES AROUND EXCAVATED AREAS, WITH WARNING SIGNS AND/OR LIGHTS AS REQUIRED BY CODE, TO PROTECT THE PUBLIC AND WORKERS FROM INJURY DURING WORK UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL COMPLY WITH THE U.S. DEPT. OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1979 HOURS AND SAFETY STANDARDS ACT (P.L. 91-54). DURING ALL PHASES OF THIS PROJECT (INCLUDING EXCAVATIONS OR TRENCHING), THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AT ALL TIMES.
- CONTRACTOR SHALL COMPLY WITH LOCAL CODES, ORDINANCES, AND REQUIREMENTS OF AGENCIES HAVING JURISDICTION CONCERNING SAFETY ISSUES IN ADDITION TO THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- ALL PAVEMENT MARKINGS AND SIGNAGE (I.E. HANDICAP SIGNING, ONE WAY SIGNING, ETC.) SHALL BE IN ACCORDANCE WITH THE RULES AND PRINCIPLES SET OUT IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION; ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 18 FEET.
- CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS.
- ALL EXCAVATION SHALL BE UNCLASSIFIED AND SHALL INCLUDE EXCAVATION TO SUBGRADE ELEVATIONS, REGARDLESS OF THE CHARACTER OF MATERIALS ENCOUNTERED DURING EXCAVATION. SEE GEOTECHNICAL REPORT (IF AVAILABLE).
- ALL SLOPES SHALL BE STABILIZED AS SOON AS CONSTRUCTION OPERATIONS ALLOW.
- UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT (IF AVAILABLE), THE SUBGRADE AND CRUSHED STONE BASE SHALL BE PROOFROLLED WITH EQUIPMENT JUDGED SUITABLE BY THE GEOTECHNICAL ENGINEER FOR THE SPECIFIC PROJECT REQUIREMENTS AND CONDITIONS, INCLUDING END USE AND SITE ACCESSIBILITY CONSTRAINTS. THE EQUIPMENT SHOULD BE CAPABLE OF IMPARTING AN EQUIVALENT LOAD AS A TRI-AXLE DUMP TRUCK (THIRD AXLE UP) LOADED WITH AT LEAST 22 TONS OF MATERIAL. THE PROOFROLL SHOULD BE WHEEL-TO-WHEEL, PROVIDING FULL COVERAGE TO THE SUBGRADE (OR AS FULL COVERAGE AS POSSIBLE BASED ON THE SITE CONSTRAINTS). THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER 48-HOURS PRIOR TO PROOFROLLING, SO THAT OWNER REPRESENTATIVES CAN BE PRESENT.
- UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT (IF AVAILABLE), CONTRACTOR SHALL HAVE COMPACTION TESTS PERFORMED TO DETERMINE THAT THE AMOUNT OF COMPACTION ACHIEVED MEETS OR EXCEEDS THE COMPACTION REQUIREMENTS ESTABLISHED FOR THE PROJECT. TEST LOCATIONS SELECTED BY THE GEOTECHNICAL ENGINEER SHALL EVENLY DISTRIBUTED THROUGHOUT THE FILL AREA, WITH AT LEAST ONE TEST PER 5,000 SQ. FT. A MINIMUM OF 3 TESTS SHOULD BE TAKEN PER LIFT REGARDLESS OF THE FILL AREA. UNLESS OTHERWISE NOTED, ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" (LOOSE MEASUREMENT) AND COMPACTION TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698). ENGINEERED FILL MATERIAL SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT WHEN COMPACTION OPERATIONS ARE PERFORMED. FILL MATERIAL SHALL BE FREE OF ANY FOREIGN OR DELETERIOUS MATERIALS. FOR THE BUILDING AREAS, THE LIMITS OF COMPACTION SHALL EXTEND TO 10 FEET BEYOND THE BUILDING AND APPURTENANCES (STOOPS, SIDEWALKS, RAMPS, ETC.). GENERAL CONTRACTOR TO HAVE GEOTECHNICAL ENGINEER INSPECT AND TEST ALL MATERIALS AND COMPACTION OF FILL TO ENSURE COMPLIANCE WITH PROJECT SPECIFICATIONS. GEOTECHNICAL ENGINEER SHALL PROVIDE TESTING/MONITORING REPORTS TO THE GENERAL CONTRACTOR AND PROJECT OWNER. GENERAL CONTRACTOR SHALL COORDINATE ALL TESTING TO ENSURE PROJECT SPECIFICATIONS ARE BEING MET.
- EXCESS EXCAVATED CUT MATERIALS, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED OR DIRECTED.
- THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLING NECESSARY TO CONDUCT THE REQUIRED SOIL TESTING. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- WHEN BLASTING IS REQUIRED, THE CONTRACTOR SHALL COMPLY FULLY WITH THE PROVISIONS OF THE LAWS AND REGULATIONS GOVERNING EXPLOSIVES AND BLASTING, AS ISSUED BY THE KENTUCKY DEPT. OF MINES AND MINERALS, AND THE KENTUCKY OCCUPATIONAL SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY, SUBPART U, BLASTING, AS ISSUED BY THE KENTUCKY LABOR CABINET.
- ALL PIPE LENGTHS BETWEEN STRUCTURES ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE ALONG A HORIZONTAL PLANE.
- ALL STORM SEWERS SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
- ALL HANDICAP PARKING, RAMPS, AND ACCESS WAYS SHALL CONFORM WITH THE SPECIFICATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA). CONTRACTOR SHALL VERIFY ALL AS-BUILT SITE CONSTRUCTION MEETS ADA REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHOULD NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD AND THOSE SHOWN ON THESE PLANS.
- ALL SPOT ELEVATIONS ON THE PLANS ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
- THE PERFORMANCE OF THE WORK INDICATED SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND THE CONTRACTOR SHALL VERIFY THAT THE NECESSARY PERMITS INDICATING COMPLIANCE HAVE BEEN OBTAINED, AS REQUIRED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE REMOVAL, DISRUPTION OF SERVICE, INSTALLATION, ETC., OF EXISTING OR PROPOSED UTILITY SERVICES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BEAR ANY AND ALL EXPENSES TO REMOVE, RELOCATE, AND/OR MODIFY, IN ANYWAY, ALL KNOWN AND UNKNOWN SUBDRAINS AND UTILITIES, PUBLIC OR PRIVATE UNLESS OTHERWISE PROVIDED. IT FURTHER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH EACH UTILITY WHOSE RESPONSIBILITY IS TO REMOVE, RELOCATE, AND/OR MODIFY SUCH UTILITIES, EXISTING OR PROPOSED BY THESE PLANS OR FUTURE UTILITIES PROPOSED BY OTHERS. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNER FOR VERIFICATION OF ANY UTILITY RELOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION FOR ALL UTILITIES AND NOTIFY ENGINEER IF DISCREPANCIES EXIST. ADDITIONALLY IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY NEW SERVICE APPLICATIONS AND ACCOUNT SETUP THROUGH COORDINATION WITH THE OWNER.
- ALL TOPSOIL SHALL BE REMOVED WITHIN THE CONSTRUCTION LIMITS UNLESS INSTRUCTED OTHERWISE BY THE OWNER. THE CONTRACTOR SHALL STOCKPILE TOPSOIL NECESSARY TO PLACE A MINIMUM 6 INCHES OF TOPSOIL IN GRASS AREAS AND 12 INCHES OF TOPSOIL IN ALL LANDSCAPE AREAS. TOPSOIL SHALL BE FREE OF ROCK AND CLAY MATERIALS. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE INSTRUCTED BY THE OWNER.
- IF ANY UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION THE CONTRACTOR SHALL NOTIFY THE OWNER TO DETERMINE WHETHER TO SEEK THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AS TO THE EXTENT OF REMOVAL REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE KENTUCKY TRANSPORTATION CABINET DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS NECESSARY TO COMPLETE THE WORK. THIS INCLUDES PROVISIONS FOR MAINTENANCE OF TRAFFIC, CONSTRUCTION AND THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- ALL NECESSARY BARRICADES, SIGNS AND APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE POSITIVE AND ADEQUATE DRAINAGE FROM ALL AREAS OF THE PROJECT DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, PAVEMENT, SIDEWALKS AND OTHER ITEMS TO REMAIN IN PLACE FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES AT ALL TIMES DURING THE PROJECT.
- ALL CONCRETE SHALL BE CLASS "A" PER KENTUCKY TRANSPORTATION CABINET (KYTC) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS NOTED OTHERWISE.
- ASPHALT TACK COAT SHALL BE APPLIED AT THE RATE OF 0.10 GALLON PER SQUARE YARD.
- ALL REINFORCED CONCRETE PIPE SHALL BE STATE APPROVED CLASS III WITH WATERTIGHT JOINT CONSTRUCTION.
- WHERE ADS N-12 PIPE IS SPECIFIED, THE CONTRACTOR SHALL PROVIDE ST-IB PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR AN APPROVED ENGINEERING EQUIVALENT. THE PIPE SHALL HAVE A GASKETED BELL AND SPIGOT COUPLING SYSTEM THAT PROVIDES A SOIL TIGHT UNION. NYLOPLAST STRUCTURES, IF SPECIFIED, SHALL BE AS MANUFACTURED BY NYLOPLAST-ADS, A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC. OR AN APPROVED ENGINEERING EQUIVALENT.
- ALL PIPING SHALL BE INSTALLED ON A STABLE FOUNDATION TO MAINTAIN PROPER LINE AND GRADE.
- ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS.
- THE BEDDING, HAUNCHING AND INITIAL BACKFILL MATERIAL UP TO 12 INCHES ABOVE THE PIPE SHALL BE KYTC NO. 57 CRUSHED STONE, COMPAKTED WITH A VIBRATORY PLATE COMPACTOR IN LIFTS NOT TO EXCEED 8 INCHES.
- HAUNCHING PROVIDES A SUBSTANTIAL AMOUNT OF THE PIPE SUPPORT. THE HAUNCHING MATERIAL (KYTC NO. 57 CRUSHED STONE) SHALL BE WORKED UNDER THE PIPE HAUNCHES BY HAND USING SHOVELS TO COMPLETELY WORK AND COMPAK THE MATERIAL UNDER THE PIPE.
- THE INITIAL BACKFILL MATERIAL (KYTC NO. 57 CRUSHED STONE) SHALL BE PLACED AND COMPAKTED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE.
- ALL EXISTING TRAFFIC WARNING AND REGULATORY SIGNING SHALL BE MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, TOOLS AND SERVICES REQUIRED TO COMPLETE THE CONSTRUCTION AND MATERIAL TESTING FOR THE WORK. ALL WORK SHALL BE PERFORMED IN A SAFE AND REASONABLE WORKING MANNER IN ACCORDANCE WITH THE BEST PRACTICES AND PROCEDURES.
- A MINIMUM TWELVE (12) INCH DEPTH OF COVER OVER ALL STORM SEWER IS REQUIRED. A MINIMUM SIX (6) INCH ENCLOSED CLASS A CONCRETE (PER KYTC SPECIFICATIONS) ENCASEMENT WITH A MINIMUM PROJECTION INTO THE PAVEMENT STRUCTURE FOR ANY PIPE WITH REDUCED COVER IS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT BETWEEN THE CONCRETE CURB AND CASTING ON ALL CURB INLETS.
- WHEN MATCHING EXISTING BITUMINOUS PAVEMENTS, A TWO (2) INCH DEPTH SAWCUT, A MINIMUM OF TWELVE (12) INCHES FROM THE EDGE OR TO SOUND MATERIAL WILL BE MADE AND THE ASPHALT MATERIALS PLACED TO FORM A WATERTIGHT JOINT.
- ALL SIDEWALKS TO BE CONSTRUCTED OF CLASS "A" CONCRETE (PER KYTC SPECIFICATIONS) AS SHOWN ON THE PLANS.
- ALL DITCHES, DETENTION AREAS AND DISTURBED AREAS WITHIN PUBLIC RIGHTS OF WAY SHALL BE PROPERLY GRADED, FERTILIZED, AND SODDED PER THE LANDSCAPE PLAN.
- ALL LANDSCAPE ISLANDS SHALL BE MOUNDED TO 6 INCHES ABOVE THE TOP OF CURB WITH TOPSOIL (FREE OF ROCKS AND CLAY), UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE ALL SITE WORK WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP PLANS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES AND RESTORATION OF ALL DISTURBED AREAS UNTIL FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NEEDED TO PREVENT SEDIMENT DEPOSITION OFFSITE. ALL DISTURBED AREAS SHALL HAVE PERMANENT GRASS COVER ESTABLISHED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- ACCESSIBLE RAMPS SHALL NOT EXCEED A 12:1 (8.33%) RUNNING SLOPE, CROSS SLOPE SHALL NOT EXCEED 50:1 (2.00%). SIDEWALKS SHALL NOT EXCEED A 20:1 (5.00%) RUNNING SLOPE, CROSS SLOPE SHALL NOT EXCEED 2% ADJACENT TO THE BUILDING.

LEGEND

— 789 —	EX. CONTOUR
— 790 —	EX. INDEX CONTOUR
OHE	EX. OVERHEAD ELECTRIC
G	EX. GAS LINE
— UGT —	EX. UNDERGROUND TELEPHONE
— W —	EX. WATER LINE
— - - - -	EX. STORM SEWER
— - - - -	EX. DITCH
~~~~~	EX. TREELINE
- - -	EX. UTILITY POLE
☒	EX. TELEPHONE PEDESTAL
WM	EX. WATER METER
← — — — —	EX. DRAINAGE DIRECTION
✖	EX. TREE
© 2024	PROPOSED SPOT ELEVATION

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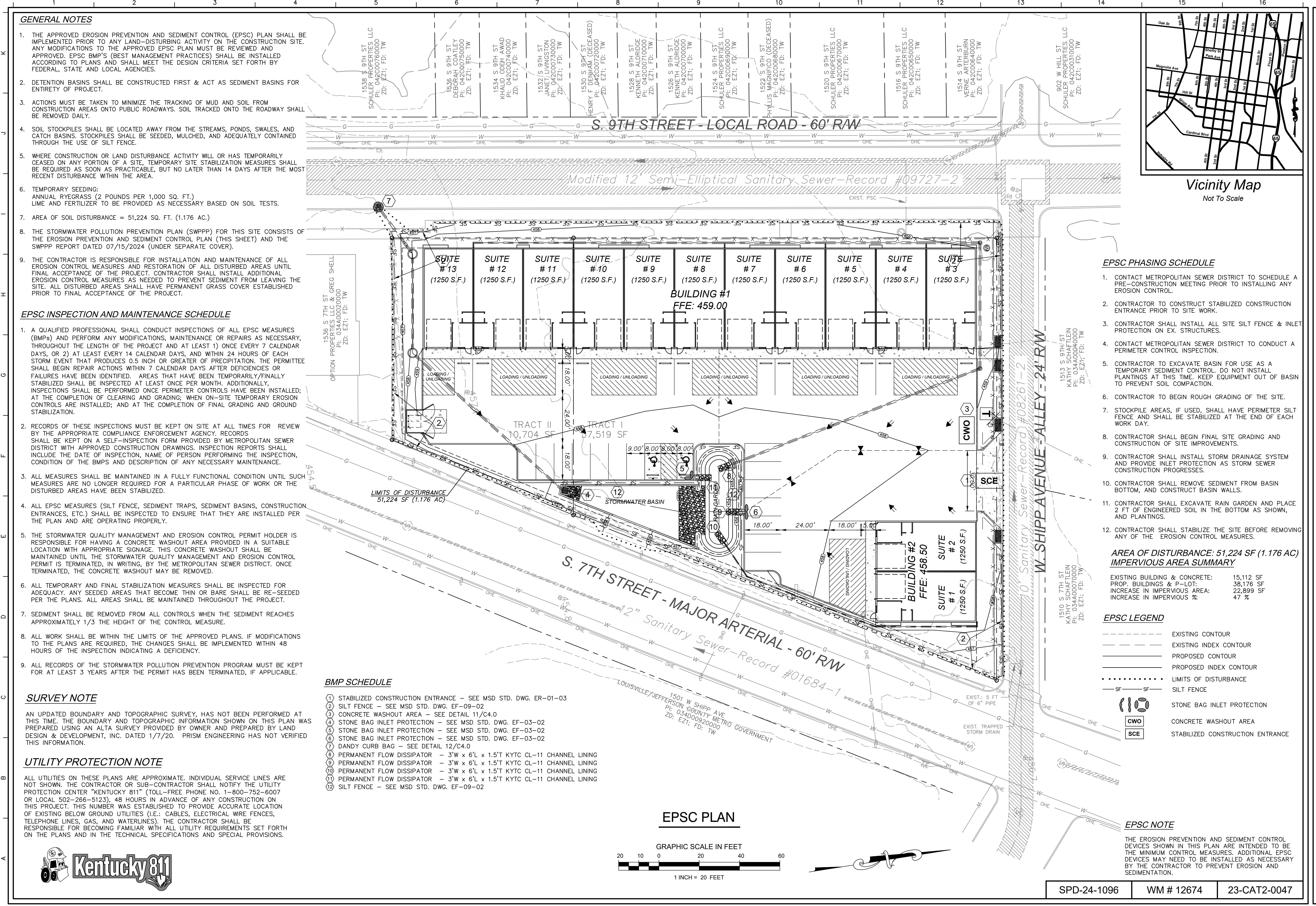
1512 S. 7th Street  
WAREHOUSE SUITES  
Louisville, KY 40202

REVISIONS	DATE	NO.	DESCRIPTION
	5/31/24	1	MSD REVIEW COMMENTS
	7/15/24	2	MSD 2nd REVIEW COMMENTS
	8/27/24	3	MSD 3rd REVIEW COMMENTS

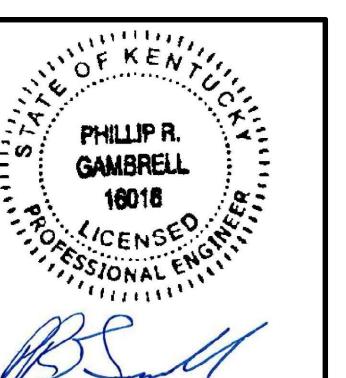
OWNER/DEVELOPER:  
FADEL PROPERTIES LLC  
2202 Nelson Street, Suite 200  
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FEBRUARY 26, 2024

GENERAL NOTES &  
LEGEND  
C0.1



PE PROJ. # 223032-E2  
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## 1512 S. 7th Street WAREHOUSE SUITES

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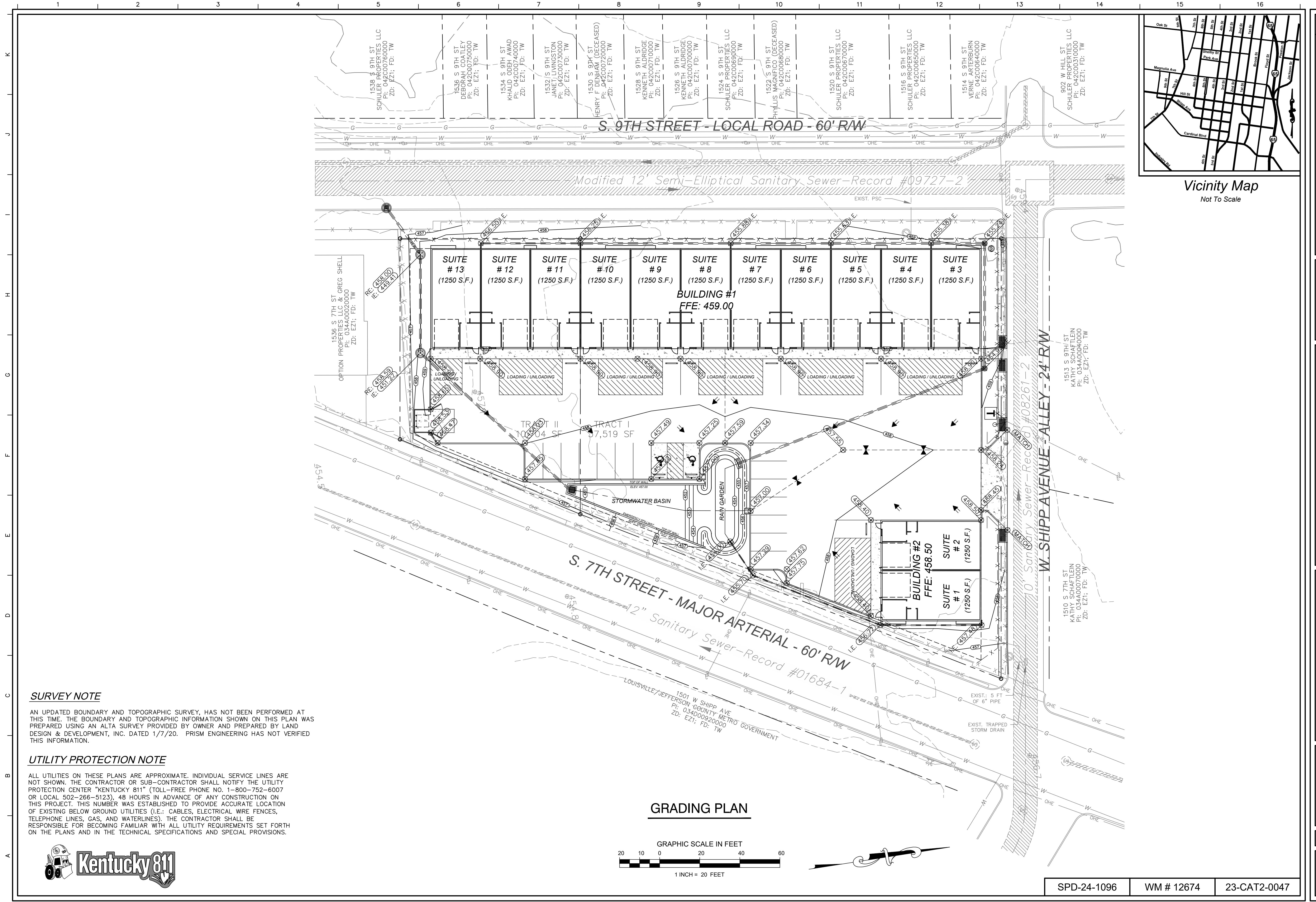
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1	MSD REVIEW COMMENTS	5/31/24
2	2nd REVIEW COMMENTS	7/5/24
3	3rd REVIEW COMMENTS	8/27/24

OWNER/DEVELOPER	FADEL PROPERTIES, LLC	APPROVE
2525 Nelson Miller Pkwy, Suite 205 Louisville, KY 40223		

FEBRUARY 26, 2024

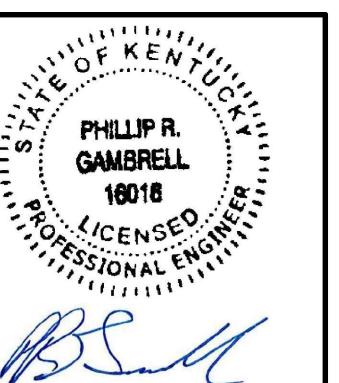
**EPSC PLAN**  
**C1.0**





PE PROJ. # 223032-E2

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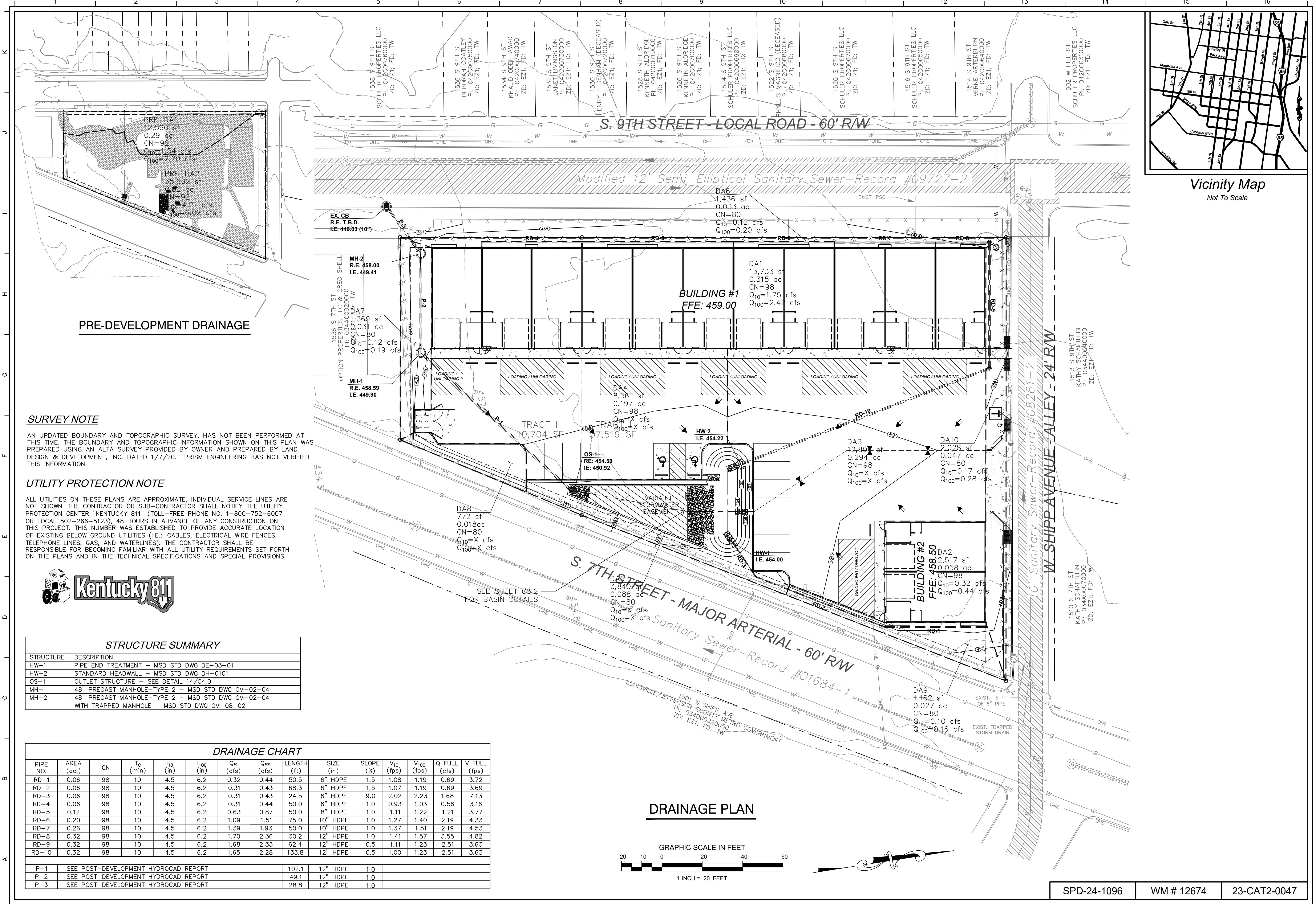
**1512 S. 7th Street**  
**WAREHOUSE SUITES**  
Louisville, KY 40201

REVISIONS	DESCRIPTION	DATE
1	MSD REVIEW COMMENTS	5/31/24
2	MSD 2nd REVIEW COMMENTS	7/15/24
3	MSD 3rd REVIEW COMMENTS	8/27/24

OWNER/DEVELOPER:  
FADEL PROPERTIES, LLC  
2525 Nelson Miller Pkwy, Suite 205  
Louisville, KY 40223  
APPROVE  
FEBRUARY 26, 2024

**FEBRUARY 26, 2024**  
**GRADING PLAN**  
**C2.0**

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STRUCTURE SUMMARY						
STRUCTURE	DESCRIPTION					
HW-1	PIPE END TREATMENT – MSD STD DWG DE-03-01					
HW-2	STANDARD HEADWALL – MSD STD DWG DH-0101					
OS-1	OUTLET STRUCTURE – SEE DETAIL 14/C4.0					
MH-1	48" PRECAST MANHOLE-TYPE 2 – MSD STD DWG GM-02-04					
MH-2	48" PRECAST MANHOLE-TYPE 2 – MSD STD DWG GM-02-04 WITH TRAPPED MANHOLE – MSD STD DWG GM-08-02					

DRAINAGE CHART														
PIPE NO.	AREA (ac.)	CN	T _c (min)	I ₁₀ (in)	I ₁₀₀ (in)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	LENGTH (ft)	SIZE (in)	SLOPE (%)	V ₁₀ (fps)	V ₁₀₀ (fps)	Q FULL (cfs)	V FULL (fps)
RD-1	0.06	98	10	4.5	6.2	0.32	0.44	50.5	6" HDPE	1.5	1.08	1.19	0.69	3.72
RD-2	0.06	98	10	4.5	6.2	0.31	0.43	68.3	6" HDPE	1.5	1.07	1.19	0.69	3.69
RD-3	0.06	98	10	4.5	6.2	0.31	0.43	24.5	6" HDPE	9.0	2.02	2.23	1.68	7.13
RD-4	0.06	98	10	4.5	6.2	0.31	0.44	50.0	6" HDPE	1.0	0.93	1.03	0.56	3.16
RD-5	0.12	98	10	4.5	6.2	0.63	0.87	50.0	8" HDPE	1.0	1.11	1.22	1.21	3.77
RD-6	0.20	98	10	4.5	6.2	1.09	1.51	75.0	10" HDPE	1.0	1.27	1.40	2.19	4.33
RD-7	0.26	98	10	4.5	6.2	1.39	1.93	50.0	10" HDPE	1.0	1.37	1.51	2.19	4.53
RD-8	0.32	98	10	4.5	6.2	1.70	2.36	30.2	12" HDPE	1.0	1.41	1.57	3.55	4.82
RD-9	0.32	98	10	4.5	6.2	1.68	2.33	62.4	12" HDPE	0.5	1.11	1.23	2.51	3.63
RD-10	0.32	98	10	4.5	6.2	1.65	2.28	133.8	12" HDPE	0.5	1.00	1.23	2.51	3.63
P-1	SEE POST-DEVELOPMENT HYDROCAD REPORT							102.1	12" HDPE	1.0				
P-2	SEE POST-DEVELOPMENT HYDROCAD REPORT							49.1	12" HDPE	1.0				
P-3	SEE POST-DEVELOPMENT HYDROCAD REPORT							28.8	12" HDPE	1.0				

# DRAINAGE PLAN

A graphic scale in feet, ranging from 0 to 60. The scale is marked at intervals of 20 feet (0, 20, 40, 60). The first 20 feet are divided into four 5-foot increments (0, 10, 20, 30, 40, 50, 60). The scale is marked with black and white squares. Below the scale, the text "1 INCH = 20 FEET" is written.

SPD-24-1096 WM # 12674 23-CAT2-0047

PE PROJ. # 223032-E2

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LICENSED  
PROFESSIONAL ENGINEER

*RR* *MM*

# 1512 S. 7th Street WAREHOUSE SUITES

**1512 S. 7th Street  
WAREHOUSE SUI**

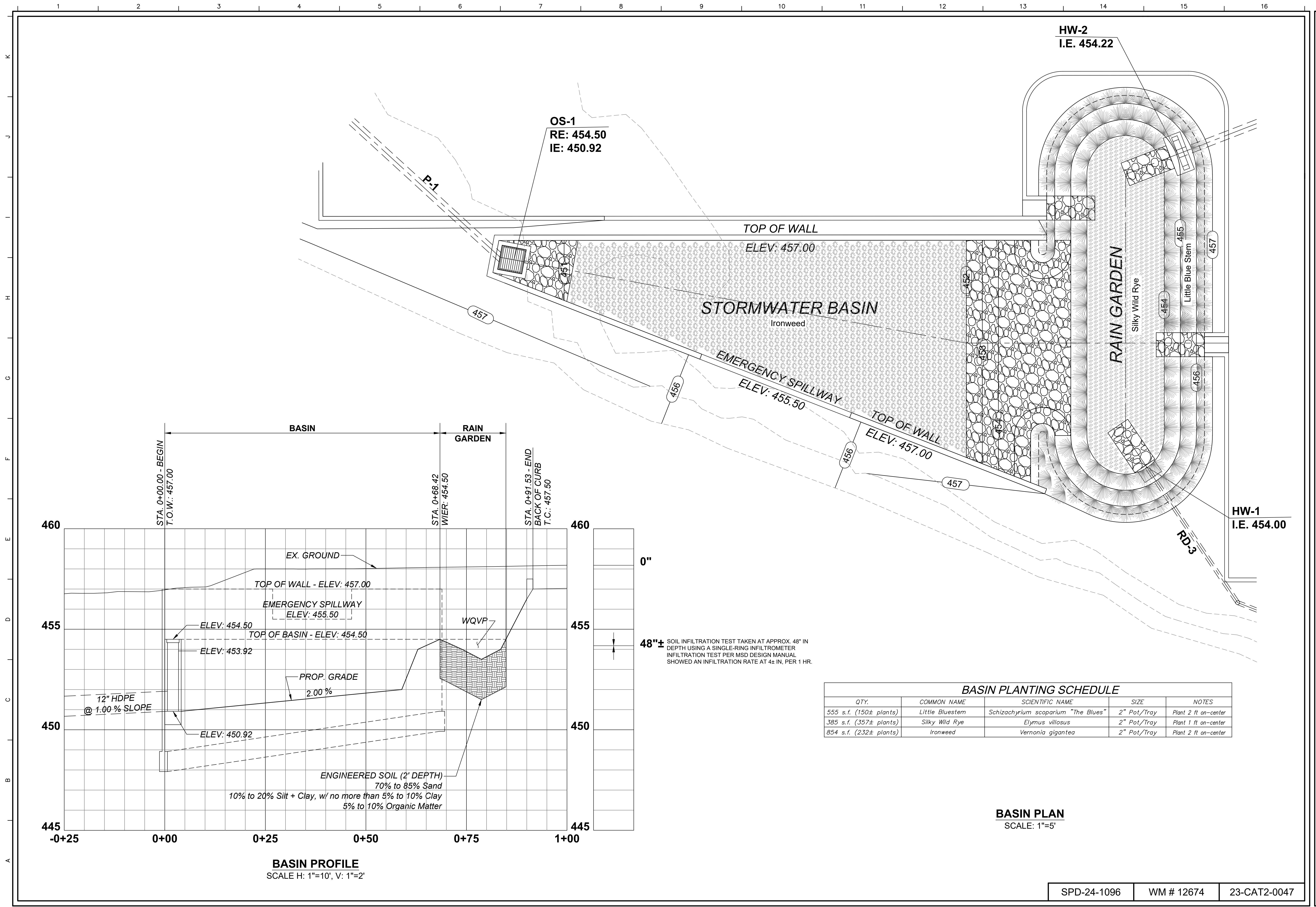
NO.	DESCRIPTION	DATE
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3	MSD 3rd REVIEW COMMENTS	8/27/24

OWNER // DEVELOPER:  
**EADEL PROPERTIES, LLC**  
5525 Nelson Miller Pkwy, Suite 205  
Louisville, KY 40223

FEBRUARY 26, 2004

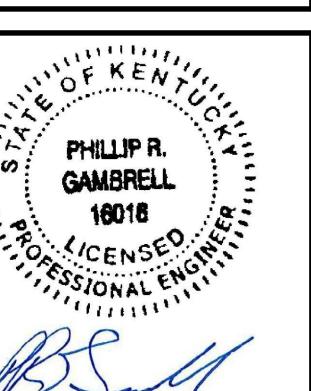
## DRAINAGE PLAN

C3.0



PE PROJ. # 223032-E2

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PHONE: (502) 491-5891  
FAX: (502) 491-1898  
WWW.PRISM-CIVIL.COM



**1512 S. 7th Street**  
**WAREHOUSE SUITES**  
1512 S. 7th Street  
Louisville, KY 40202

**REVISIONS**

NO.	DESCRIPTION	DATE
1	MSD REVIEW COMMENTS	5/3/24
2	MSD and REVIEW COMMENTS	7/15/24
3	MSD 3rd REVIEW COMMENTS	8/27/24

**OWNER / DEVELOPER:**  
PADEL PROPERTIES LLC  
2359 Waterson Trail, Suite 200  
Louisville, KY 40229

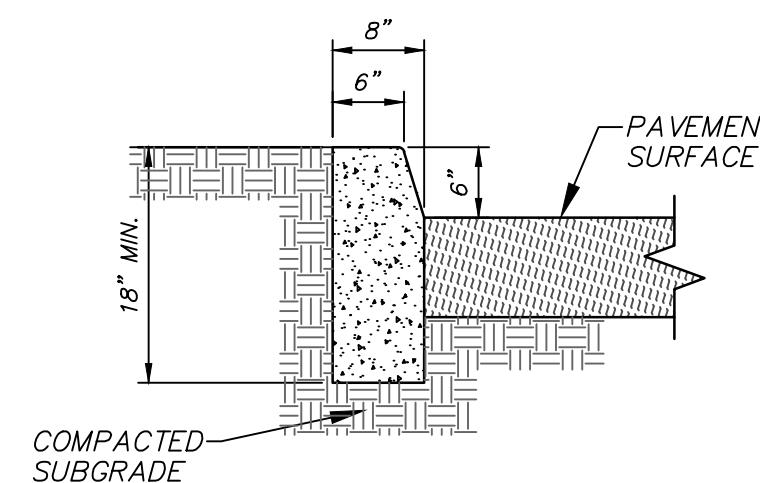
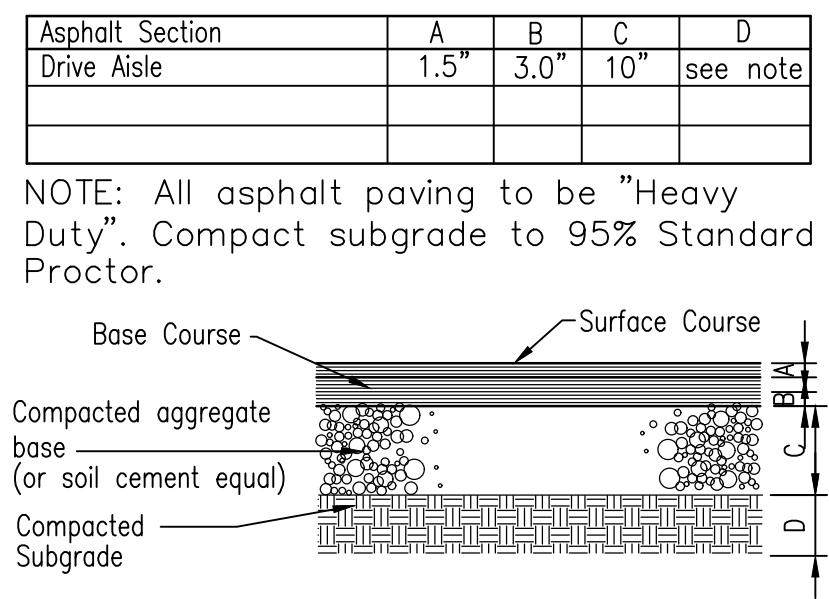
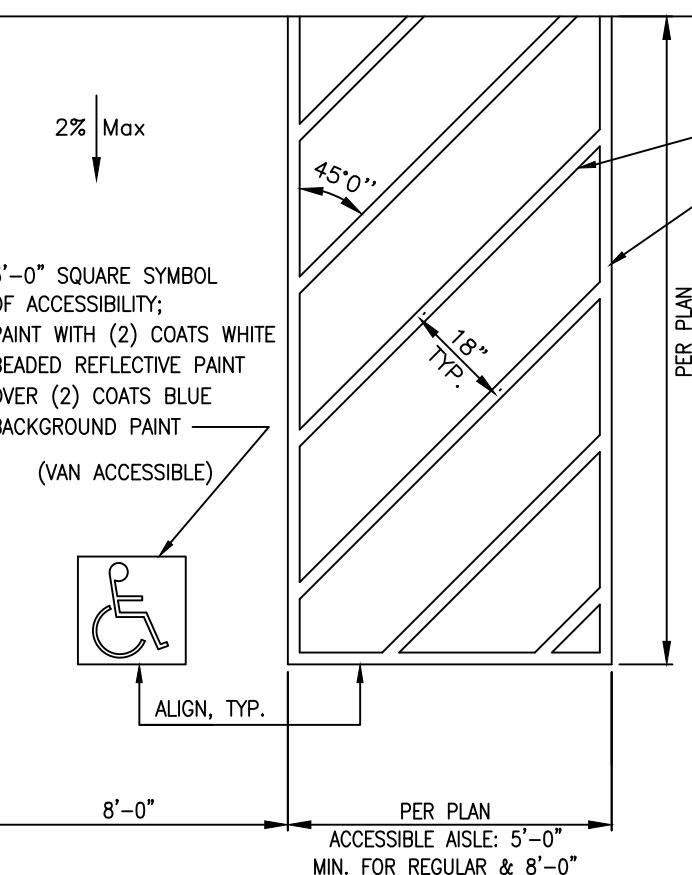
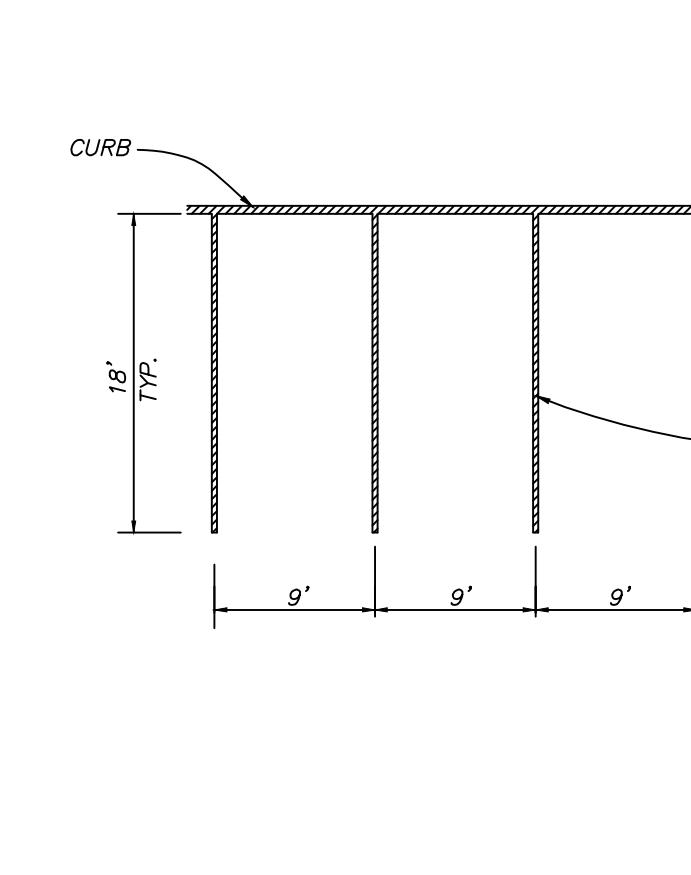
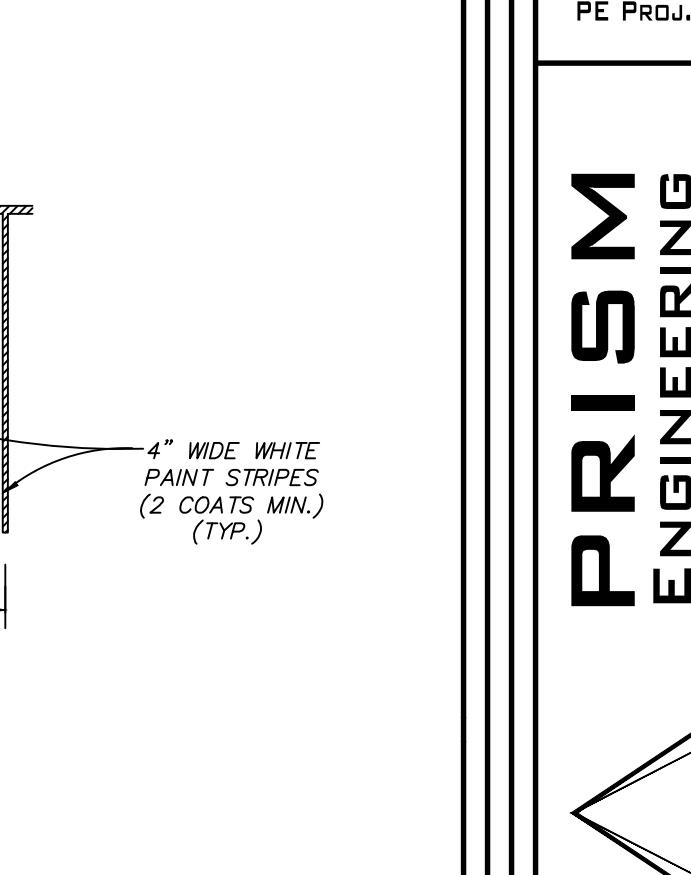
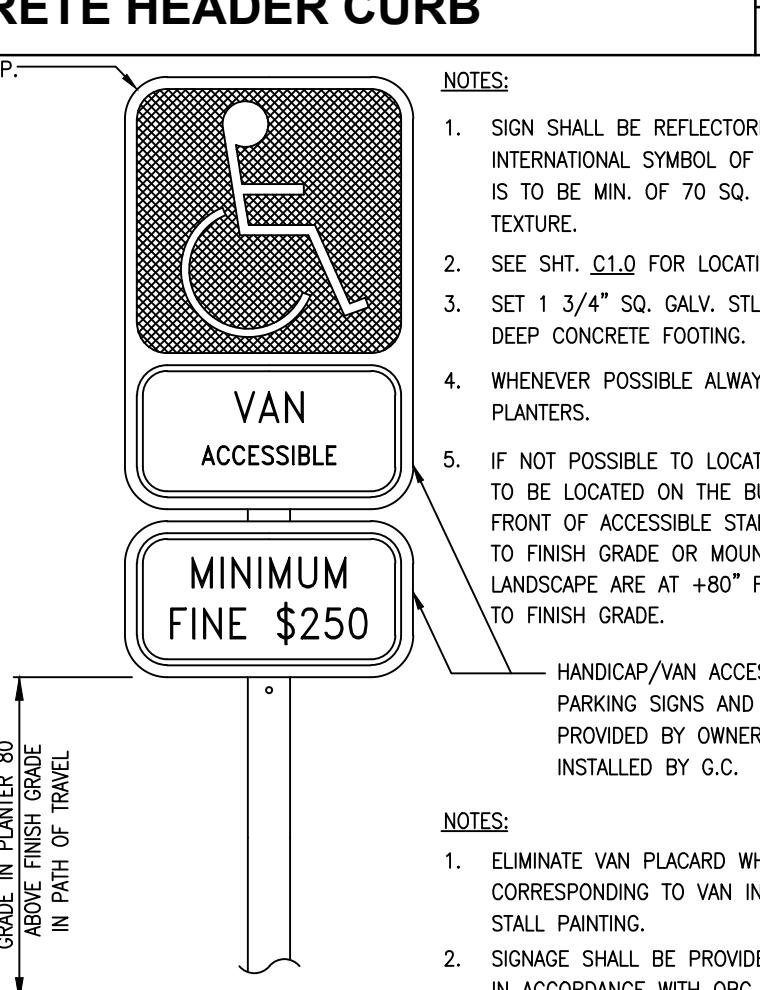
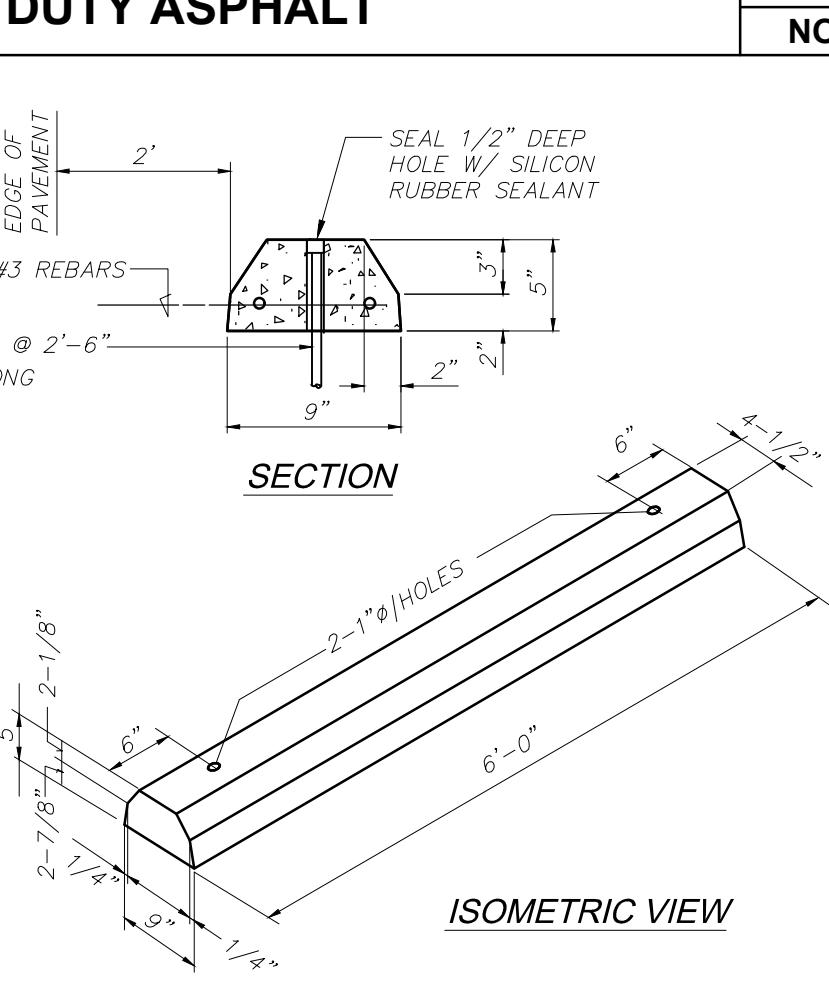
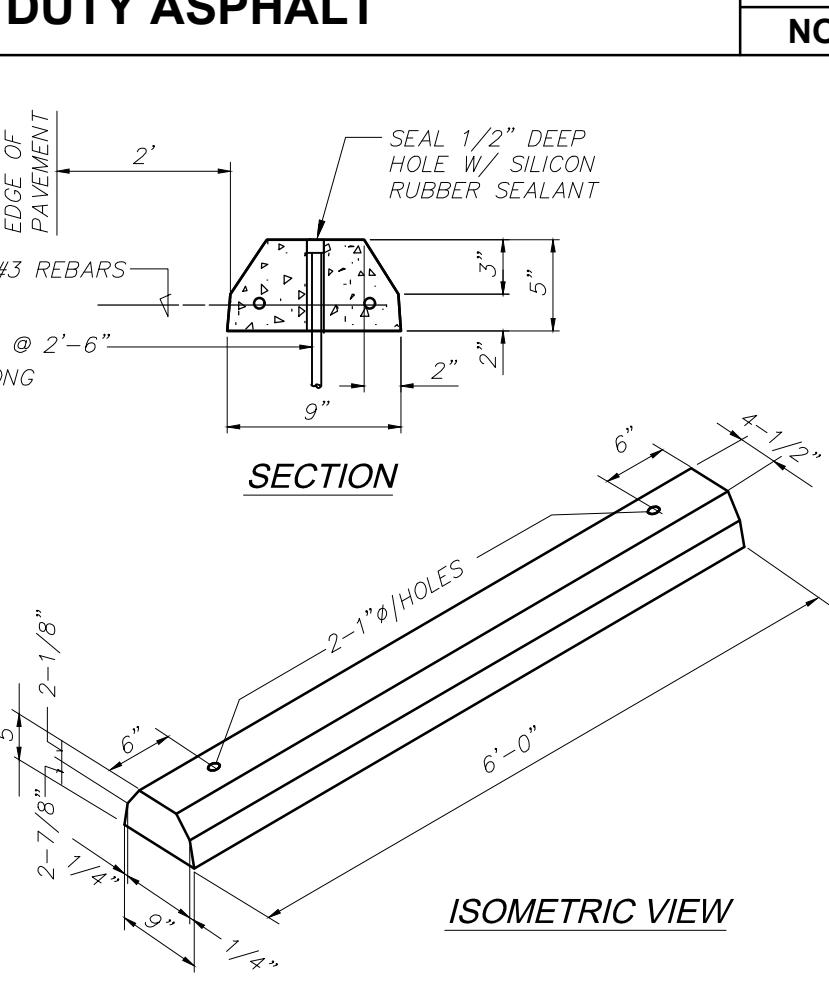
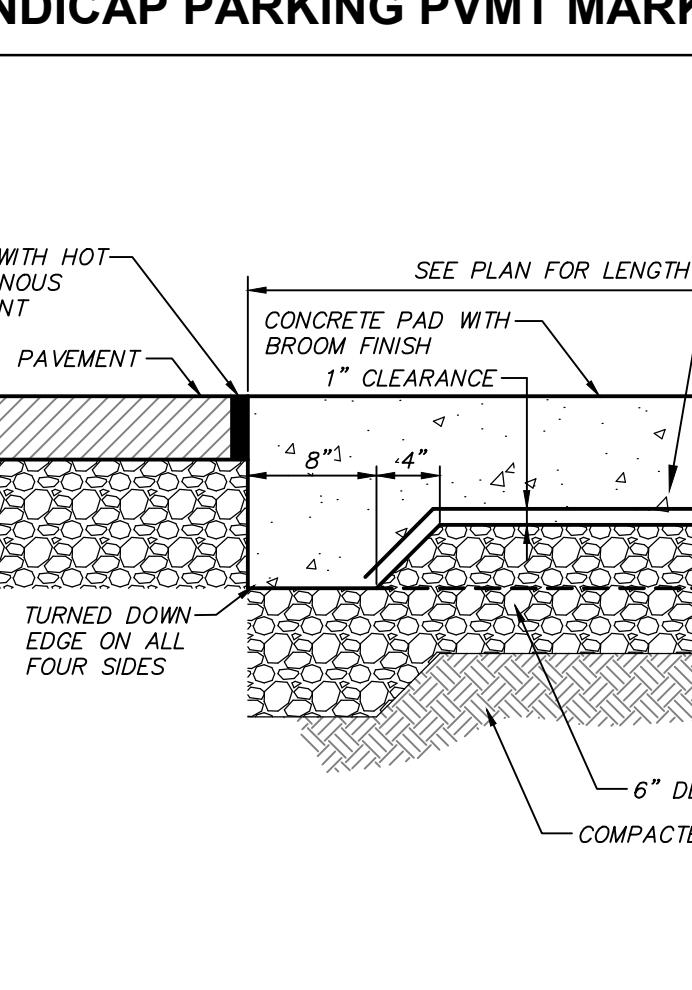
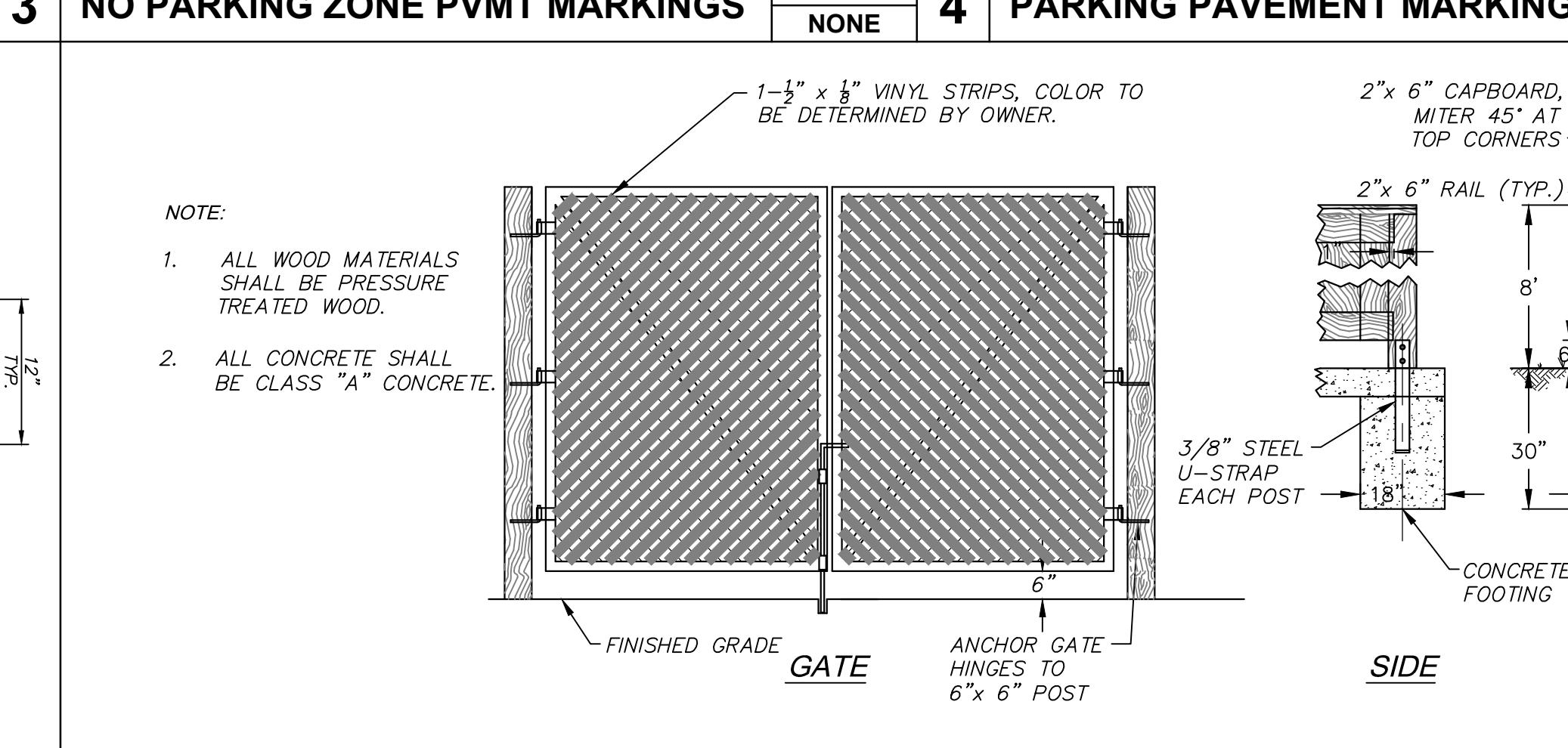
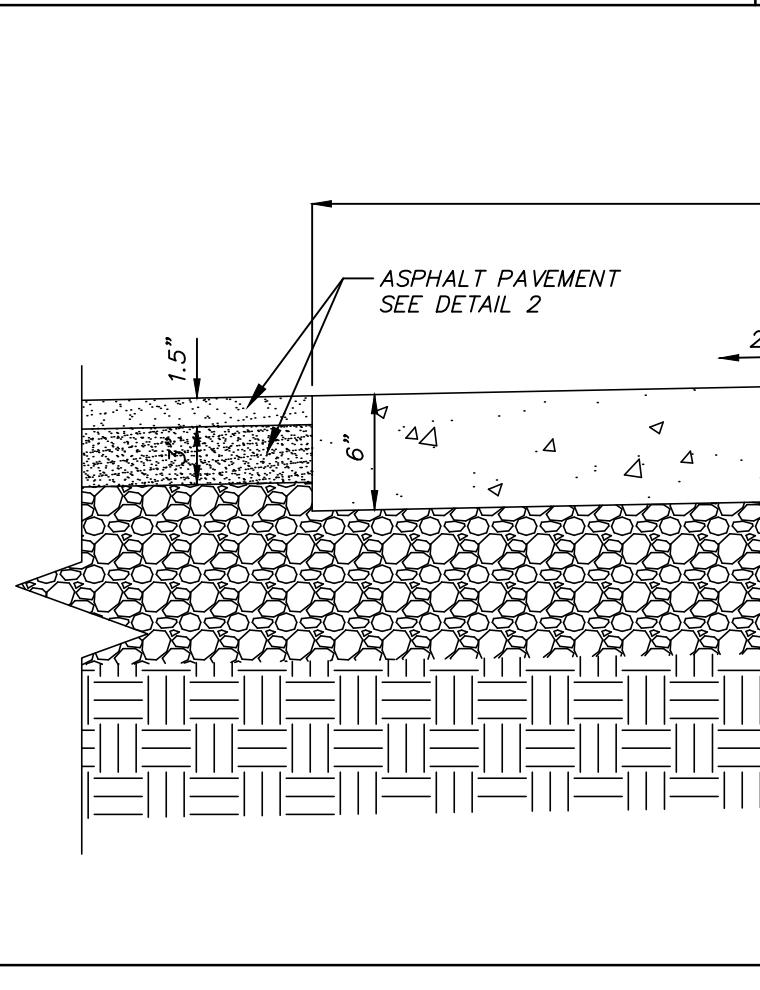
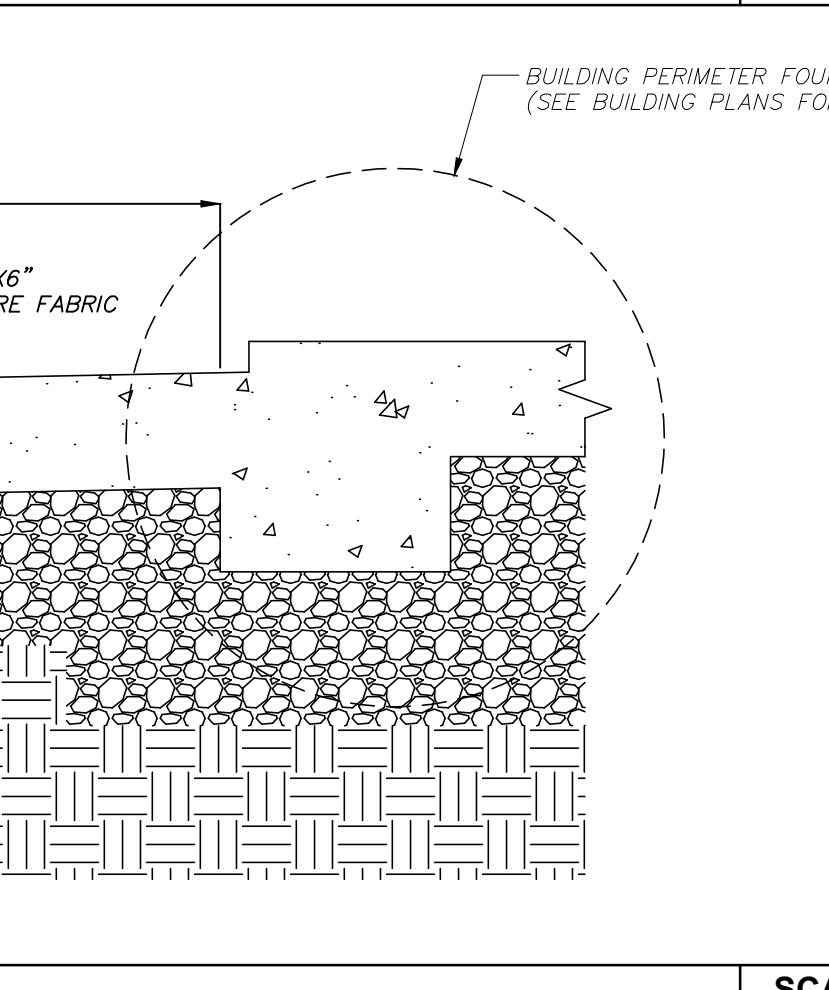
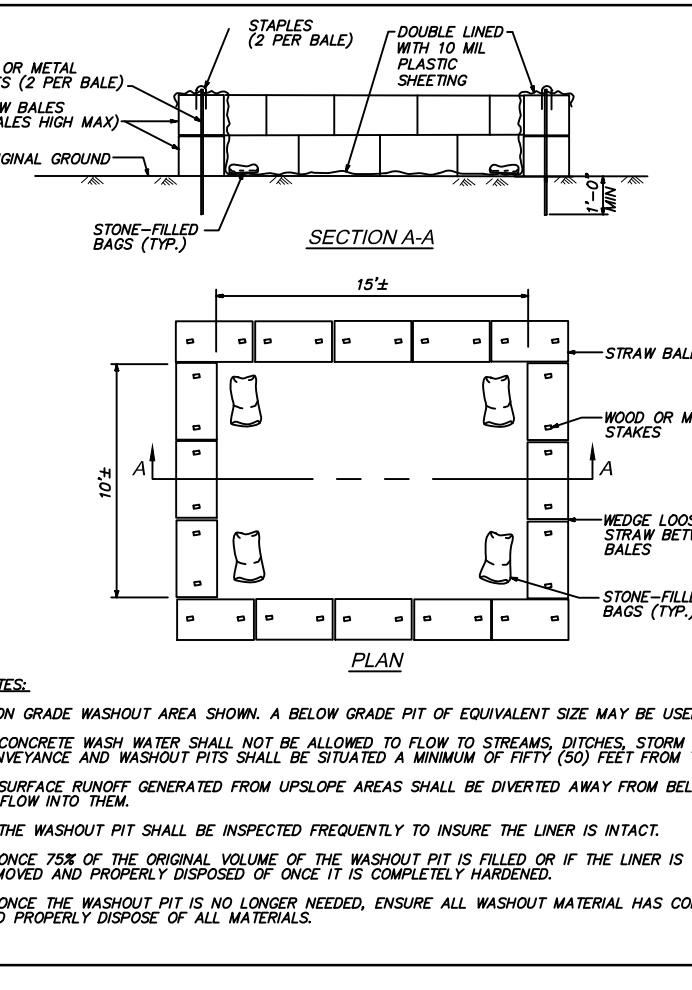
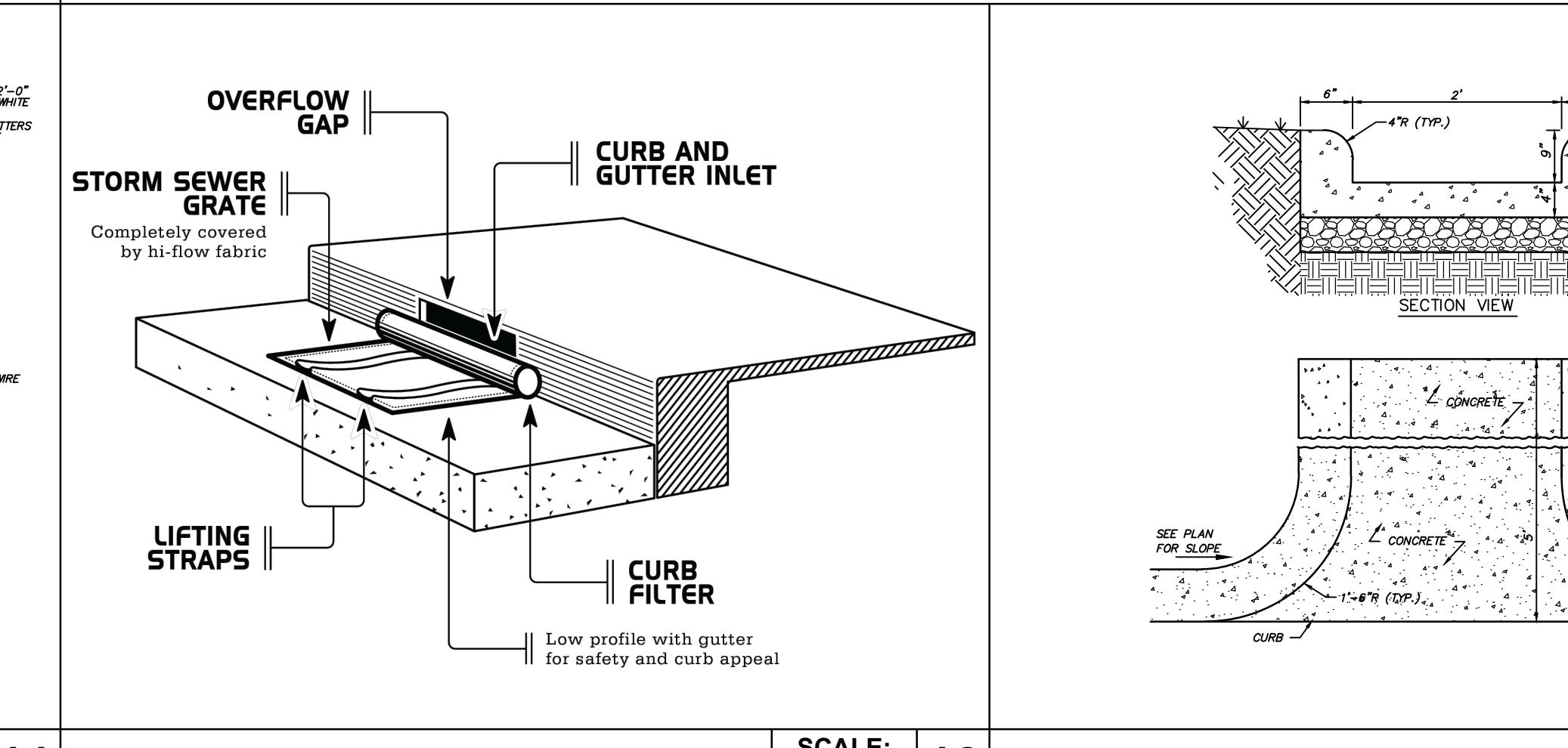
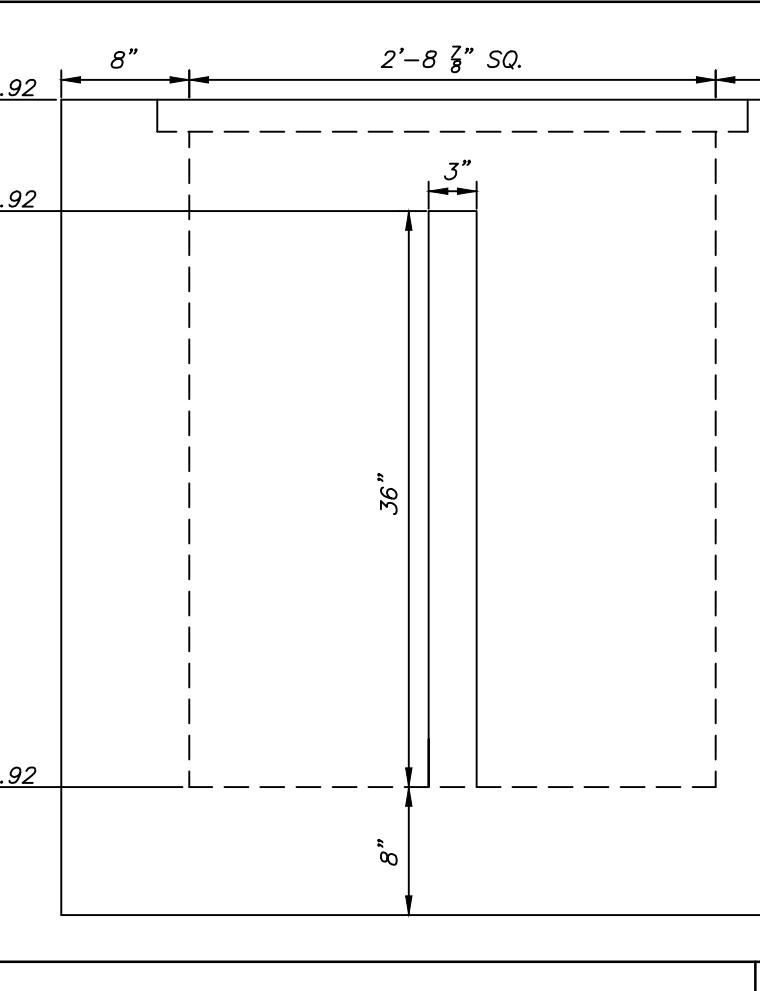
DRW	CHECK	APPROVE
RTG	JW	JH

FEBRUARY 26, 2024

**BASIN DETAILS**

**C3.1**

SPD-24-1096 WM # 12674 23-CAT2-0047

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16										
<p>NOTES:</p> <ol style="list-style-type: none"> <li>1. INSTALL EXPANSION JOINTS IN THE CURB AT A MAXIMUM SPACING OF 20' O.C.</li> <li>2. LANDSCAPING MATERIALS, GRASS, SOD, MULCH, ETC. SHALL BE FLUSH TO 1" BELOW TOP OF CURB/PAVING/DRAINAGE OPENINGS.</li> </ol>  <p><b>CONCRETE HEADER CURB</b> <span style="float: right;">SCALE: NONE</span></p>	<p><b>HEAVY DUTY ASPHALT</b> <span style="float: right;">SCALE: NONE</span></p> <p><b>DIMENSION &amp; TYPE</b></p> <table border="1"> <tr><th>Asphalt Section</th><th>A</th><th>B</th><th>C</th><th>D</th></tr> <tr><td>Drive Aisle</td><td>1.5"</td><td>3.0"</td><td>10"</td><td>see note</td></tr> </table> <p>NOTE: All asphalt paving to be "Heavy Duty". Compact subgrade to 95% Standard Proctor.</p> 	Asphalt Section	A	B	C	D	Drive Aisle	1.5"	3.0"	10"	see note	<p><b>HANDICAP PARKING PVMT MARKINGS</b> <span style="float: right;">SCALE: NONE</span></p>  <p><b>NO PARKING ZONE PVMT MARKINGS</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>PARKING PAVEMENT MARKINGS</b> <span style="float: right;">SCALE: NONE</span></p> 												
Asphalt Section	A	B	C	D																					
Drive Aisle	1.5"	3.0"	10"	see note																					
<p><b>HANDICAP PARKING SIGN</b> <span style="float: right;">SCALE: NONE</span></p>  <p><b>CONCRETE WHEEL STOP</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>CONCRETE WHEEL STOP</b> <span style="float: right;">SCALE: NONE</span></p>  <p><b>CONCRETE DUMPSTER PAD</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>DUMPSTER ENCLOSURE</b> <span style="float: right;">SCALE: NONE</span></p> 																							
<p><b>CONCRETE APRON / SIDEWALK</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>CONCRETE WASH OUT</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>DANDY CURB BAG</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>DRAINAGE FLUME</b> <span style="float: right;">SCALE: NONE</span></p> 																						
<p><b>BASIN OUTLET STRUCTURE</b> <span style="float: right;">SCALE: NONE</span></p> 	<p><b>NOT USED</b> <span style="float: right;">SCALE: NONE</span></p>	<p><b>NOT USED</b> <span style="float: right;">SCALE: NONE</span></p>	<p><b>NOT USED</b> <span style="float: right;">SCALE: NONE</span></p>	<p><b>NOT USED</b> <span style="float: right;">SCALE: NONE</span></p>																					

PE PROJ. # 223032-E2

**PRISM**  
ENGINEERING  
2309 WATTERSON TRAIL, SUITE 200  
LOUISVILLE, KENTUCKY 40229  
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PHILIP R.  
GAMMELL  
16016  
LICENSED  
PROFESSIONAL  
ENGINEER  
*BSM*

**1512 S. 7th Street**  
WAREHOUSE SUITES  
Louisville, KY 40202

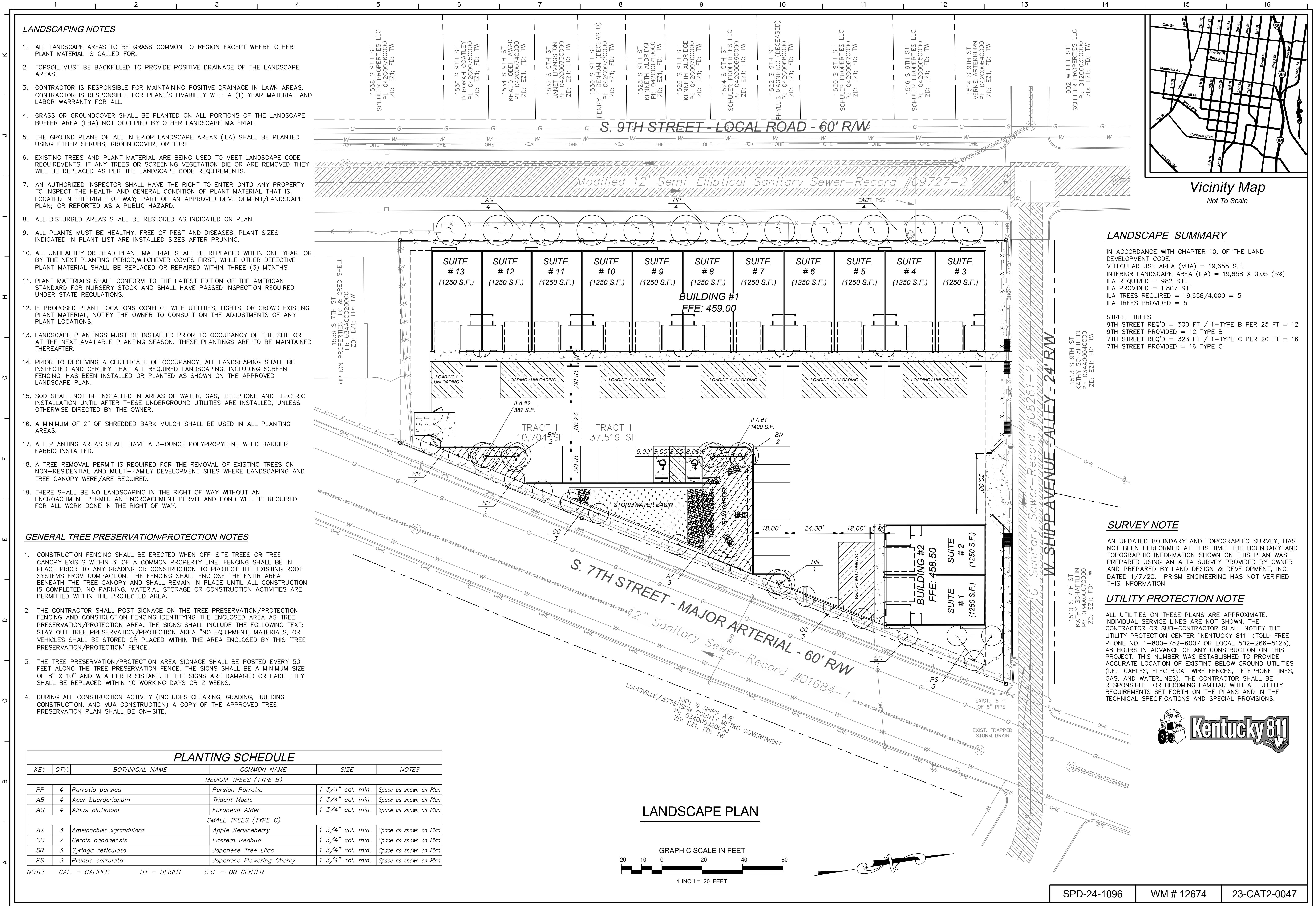
REVISIONS	
NO.	DESCRIPTION
1	MSD REVIEW COMMENTS
2	MSD 2nd REVIEW COMMENTS
3	MSD 3rd REVIEW COMMENTS

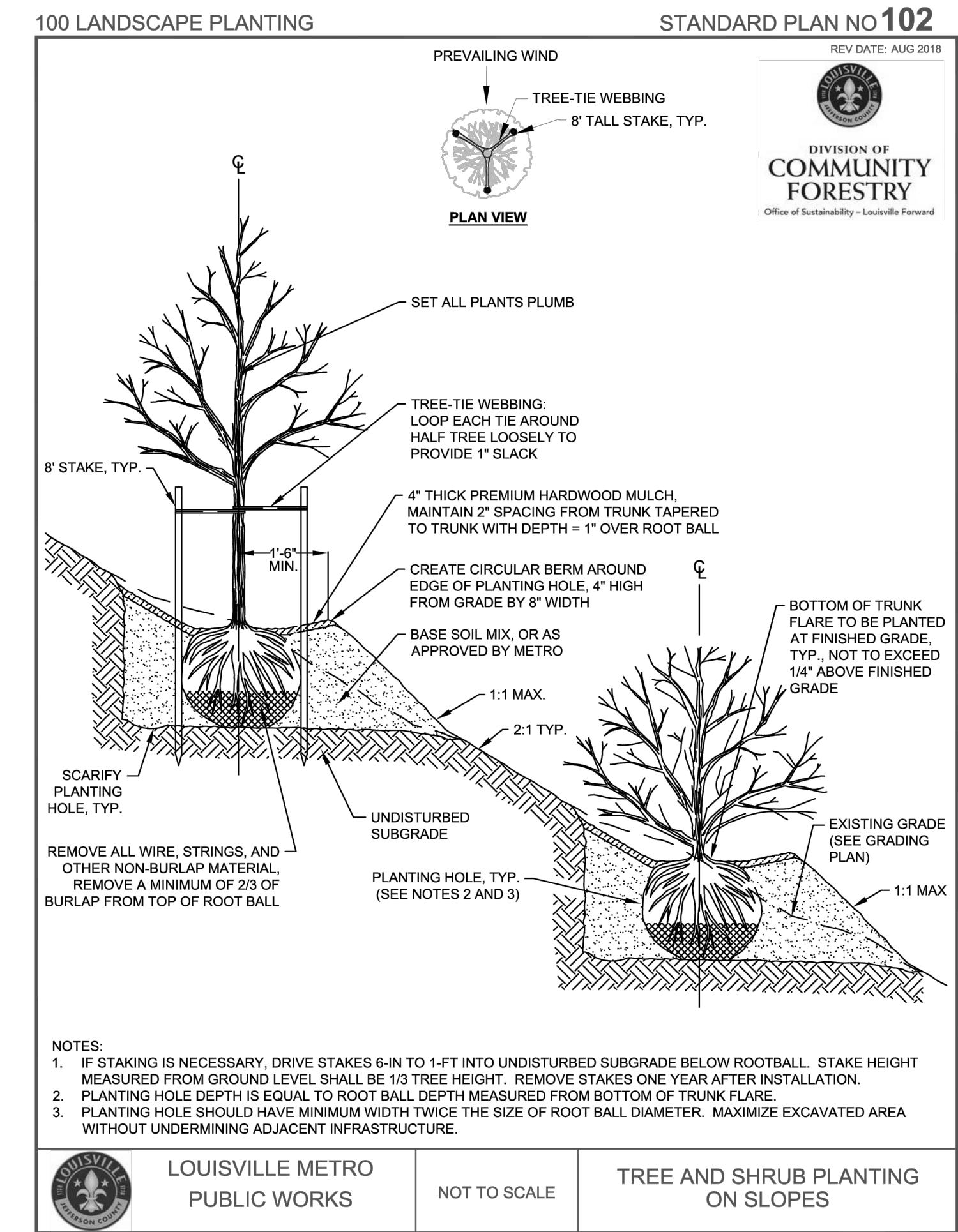
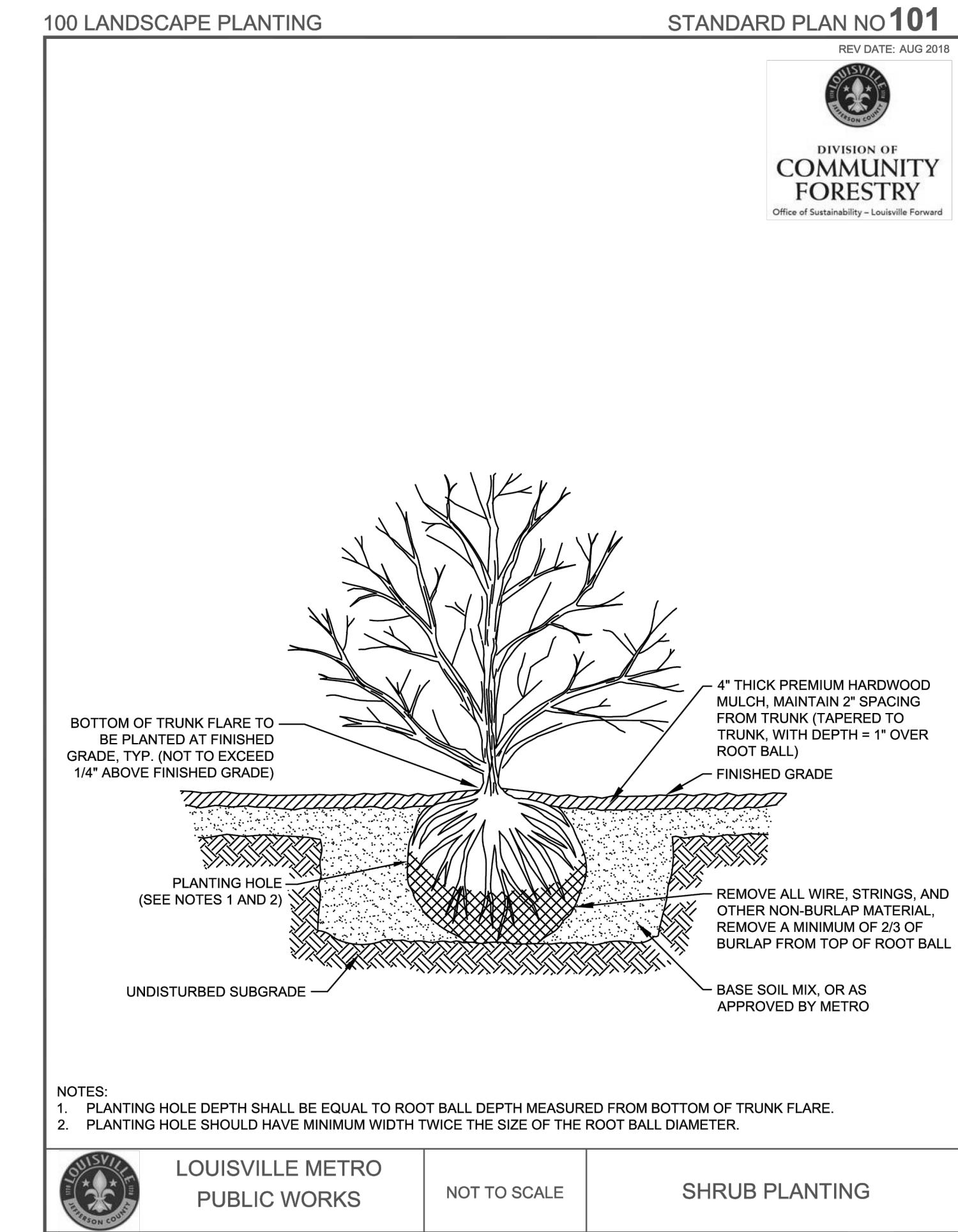
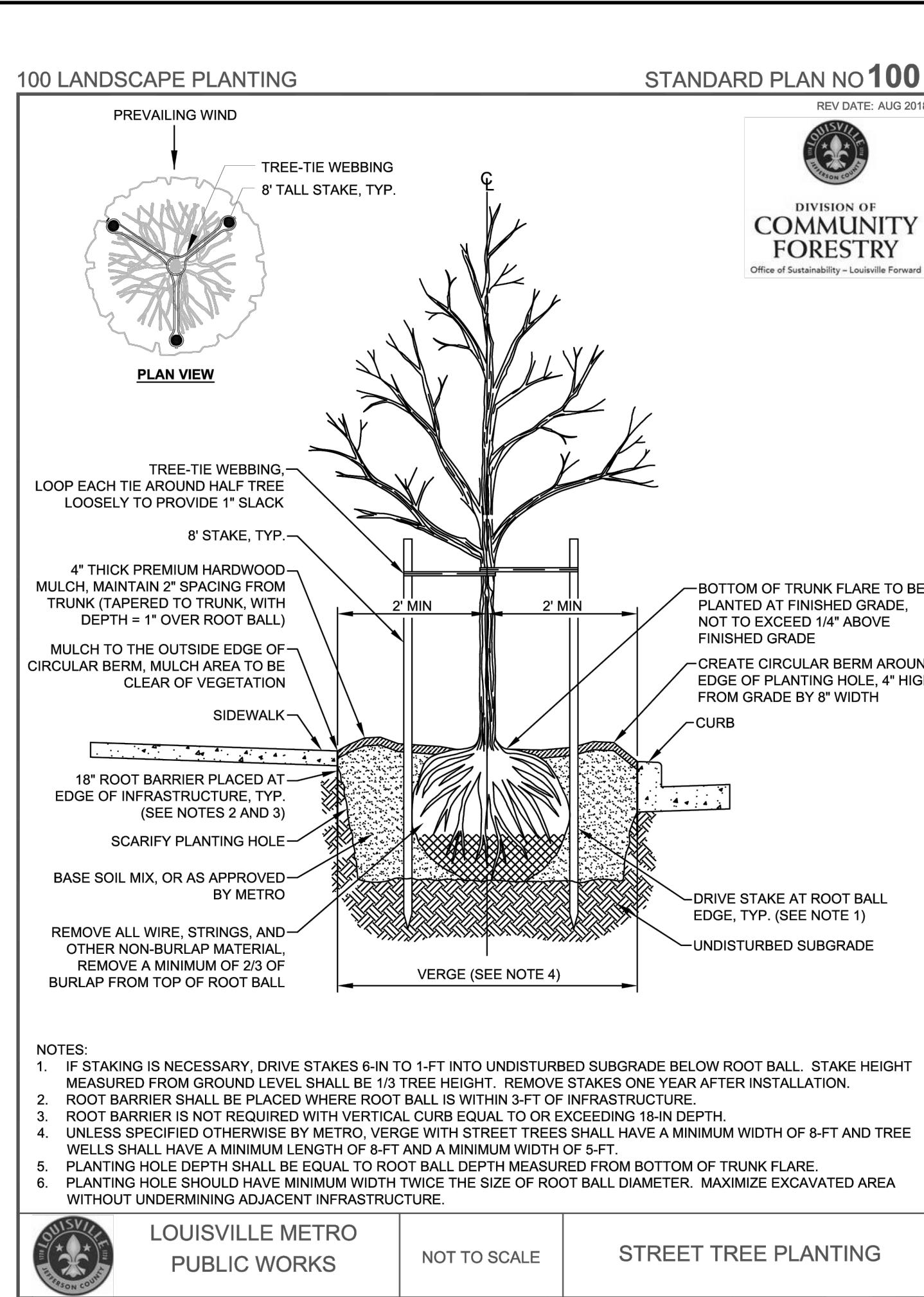
OWNER/DEVELOPER:  
FADEL PROPERTIES LLC  
2225 Nelson Hiller Rd., Suite 203  
Louisville, KY 40223

FEBRUARY 26, 2024

SITE DETAILS

C4.0

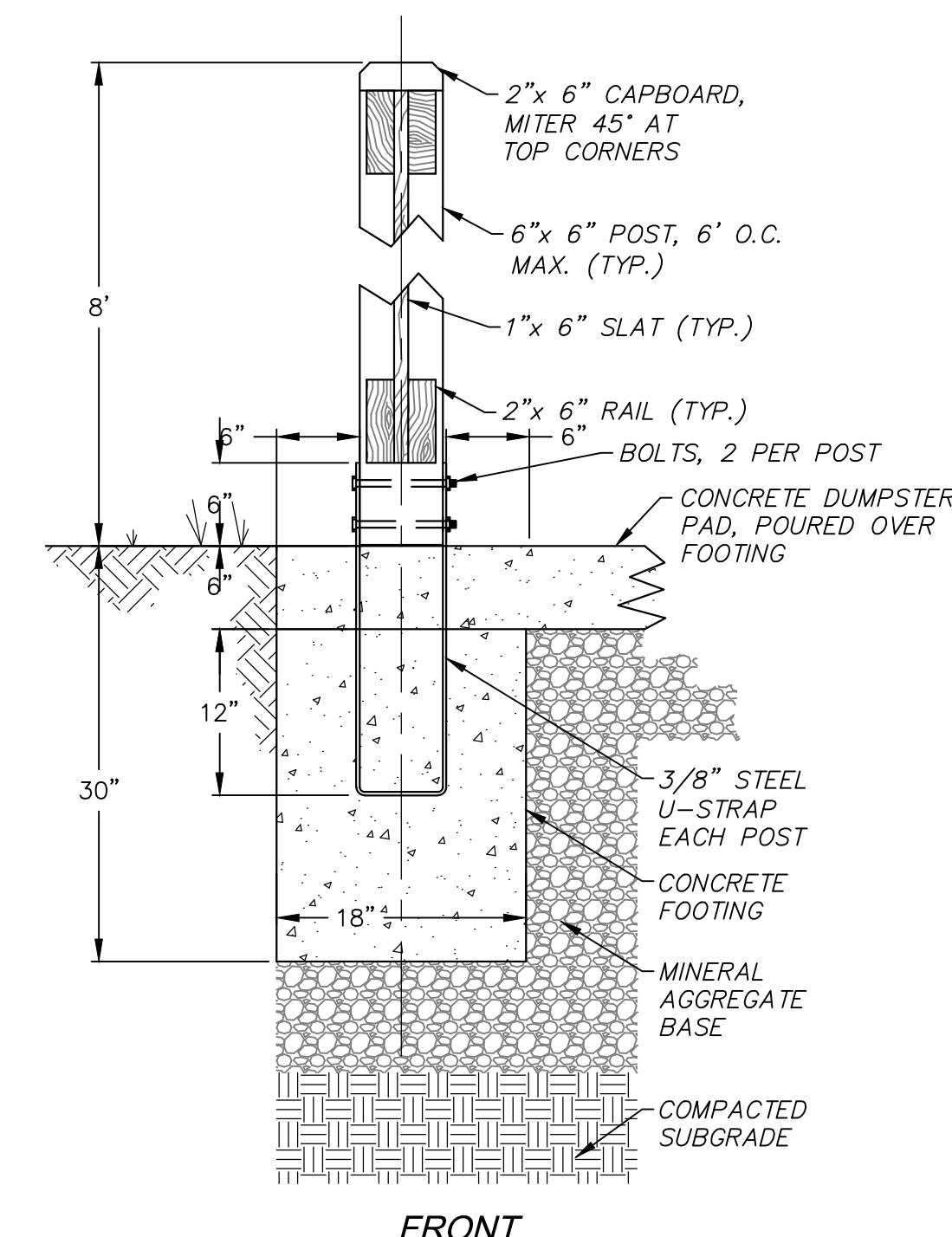
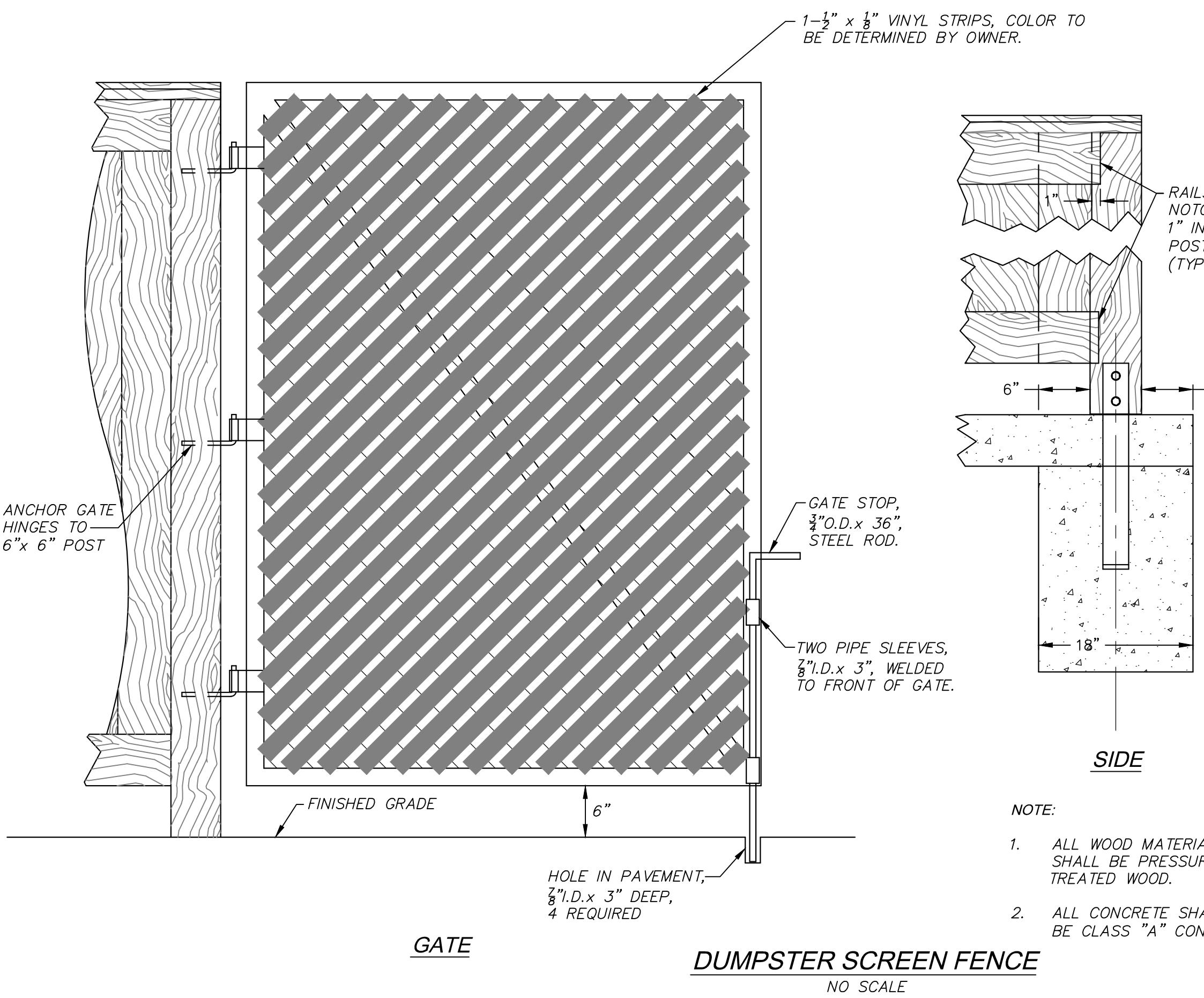




2019 Edition LOUISVILLE METRO PUBLIC WORKS STANDARD DRAWINGS

2019 Edition LOUISVILLE METRO PUBLIC WORKS STANDARD DRAWINGS

2019 Edition LOUISVILLE METRO PUBLIC WORKS STANDARD DRAWINGS



**NOTE:**

1. ALL WOOD MATERIALS  
SHALL BE PRESSURE  
TREATED WOOD.
2. ALL CONCRETE SHALL  
BE CLASS "A" CONCRETE

1512 S. 7th Street  
WABEHOUSE STUDIO

1512 S. 7th Street

**FEBRUARY 26, 202**

## LANDSCAPE DETAILS

L1.1

SPD-24-1096 WM # 12674 23-CAT2-0047

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