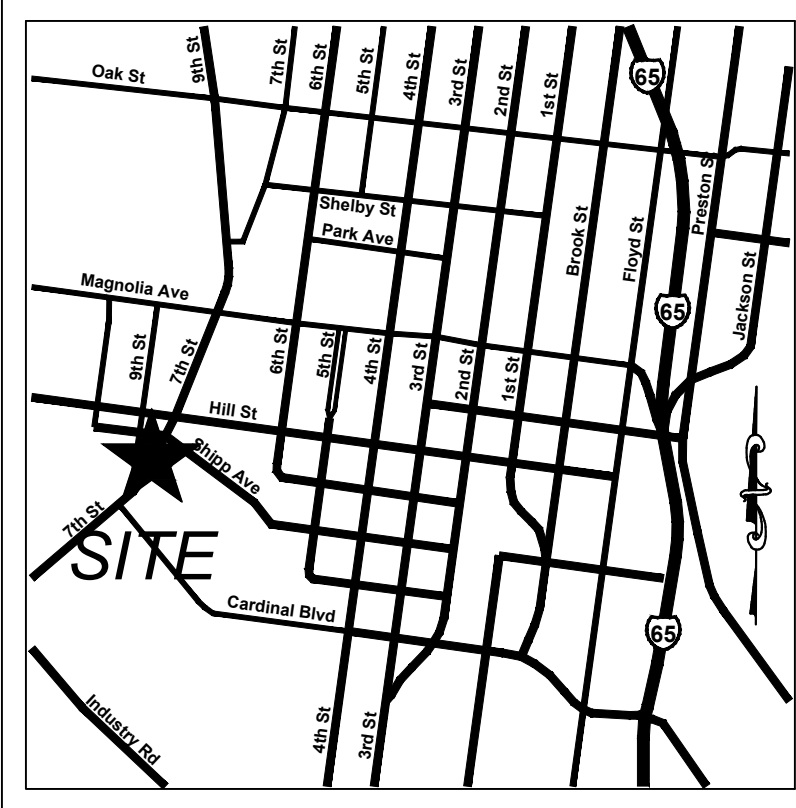
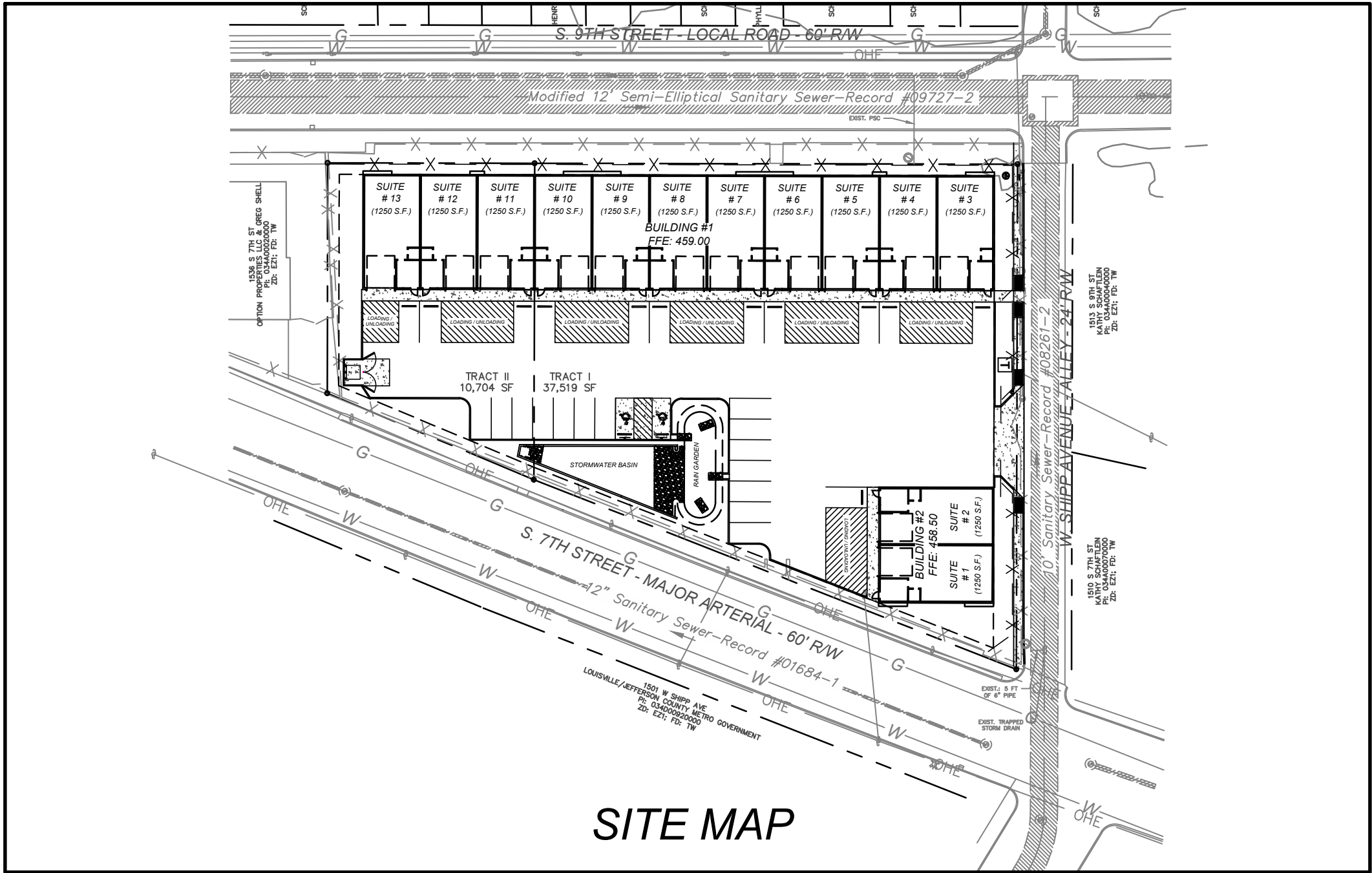


SITE IMPROVEMENT PLANS
FOR
SOUTH 7TH STREET WAREHOUSE SUITES
1512 SOUTH 7TH STREET
LOUISVILLE, KENTUCKY 40202



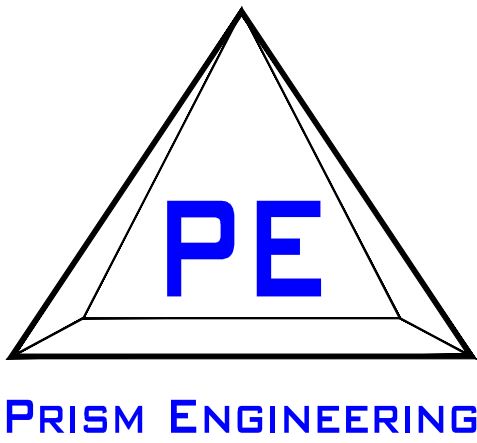
Location Map
Not To Scale



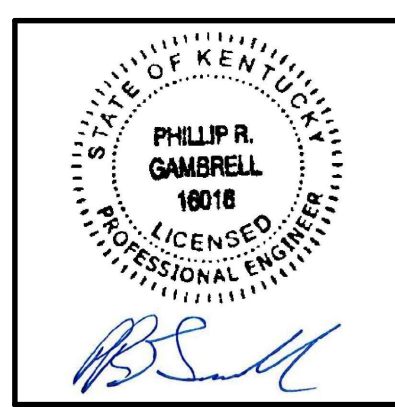
SITE MAP

PLAN INDEX:

| DRAWING NUMBER | DRAWING TITLE |
|----------------|------------------------|
| C0.0..... | COVER SHEET |
| C0.1..... | GENERAL NOTES & LEGEND |
| C1.0..... | EPSC PLAN |
| C1.1..... | SITE & UTILITIES PLAN |
| C2.0..... | GRADING PLAN |
| C3.0..... | DRAINAGE PLAN |
| C3.1..... | BASIN DETAILS |
| C4.0..... | SITE DETAILS |
| L1.0..... | LANDSCAPE PLAN |
| L1.1..... | LANDSCAPE DETAILS |



PRISM
ENGINEERING
2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM



OWNER / DEVELOPER:

FADEL PROPERTIES, LLC
2525 Nelson Miller Pkwy, Suite 205
Louisville, KY 40223

| | | |
|----------------------|-------------------------|--------------|
| SPD-24-1096 | WM # 12674 | 23-CAT2-0047 |
| REVISIONS | | |
| NO. | DESCRIPTION | DATE |
| 1 | MSD REVIEW COMMENTS | 5/31/24 |
| 2 | MSD 2nd REVIEW COMMENTS | 7/15/24 |
| 3 | MSD 3rd REVIEW COMMENTS | 8/27/24 |
| PE PROJ. # 223032-E2 | | |
| FEBRUARY 26, 2023 | | |
| COVER SHEET | | |
| C0.0 | | |

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS PROJECT.
2. CONTRACTOR SHALL MAINTAIN TEMPORARY BARRICADES, FENCES AND BRIDGES AROUND EXCAVATED AREAS, WITH WARNING SIGNS AND/OR LIGHTS AS REQUIRED BY CODE, TO PROTECT THE PUBLIC AND WORKERS FROM INJURY DURING WORK UNDER THIS CONTRACT.
3. THE CONTRACTOR SHALL COMPLY WITH THE U.S. DEPT. OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1979 HOURS AND SAFETY STANDARDS ACT (P.L. 91-54). DURING ALL PHASES OF THIS PROJECT (INCLUDING EXCAVATIONS OR TRENCHING), THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AT ALL TIMES.
4. CONTRACTOR SHALL COMPLY WITH LOCAL CODES, ORDINANCES, AND REQUIREMENTS OF AGENCIES HAVING JURISDICTION CONCERNING SAFETY ISSUES IN ADDITION TO THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
5. ALL PAVEMENT MARKINGS AND SIGNAGE (I.E. HANDICAP SIGNING, ONE WAY SIGNING, ETC.) SHALL BE IN ACCORDANCE WITH THE RULES AND PRINCIPLES SET OUT IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
7. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION; ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 18 FEET.
9. CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS.
10. ALL EXCAVATION SHALL BE UNCLASSIFIED AND SHALL INCLUDE EXCAVATION TO SUBGRADE ELEVATIONS, REGARDLESS OF THE CHARACTER OF MATERIALS ENCOUNTERED DURING EXCAVATION. SEE GEOTECHNICAL REPORT (IF AVAILABLE).
11. ALL SLOPES SHALL BE STABILIZED AS SOON AS CONSTRUCTION OPERATIONS ALLOW.
12. UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT (IF AVAILABLE), THE SUBGRADE AND COMPACTED STONE BASE SHALL BE PROOFROLLED WITH EQUIPMENT JUDGED SUITABLE BY THE GEOTECHNICAL ENGINEER FOR THE SPECIFIC PROJECT REQUIREMENTS AND CONDITIONS, INCLUDING END USE AND SITE ACCESSIBILITY CONSTRAINTS. THE EQUIPMENT SHOULD BE CAPABLE OF IMPARTING AN EQUIVALENT LOAD AS A TRI-AXLE DUMP TRUCK (THIRD AXLE UP) LOADED WITH AT LEAST 22 TONS OF MATERIAL. THE PROOFROLL SHOULD BE WHEEL-TO-WHEEL, PROVIDING FULL COVERAGE TO THE SUBGRADE (OR AS FULL COVERAGE AS POSSIBLE BASED ON THE SITE CONSTRAINTS). THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER 48-HOURS PRIOR TO PROOFROLLING, SO THAT OWNER REPRESENTATIVES CAN BE PRESENT.
13. UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT (IF AVAILABLE), CONTRACTOR SHALL HAVE COMPACTION TESTS PERFORMED TO DETERMINE THAT THE AMOUNT OF COMPACTION ACHIEVED MEETS OR EXCEEDS THE COMPACTION REQUIREMENTS ESTABLISHED FOR THE PROJECT. TEST LOCATIONS SELECTED BY THE GEOTECHNICAL ENGINEER SHALL EVENLY DISTRIBUTED THROUGHOUT THE FILL AREA WITH AT LEAST ONE TEST PER 5,000 SQ. FT. A MINIMUM OF 3 TESTS SHOULD BE TAKEN PER LIFT REGARDLESS OF THE FILL AREA. UNLESS OTHERWISE NOTED, ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" (LOOSE MEASUREMENT) AND COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698). ENGINEERED FILL MATERIAL SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT WHEN COMPACTION OPERATIONS ARE PERFORMED. FILL MATERIAL SHALL BE FREE OF ANY FOREIGN OR DELETERIOUS MATERIALS. FOR THE BUILDING AREAS, THE LIMITS OF COMPACTION SHALL EXTEND TO 10 FEET BEYOND THE BUILDING AND APPURTENANCES (STOOPS, SIDEWALKS, RAMPS, ETC.). GENERAL CONTRACTOR TO HAVE GEOTECHNICAL ENGINEER INSPECT AND TEST ALL MATERIALS AND COMPACTION OF FILL TO ENSURE COMPLIANCE WITH PROJECT SPECIFICATIONS. GEOTECHNICAL ENGINEER SHALL PROVIDE TESTING/MONITORING REPORTS TO THE GENERAL CONTRACTOR AND PROJECT OWNER. GENERAL CONTRACTOR SHALL COORDINATE ALL TESTING TO ENSURE PROJECT SPECIFICATIONS ARE BEING MET.
14. EXCESS EXCAVATED CUT MATERIALS, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED OR DIRECTED.
15. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLING NECESSARY TO CONDUCT THE REQUIRED SOIL TESTING. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
16. WHEN BLASTING IS REQUIRED, THE CONTRACTOR SHALL COMPLY FULLY WITH THE PROVISIONS OF THE LAWS AND REGULATIONS GOVERNING EXPLOSIVES AND BLASTING, AS ISSUED BY THE KENTUCKY DEPT. OF MINES AND MINERALS, AND THE KENTUCKY OCCUPATIONAL SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY, SUBPART U, BLASTING, AS ISSUED BY THE KENTUCKY LABOR CABINET.
17. ALL PIPE LENGTHS BETWEEN STRUCTURES ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE ALONG A HORIZONTAL PLANE.
18. ALL STORM SEWERS SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
19. ALL HANDICAP PARKING, RAMPS, AND ACCESS WAYS SHALL CONFORM WITH THE SPECIFICATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA). CONTRACTOR SHALL VERIFY ALL AS-BUILT SITE CONSTRUCTION MEETS ADA REQUIREMENTS.
20. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHOULD NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD AND THOSE SHOWN ON THESE PLANS.
21. ALL SPOT ELEVATIONS ON THE PLANS ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
22. THE PERFORMANCE OF THE WORK INDICATED SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND THE CONTRACTOR SHALL VERIFY THAT THE NECESSARY PERMITS INDICATING COMPLIANCE HAVE BEEN OBTAINED, AS REQUIRED.
23. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE REMOVAL, DISRUPTION OF SERVICE, INSTALLATION, ETC. OF EXISTING OR PROPOSED UTILITY SERVICES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BEAR ANY AND ALL EXPENSES TO REMOVE, RELOCATE, AND/OR MODIFY, IN ANYWAY, ALL KNOWN AND UNKNOWN SUBDRAINS AND UTILITIES, PUBLIC OR PRIVATE UNLESS OTHERWISE PROVIDED. IT FURTHER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH EACH UTILITY WHOSE RESPONSIBILITY IS TO REMOVE, RELOCATE, AND/OR MODIFY SUCH UTILITIES, EXISTING OR PROPOSED BY THESE PLANS OR FUTURE UTILITIES PROPOSED BY OTHERS. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNER FOR VERIFICATION OF ANY UTILITY RELOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION FOR ALL UTILITIES AND NOTIFY ENGINEER IF DISCREPANCIES EXIST. ADDITIONALLY IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY NEW SERVICE APPLICATIONS AND ACCOUNT SETUP THROUGH COORDINATION WITH THE OWNER.
24. ALL TOPSOIL SHALL BE REMOVED WITHIN THE CONSTRUCTION LIMITS UNLESS INSTRUCTED OTHERWISE BY THE OWNER. THE CONTRACTOR SHALL STOCKPILE TOPSOIL NECESSARY TO PLACE A MINIMUM 6 INCHES OF TOPSOIL IN GRASS AREAS AND 12 INCHES OF TOPSOIL IN ALL LANDSCAPE AREAS. TOPSOIL SHALL BE FREE OF ROCK AND CLAY MATERIALS. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE INSTRUCTED BY THE OWNER.
25. IF ANY UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION THE CONTRACTOR SHALL NOTIFY THE OWNER TO DETERMINE WHETHER TO SEEK THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AS TO THE EXTENT OF REMOVAL REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER.
26. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE KENTUCKY TRANSPORTATION CABINET DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS OTHERWISE NOTED.
27. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS NECESSARY TO COMPLETE THE WORK. THIS INCLUDES PROVISIONS FOR MAINTENANCE OF TRAFFIC, CONSTRUCTION AND THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
28. ALL NECESSARY BARRICADES, SIGNS AND APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION.
29. THE CONTRACTOR SHALL PROVIDE POSITIVE AND ADEQUATE DRAINAGE FROM ALL AREAS OF THE PROJECT DURING CONSTRUCTION.
30. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, PAVEMENT, SIDEWALKS AND OTHER ITEMS TO REMAIN IN PLACE FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES AT ALL TIMES DURING THE PROJECT.
31. ALL CONCRETE SHALL BE CLASS "A" PER KENTUCKY TRANSPORTATION CABINET (KYTC) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS NOTED OTHERWISE.

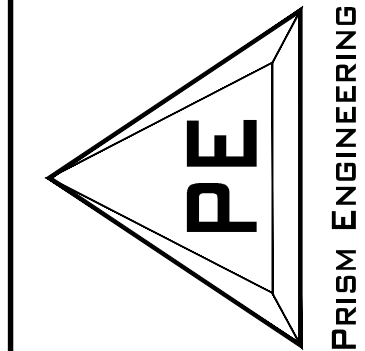
2. ASPHALT TACK COAT SHALL BE APPLIED AT THE RATE OF 0.10 GALLON PER SQUARE YARD.
33. ALL REINFORCED CONCRETE PIPE SHALL BE STATE APPROVED CLASS III WITH WATERTIGHT JOINT CONSTRUCTION.
34. WHERE ADS N-12 PIPE IS SPECIFIED, THE CONTRACTOR SHALL PROVIDE ST-B PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR AN APPROVED ENGINEERING EQUIVALENT. THE PIPE SHALL HAVE A GASKETED BELL AND SPIGOT COUPLING SYSTEM THAT PROVIDES A SOIL TIGHT UNION. NYLOPLAST STRUCTURES, IF SPECIFIED, SHALL BE AS MANUFACTURED BY NYLOPLAST-ADS, A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC. OR AN APPROVED ENGINEERING EQUIVALENT.
35. ALL PIPING SHALL BE INSTALLED ON A STABLE FOUNDATION TO MAINTAIN PROPER LINE AND GRADE.
36. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS.
37. THE BEDDING, HAUNCHING, AND INITIAL BACKFILL MATERIAL UP TO 12 INCHES ABOVE THE PIPE SHALL BE KYTC NO. 57 CRUSHED STONE, COMPACTED WITH A VIBRATORY PLATE COMPACTOR IN LIFTS NOT TO EXCEED 8 INCHES.
38. HAUNCHING PROVIDES A SUBSTANTIAL AMOUNT OF THE PIPE SUPPORT. THE HAUNCHING MATERIAL (KYTC NO. 57 CRUSHED STONE) SHALL BE WORKED UNDER THE PIPE HAUNCHES BY HAND USING SHOVELS TO COMPLETELY WORK AND COMPACT THE MATERIAL UNDER THE PIPE.
39. THE INITIAL BACKFILL MATERIAL (KYTC NO. 57 CRUSHED STONE) SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE.
40. ALL EXISTING TRAFFIC WARNING AND REGULATORY SIGNING SHALL BE MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES.
41. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, TOOLS AND SERVICES REQUIRED TO COMPLETE THE CONSTRUCTION AND MATERIAL TESTING FOR THE WORK. ALL WORK SHALL BE PERFORMED IN A SAFE AND REASONABLE WORKING MANNER IN ACCORDANCE WITH THE BEST PRACTICES AND PROCEDURES.
42. A MINIMUM TWELVE (12) INCH DEPTH OF COVER OVER ALL STORM SEWER IS REQUIRED. A MINIMUM SIX (6) INCH ENCLOSED CLASS A CONCRETE (PER KYTC SPECIFICATIONS) ENCASEMENT WITH A MINIMUM PROJECTION INTO THE PAVEMENT STRUCTURE FOR ANY PIPE WITH REDUCED COVER IS REQUIRED.
43. THE CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT BETWEEN THE CONCRETE CURB AND CASTING ON ALL CURB INLETS.
44. WHEN MATCHING EXISTING BITUMINOUS PAVEMENTS, A TWO (2) INCH DEPTH SAWCUT, A MINIMUM OF TWELVE (12) INCHES FROM THE EDGE OR TO SOUND MATERIAL WILL BE MADE AND THE ASPHALT MATERIALS PLACED TO FORM A WATERTIGHT JOINT.
45. ALL SIDEWALKS SHALL BE CONSTRUCTED OF CLASS "A" CONCRETE (PER KYTC SPECIFICATIONS) AS SHOWN ON THE PLANS.
46. ALL DITCHES, DETENTION AREAS AND DISTURBED AREAS WITHIN PUBLIC RIGHTS OF WAY SHALL BE PROPERLY GRADED, FERTILIZED, AND SODDED PER THE LANDSCAPE PLAN.
47. ALL LANDSCAPE ISLANDS SHALL BE MOUNDED TO 6 INCHES ABOVE THE TOP OF CURB WITH TOPSOIL (FREE OF ROCKS AND CLAY), UNLESS NOTED OTHERWISE.
48. CONTRACTOR SHALL COORDINATE ALL SITE WORK WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP PLANS.
49. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES AND RESTORATION OF ALL DISTURBED AREAS UNTIL FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NEEDED TO PREVENT SEDIMENT DEPOSITION OFFSITE. ALL DISTURBED AREAS SHALL HAVE PERMANENT GRASS COVER ESTABLISHED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
50. ACCESSIBLE RAMPS SHALL NOT EXCEED A 12:1 (8.33%) RUNNING SLOPE, CROSS SLOPE SHALL NOT EXCEED 50:1 (2.00%). SIDEWALKS SHALL NOT EXCEED A 20:1 (5.00%) RUNNING SLOPE, CROSS SLOPE SHALL NOT EXCEED 2% ADJACENT TO THE BUILDING.

1. EACH AREA TO BE SEEDED SHALL BE SCARIFIED, DISKED, HARROWED, RAKED OR OTHERWISE WORKED UNTIL IT HAS BEEN LOOSENOED AND PULVERIZED TO A DEPTH OF NOT LESS THAN FIVE INCHES. CLAY MATERIAL, ROCKS/ROCK FRAGMENTS AND OTHER FOREIGN MATERIALS SHALL BE REMOVED. THIS OPERATION SHALL BE PERFORMED ONLY WHEN THE SOIL IS IN A TILLABLE AND WORKABLE CONDITION.
2. GRADE 10-10-10 FERTILIZER, AT THE RATE OF NOT LESS THAN 2 POUNDS PER 1,000 SQUARE FEET, AND AGRICULTURAL LIMESTONE, AT THE RATE OF NOT LESS THAN 100 POUNDS PER 1,000 SQUARE FEET, SHALL BE DISTRIBUTED EVENLY OVER THE SEED BED, UNLESS OTHER REQUIREMENTS ARE SHOWN ON THE PLANS OR IN THE CONTRACT. THE LIMESTONE AND FERTILIZER SHALL BE LIGHTLY HARROWED, RAKED OR OTHERWISE INCORPORATED INTO THE SOIL FOR A DEPTH OF APPROXIMATELY ONE-HALF INCH. FERTILIZER NEED NOT BE INCORPORATED IN THE SOIL AS SPECIFIED ABOVE WHEN MIXED WITH SEED IN WATER AND APPLIED WITH HYDRAULIC EQUIPMENT.
3. THE CONTRACTOR SHALL APPLY THE SEED, FERTILIZER AND MULCH WITHIN 24 HOURS OF PREPARING THE SEED BED. THE LIME/FERTILIZER RATES SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE THE PROPER AMOUNTS OF THESE MATERIALS. THE CONTRACTOR SHALL HAVE SOIL ANALYSES PERFORMED (AT THE CONTRACTOR'S EXPENSE) TO ESTABLISH PROPER LIME/FERTILIZER RATES SO THAT SATISFACTORY TURF GROWTH IS PROMOTED.
4. TEMPORARY SEED SHALL BE SOWN AT THE FOLLOWING RATES (OR AS SHOWN ON THE APPROVED LANDSCAPE PLAN):
TEMPORARY SEED (IF REQUIRED):
RYE GRASS, WINTER WHEAT: 3 POUNDS PER 1000 S.F.
5. EROSION CONTROL BLANKETS: MANUFACTURED EROSION CONTROL BLANKETS (STRAW, COCONUT FIBER, WOOD FIBER, ETC.) SHALL BE UTILIZED ONLY WHEN PERMANENT SEEDING IS SPECIFIED. THE AREAS TO BE COVERED SHALL BE PROPERLY PREPARED, FERTILIZED AND SEEDED IN ACCORDANCE WITH THE PLANS. BEFORE THE BLANKET IS PLACED, THE BLANKETS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
6. SEE THE APPROVED LANDSCAPE PLAN FOR ADDITIONAL INFORMATION. THE LANDSCAPE PLAN TAKES PRECEDENCE OVER THESE GENERAL SEEDING NOTES.

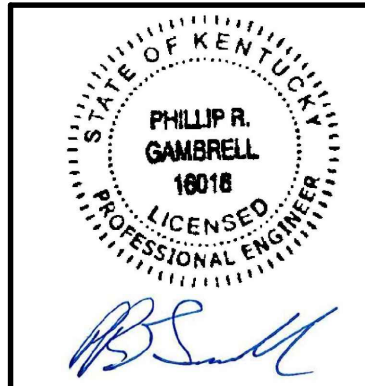
| | |
|---------|---------------------------|
| —789— | EX. CONTOUR |
| —790— | EX. INDEX CONTOUR |
| OHE ——— | EX. OVERHEAD ELECTRIC |
| G ——— | EX. GAS LINE |
| UGT ——— | EX. UNDERGROUND TELEPHONE |
| W ——— | EX. WATER LINE |
| ————— | EX. STORM SEWER |
| ————— | EX. DITCH |
| ~~~~~ | EX. TREELINE |
| - - | EX. UTILITY POLE |
| ☒ | EX. TELEPHONE PEDESTAL |
| WM O | EX. WATER METER |
| → | EX. DRAINAGE DIRECTION |
| ⊙ | EX. TREE |
| ④ 785.7 | PROPOSED SPOT ELEVATION |

PE PROJ. # 223032-E2

**PRISM
ENGINEERING**
2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM



© COPYRIGHT 2024



**1512 S. 7th Street
WAREHOUSE SUITES**

1512 S. 7th Street
Louisville, KY 40202

| REVISIONS | | |
|-----------|-------------------------|---------|
| NO. | DESCRIPTION | DATE |
| 1 | MSD REVIEW COMMENTS | 5/31/24 |
| 2 | MSD 2nd REVIEW COMMENTS | 7/15/24 |
| 3 | MSD 3rd REVIEW COMMENTS | 8/27/24 |
| | | |
| | | |
| | | |

OWNER / DEVELOPER:
FADEL PROPERTIES, LLC
2525 Nelson Miller Pkwy, Suite 200
Louisville, KY 40223

| DRAWN BY | CHECK #1 | CHECK #2 | APPROVE BY |
|----------|----------|----------|------------|
| | | | |

FEBRUARY 26, 2024

**GENERAL NOTES &
LEGEND
C0.1**

SPD-24-1096

WM # 12674

23-CAT2-0047

GENERAL NOTES

- THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED. EPSC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED ACCORDING TO PLANS AND SHALL MEET THE DESIGN CRITERIA SET FORTH BY FEDERAL, STATE AND LOCAL AGENCIES.
- DETENTION BASINS SHALL BE CONSTRUCTED FIRST & ACT AS SEDIMENT BASINS FOR ENTIRETY OF PROJECT.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM THE STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
- WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE MOST RECENT DISTURBANCE WITHIN THE AREA.
- TEMPORARY SEEDING:
ANNUAL RYEGRASS (2 POUNDS PER 1,000 SQ. FT.)
LIME AND FERTILIZER TO BE PROVIDED AS NECESSARY BASED ON SOIL TESTS.
- AREA OF SOIL DISTURBANCE = 51,224 SQ. FT. (1.176 AC.)
- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS SITE CONSISTS OF THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN (THIS SHEET) AND THE SWPPP REPORT DATED 07/15/2024 (UNDER SEPARATE COVER).
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES AND RESTORATION OF ALL DISTURBED AREAS UNTIL FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. ALL DISTURBED AREAS SHALL HAVE PERMANENT GRASS COVER ESTABLISHED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

EPSC INSPECTION AND MAINTENANCE SCHEDULE

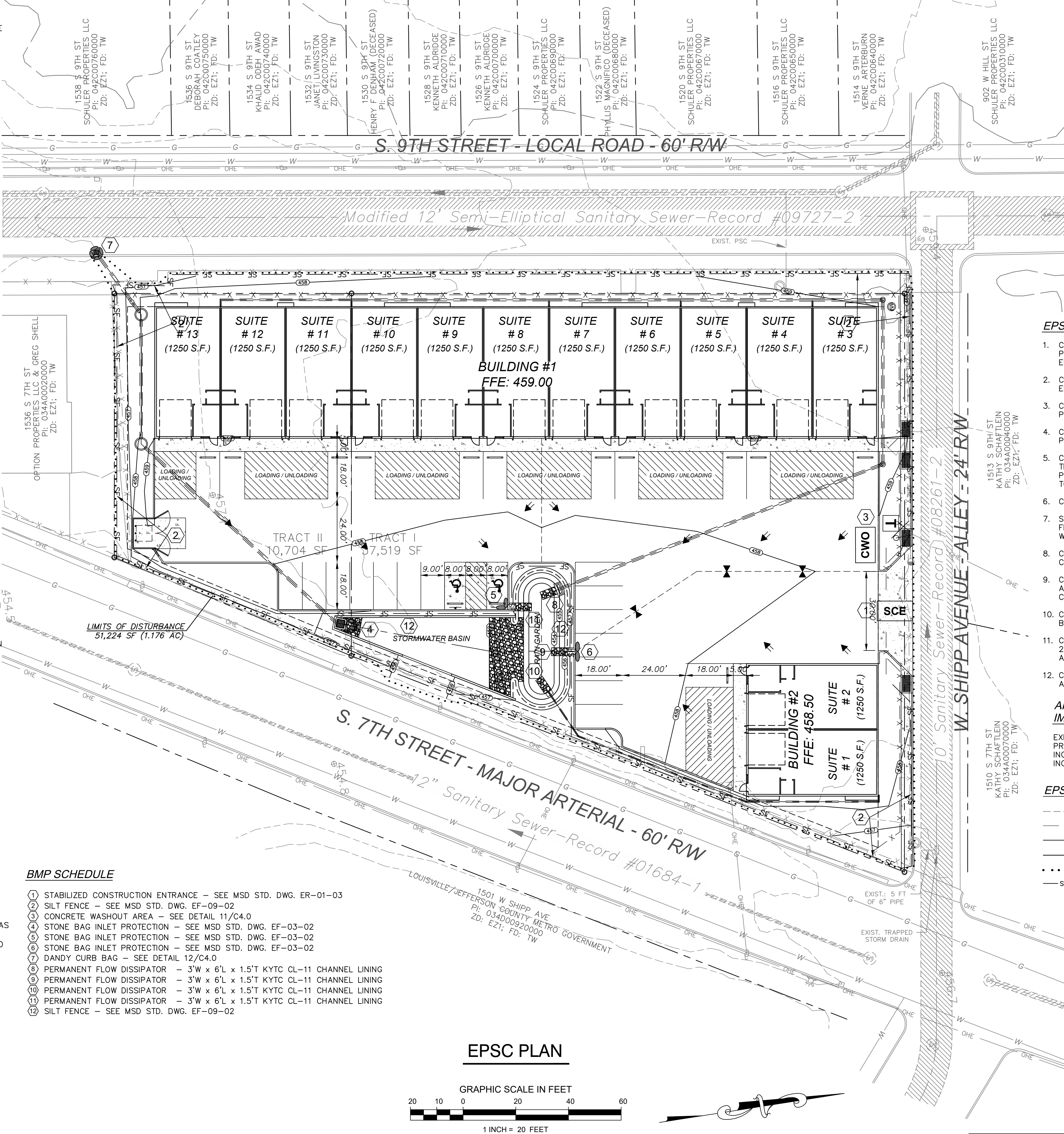
- A QUALIFIED PROFESSIONAL SHALL CONDUCT INSPECTIONS OF ALL EPSC MEASURES (BMPs) AND PERFORM ANY MODIFICATIONS, MAINTENANCE OR REPAIRS AS NECESSARY, THROUGHOUT THE LENGTH OF THE PROJECT AND AT LEAST 1) ONCE EVERY 7 CALENDAR DAYS, OR 2) AT LEAST EVERY 14 CALENDAR DAYS, AND WITHIN 24 HOURS OF EACH STORM EVENT THAT PRODUCES 0.5 INCH OR GREATER OF PRECIPITATION. THE PERMITTEE SHALL BEGIN REPAIR ACTIONS WITHIN 7 CALENDAR DAYS AFTER DEFICIENCIES OR FAILURES HAVE BEEN IDENTIFIED. AREAS THAT HAVE BEEN TEMPORARILY/FINALLY STABILIZED SHALL BE INSPECTED AT LEAST ONCE PER MONTH. ADDITIONALLY, INSPECTIONS SHALL BE PERFORMED ONCE PERIMETER CONTROLS HAVE BEEN INSTALLED; AT THE COMPLETION OF CLEARING AND GRADING; WHEN ON-SITE TEMPORARY EROSION CONTROLS ARE INSTALLED; AND AT THE COMPLETION OF FINAL GRADING AND GROUND STABILIZATION.
- RECORDS OF THESE INSPECTIONS MUST BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY THE APPROPRIATE COMPLIANCE ENFORCEMENT AGENCY. RECORDS SHALL BE KEPT ON A SELF-INSPECTION FORM PROVIDED BY METROPOLITAN SEWER DISTRICT WITH APPROVED CONSTRUCTION DRAWINGS. INSPECTION REPORTS SHALL INCLUDE THE DATE OF INSPECTION, NAME OF PERSON PERFORMING THE INSPECTION, CONDITION OF THE BMPs AND DESCRIPTION OF ANY NECESSARY MAINTENANCE.
- ALL MEASURES SHALL BE MAINTAINED IN A FULLY FUNCTIONAL CONDITION UNTIL SUCH MEASURES ARE NO LONGER REQUIRED FOR A PARTICULAR PHASE OF WORK OR THE DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL EPSC MEASURES (SILT FENCE, SEDIMENT TRAPS, SEDIMENT BASINS, CONSTRUCTION ENTRANCES, ETC.) SHALL BE INSPECTED TO ENSURE THAT THEY ARE INSTALLED PER THE PLAN AND ARE OPERATING PROPERLY.
- THE STORMWATER QUALITY MANAGEMENT AND EROSION CONTROL PERMIT HOLDER IS RESPONSIBLE FOR HAVING A CONCRETE WASHOUT AREA PROVIDED IN A SUITABLE LOCATION WITH APPROPRIATE SIGNAGE. THIS CONCRETE WASHOUT SHALL BE MAINTAINED UNTIL THE STORMWATER QUALITY MANAGEMENT AND EROSION CONTROL PERMIT IS TERMINATED, IN WRITING, BY THE METROPOLITAN SEWER DISTRICT. ONCE TERMINATED, THE CONCRETE WASHOUT MAY BE REMOVED.
- ALL TEMPORARY AND FINAL STABILIZATION MEASURES SHALL BE INSPECTED FOR ADEQUACY. ANY SEEDED AREAS THAT BECOME THIN OR BARE SHALL BE RE-SEEDED PER THE PLANS. ALL AREAS SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
- SEDIMENT SHALL BE REMOVED FROM ALL CONTROLS WHEN THE SEDIMENT REACHES APPROXIMATELY 1/3 THE HEIGHT OF THE CONTROL MEASURE.
- ALL WORK SHALL BE WITHIN THE LIMITS OF THE APPROVED PLANS. IF MODIFICATIONS TO THE PLANS ARE REQUIRED, THE CHANGES SHALL BE IMPLEMENTED WITHIN 48 HOURS OF THE INSPECTION INDICATING A DEFICIENCY.
- ALL RECORDS OF THE STORMWATER POLLUTION PREVENTION PROGRAM MUST BE KEPT FOR AT LEAST 3 YEARS AFTER THE PERMIT HAS BEEN TERMINATED, IF APPLICABLE.

SURVEY NOTE

AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY, HAS NOT BEEN PERFORMED AT THIS TIME. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS PREPARED USING AN ALTA SURVEY PROVIDED BY OWNER AND PREPARED BY LAND DESIGN & DEVELOPMENT, INC. DATED 1/7/20. PRISM ENGINEERING HAS NOT VERIFIED THIS INFORMATION.

UTILITY PROTECTION NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-6007 OR LOCAL 502-266-5123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRE FENCES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



EPSC PHASING SCHEDULE

- CONTACT METROPOLITAN SEWER DISTRICT TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INSTALLING ANY EROSION CONTROL.
- CONTRACTOR TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PRIOR TO SITE WORK.
- CONTRACTOR SHALL INSTALL ALL SITE SILT FENCE & INLET PROTECTION ON EX. STRUCTURES.
- CONTACT METROPOLITAN SEWER DISTRICT TO CONDUCT A PERIMETER CONTROL INSPECTION.
- CONTRACTOR TO EXCAVATE BASIN FOR USE AS A TEMPORARY SEDIMENT CONTROL. DO NOT INSTALL PLANTINGS AT THIS TIME. KEEP EQUIPMENT OUT OF BASIN TO PREVENT SOIL COMPACTION.
- CONTRACTOR TO BEGIN ROUGH GRADING OF THE SITE.
- STOCKPILE AREAS, IF USED, SHALL HAVE PERIMETER SILT FENCE AND SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL BEGIN FINAL SITE GRADING AND CONSTRUCTION OF SITE IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL STORM DRAINAGE SYSTEM AND PROVIDE INLET PROTECTION AS STORM SEWER CONSTRUCTION PROGRESSES.
- CONTRACTOR SHALL REMOVE SEDIMENT FROM BASIN BOTTOM, AND CONSTRUCT BASIN WALLS.
- CONTRACTOR SHALL EXCAVATE RAIN GARDEN AND PLACE 2 FT OF ENGINEERED SOIL IN THE BOTTOM AS SHOWN, AND PLANTINGS.
- CONTRACTOR SHALL STABILIZE THE SITE BEFORE REMOVING ANY OF THE EROSION CONTROL MEASURES.

AREA OF DISTURBANCE: 51,224 SF (1.176 AC) IMPERVIOUS AREA SUMMARY

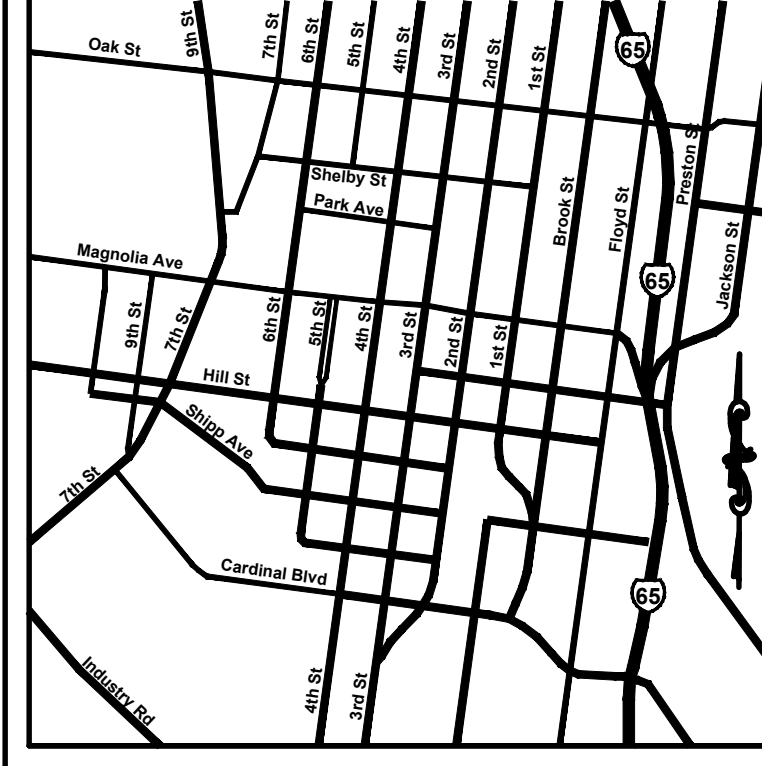
| | |
|-------------------------------|-----------|
| EXISTING BUILDING & CONCRETE: | 15,112 SF |
| PROP. BUILDINGS & P-LOT: | 38,176 SF |
| INCREASE IN IMPERVIOUS AREA: | 22,899 SF |
| INCREASE IN IMPERVIOUS %: | 47 % |

EPSC LEGEND

| | |
|-------|----------------------------------|
| --- | EXISTING CONTOUR |
| --- | EXISTING INDEX CONTOUR |
| --- | PROPOSED CONTOUR |
| --- | PROPOSED INDEX CONTOUR |
| | LIMITS OF DISTURBANCE |
| --- | SILT FENCE |
| (IO) | STONE BAG INLET PROTECTION |
| CWO | CONCRETE WASHOUT AREA |
| SCE | STABILIZED CONSTRUCTION ENTRANCE |

EPSC NOTE

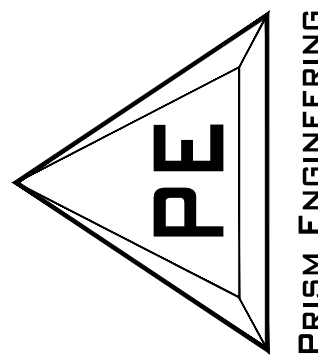
THE EROSION PREVENTION AND SEDIMENT CONTROL DEVICES SHOWN IN THIS PLAN ARE INTENDED TO BE THE MINIMUM CONTROL MEASURES. ADDITIONAL EPSC DEVICES MAY NEED TO BE INSTALLED AS NECESSARY BY THE CONTRACTOR TO PREVENT EROSION AND SEDIMENTATION.



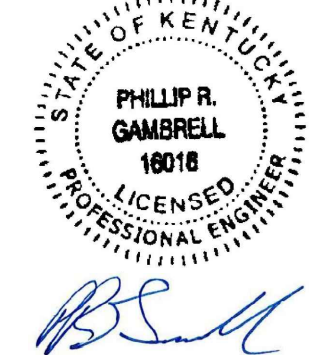
Vicinity Map
Not To Scale

PE PROJ. # 223032-E2

PRISM
ENGINEERING
2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM



© COPYRIGHT 2024



1512 S. 7th Street
WAREHOUSE SUITES
1512 S. 7th Street
Louisville, KY 40202

| NO. | DESCRIPTION | DATE |
|-----|-------------------------|---------|
| 1 | MSD REVIEW COMMENTS | 5/31/24 |
| 2 | MSD 2nd REVIEW COMMENTS | 7/15/24 |
| 3 | MSD 3rd REVIEW COMMENTS | 8/27/24 |

| | | | |
|---|-------------------|---------------------|----------------------|
| OWNER/DEVELOPER: EDEL PROPERTIES, LLC 2309 Watterson Trail, Suite 200 Louisville, KY 40223 | DRAWN BY: J.H. | CHECKED BY: J.H. | APPROVED BY: J.H. |
|---|-------------------|---------------------|----------------------|

FEBRUARY 26, 2024

EPSC PLAN

C1.0

SPD-24-1096

WM # 12674

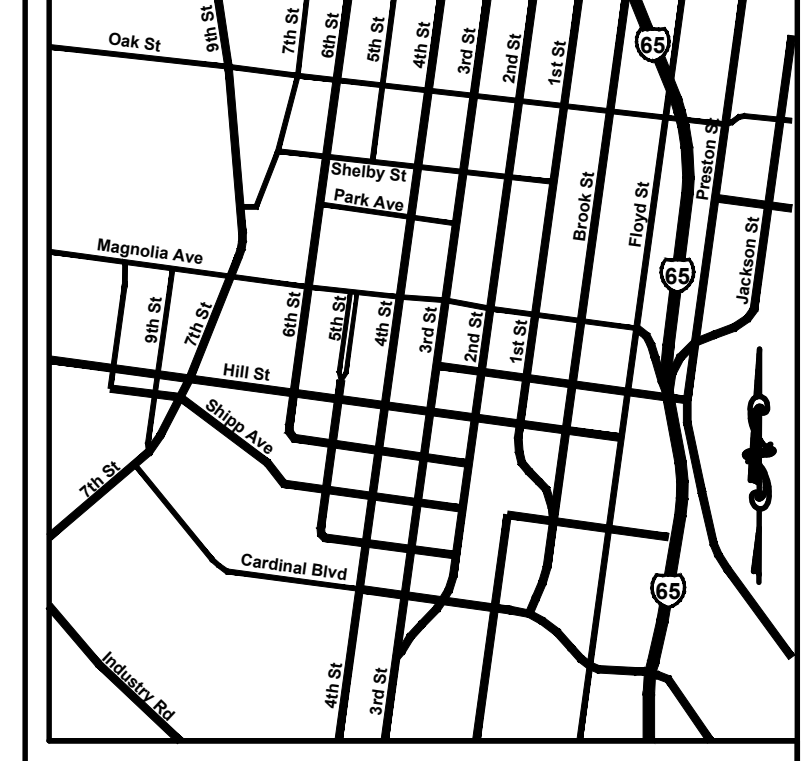
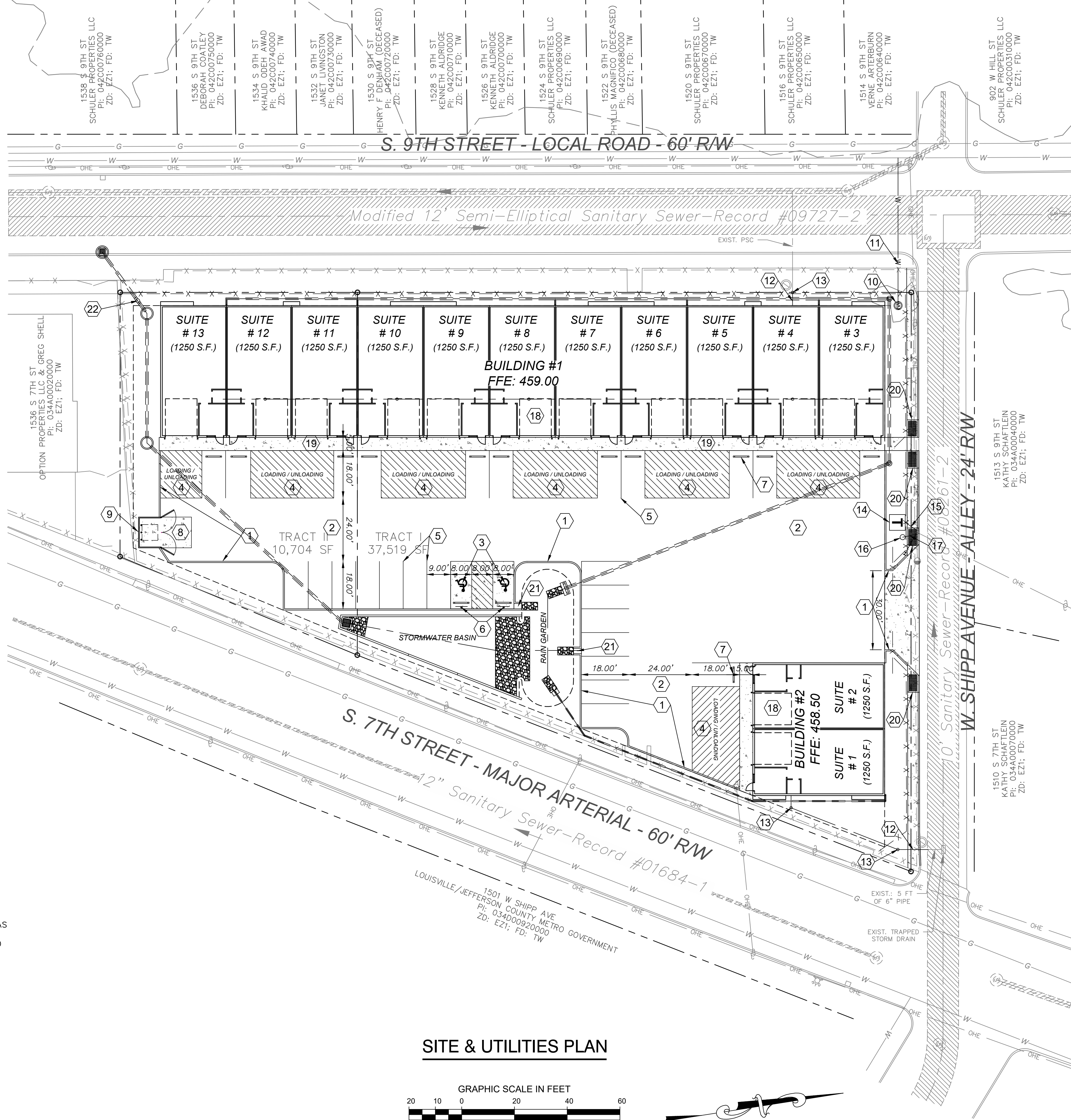
23-CAT2-0047

- 1 CONCRETE HEADER CURB. SEE DETAIL 1/C4.0.
- 2 HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL 2/C4.0.
- 3 HANDICAP PARKING PAVEMENT MARKINGS. SEE DETAIL 3/C4.0.
- 4 NO PARKING ZONE PAVEMENT MARKINGS. SEE DETAIL 4/C4.0.
- 5 PARKING PAVEMENT MARKINGS. SEE DETAIL 5/C4.0.
- 6 HANDICAP PARKING SIGN. SEE DETAIL 6/C4.0.
- 7 CONCRETE WHEEL STOP. SEE DETAIL 7/C4.0.
- 8 CONCRETE DUMPSTER PAD. SEE DETAIL 8/C4.0.
- 9 DUMPSTER ENCLOSURE. SEE DETAIL 9/C4.0.
- 10 WATER METER. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 11 WATER SERVICE LINE. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 12 SANITARY SEWER SERVICE LINE. CONNECT TO EXISTING PSC. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 13 SANITARY CLEAN-OUT. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 14 ELECTRIC TRANSFORMER. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 15 UNDERGROUND PRIMARY ELECTRIC. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 16 TELE/COM PEDESTAL. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 17 UNDERGROUND TELE/COM SERVICE LINE. INSTALL PER UTILITY CODE & REQUIREMENTS.
- 18 PRE-MANUFACTURED METAL BUILDING. SEE MANUFACTURER'S DRAWINGS FOR DETAILS.
- 19 CONCRETE APRON/SIDEWALK. SEE DETAIL 10/C4.0.
- 20 ADA SIDEWALK RAMP.
- 21 DRAINAGE FLUME - SEE DETAIL 13/C4.0
- 22 12" IN-LINE BACKWATER VALVE - NAPCO MODEL L0112.L OR APPROVED EQUAL.

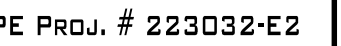
| | |
|---|----------------------|
| EXISTING ZONING: | EZ1 |
| PROPOSED ZONING: | EZ1 |
| FORM DISTRICT: | TW |
| DEED BOOK / PAGE NUMBER: | 12696 / 893 |
| PARCEL I.D.: | 034A00030000 |
| EXISTING USE: | VACANT |
| PROPOSED USE: | WAREHOUSE SUITES |
| | |
| TOTAL LOT AREA: | 48,223 SF (1.107 AC) |
| | |
| TOTAL FLOOR AREA OF BUILDINGS: | 16,250 SF |
| % OF LOT COVERED BY STRUCTURES: | 33.70% |
| FLOOR AREA RATIO (FAR): | 0.34 |
| | |
| TOTAL AREA COVERED BY IMPERVIOUS SURFACE: | 38,176 SF |
| % OF LOT COVERED BY IMPERVIOUS SURFACE: | 79% |
| HEIGHT OF STRUCTURES (STORIES/FEET): | 1 / 18 FT |
| | |
| SETBACKS: | |
| FRONT YARD: | 0 FT |
| SIDE YARD: | NONE |
| REAR YARD: | NONE |

AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY, HAS NOT BEEN PERFORMED AT THIS TIME. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS PREPARED USING AN ALTA SURVEY PROVIDED BY OWNER AND PREPARED BY LAND DESIGN & DEVELOPMENT, INC. DATED 1/7/20. PRISM ENGINEERING HAS NOT VERIFIED THIS INFORMATION.

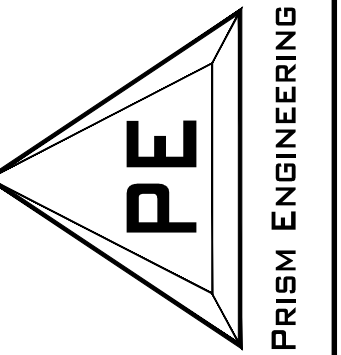
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-6007 OR LOCAL 502-266-5123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION INFORMATION BEING USED BY THE UTILITY INDUSTRY. CABLES, FENCES, TELEPHONE LINES, GAS, AND WATERLINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



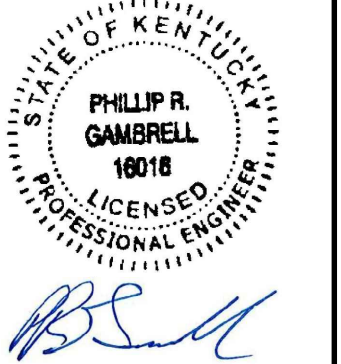
Vicinity Map
Not To Scale



PRISM
ENGINEERING
2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM



COPYRIGHT 2024



1512 S. 7th Street
WAREHOUSE SUITES

1912 S. 7th Street
Louisville, KY 40202

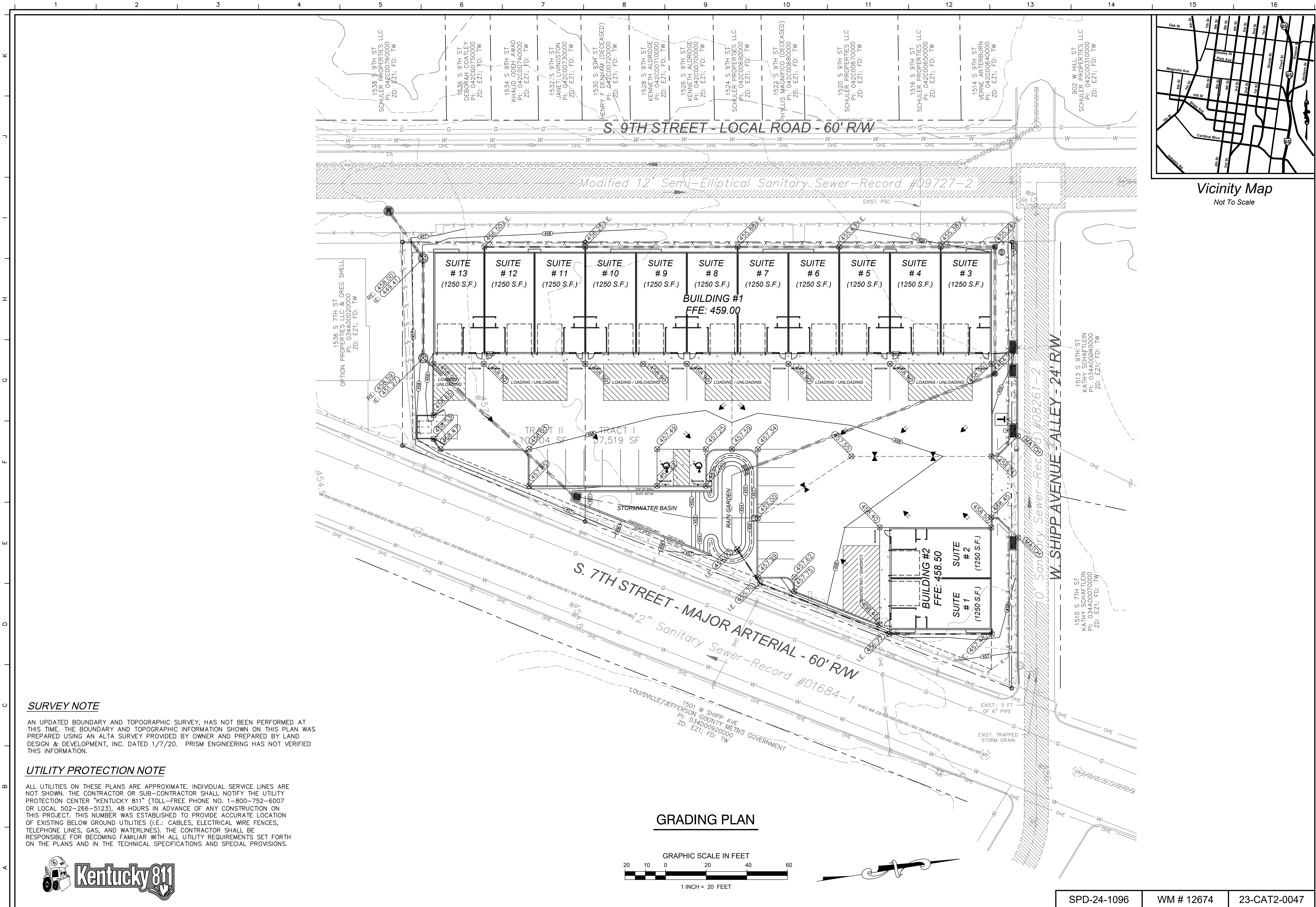
| NO. | DESCRIPTION | DATE |
|-----|-------------------------|---------|
| 1 | MSD REVIEW COMMENTS | 5/31/24 |
| 2 | MSD 2nd REVIEW COMMENTS | 7/15/24 |
| 3 | MSD 3rd REVIEW COMMENTS | 8/27/24 |
| | | |
| | | |
| | | |

OWNER / DEVELOPER:
FADEL PROPERTIES, LLC
2525 Nelson Miller Pkwy, Suite 205
Louisville, KY 40223

FEBRUARY 26, 2024

TE & UTILITIES PLAN

C1.1



SURVEY NOTE

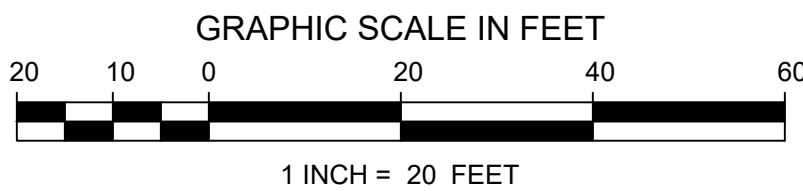
AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY, HAS NOT BEEN PERFORMED AT THIS TIME. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS PREPARED USING AN ALTA SURVEY PROVIDED BY OWNER AND PREPARED BY LAND DESIGN & DEVELOPMENT, INC. DATED 1/7/20. PRISM ENGINEERING HAS NOT VERIFIED THIS INFORMATION.

UTILITY PROTECTION NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-6007 OR LOCAL 502-266-5123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRE FENCES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

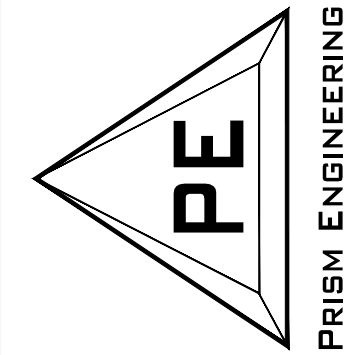


GRADING PLAN

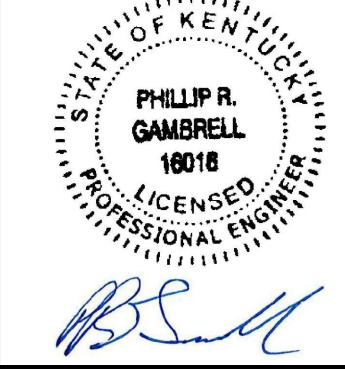


PE PROJ. # 223032-E2

PRISM
ENGINEERING
2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM



© COPYRIGHT 2024



1512 S. 7th Street
WAREHOUSE SUITES
1512 S. 7th Street
Louisville, KY 40202

| REVISIONS | |
|-----------|-------------------------|
| NO. | DESCRIPTION |
| 1 | MSD REVIEW COMMENTS |
| 2 | MSD 2nd REVIEW COMMENTS |
| 3 | MSD 3rd REVIEW COMMENTS |

| | | | | |
|--|------------------|---------------|-------------------|--|
| OWNER/DEVELOPER: FADEL PROPERTIES, LLC 2309 Watterson Trail, Suite 200 Louisville, KY 40223 | CHECKED BY: J.H. | | APPROVED BY: J.H. | |
| | DATE: 5/31/24 | DATE: 7/15/24 | DATE: 8/27/24 | |

FEBRUARY 26, 2024

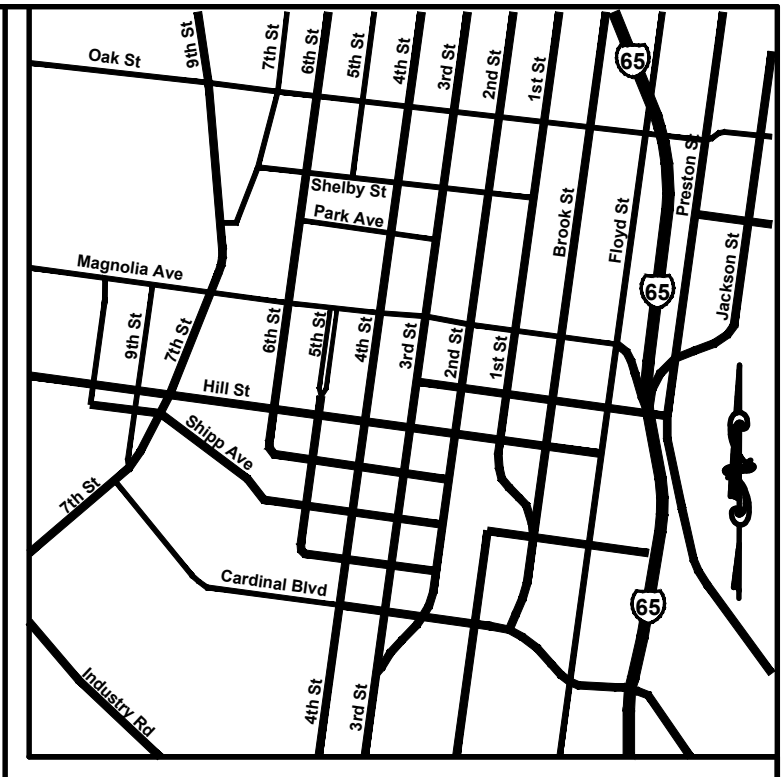
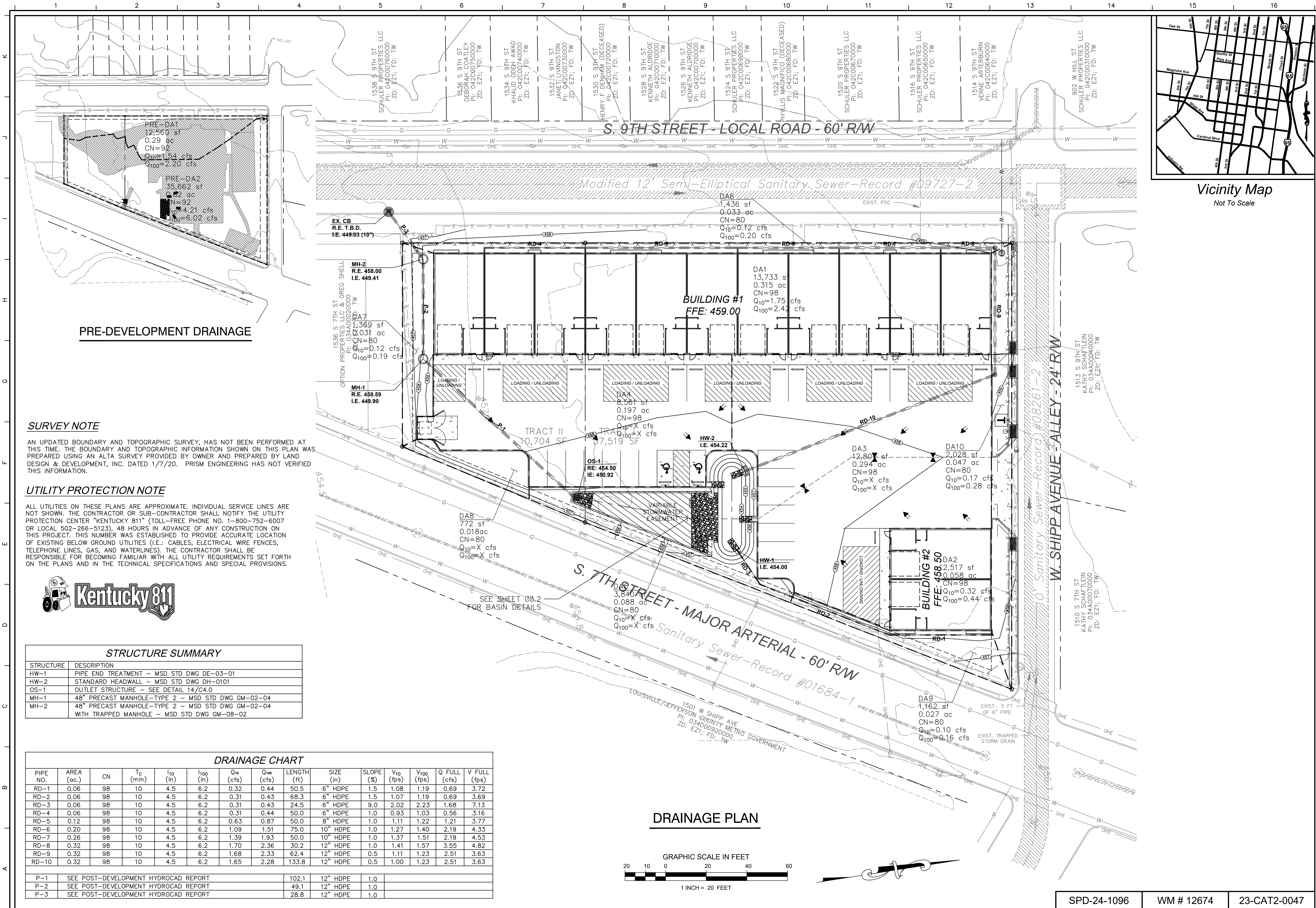
GRADING PLAN

C2.0

SPD-24-1096

WM # 12674

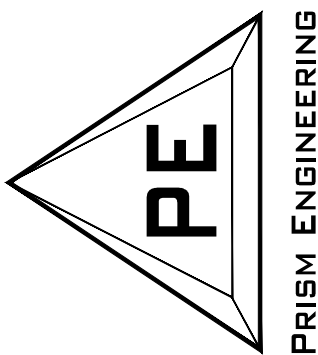
23-CAT2-0047



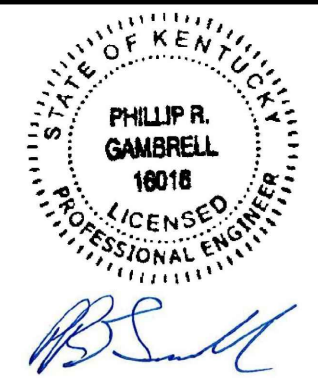
Vicinity Map
Not To Scale

PE PROJ. # 223032-E2

PRISM
ENGINEERING
2309 WATKINS TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM



© COPYRIGHT 2024



1512 S. 7th Street
WAREHOUSE SUITES

1512 S. 7th Street
Louisville, KY 40202

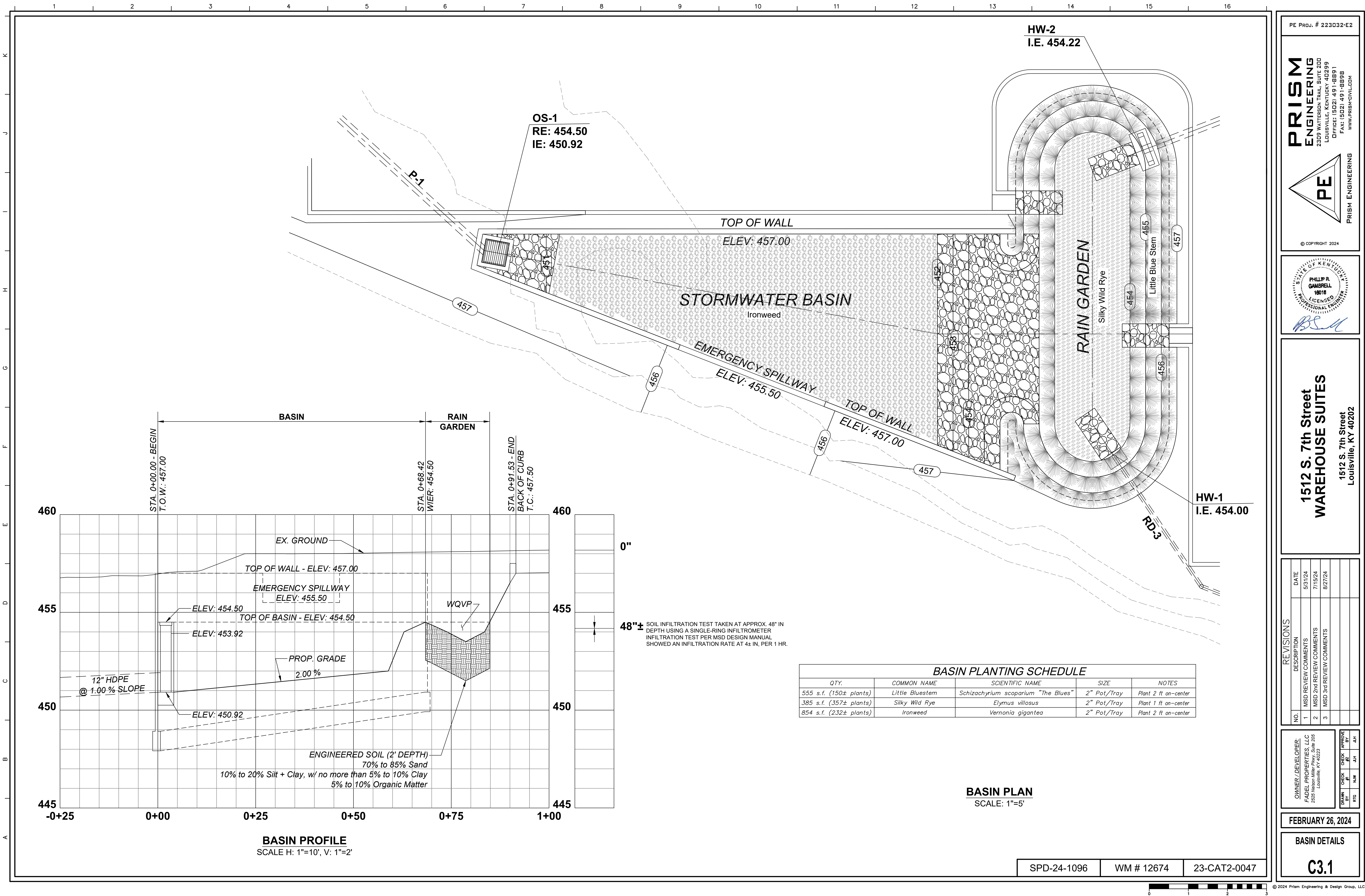
| REVISIONS | | DATE |
|-----------|-------------------------|---------|
| NO. | DESCRIPTION | |
| 1 | MSD REVIEW COMMENTS | 5/31/24 |
| 2 | MSD 2nd REVIEW COMMENTS | 7/15/24 |
| 3 | MSD 3rd REVIEW COMMENTS | 8/27/24 |

| | | | |
|--|-------------------|---------------------|----------------------|
| OWNER/DEVELOPER: FADEL PROPERTIES, LLC 2309 Watkins Trail, Suite 200 Louisville, KY 40223 | DRAWN BY: J.H. | CHECKED BY: J.H. | APPROVED BY: J.H. |
|--|-------------------|---------------------|----------------------|

FEBRUARY 26, 2024

DRAINAGE PLAN

C3.0



PE PROJ. # 223032-E2

PRISM
ENGINEERING

2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-CIVIL.COM

PE

PRISM ENGINEERING

© COPYRIGHT 2024

STATE OF KENTUCKY
PHILIP R. GARDNER
1918
LICENSED PROFESSIONAL ENGINEER

BSM

1512 S. 7th Street
WAREHOUSE SUITES

1512 S. 7th Street
Louisville, KY 40202

| REVISIONS | |
|-----------|-------------------------|
| NO. | DESCRIPTION |
| 1 | MSD REVIEW COMMENTS |
| 2 | MSD 2nd REVIEW COMMENTS |
| 3 | MSD 3rd REVIEW COMMENTS |

| DATE |
|---------|
| 5/31/24 |
| 7/15/24 |
| 8/27/24 |

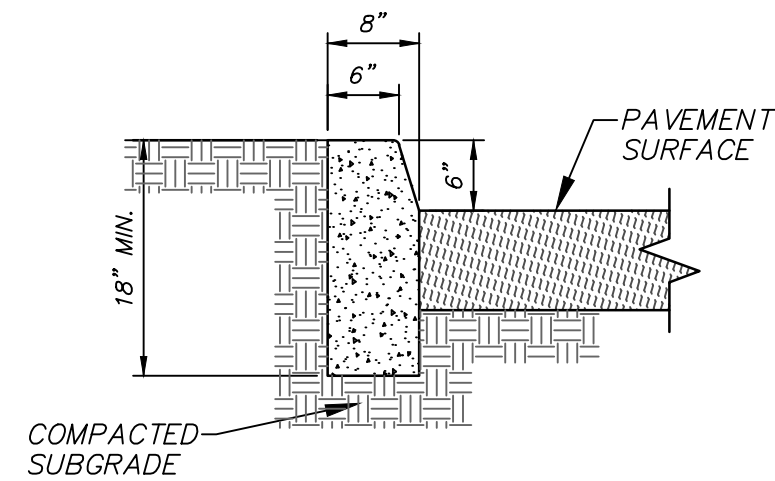
OWNER / DEVELOPER:
FADEL PROPERTIES, LLC
2325 Nelson Miller Pkwy, Suite 205
Louisville, KY 40223

| DRAWN | CHECK | APPROVE |
|-------|-------|---------|
| BY | # | DATE |
| RTG | NW | JH |

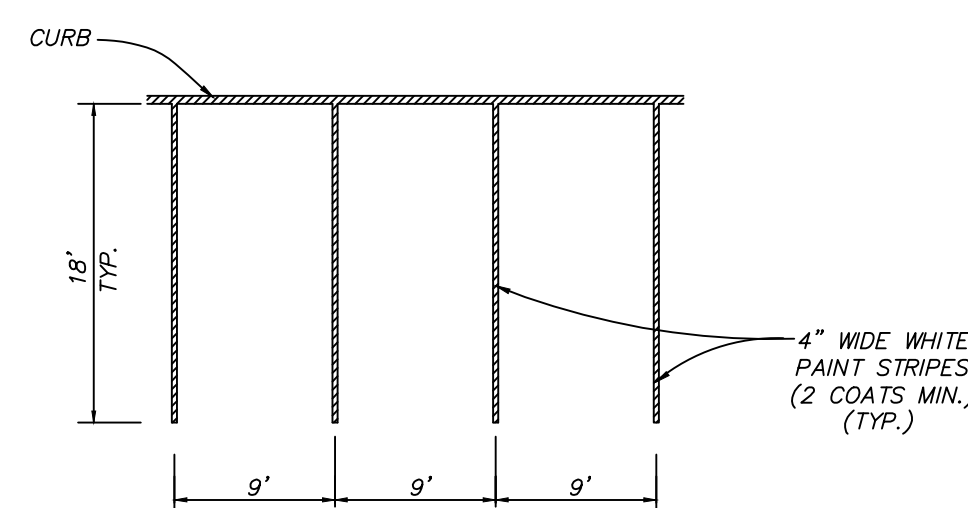
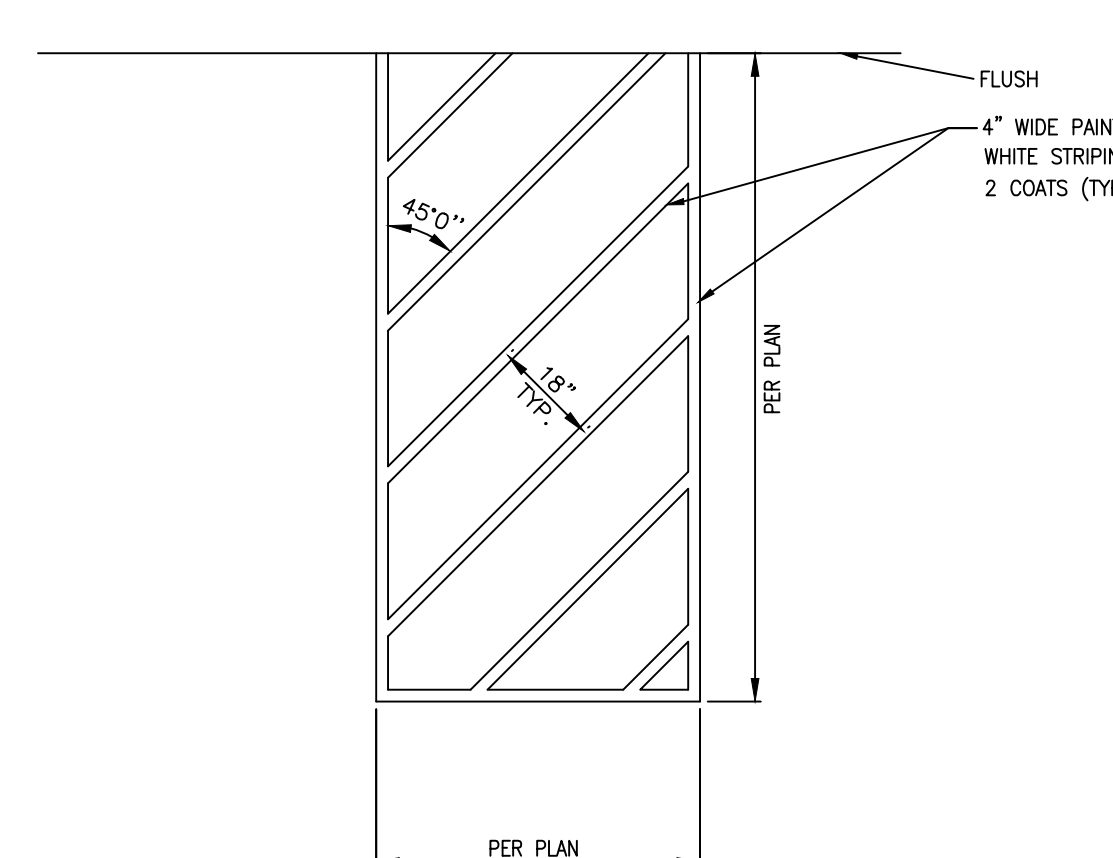
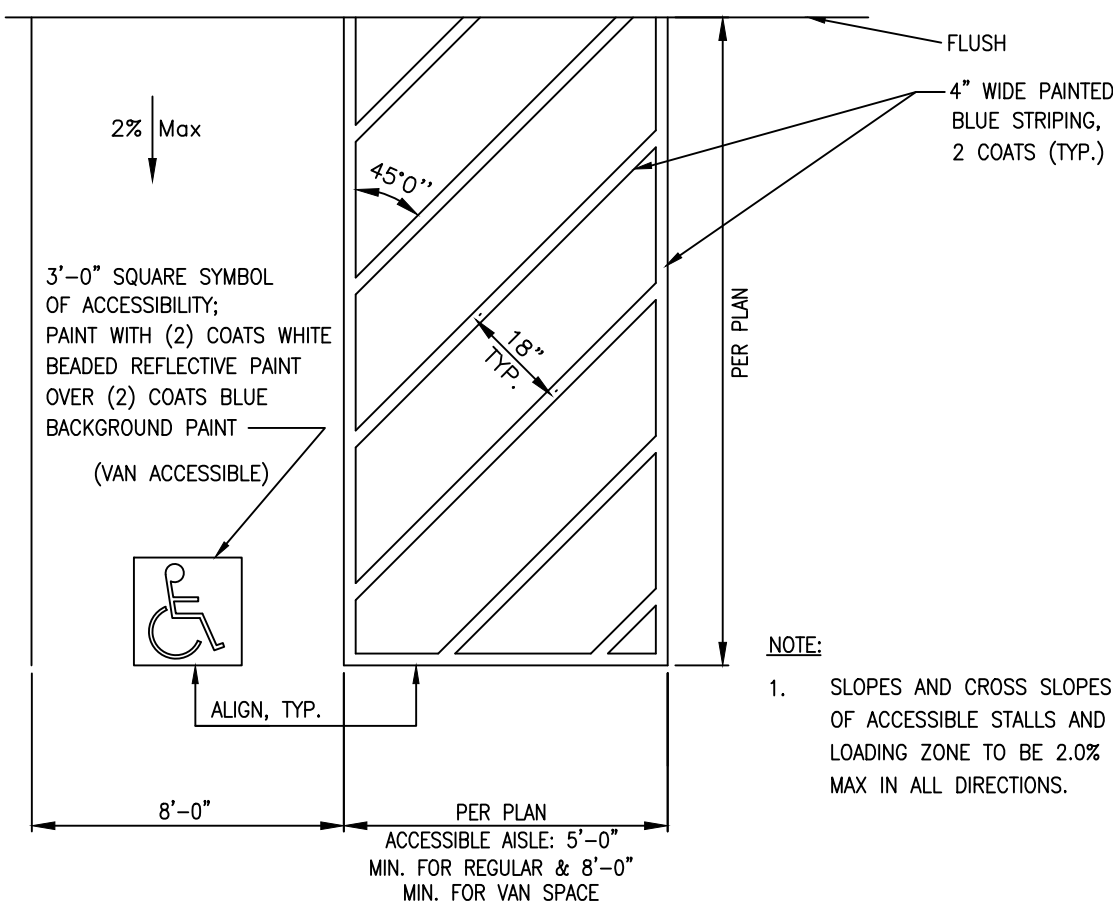
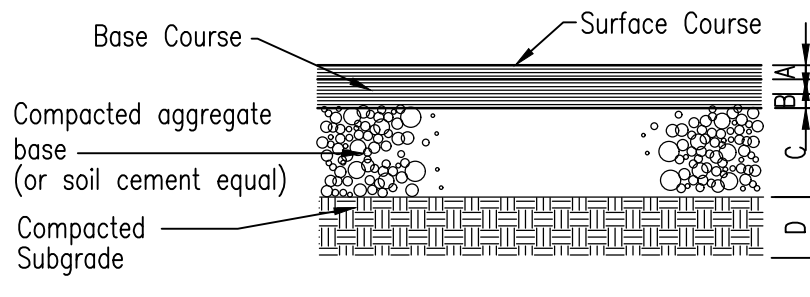
FEBRUARY 26, 2024

BASIN DETAILS

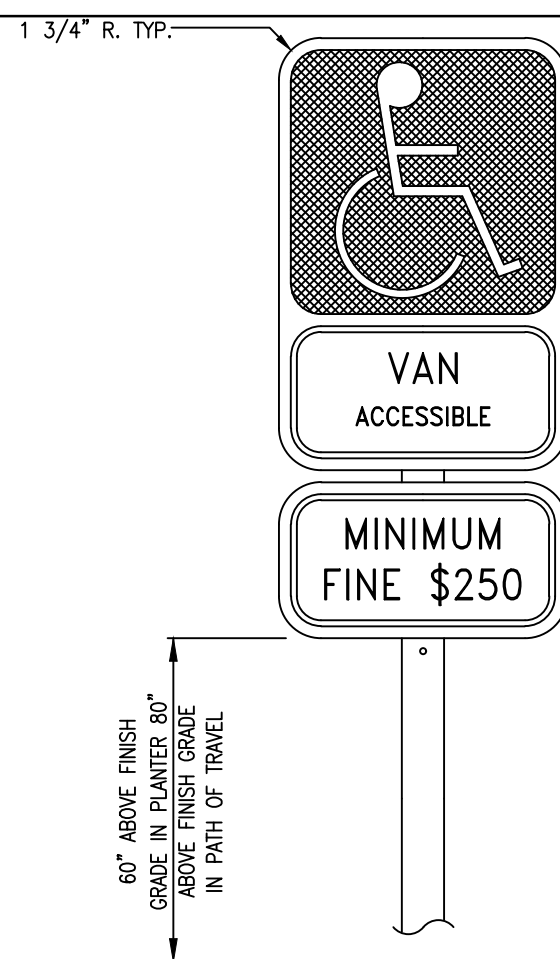
C3.1



NOTE: All asphalt paving to be "Heavy Duty". Compact subgrade to 95% Standard Proctor.

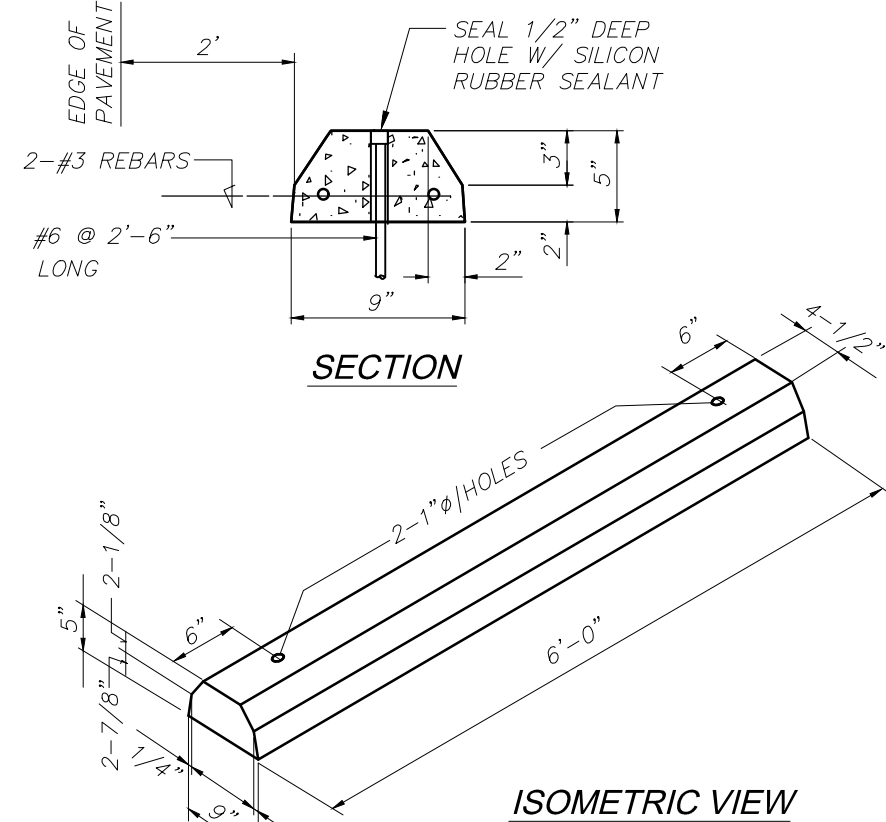


1

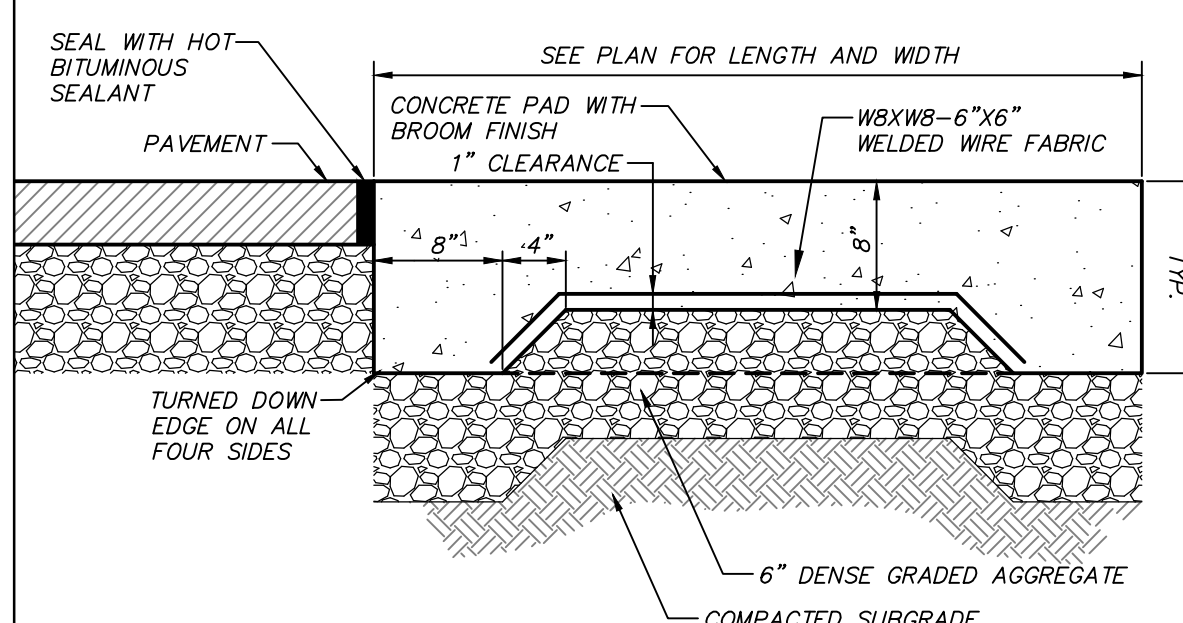


- NOTES:**
1. SIGN SHALL BE REFLECTORIZED SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGN IS TO BE MIN. OF 70 SQ. INCHES WITH SEALED TEXTURE.
 2. SEE SHT. C1.0 FOR LOCATION.
 3. SET 1 3/4" SQ. GALV. STL. POST INTO 1' SQ. X 2' DEEP CONCRETE FOOTING.
 4. WHENEVER POSSIBLE ALWAYS LOCATE SIGN IN PLANTERS.
 5. IF NOT POSSIBLE TO LOCATE SIGN IN PLANTER, SIGN IS TO BE LOCATED ON THE BUILDING DIRECTLY IN FRONT OF ACCESSIBLE STALLS AT 5'-0" FROM C.I. TO FINISH GRADE OR MOUNTED ON POLES IN LANDSCAPE AREA AT +8"0" FROM BOTTOM OF SIGN TO FINISH GRADE.
- HANDICAP/VAN ACCESSIBLE
PARKING SIGNS AND POST
PROVIDED BY OWNER AND
INSTALLED BY G.C.
- NOTES:**
1. ELIMINATE VAN PLACARD WHERE NOT CORRESPONDING TO VAN INDICATED STALL PLANTING.
 2. SIGMAAGE SHALL BE PROVIDED IN ACCORDANCE WITH OBC.1111.1.1.

2

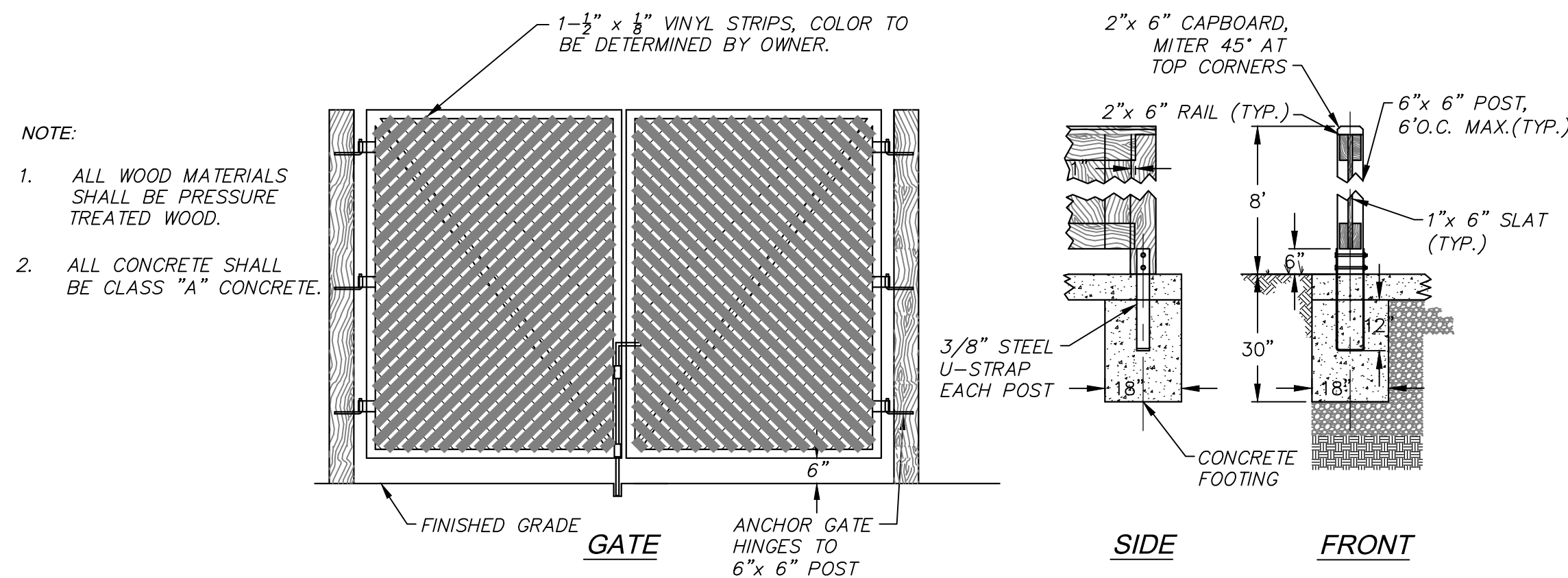


3



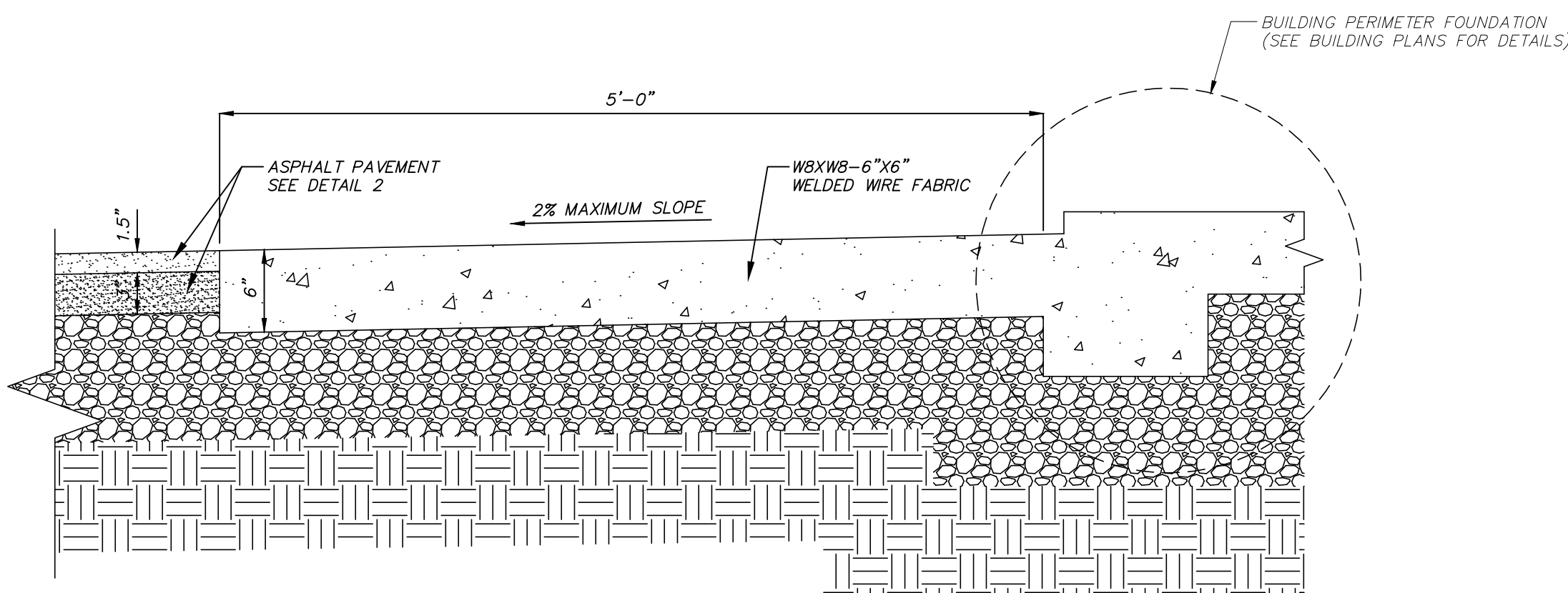
4

5

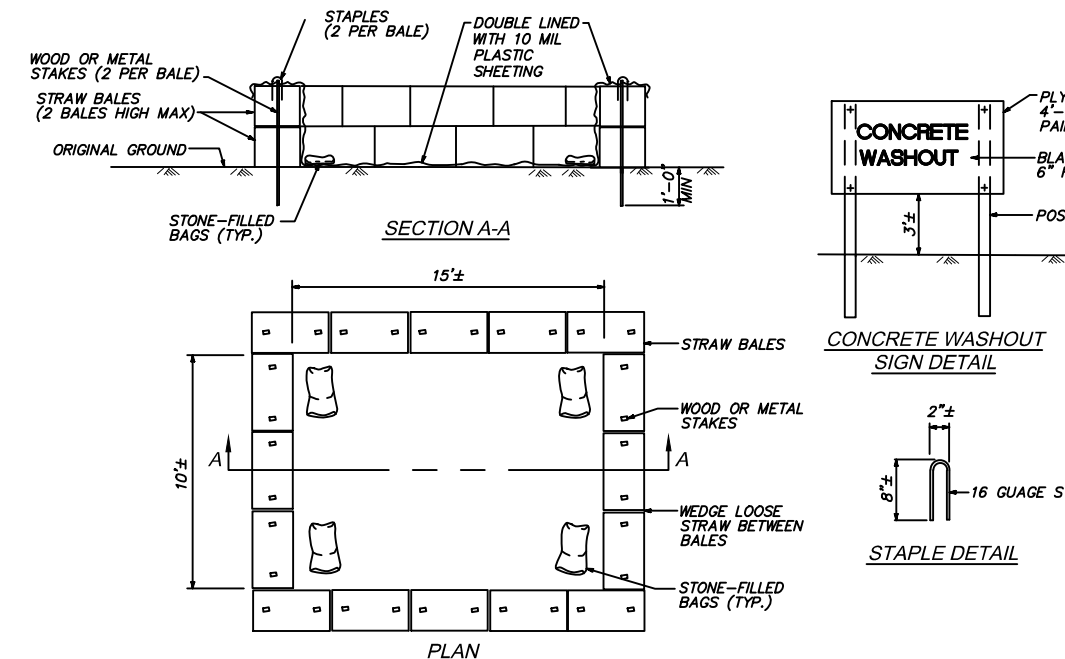


6

7

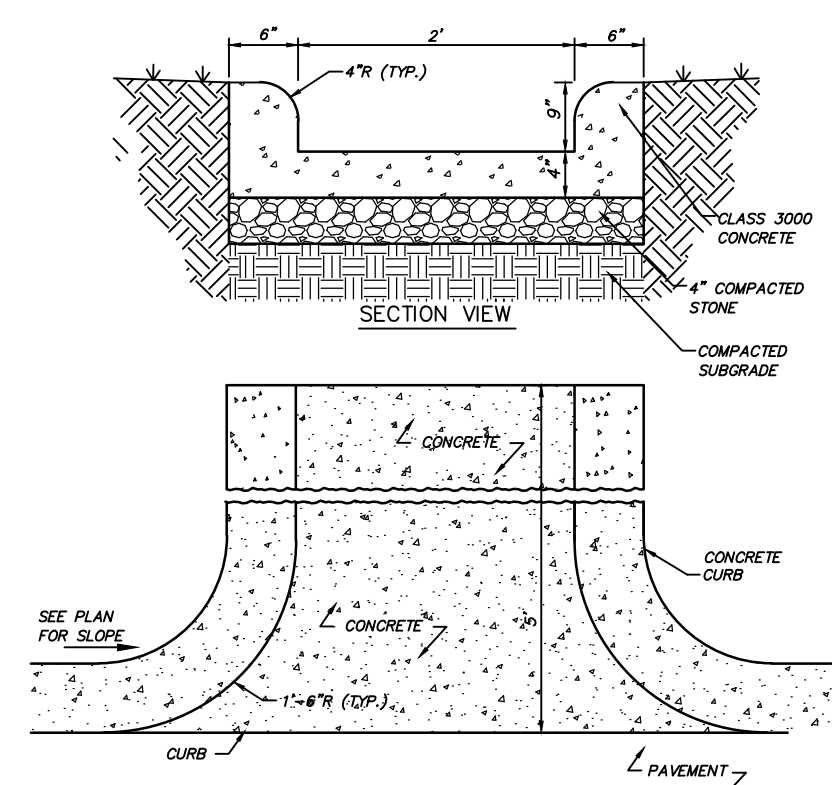
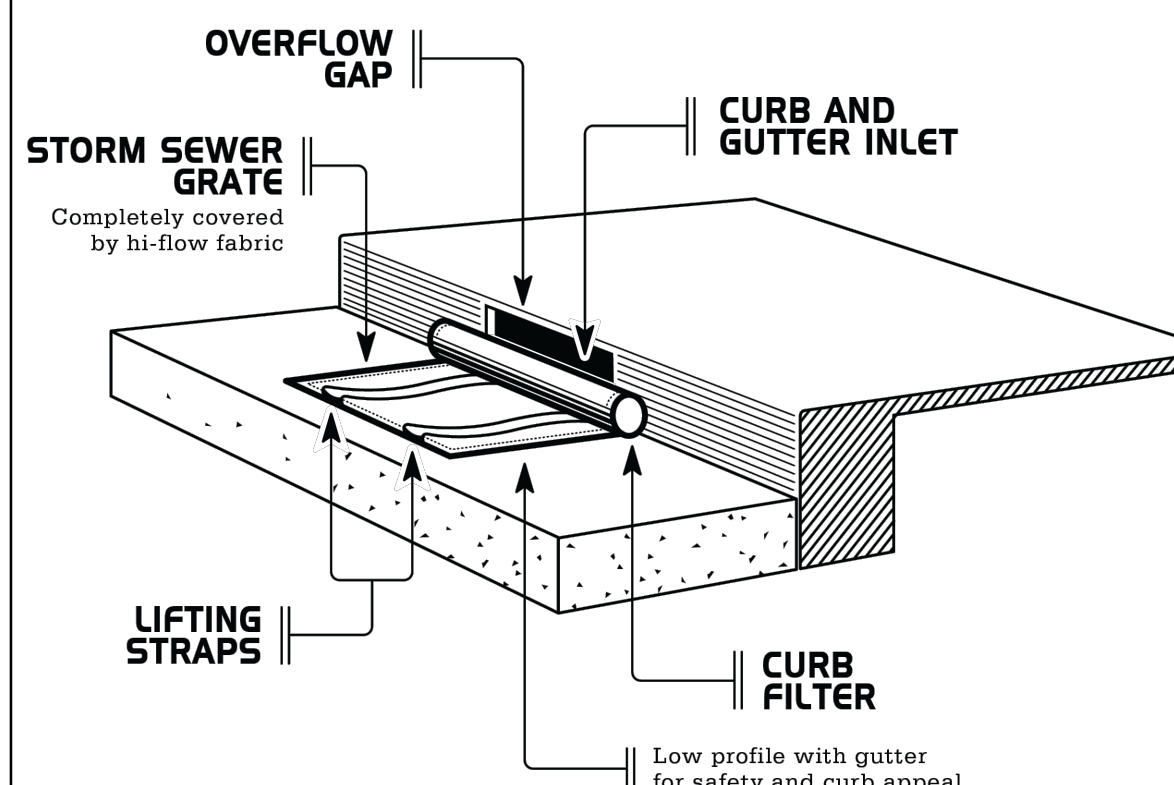


8

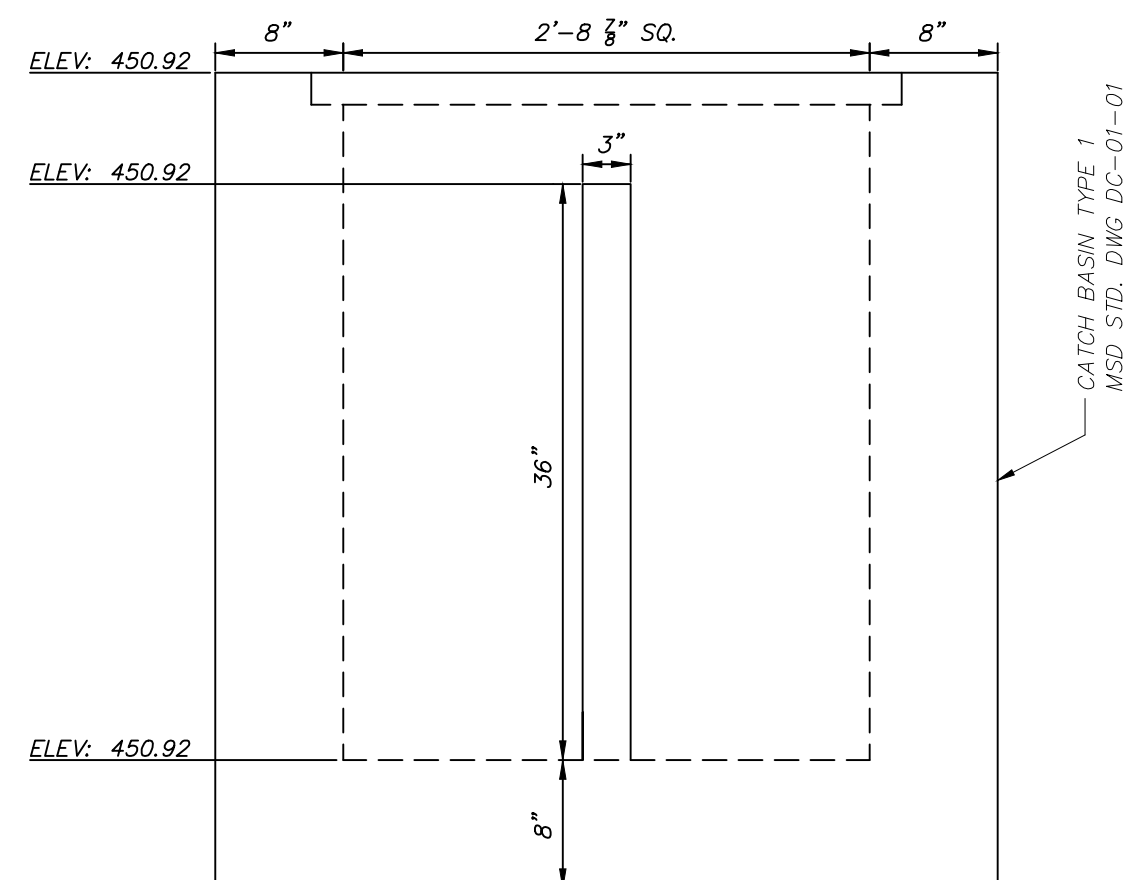


- NOTES:
1. ON GRADE WASHOUT AREA SHOWN, A BELOW GRADE PIT OF EQUIVALENT SIZE MAY BE USED IN LIEU OF THE ON GRADE OPTION.
 2. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER CATCHMENT AREAS. WASHOUT PITS SHALL BE SIZED TO MINIMUM PITTED 150 FEET FROM ANY CATCHMENT AREAS.
 3. SURFACE RUNOFF GENERATED FROM UPOUSL AREAS SHALL BE DIVERTED AWAY FROM BELOW-GRADE WASHOUT PITS SO AS NOT TO FLOW INTO THEM.
 4. THE WASHOUT PIT SHALL BE INSPECTED FREQUENTLY TO INSURE THE LINER IS INTACT.
 5. ONCE 75% OF ORIGINAL VOLUME OF THE WASHOUT PIT IS FILLED OR IF THE LINER IS TORN, THE MATERIAL MUST BE REMOVED AND PROPERLY DISPOSSED OF ONCE IT IS COMPLETELY HARDENED.
 6. ONCE THE WASHOUT PIT IS NO LONGER NEEDED, ENSURE ALL WASHOUT MATERIAL HAS COMPLETELY HARDENED, THEN REMOVE THE PIT.

9



10



CATCH BASIN TYPE 1
MSD STD. DWG DC-01-01

11

12

13



x

X

X

23-CAT2-0047

LANDSCAPING NOTES

- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- TOPSOIL MUST BE BACKFILLED TO PROVIDE POSITIVE DRAINAGE OF THE LANDSCAPE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN LAWN AREAS. CONTRACTOR IS RESPONSIBLE FOR PLANT'S LIVABILITY WITH A (1) YEAR MATERIAL AND LABOR WARRANTY FOR ALL.
- GRASS OR GROUNDCOVER SHALL BE PLANTED ON ALL PORTIONS OF THE LANDSCAPE BUFFER AREA (LBA) NOT OCCUPIED BY OTHER LANDSCAPE MATERIAL.
- THE GROUND PLANE OF ALL INTERIOR LANDSCAPE AREAS (ILA) SHALL BE PLANTED USING EITHER SHRUBS, GROUNDCOVER, OR TURF.
- EXISTING TREES AND PLANT MATERIAL ARE BEING USED TO MEET LANDSCAPE CODE REQUIREMENTS. IF ANY TREES OR SCREENING VEGETATION DIE OR ARE REMOVED THEY WILL BE REPLACED AS PER THE LANDSCAPE CODE REQUIREMENTS.
- AN AUTHORIZED INSPECTOR SHALL HAVE THE RIGHT TO ENTER ONTO ANY PROPERTY TO INSPECT THE HEALTH AND GENERAL CONDITION OF PLANT MATERIAL THAT IS: LOCATED IN THE RIGHT OF WAY; PART OF AN APPROVED DEVELOPMENT/LANDSCAPE PLAN; OR REPORTED AS A PUBLIC HAZARD.
- ALL DISTURBED AREAS SHALL BE RESTORED AS INDICATED ON PLAN.
- ALL PLANTS MUST BE HEALTHY, FREE OF PEST AND DISEASES. PLANT SIZES INDICATED IN PLANT LIST ARE INSTALLED SIZES AFTER PRUNING.
- ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD,WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
- PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND SHALL HAVE PASSED INSPECTION REQUIRED UNDER STATE REGULATIONS.
- IF PROPOSED PLANT LOCATIONS CONFLICT WITH UTILITIES, LIGHTS, OR CROWD EXISTING PLANT MATERIAL, NOTIFY THE OWNER TO CONSULT ON THE ADJUSTMENTS OF ANY PLANT LOCATIONS.
- LANDSCAPE PLANTINGS MUST BE INSTALLED PRIOR TO OCCUPANCY OF THE SITE OR AT THE NEXT AVAILABLE PLANTING SEASON. THESE PLANTINGS ARE TO BE MAINTAINED THEREAFTER.
- PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY, ALL LANDSCAPING SHALL BE INSPECTED AND CERTIFY THAT ALL REQUIRED LANDSCAPING, INCLUDING SCREEN FENCING, HAS BEEN INSTALLED OR PLANTED AS SHOWN ON THE APPROVED LANDSCAPE PLAN.
- SOD SHALL NOT BE INSTALLED IN AREAS OF WATER, GAS, TELEPHONE AND ELECTRIC INSTALLATION UNTIL AFTER THESE UNDERGROUND UTILITIES ARE INSTALLED, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- A MINIMUM OF 2" OF SHREDDED BARK MULCH SHALL BE USED IN ALL PLANTING AREAS.
- ALL PLANTING AREAS SHALL HAVE A 3-OUNCE POLYPROPYLENE WEED BARRIER FABRIC INSTALLED.
- A TREE REMOVAL PERMIT IS REQUIRED FOR THE REMOVAL OF EXISTING TREES ON NON-RESIDENTIAL AND MULTI-FAMILY DEVELOPMENT SITES WHERE LANDSCAPING AND TREE CANOPY WERE/ARE REQUIRED.
- THERE SHALL BE NO LANDSCAPING IN THE RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. AN ENCROACHMENT PERMIT AND BOND WILL BE REQUIRED FOR ALL WORK DONE IN THE RIGHT OF WAY.

GENERAL TREE PRESERVATION/PROTECTION NOTES

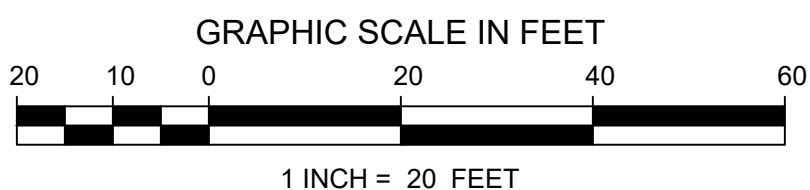
- CONSTRUCTION FENCING SHALL BE ERECTED WHEN OFF-SITE TREES OR TREE CANOPY EXISTS WITHIN 3' OF A COMMON PROPERTY LINE. FENCING SHALL BE IN PLACE PRIOR TO ANY GRADING OR CONSTRUCTION TO PROTECT THE EXISTING ROOT SYSTEMS FROM COMPACTION. THE FENCING SHALL ENCLOSE THE ENTIRE AREA BENEATH THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES ARE PERMITTED WITHIN THE PROTECTED AREA.
- THE CONTRACTOR SHALL POST SIGNAGE ON THE TREE PRESERVATION/PROTECTION FENCING AND CONSTRUCTION FENCING IDENTIFYING THE ENCLOSED AREA AS TREE PRESERVATION/PROTECTION AREA. THE SIGNS SHALL INCLUDE THE FOLLOWING TEXT: STAY OUT TREE PRESERVATION/PROTECTION AREA "NO EQUIPMENT, MATERIALS, OR VEHICLES SHALL BE STORED OR PLACED WITHIN THE AREA ENCLOSED BY THIS 'TREE PRESERVATION/PROTECTION' FENCE.
- THE TREE PRESERVATION/PROTECTION AREA SIGNAGE SHALL BE POSTED EVERY 50 FEET ALONG THE TREE PRESERVATION FENCE. THE SIGNS SHALL BE A MINIMUM SIZE OF 8" X 10" AND WEATHER RESISTANT. IF THE SIGNS ARE DAMAGED OR FADE THEY SHALL BE REPLACED WITHIN 10 WORKING DAYS OR 2 WEEKS.
- DURING ALL CONSTRUCTION ACTIVITY (INCLUDES CLEARING, GRADING, BUILDING CONSTRUCTION, AND VUA CONSTRUCTION) A COPY OF THE APPROVED TREE PRESERVATION PLAN SHALL BE ON-SITE.

PLANTING SCHEDULE

| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | NOTES |
|-----------------------|------|--------------------------|---------------------------|------------------|------------------------|
| MEDIUM TREES (TYPE B) | | | | | |
| PP | 4 | Parrotia persica | Persian Parrotia | 1 3/4" cal. min. | Space as shown on Plan |
| AB | 4 | Acer buergerianum | Trident Maple | 1 3/4" cal. min. | Space as shown on Plan |
| AG | 4 | Alnus glutinosa | European Alder | 1 3/4" cal. min. | Space as shown on Plan |
| SMALL TREES (TYPE C) | | | | | |
| AX | 3 | Amelanchier xgrandiflora | Apple Serviceberry | 1 3/4" cal. min. | Space as shown on Plan |
| CC | 7 | Cercis canadensis | Eastern Redbud | 1 3/4" cal. min. | Space as shown on Plan |
| SR | 3 | Syringa reticulata | Japanese Tree Lilac | 1 3/4" cal. min. | Space as shown on Plan |
| PS | 3 | Prunus serrulata | Japanese Flowering Cherry | 1 3/4" cal. min. | Space as shown on Plan |

NOTE: CAL. = CALIPER HT = HEIGHT O.C. = ON CENTER

LANDSCAPE PLAN



LANDSCAPE SUMMARY

IN ACCORDANCE WITH CHAPTER 10, OF THE LAND DEVELOPMENT CODE.
VEHICULAR USE AREA (VUA) = 19,658 S.F.
INTERIOR LANDSCAPE AREA (ILA) = 19,658 X 0.05 (5%)
ILA REQUIRED = 982 S.F.
ILA PROVIDED = 1,807 S.F.
ILA TREES REQUIRED = 19,658/4,000 = 5
ILA TREES PROVIDED = 5

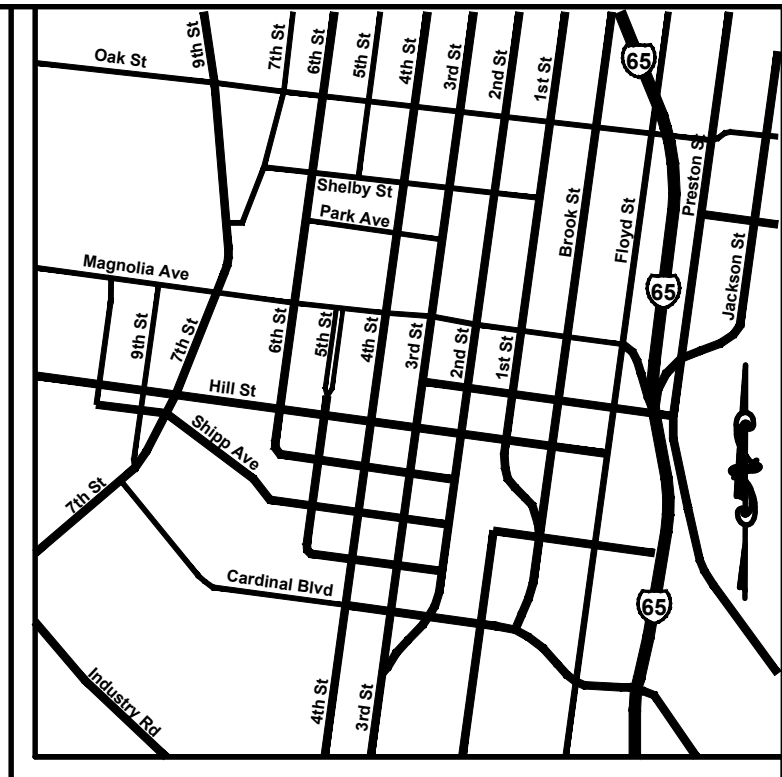
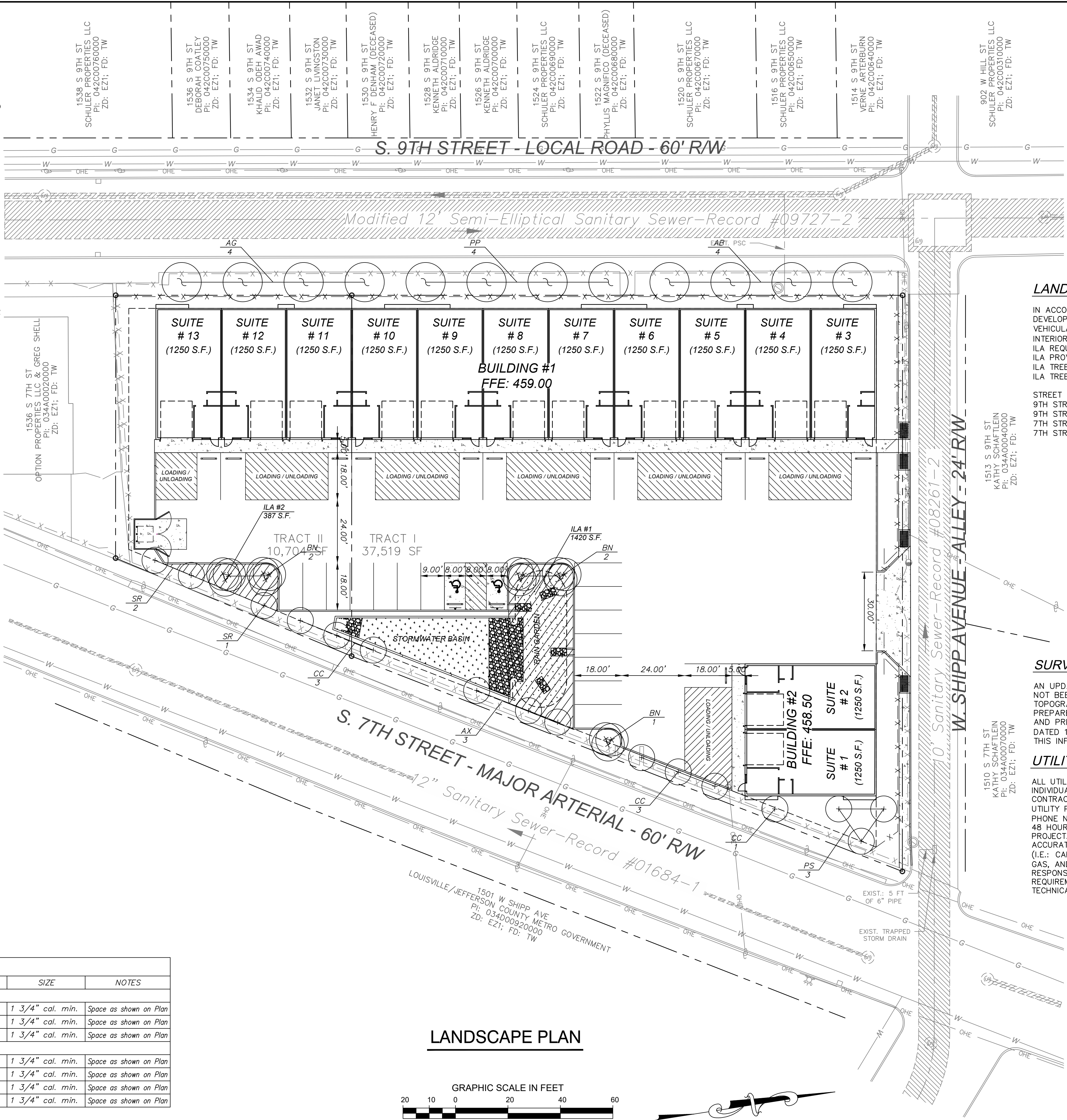
STREET TREES
9TH STREET REQ'D = 300 FT / 1-TYPE B PER 25 FT = 12
9TH STREET PROVIDED = 12 TYPE B
7TH STREET REQ'D = 323 FT / 1-TYPE C PER 20 FT = 16
7TH STREET PROVIDED = 16 TYPE C

SURVEY NOTE

AN UPDATED BOUNDARY AND TOPOGRAPHIC SURVEY, HAS NOT BEEN PERFORMED AT THIS TIME. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS PREPARED USING AN ALTA SURVEY PROVIDED BY OWNER AND PREPARED BY LAND DESIGN & DEVELOPMENT, INC. DATED 1/7/20. PRISM ENGINEERING HAS NOT VERIFIED THIS INFORMATION.

UTILITY PROTECTION NOTE

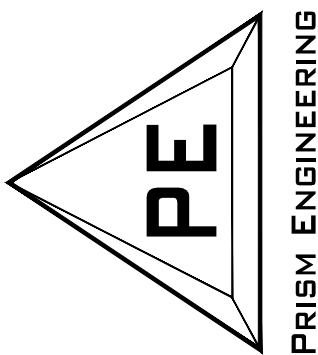
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-6007 OR LOCAL 502-266-5123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRE FENCES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



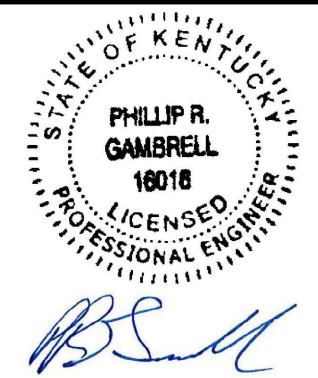
Vicinity Map
Not To Scale

PE PROJ. # 223032-E2

PRISM
ENGINEERING
2309 WATTERSON TRAIL, SUITE 200
LOUISVILLE, KENTUCKY 40299
OFFICE: (502) 491-8891
FAX: (502) 491-8898
WWW.PRISM-ENGINEERING.COM



© COPYRIGHT 2024



1512 S. 7th Street
WAREHOUSE SUITES
1512 S. 7th Street
Louisville, KY 40202

| NO. | REVISIONS | DATE |
|-----|-------------|------|
| | DESCRIPTION | |
| | | |
| | | |
| | | |

| | |
|--|---|
| OWNER/DEVELOPER: FADEL PROPERTIES, LLC 2309 Watterson Trail, Suite 200 Louisville, KY 40223 | CHECKED BY: J.H. DATE: J.H. APPROVED BY: J.H. DATE: J.H. |
|--|---|

FEBRUARY 26, 2024

LANDSCAPE PLAN

L1.0

SPD-24-1096 WM # 12674 23-CAT2-0047

