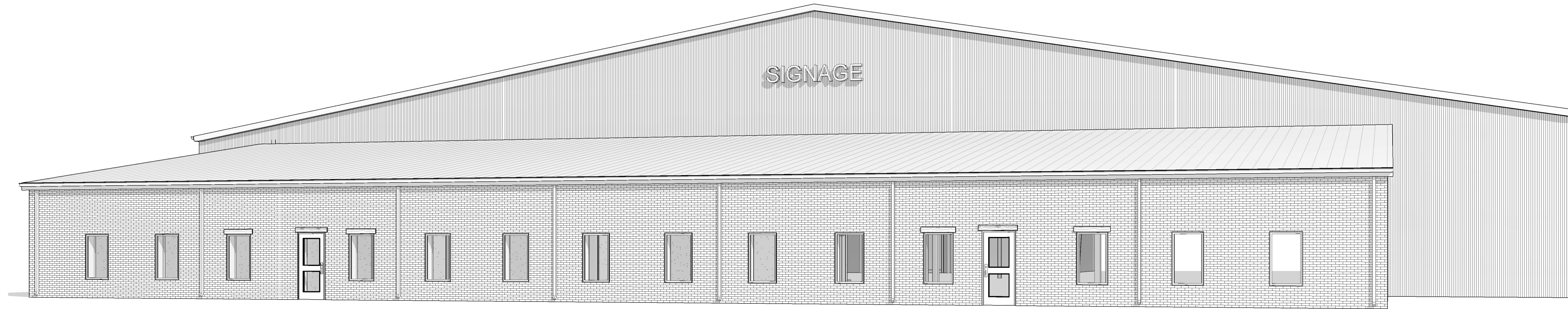


WOLFFORTH OFFICE - WAREHOUSE

WOLFFORTH, TX 79382



SHEET INDEX		ISSUED FOR	
NO.	SHEET NAME	DATE	BY
00 GENERAL			
G0.0	COVER SHEET		
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G0.2	TEXAS ACCESSIBILITY STANDARDS		
G1.0	LIFE SAFETY PLAN		
01 CIVIL			
C100	COVER SHEET		
C102	EXISTING TOPO		
C200	SITE PLAN		
C201	GRADING PLAN		
C202	RETENTION POND		
C300	UTILITY PLAN		
C300	STANDARD CONSTRUCTION DETAILS - 1		
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03 ARCHITECTURAL			
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04 MECHANICAL			
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05 PLUMBING			
P1.0	FLOOR PLAN - PLUMBING		
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06 FIRE PROTECTION			
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07 ELECTRICAL			
E1.0	SITE PLAN - ELECTRICAL		
E1.0	FLOOR PLAN - LIGHTING		
E2.0	FLOOR PLAN - POWER & COMMUNICATION		
E3.0	FLOOR PLAN - ELECTRICAL		
E4.0	ELECTRICAL DETAILS		
E5.0	ELECTRICAL RISER DIAGRAM		
E6.0	ELECTRICAL SPECIFICATIONS		
08 PEMB			
S-PEMB	PEMB DRAWINGS 1 - 15		

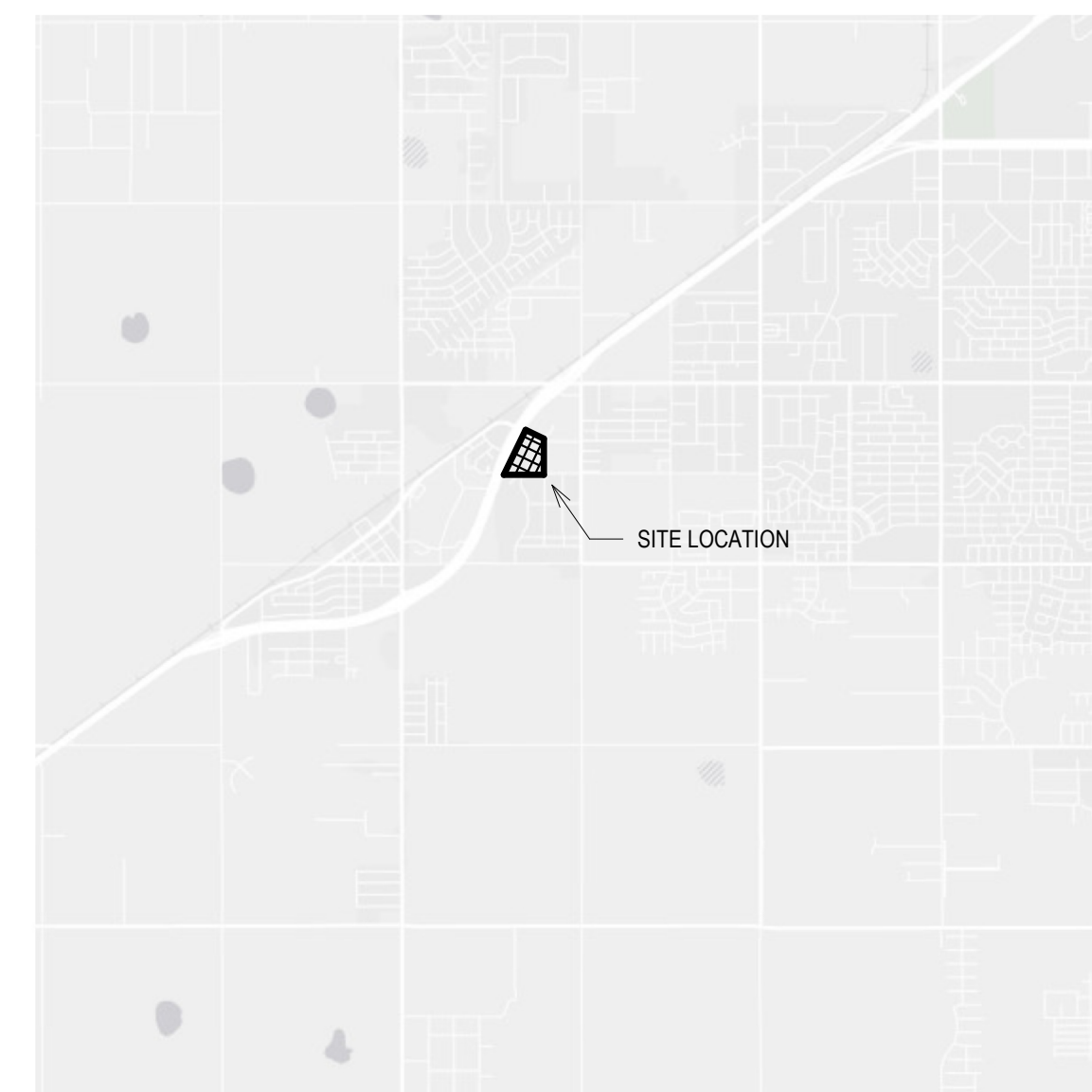
REVISIONS:	
DATE	DESCRIPTION

WOLFFORTH INDUSTRIAL PARK - WAREHOUSE
 8111 PATEL DRIVE
 WOLFFORTH, TX 79382

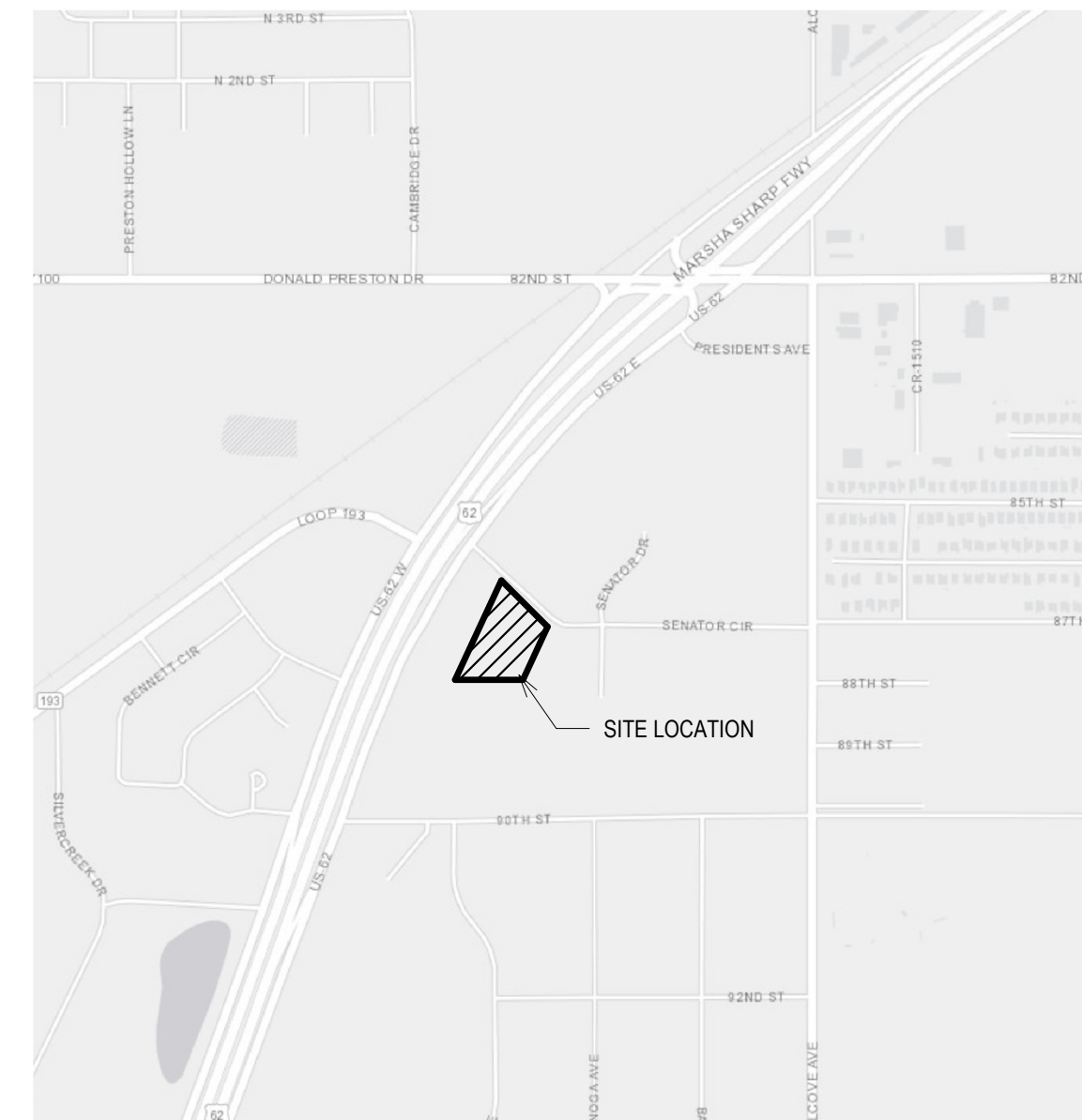
PROJECT GENERAL

- THE GENERAL CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SEQUENCE.
- EACH CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH ALL CONDITIONS AND REVIEW THE DRAWINGS PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL LAWS, CODES, AND ORDINANCES.
- ALL CONTRACTORS SHALL VERIFY THE LOCATION OF UTILITIES PRIOR TO COMMENCEMENT OF WORK. GC AND ELECTRICAL CONTRACTOR SHALL COORDINATE MAKING ELECTRICAL SAFE PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, SHOULD THERE BE ANY DISCREPANCIES NOTIFY THE DESIGN TEAM PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL CONSULT WITH DESIGN TEAM TO RESOLVE ANY OMISSIONS, CHANGES, OR DISCREPANCIES IN PLANS PRIOR TO BIDDING OR CONSTRUCTION.
- THE GENERAL CONTRACTOR IS TO OBTAIN AND PAY FOR ALL PERMITS AS REQUIRED FOR A COMPLETE JOB.
- ALL MATERIALS, SUBMITTALS AND ITEM SUBSTITUTIONS MUST BE APPROVED BY THE OWNER.
- SHOULD THIS PLAN SET BE USED AS A BID DOCUMENT, PROVIDE DESCRIPTION OR ALLOWANCES FOR ANY UNSPECIFIED MATERIALS OR ALTERNATES AS PART OF BID TO OWNER.
- ALL MATERIALS PROVIDED AND INSTALLED SHALL BE WARRANTED FOR NOT LESS THAN ONE YEAR UNLESS OTHERWISE SPECIFIED. ALL ROOFING MATERIAL WARRANTIES SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF ANY WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE ANY REQUIRED ASBESTOS, MOLD OR HAZMAT TESTING AS NECESSARY FOR THE PROJECT PER LOCAL, COUNTY, STATE AND FEDERAL LAWS.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE ANY REQUIRED ADA / TAS REGISTRATIONS, PLAN REVIEWS, OR INSPECTIONS AS REQUIRED BY LOCAL, COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS. SHOULD THERE BE ANY ERRORS OR DISCREPANCIES NOTIFY DESIGN TEAM PRIOR TO COMMENCING WORK.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, BUILDING DIMENSIONS, AND OUTLINE OF MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR THE PROJECTS FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR, SUB-CONTRACTORS, AND SUPPLIERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING AS INDICATED, IMPLIED, OR AS REQUIRED BY ALL LOCAL, STATE, AND FEDERAL ORDINANCES, CODES, LAWS, AND REGULATIONS, WITHOUT ADJUSTMENT TO CONTRACT PRICE.
- CONTRACTOR TO ENSURE ALL COMPLETED WORK, CONSTRUCTION METHODS, AND TOLERANCES MEET OR EXCEED THE REQUIREMENTS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AS ADOPTED AND AMENDED BY THE CITY OF LUBBOCK, INCLUDING ALL LOCAL, STATE, AND FEDERAL ORDINANCES, CODES, LAWS, AND REGULATIONS.
- THE RESPONSIBILITY FOR FINAL PERFORMANCE, CODE COMPLIANCE, INTERFACE, AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE GENERAL CONTRACTORS.
- EACH CONTRACTOR SHALL EXAMINE, READ, AND BE THOROUGHLY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS AND THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE DESIGN TEAM IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- ALL 3D VIEWS ARE PROVIDED FOR REFERENCE ONLY, REFER TO ALL PROJECT SECTIONS, DETAILS AND SPECIFICATIONS.
- PRIOR TO USE OF THE PLAN SET, OWNER SHALL CONFIRM COMPLIANCE WITH ANY DEVELOPER REVIEW AND APPROVAL REQUIREMENTS, APPLICABLE DEED RESTRICTIONS OR COVENANTS.

AREA MAP



VICINITY



ABBREVIATIONS

A/C	AIR CONDITIONING	ID	INSIDE DIAMETER
AFF	ABOVE FINISH FLOOR	INFO	INFORMATION
ACT	ACOUSTIC CEILING TILE	JST	JOIST
ADA	AMERICANS WITH DISABILITIES ACT	KS	KNEE SPACE
ADJ	ADJACENT	LF	LINEAR FEET
ALUM	ALUMINUM	LL	LANDLORD
ARCH	ARCHITECT	MAX	MAXIMUM
BLKG	BLOCKING	MECH	MECHANICAL
BO	BOTTOM OF	MEP	MECHANICAL, ELECTRICAL, PLUMBING
BOH	BACK OF HOUSE	MPE	MECHANICAL, PLUMBING, ELECTRICAL
CF	CUBIC FEET	MFR	MANUFACTURER
CL	CENTER LINE	MIN	MINIMUM
CLG	CEILING	MTL	METAL
CMU	CONCRETE MASONRY UNIT	NC	NOT IN CONTRACT
CO	CLEAN OUT	NL	NIGHT LIGHT
COL	COLUMN	NTS	NOT TO SCALE
CW	COLD WATER	OC	ON CENTER
DEG	DEGREE	OCEW	ON CENTER EACH WAY
DIA	DIAMETER	OD	OUTSIDE DIAMETER
DIM	DIMENSION	PEMB	PRE-ENGINEERED METAL BUILDING
DN	DOWN	PERP	PERPENDICULAR
DS	DOWNSPOUT	PLYWD	PLYWOOD
DWG	DRAWING	PM	PROJECT MANAGER
EA	EACH	POS	POINT OF SALE
ELV	ELEVATION	R	RADIUS
ELEC	ELECTRICAL	REF	REFERENCE
EXIST	EXISTING	REQ	REQUIRE
EXP	EXPOSED	RECD	REWIRE
EXT	EXTERIOR	REV	REVISION
FIN	FINISHED	RND	ROUND
FIXT	FIXTURE	SC	SOLID CORE
FLR	FLOOR	SF	SQUARE FEET
FO	FACE OF	SHT	SHEET
FQH	FRONT OF HOUSE	SM	SHEET METAL
FRR	FIBERGLASS REINFORCED PANEL	SPEC	SPECIFICATION
FT	FEET / FOOT	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GALV	GALVANIZED	SUB	SUBCONTRACTOR
GC	GENERAL CONTRACTOR	SUSP	SUSPENDED
GND	GROUND	TAS	TEXAS ACCESSIBILITY STANDARDS
GWB	GYP/SUN WALL BOARD	TEL	TELEPHONE
HC	HOLLOW CORE	TEMP	TEMPORARY
HDR	HEADER	TYP	TYPICAL
HM	HOLLOW METAL	UNLESS OTHERWISE NOTED	
HR	HOUR	VCT	VINYL COMPOSITE TILE
HT	HEIGHT	VERT	VERTICAL
HW	HOT WATER	W/D	WOOD
HVAC	HEATING, VENTING, & AIR CONDITIONING	WH	WATER HEATER

PROJECT DATA

PROJECT DESCRIPTION

NEW CONSTRUCTION WAREHOUSE AND OFFICE SPACE WITH FOUR DOCK HIGH LOADING ZONES

PROPERTY LEGAL DESCRIPTION

INSERT LEGAL DESCRIPTION OBTAINED FROM SURVEY.

APPLICABLE CODES

- 2012 - INTERNATIONAL BUILDING CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2009 - INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2012 - INTERNATIONAL EXISTING BUILDING CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2012 - INTERNATIONAL FIRE CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2012 - INTERNATIONAL FUEL GAS CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2012 - INTERNATIONAL MECHANICAL CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2012 - INTERNATIONAL PLUMBING CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2012 - INTERNATIONAL RESIDENTIAL CODE WITH CITY OF WOLFFORTH AMENDMENTS
- 2011 - NATIONAL ELECTRIC CODE
- 2012 - TEXAS ACCESSIBILITY STANDARDS

DATA

ZONING: M-1 LIGHT INDUSTRIAL AND MANUFACTURING (PENDING PZC REZONING)
 USE: OFFICE, WAREHOUSE
 OCCUPANCY TYPE: GROUP B - BUSINESS & GROUP S-2 - STORAGE
 TYPE OF CONSTRUCTION: IIB
 REQUIRE
 REWIRE
 REVISION
 ROUND
 40,714 SF
 FIRE SPRINKLER: YES
 FIRE SUPPRESSION SYSTEM PER 2012 IBC 907.2

FIRE EXTINGUISHER REQUIREMENTS (LIGHT LOW HAZARD OCCUPANCY)

PER 2012 IBC TABLE 906.3(1)
 MIN. RATED SINGLE EXTINGUISHER 2-A
 MAX FLOOR AREA PER UNIT OF A 3,000 SQUARE FEET
 MAX FLOOR AREA FOR EXTINGUISHER 11,250 SQUARE FEET
 MAX TRAVEL DISTANCE TO EXTINGUISHER 75 FEET

LIFE SAFETY ELEMENTS

PER 2012 IBC TABLE 906.3(1)
 CORRIDOR FIRE RESISTANCE RATING 0-HR WITH SPRINKLER SYSTEM IF OCCUPANT LOAD SERVED BY CORRIDOR IS GREATER THAN 30 PER 2012 IBC TABLE 1018.1.
 FOR B & S OCCUPANCY 1018.1.
 44 INCHES PER 2012 IBC TABLE 1018.2
 MIN CORRIDOR WIDTH VALUES 50 FEET PER 2012 IBC 1018.4 EXCEPTION 2
 MAX DEAD END CORRIDORS

OCCUPANCY LOAD:

BUILDING AREA: 40,714 SF
 GROUP-S-2 STORAGE AREA: 38,613 SF
 GROUP-B BUSINESS AREA: 2,101 SF
 GROUP-B BUSINESS (BUSINESS AREAS) 1/100
 GROUP-S-2 (WAREHOUSES) 1/500
 GROUP-B BUSINESS OCCUPANCY LOAD: 16
 GROUP-S-2 OCCUPANCY LOAD: 78
 TOTAL OCCUPANT LOAD: 94
 TOTAL EXIST PROVIDED: 6

PROJECT DESIGN TEAM

CIVIL ENGINEER: CENTERLINE ENGINEERING, LLC

10210 FRANKFORD AVENUE, SUITE 410
 LUBBOCK, TX 79424
 806.470.8686

STRUCTURAL ENGINEER: LAMB ENGINEERING & DESIGN

2805 BANNOCK DRIVE
 LOVINGTON, NM 88260
 575.386.533

ARCHITECT: SEVENTEEN SERVICES LLC

1500 BROADWAY STREET, SUITE 203
 LUBBOCK, TEXAS, 79401
 806.787.8533

MEP ENGINEER: FINCHER ENGINEERING LLC

5621 114TH STREET, SUITE 100
 LUBBOCK, TX 79424
 806.701.5109



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 Texas Architecture Firm BR 3014

1500 Broadway - Suite 203
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 tyler@17services.com

Project Number 2933

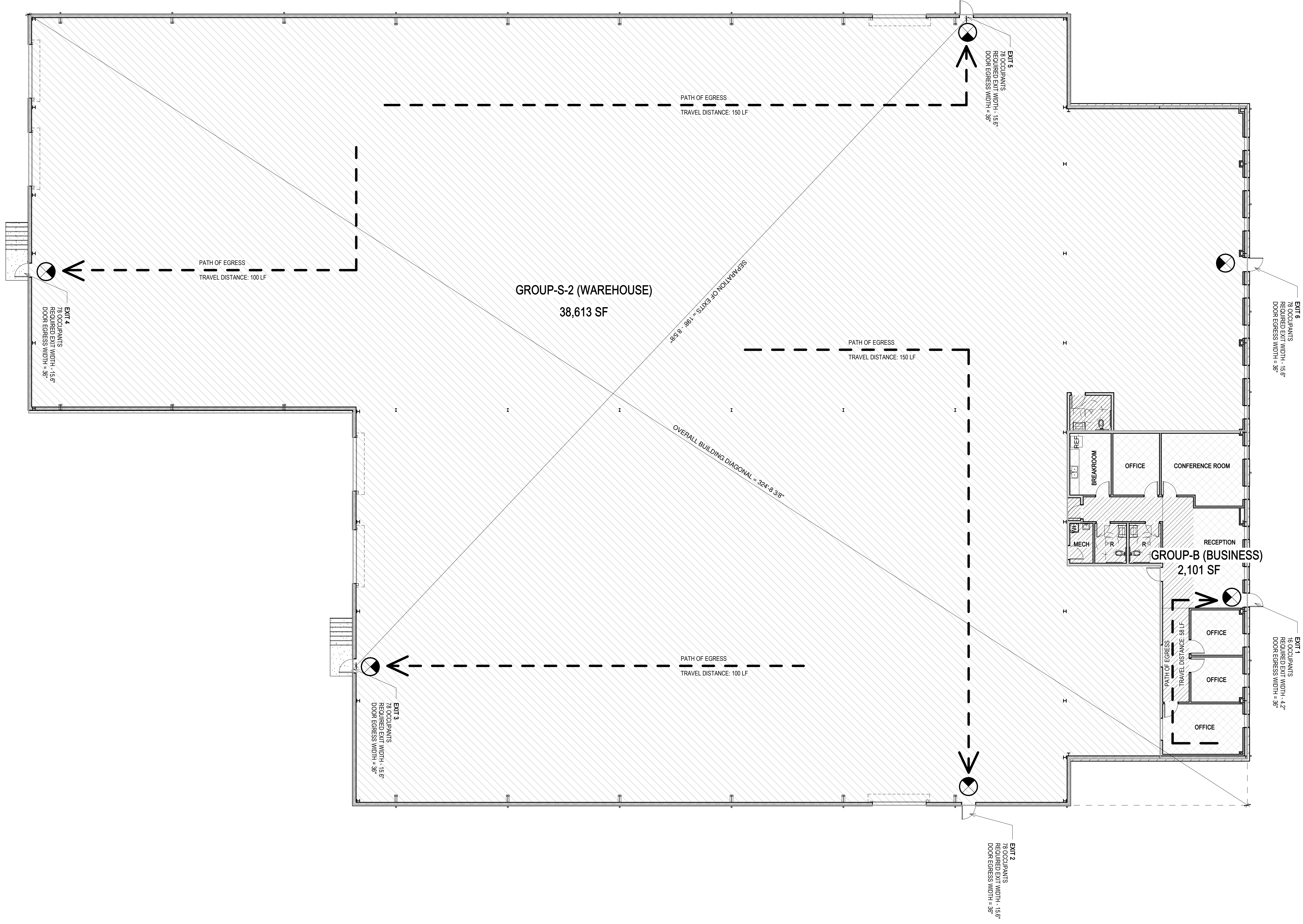
Date 2024.03.11

Drawn By JV + KH

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COVER SHEET

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GENERAL NOTES - FLOOR PLAN:

BUILDING INFORMATION:
 FOLLOW BUILDING CODES AS ADOPTED AND AMENDED BY THE CITY OF WOLFORTH, TEXAS INCLUDING ALL APPLICABLE LOCAL, STATE, AND FEDERAL ORDINANCES, CODES, LAWS, AND REGULATIONS

ZONING:
 C-3 GENERAL COMMERCIAL

BUILDING OCCUPANCY:
 BUSINESS B
 STORAGE S-2
 TOTAL BUILDING SQUARE FOOTAGE:
 BUSINESS B: 1,536 SF
 STORAGE S: 38,533 SF
 UNOCCUPYABLE: 645 SF

TOTAL: 40,714 SF

OCCUPANCY LOAD: 89

BUSINESS B - OFFICE: GROSS SF @1:100
 16 OCCUPANTS
 STORAGE S-2 - WAREHOUSE: GROSS SF @1:500
 78 OCCUPANTS

TOTAL OCCUPANT LOAD: 94 OCCUPANTS

TYPE OF CONSTRUCTION:
 TYPE IIB WITH SPRINKLERS

FIRE EXTINGUISHER REQUIREMENTS (LIGHT LOW HAZARD OCCUPANCY)
 PER 2012 IBC TABLE 906.3(1)
 MIN. RATED SINGLE EXTINGUISHER:
 2A
 MAX FLOOR AREA PER UNIT OF A:
 3,000 SF
 MAX FLOOR AREA FOR EXTINGUISHER:
 11,250 SF
 MAX TRAVEL DISTANCE TO EXTINGUISHER:
 75 FEET

LIFE SAFETY ELEMENTS
 PER 2012 IBC TABLE 906.3(1)
 FIRE ALARM AND DETECTION SYSTEM AS REQUIRED, PER 907.2
 CORRIDOR FIRE RESISTANCE RATING: 0-HR WITH SPRINKLER SYSTEM IF OCCUPANT LOAD SERVED BY CORRIDOR IS GREATER THAN 30 PER 2012 IBC TABLE 1018.1
 MIN CORRIDOR WIDTH VALUES: 44 INCHES PER 2012 IBC TABLE 1018.2
 MAX DEAD END CORRIDORS: 50 FEET PER 2012 IBC 1018.4 EXCEPTION 2
 BUSINESS - B MAX COMMON PATH OF EGRESS TRAVEL DISTANCE IS 100 LF WITH SPRINKLER SYSTEM FOR 1 EXIT AND 49 OCCUPANTS OR LESS PER 1015.1
 BUSINESS - B ALLOWABLE EXIT ACCESS TRAVEL DISTANCE: 300 LF, WITH SPRINKLER SYSTEM, PER 1016.2
 STORAGE - S MAX COMMON PATH OF EGRESS TRAVEL DISTANCE IS 100 LF WITH SPRINKLER SYSTEM FOR 1 EXIT AND 29 OCCUPANTS OR LESS PER 1015.1
 STORAGE - S ALLOWABLE EXIT ACCESS TRAVEL DISTANCE: 250 LF, WITH SPRINKLER SYSTEM, PER 1016.2

PLUMBING FIXTURES
 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES:
 PER 2902.1 WITH B CLASSIFICATION
 TOTAL: 162
 (GENDERS - MALE & FEMALE) = 8 EACH
 WATER CLOSET=1 PER 25 FOR THE FIRST 50,
 2 REQUIRED
 LAVATORY = 1 PER 40 FOR THE FIRST 80,
 2 REQUIRED
 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES:
 PER 2902.1 WITH S CLASSIFICATION
 TOTAL: 78
 WATER CLOSET=1 PER 100,
 1 REQUIRED
 LAVATORY = 1 PER 100,
 1 REQUIRED

WATER CLOSET TOTALS: 3 REQUIRED, 3 PROVIDED
LAVATORY TOTALS: 3 REQUIRED, 3 PROVIDED
SERVICE SINK TOTALS: 1 SERVICE SINK REQUIRED, 1 PROVIDED

1 Life Safety Plan
 3/32" = 1'-0"

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REVISIONS:

DATE	DESCRIPTION

WOLFORTH INDUSTRIAL PARK - WAREHOUSE
 8111 PATEL DRIVE
 WOLFORTH, TX 79382

17
 17services.com

REGISTERED ARCHITECT
 STATE OF TEXAS
 03-11-2024

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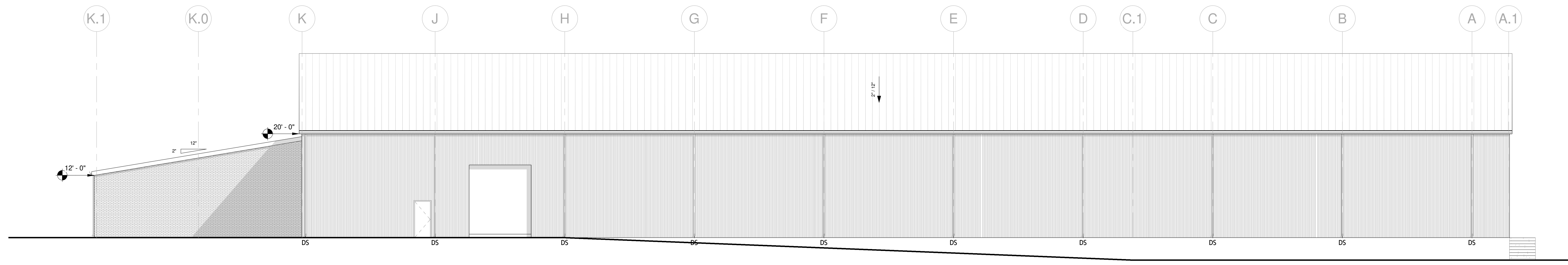
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LIFE SAFETY PLAN

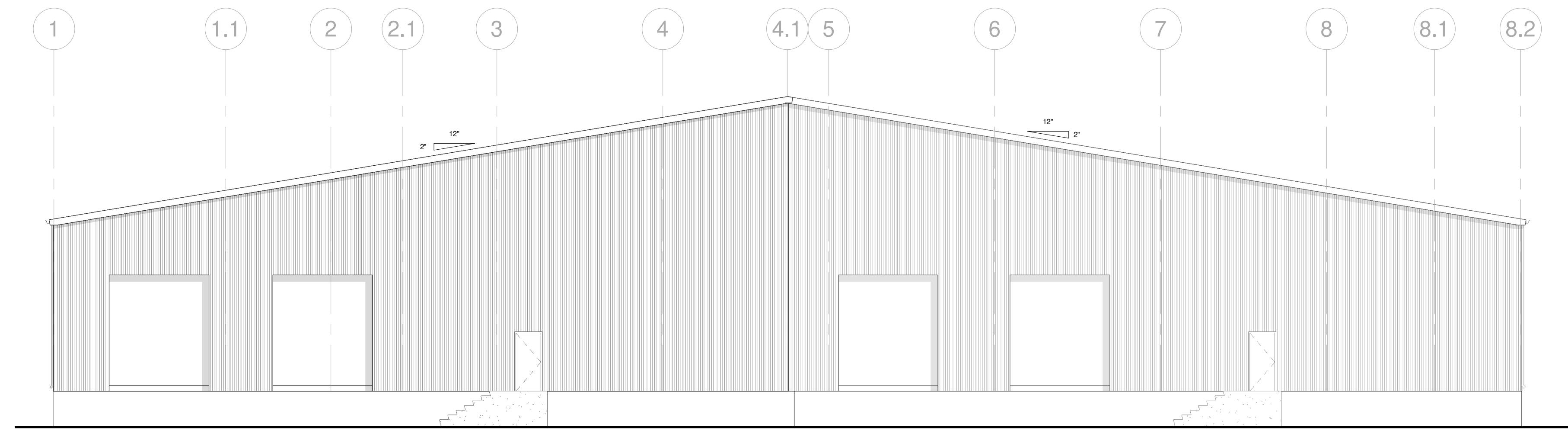
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REVISIONS:	
DATE	DESCRIPTION

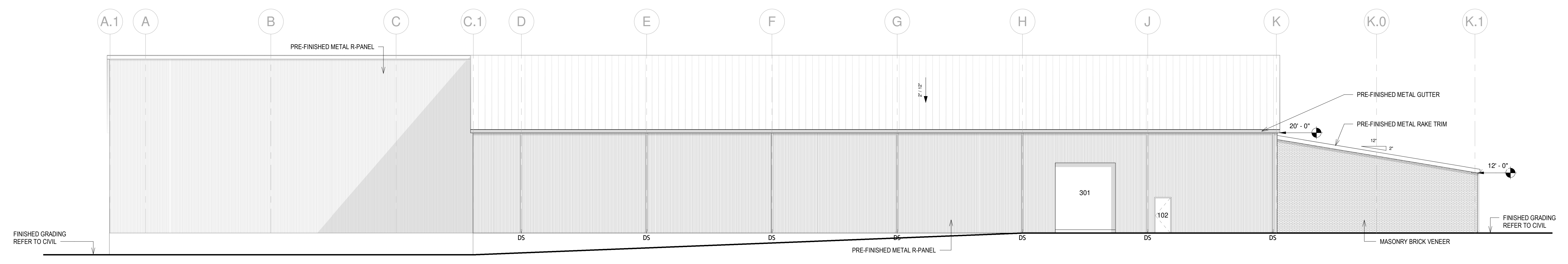
WOLFORTH INDUSTRIAL PARK - WAREHOUSE
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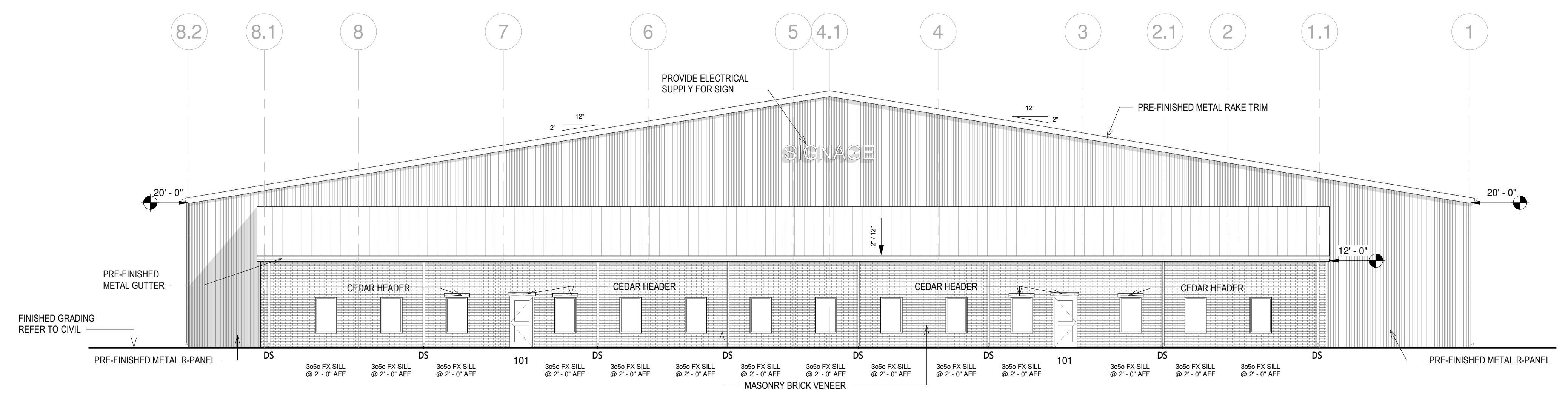
④ Warehouse Elevation 4
 1" = 10'-0"



③ Warehouse Elevation 3
 1" = 10'-0"



② Warehouse Elevation 2
 1" = 10'-0"



① Warehouse Elevation 1
 1" = 10'-0"

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EXTERIOR ELEVATIONS

A5.0