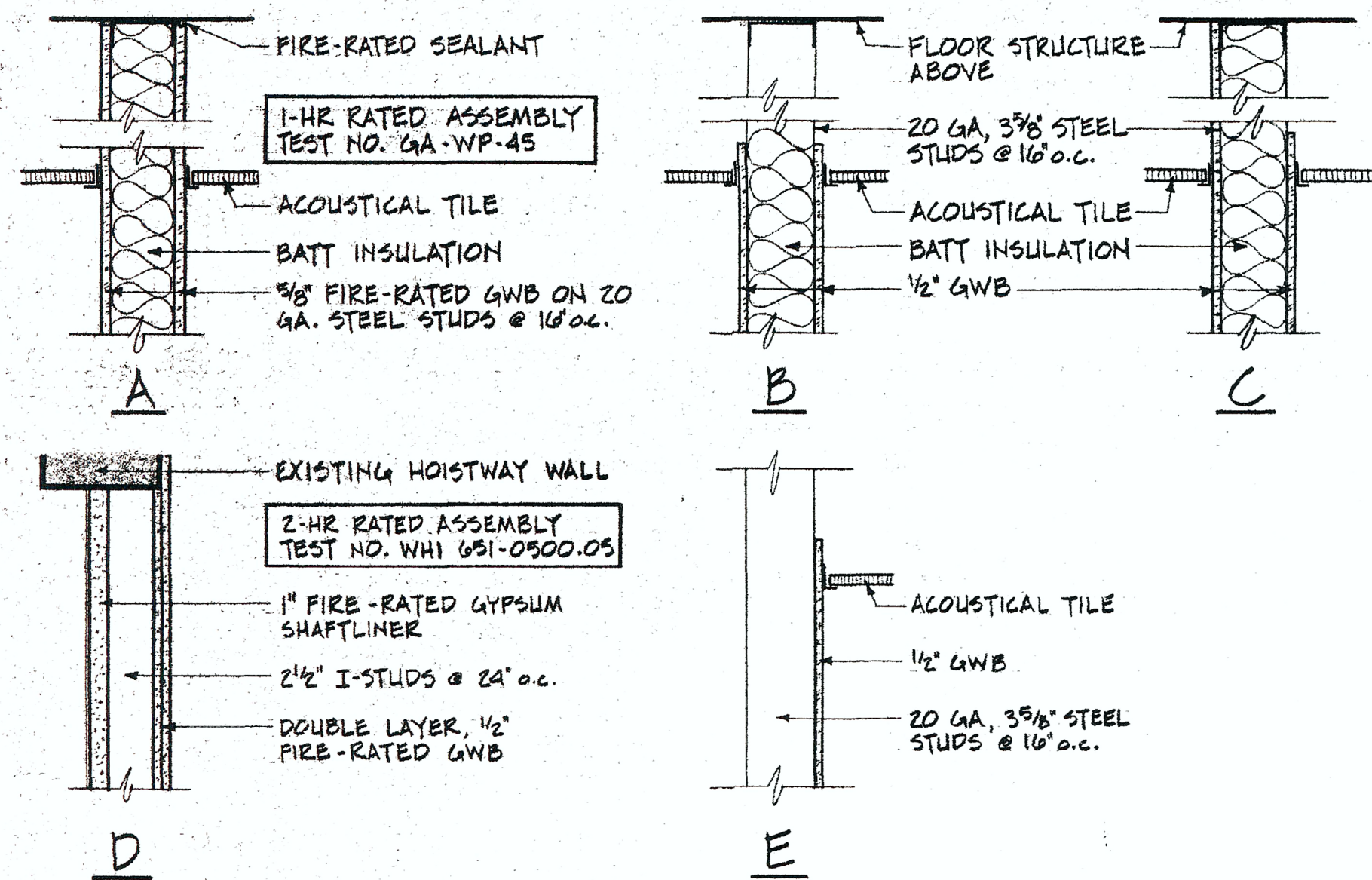
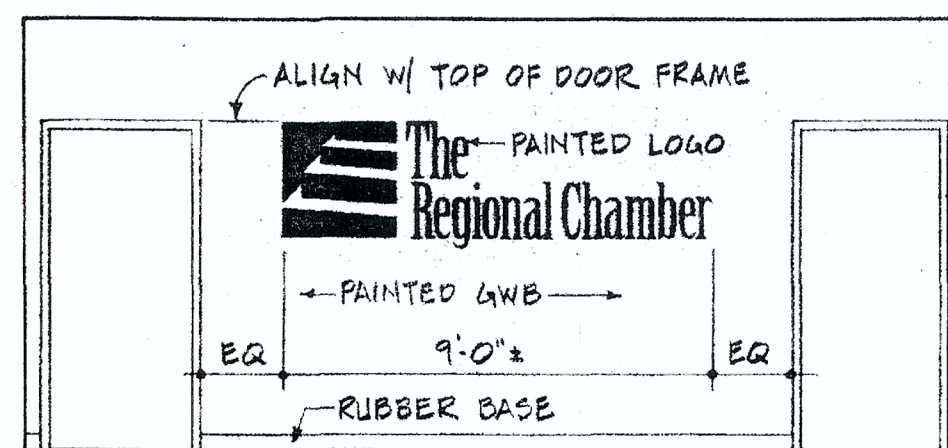
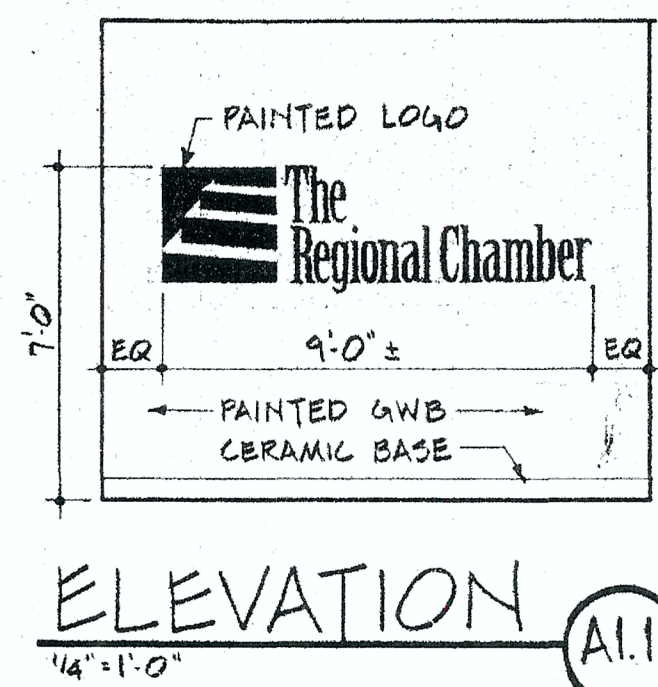




**PARTITION TYPES**  
NO SCALE



**REMODELING NOTES:**

- R1 Remove existing GWB on exit metal studs. Install new 5/8" fire rated GWB tight to floor above to create new 1-hour rated partition.
- R2 Install 5/8" fire rated GWB and sound attenuation insulation on existing steel stud wall.
- R3 Complete finishing of existing GWB.
- R4 Install salvaged base cabinet and shelving. Install blocking in wall as required. Repair cabinet, enclose ends, etc. as required.
- R5 Cut opening in masonry wall as required for installation of new window. Install salvaged coat rack.
- R6 Install salvaged unit kitchen, providing utilities as required.
- R7 Existing FHC to remain. Rework partitioning around FHC as required by new layout.
- R8 Close existing service elevator opening with new 2-hour construction.
- R9 Remove existing window and HM frame. Close opening with matching drywall construction.
- R10 Existing GWB bulkhead to remain. Extend bulkhead toward Door 17, matching existing work.
- R11 Remove portion of existing bulkhead as required for installation of new projection screen.
- R12 (Alternate No. 1) Install new stair tower.
- R13 (Alternate No. 1) Cut opening in wall and install new door. Jamb and head repair detail shall be similar to that at new windows.
- R14 (Alternate No. 1) Repair planter, sidewalk, etc. as required to accommodate new stair tower.

**CODE COMPLIANCE NOTES**

APPLICABLE CODE: 1994 BOCA with VIRGINIA SUPPLEMENT

USE GROUP: B, BUSINESS (304.1)

CONSTRUCTION TYPE: 2A (TABLE 602)

AREA LIMITATION: 7 STORIES, 85' HIGH

PROJECT AREA: 5 STORIES, INCLUDING MEZZANINE, 83' HIGH

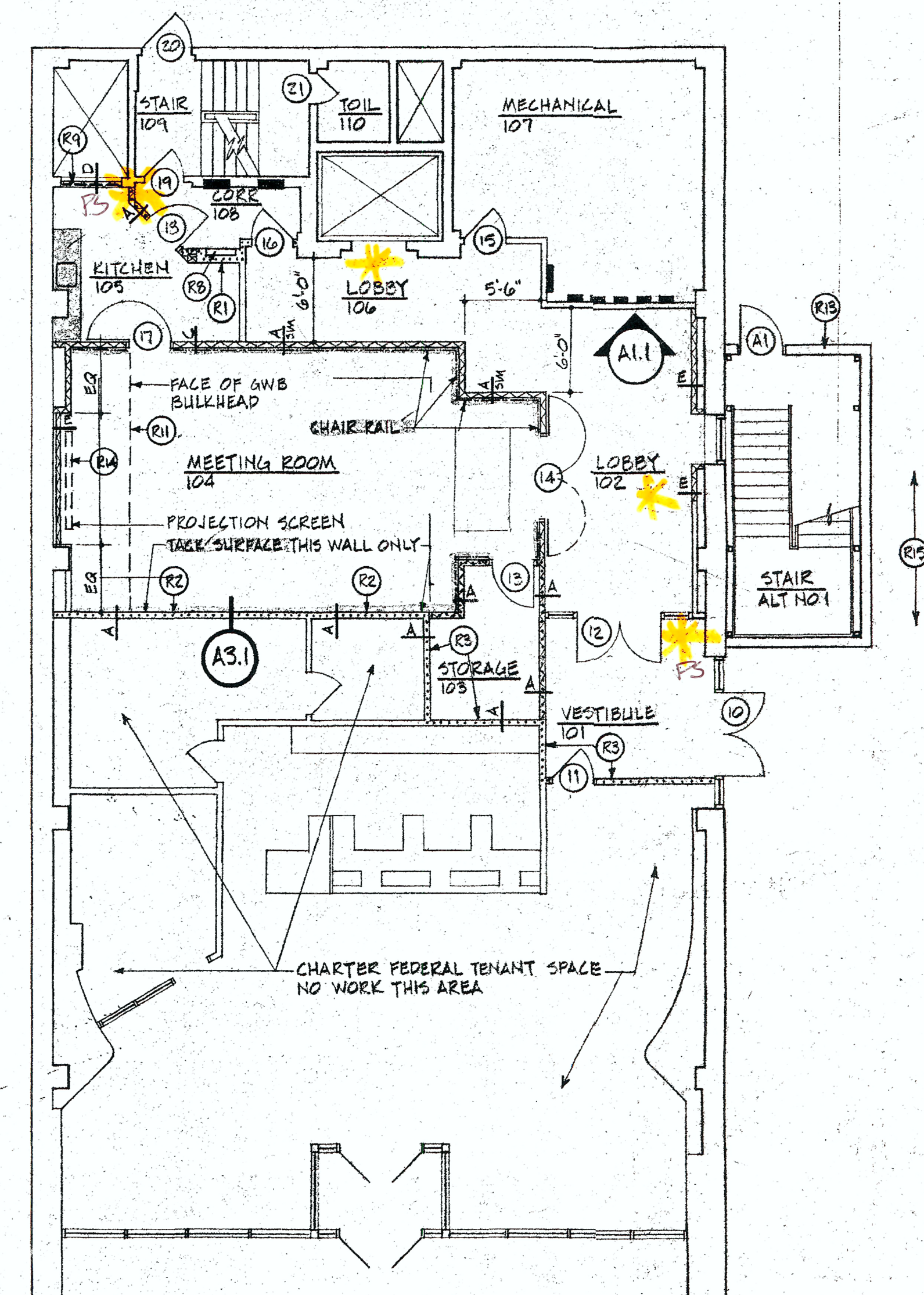
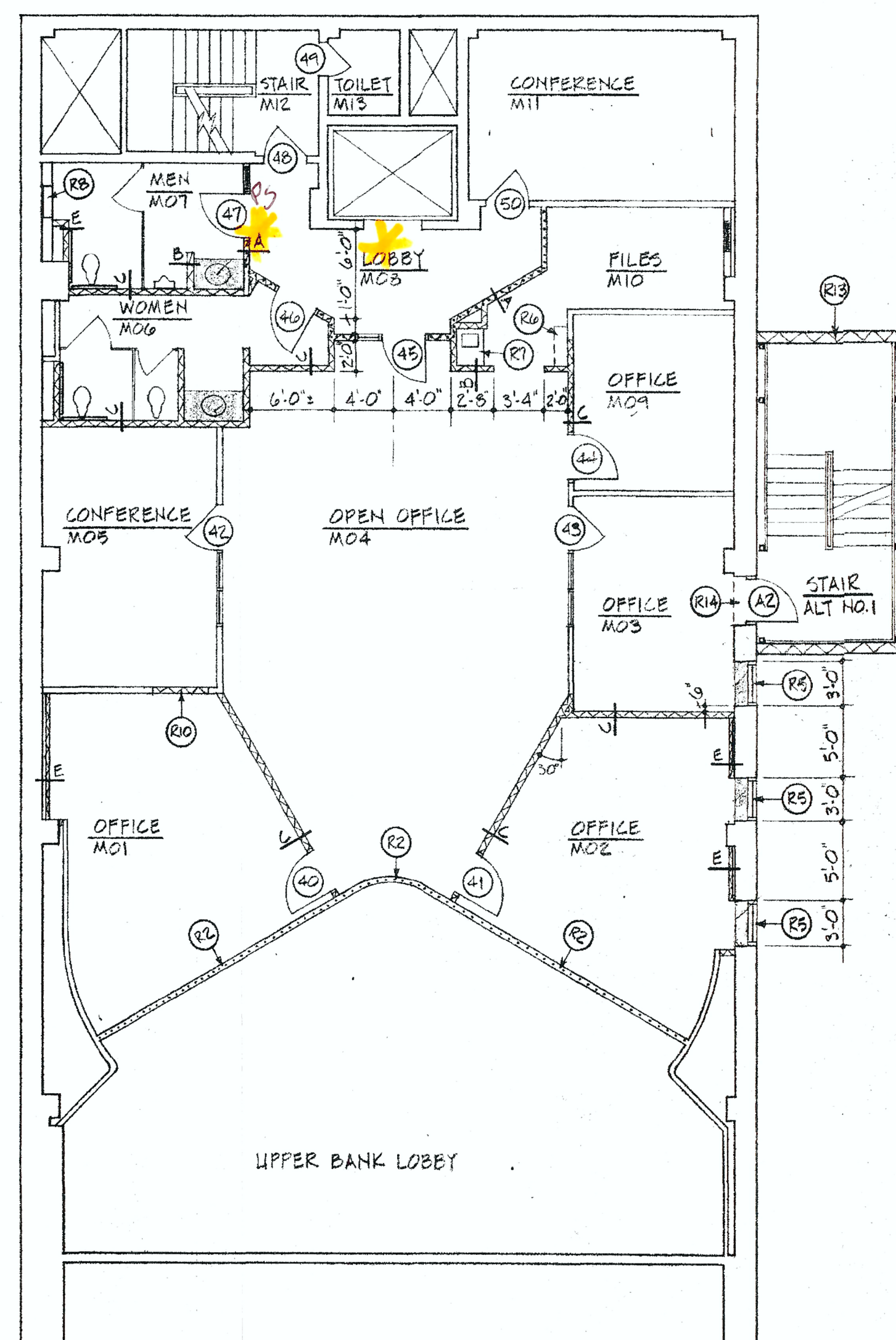
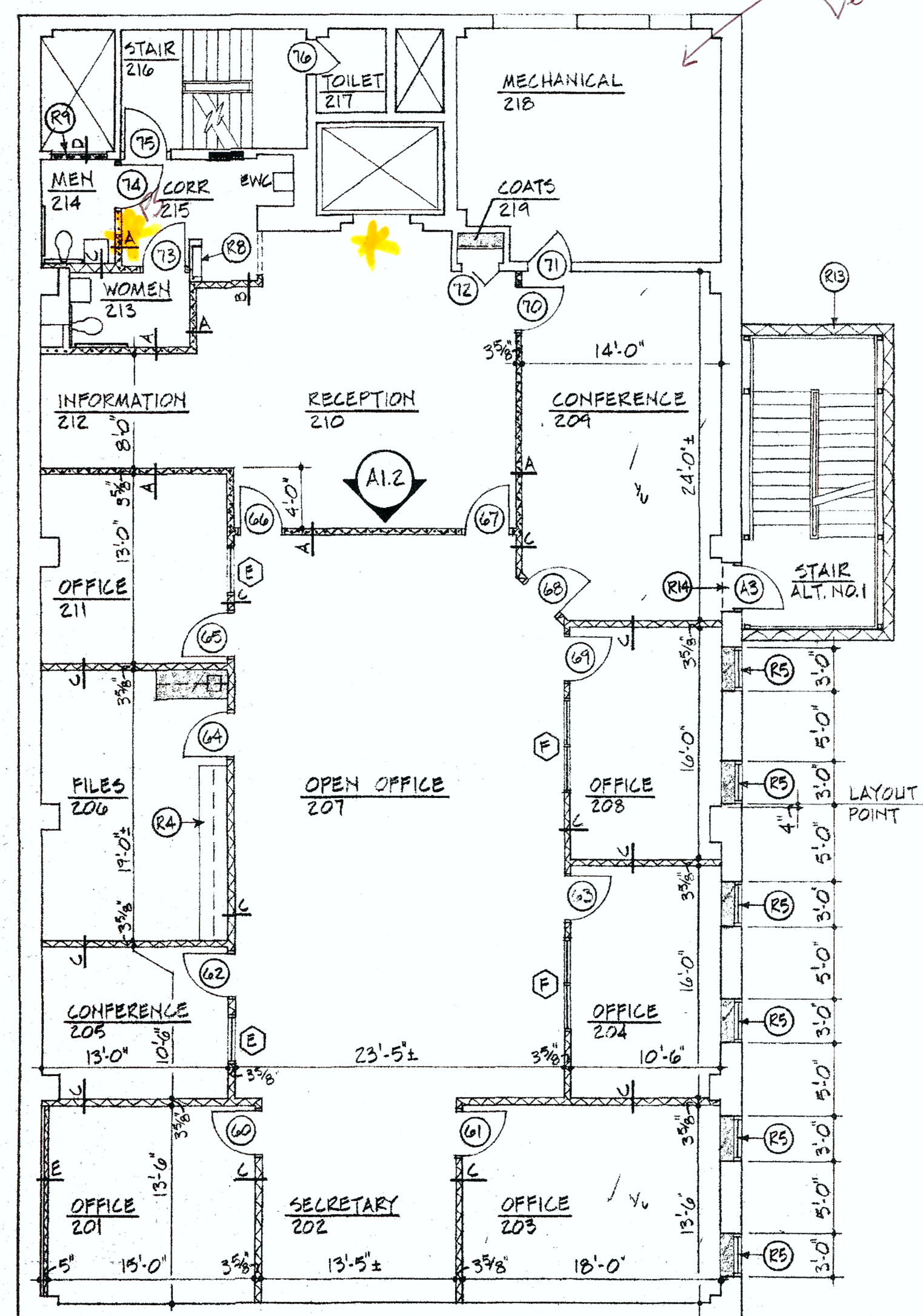
**OCCUPANCY:** FIRST FLOOR: 116 (MEETING ROOM: 89 FOR CONCENTRATED SEATING)  
MEZZANINE: 31  
SECOND FLOOR: 42  
THIRD FLOOR: NOT OCCUPIED  
FOURTH FLOOR: NOT OCCUPIED

**EXITS PROVIDED:** 1 (GRANDFATHERED SINGLE-EXIT BUILDING FOR BUSINESS USE)

**ALLOWABLE LENGTH OF EXIT TRAVEL:** 200' **ACTUAL MAX. LENGTH:** 108'

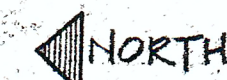
**EXIT CAPACITY OF STAIR:** 146

**HANDICAPPED ACCESS:** EXISTING ELEVATOR IS BEING UPGRADED FOR ADA COMPLIANCE. NEW HANDICAPPED TOILETS ARE BEING ADDED ON THE MEZZANINE AND SECOND FLOOR.



**KEY**

- EXISTING WALL OR PARTITION
- NEW PARTITION
- 1-HOUR RATED FIRE SEPARATION
- 2-HOUR RATED FIRE SEPARATION



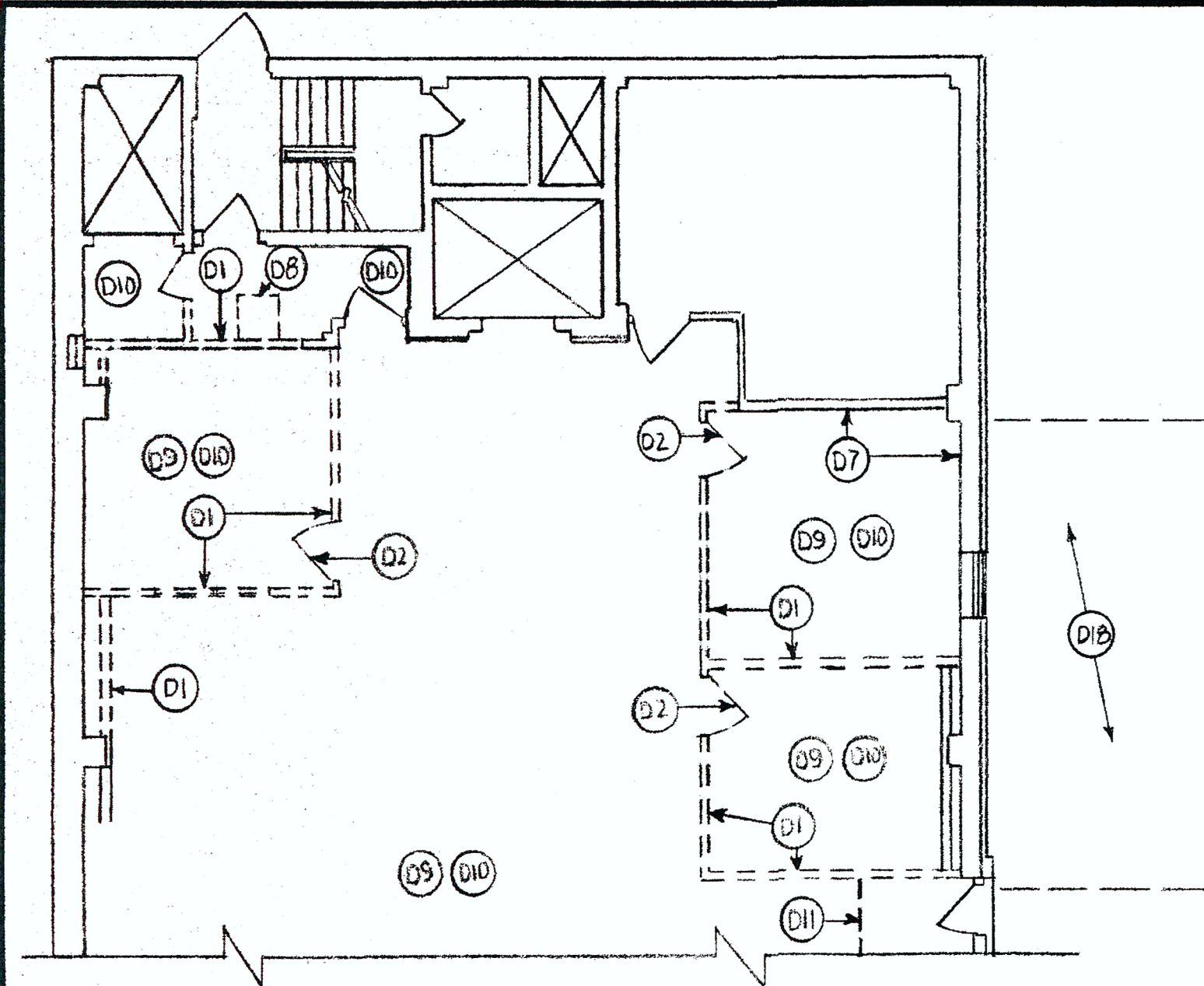
**REVISIONS**

| NO. | DATE   | DESCRIPTION    |
|-----|--------|----------------|
| 1   | 12 MAY | SCALE AS NOTED |
| 2   | 12 MAY | DRAWN RAR      |
| 3   | 12 MAY | JOB 9502       |
| 4   | 12 MAY | SHEET A1       |
| 5   | 12 MAY | OF SHEET       |

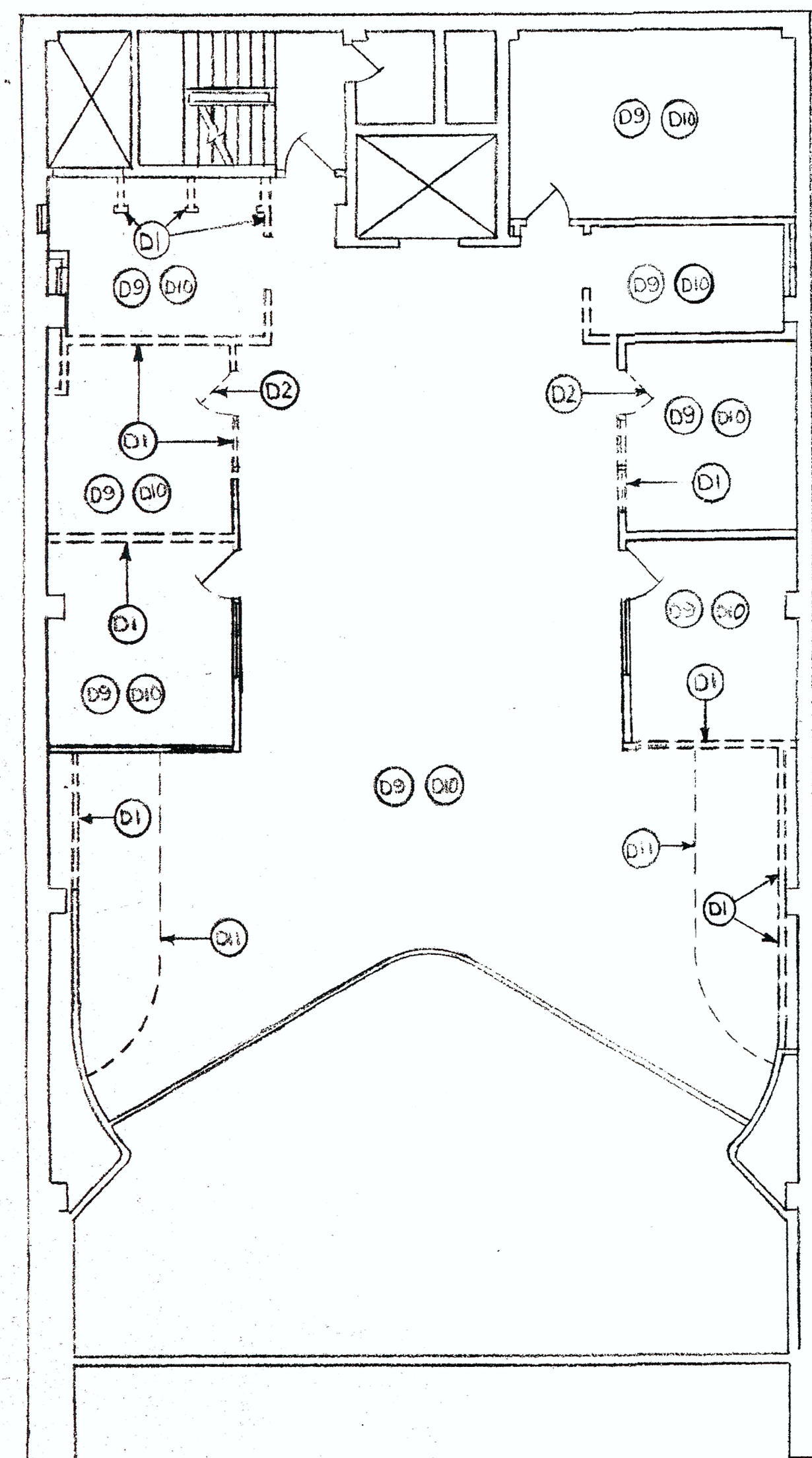
Renovation of the Charter Federal Building for  
**THE REGIONAL CHAMBER**

Rife & Wood  
Architects

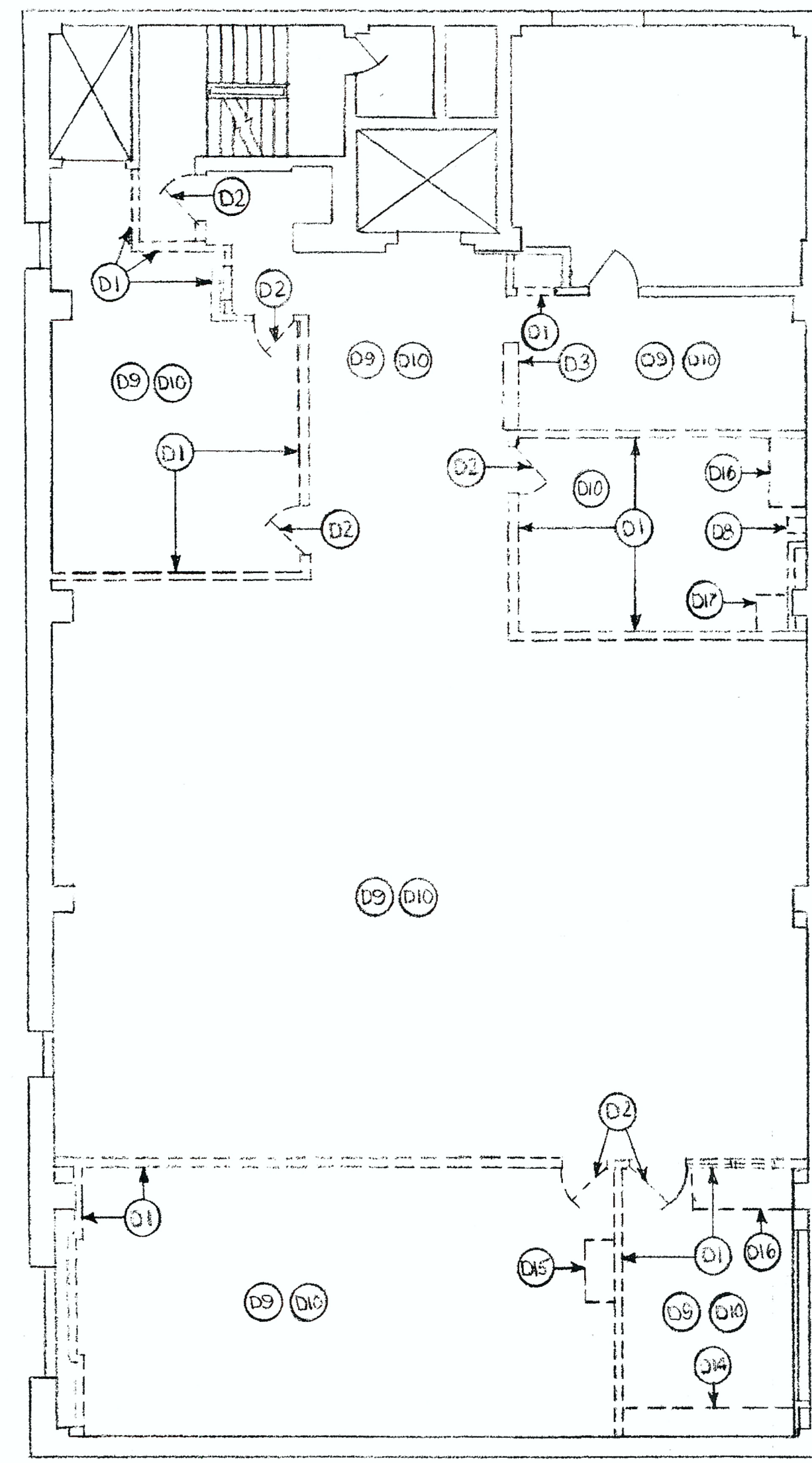
FLOOR PLANS



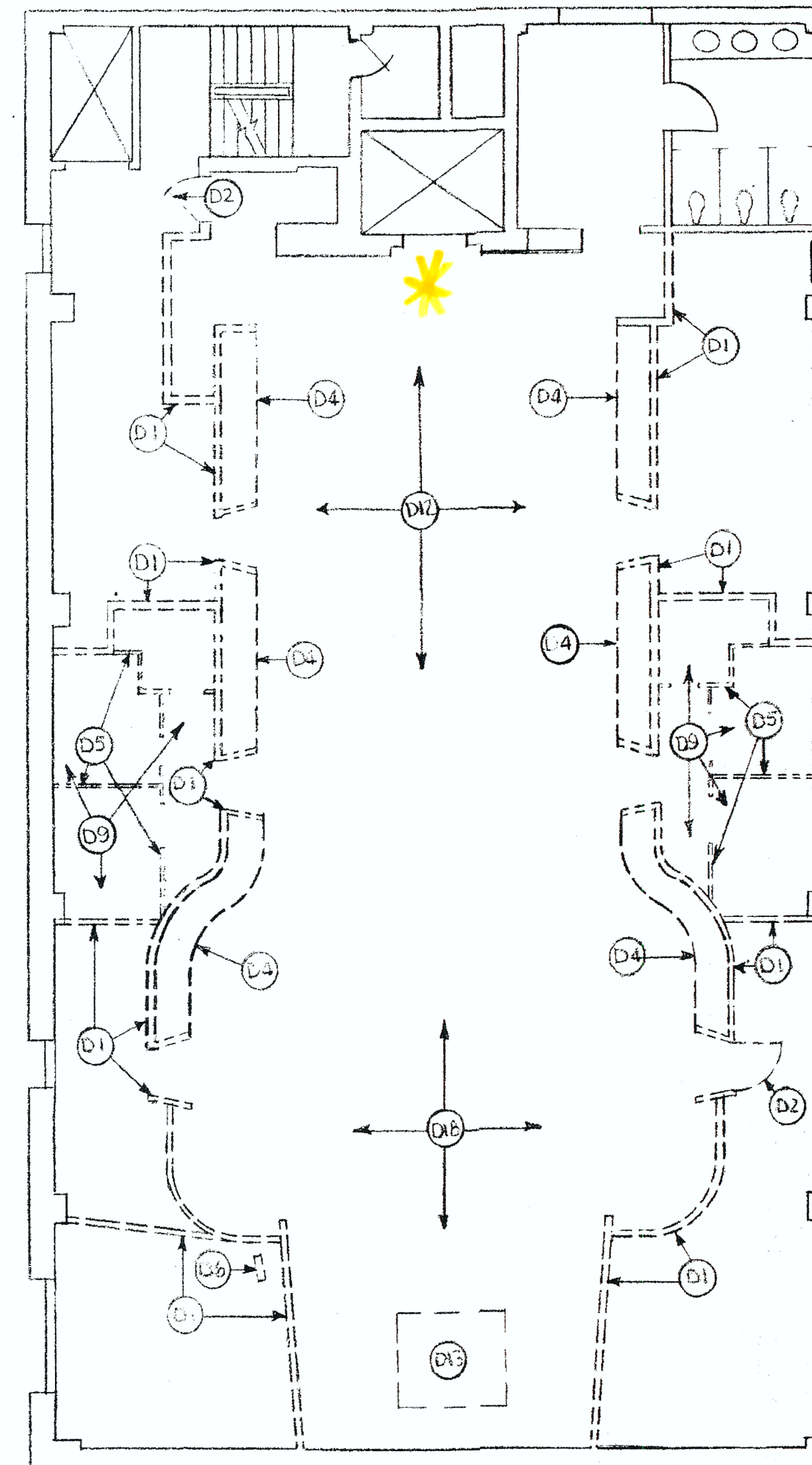
PARTIAL FIRST FLOOR PLAN



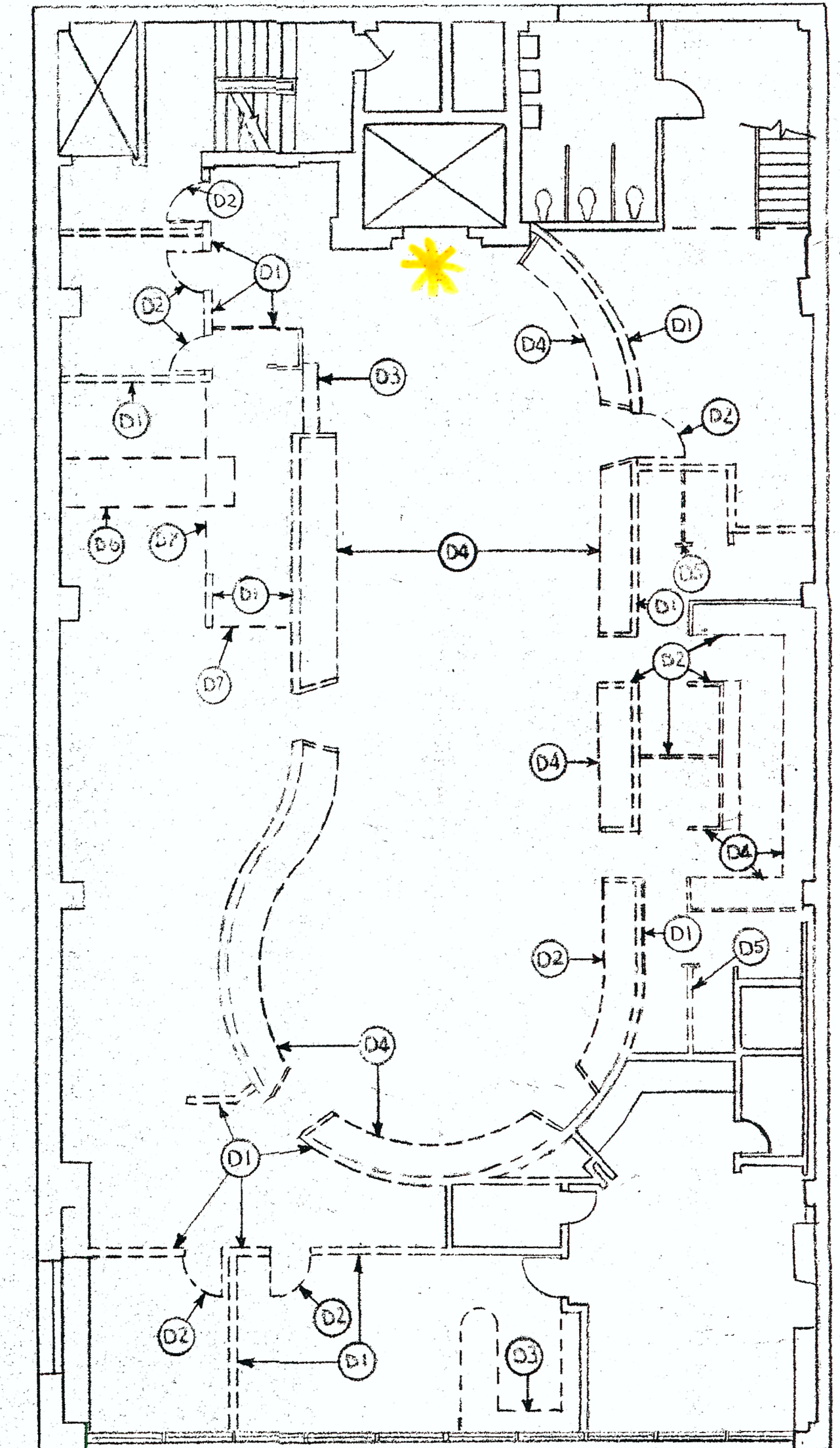
MEZZANINE PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



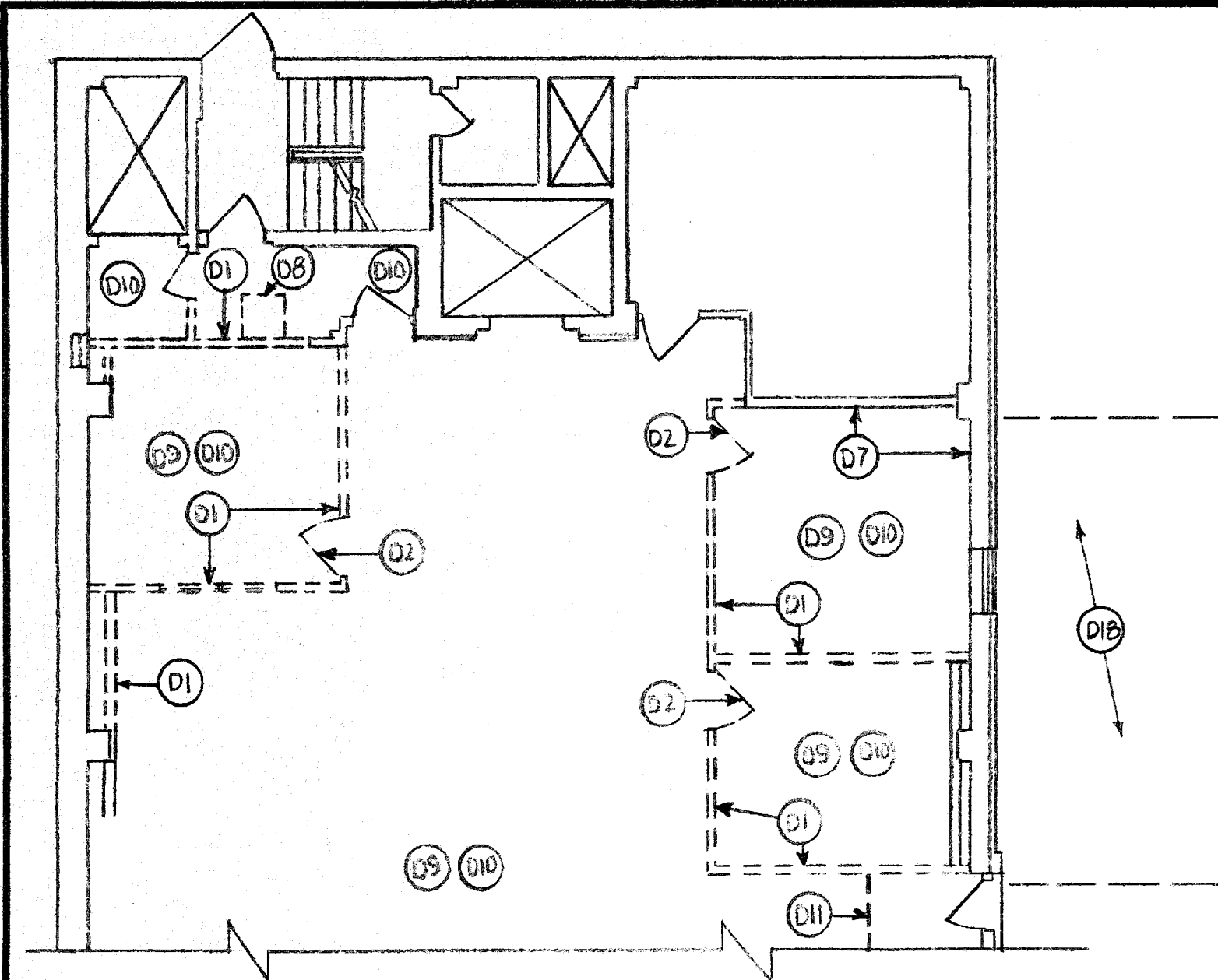
FOURTH FLOOR PLAN

DEMOLITION NOTES:

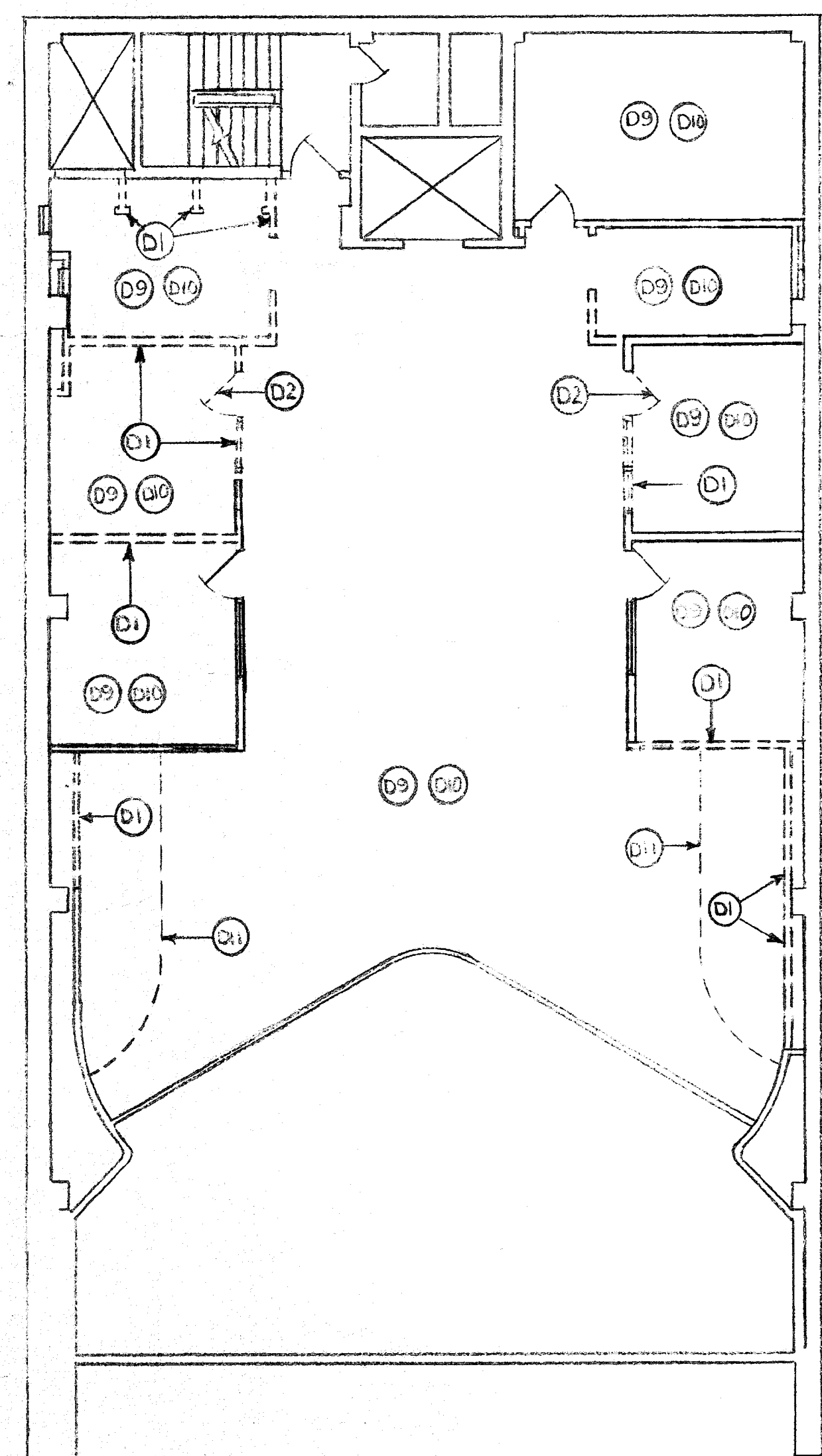
- D1 Remove existing drywall partition.
- D2 Remove existing door and frame. Salvage doors, frames and hardware for Owner's future reuse.
- D3 Remove existing counter.
- D4 Remove existing store fixture.
- D5 Remove existing changing room partition.
- D6 Remove existing tube conveyor system.
- D7 Remove existing wood wainscot.
- D8 Remove existing EWC and salvage for Owner's future reuse.
- D9 Remove existing carpet.
- D10 Remove existing lay-in ceiling.
- D11 Remove existing GWB Bulkhead.
- D12 Salvage existing batt insulation. After demolition and cleanup is complete, place insulation on floor as directed by Architect.
- D13 Remove existing ceiling mirror.
- D14 Remove existing cabinet and shelving. Reinstall in room 206. Repair GWB as required.
- D15 Remove existing coat rack. Reinstall in room M10.
- D16 Remove existing cabinet. Store on fourth floor for Owner's future use.
- D17 Remove existing unit kitchen and install in room M10.
- D18 (Alternate No. 1) Remove existing planter, sidewalk, etc. as required for construction of new stair tower.

GENERAL DEMOLITION NOTES:

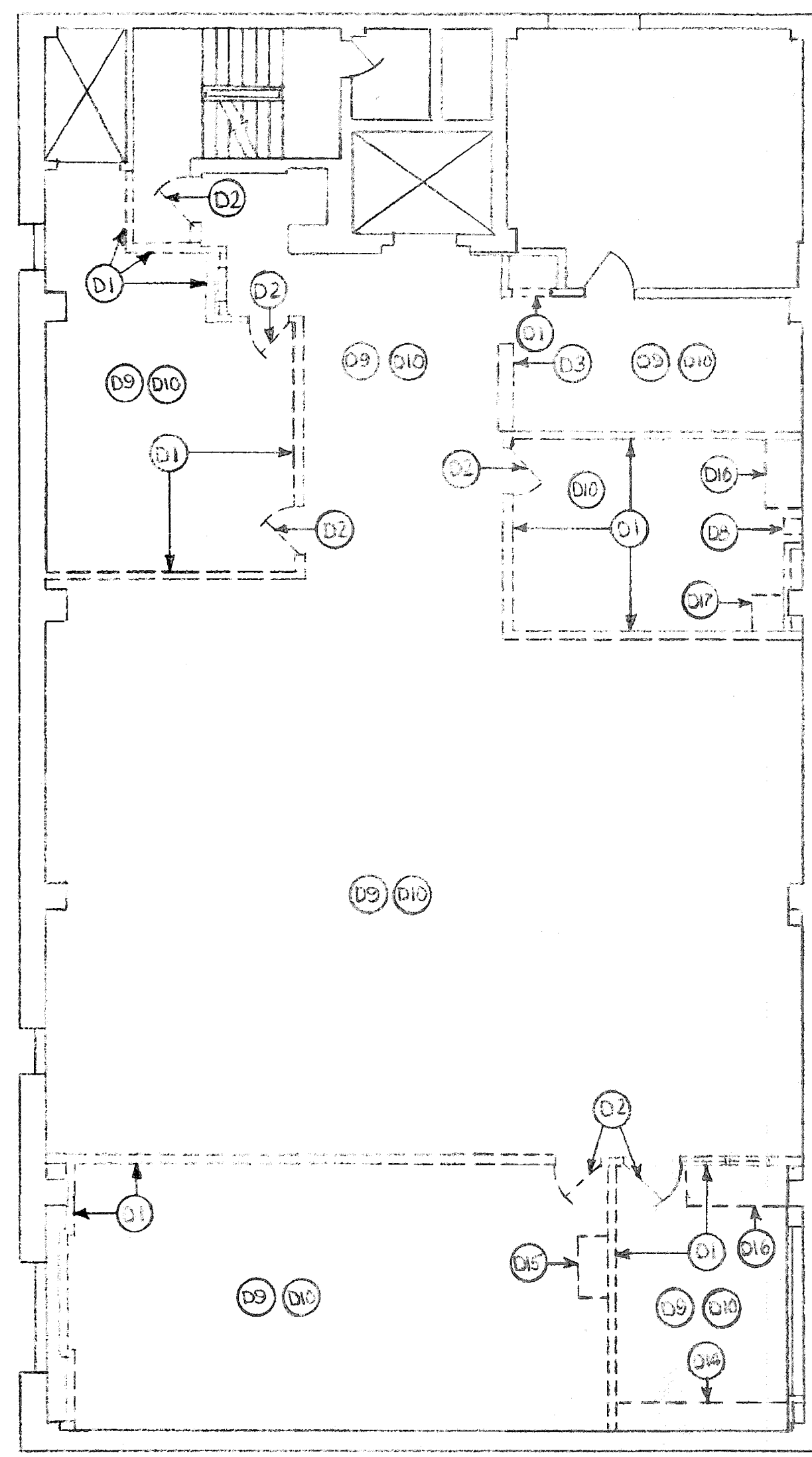
1. Remove existing VWC from existing walls to remain as required. Repair wall surface as required for installation of new VWC.
2. Remove existing electrical and telephone outlets and switches, thermostats, fire alarm horns and pull stations, etc. and associated conduit and wiring not being reused as part of this contract. Repair wall and floors as required for installation of new finishes.
3. Coordinate the removal of any plumbing vents or other roof penetrations with roof replacement work.



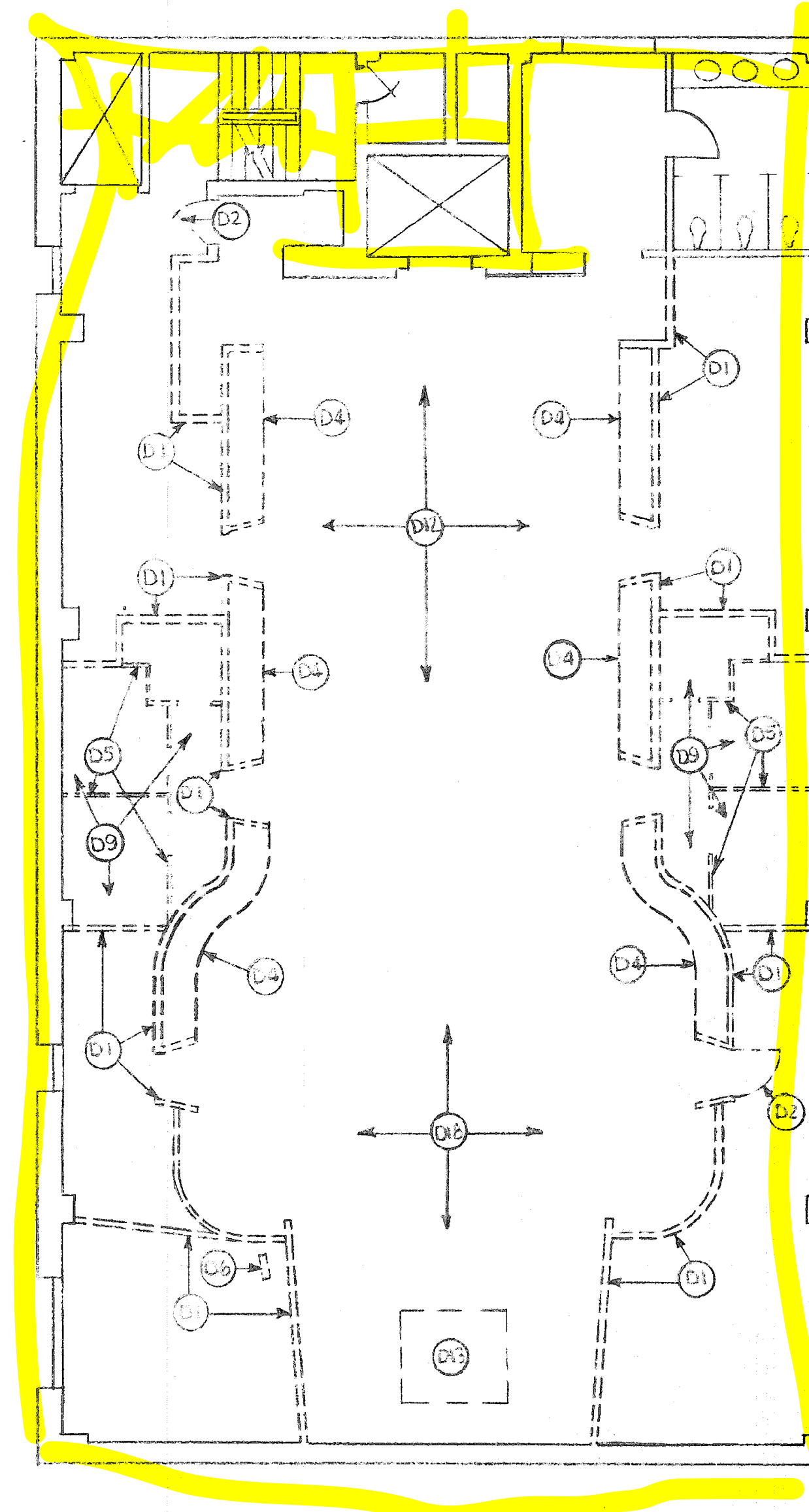
PARTIAL FIRST FLOOR PLAN



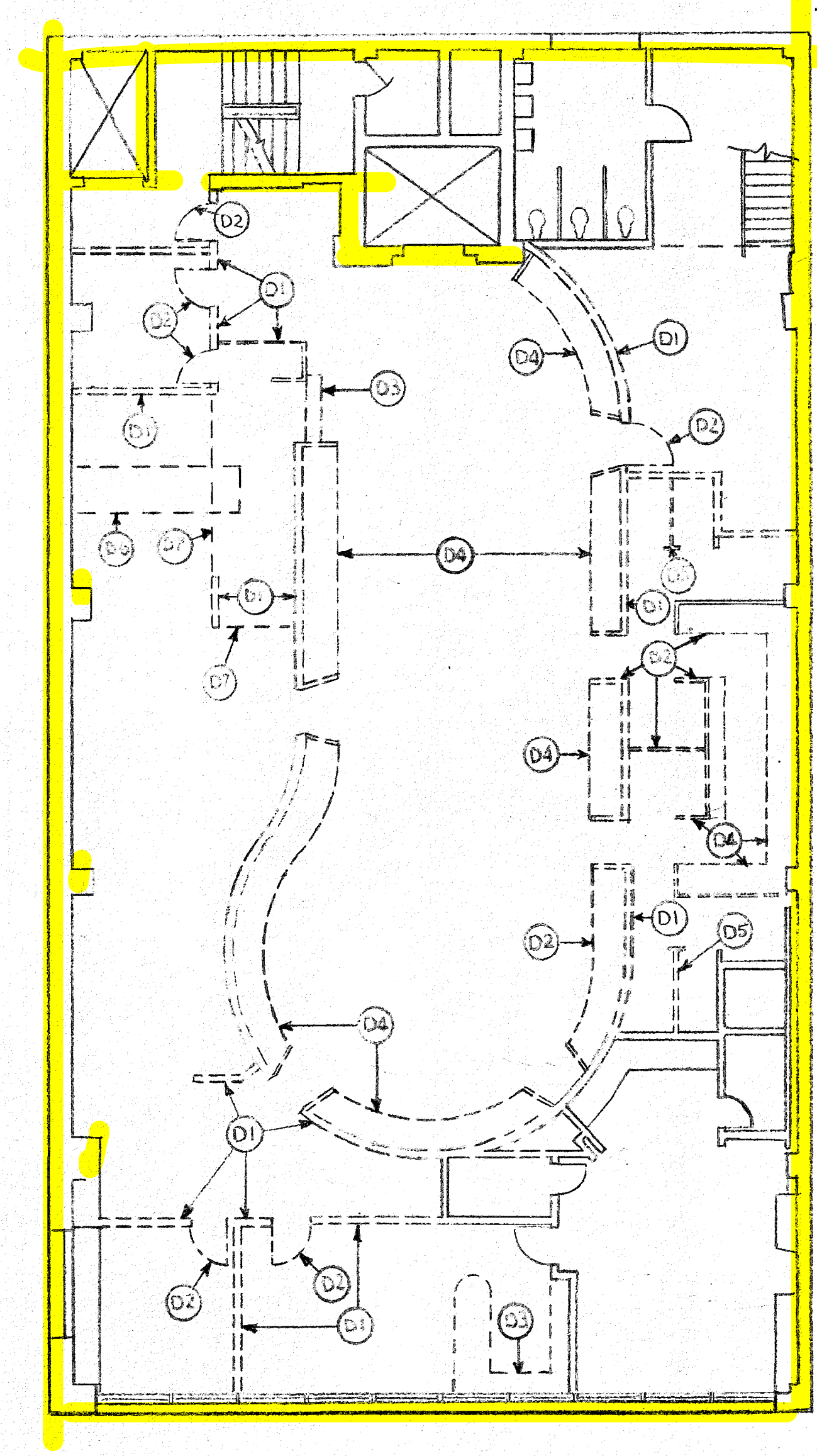
MEZZANINE PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



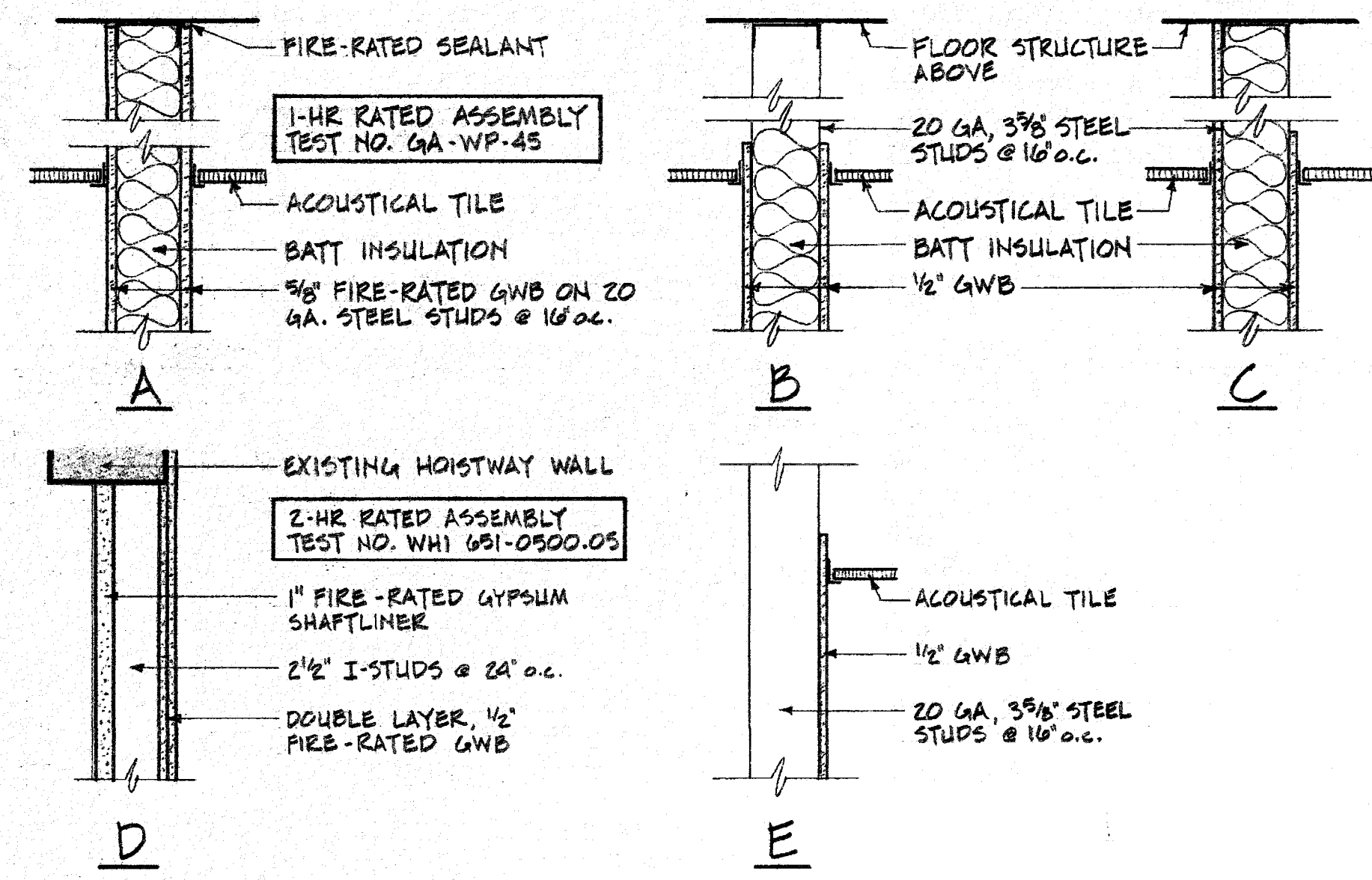
FOURTH FLOOR PLAN

DEMOLITION NOTES:

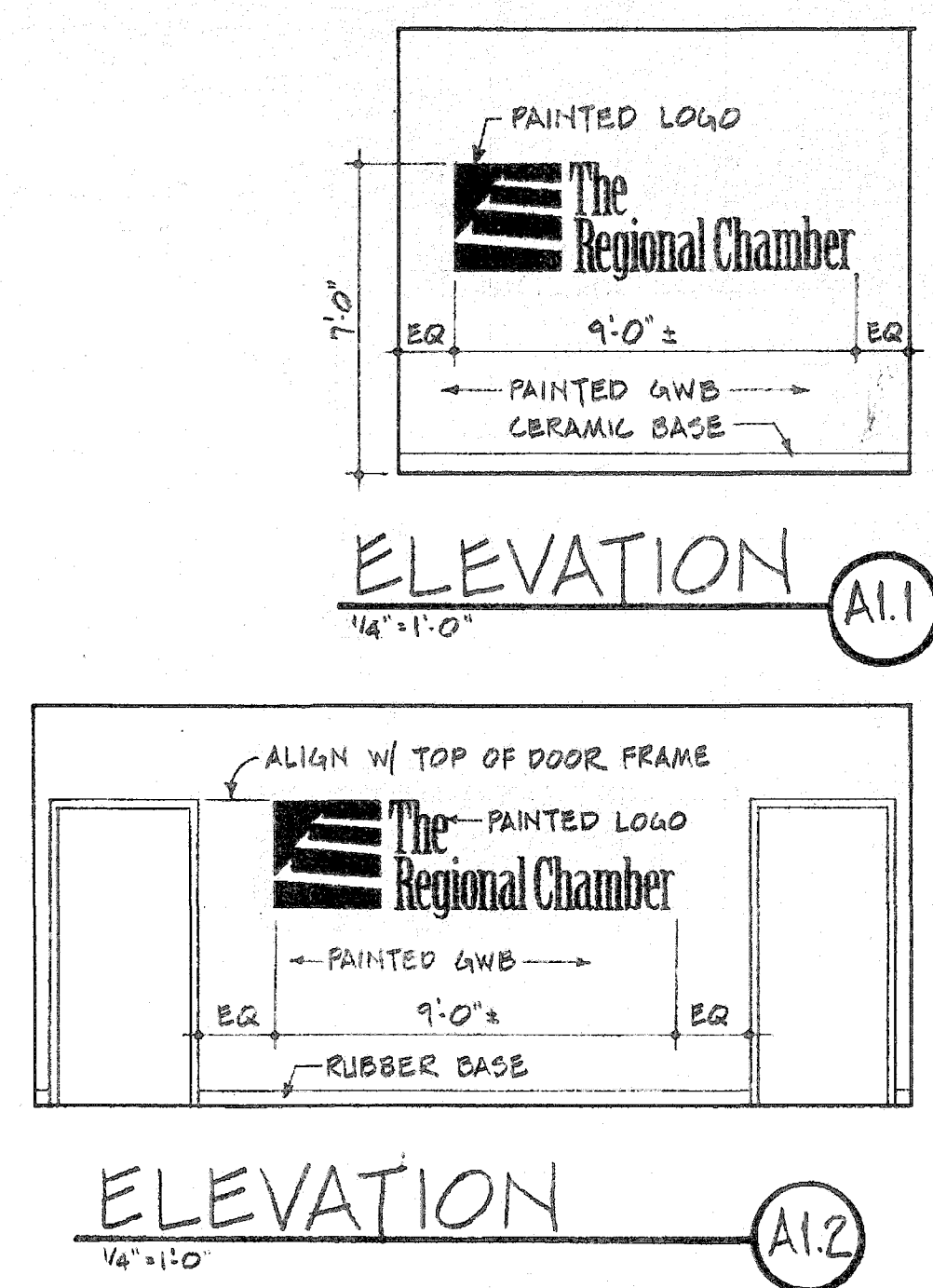
- D1 Remove existing drywall partition.
- D2 Remove existing door and frame. Salvage doors, frames and hardware for Owner's future reuse.
- D3 Remove existing counter.
- D4 Remove existing store fixture.
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- D7 Remove existing wood wainscot.
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- D9 Remove existing carpet.
- D10 Remove existing lay-in ceiling.
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- D12 Salvage existing batt insulation. After demolition and cleanup is complete, place insulation on floor as directed by Architect.
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- D16 Remove existing cabinet. Store on fourth floor for Owner's future use.
- D17 Remove existing unit kitchen and install in room M10.
- D18 (Alternate No. 1) Remove existing planter, sidewalk, etc. as required for construction of new stair tower.

GENERAL DEMOLITION NOTES:

1. Remove existing VWC from existing walls to remain as required. Repair wall surface as required for installation of new VWC.
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PARTITION TYPES  
NO SCALE



- REMODELING NOTES:
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  - R2 Install 5/8" fire rated GWB and sound attenuation insulation on existing steel stud wall.
  - R3 Complete finishing of existing GWB.
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  - R5 Cut opening in masonry wall as required for installation of new window.
  - R6 Install salvaged coat rack.
  - R7 Install salvaged unit kitchen, providing utilities as required.
  - R8 Existing FHC to remain. Rework partitioning around FHC as required by new layout.
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  - R10 Remove existing window and HM frame. Close opening with matching drywall construction.
  - R11 Existing GWB bulkhead to remain. Extend bulkhead toward Door 17, matching existing work.
  - R12 Remove portion of existing bulkhead as required for installation of new projection screen.
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**CODE COMPLIANCE NOTES**

**APPLICABLE CODE:** 1994 BOCA with VIRGINIA SUPPLEMENT

**USE GROUP:** B, BUSINESS (304.1)

**CONSTRUCTION TYPE:** 2A (TABLE 602)

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**PROJECT AREA:** 5 STORIES, INCLUDING MEZZANINE, 83' HIGH

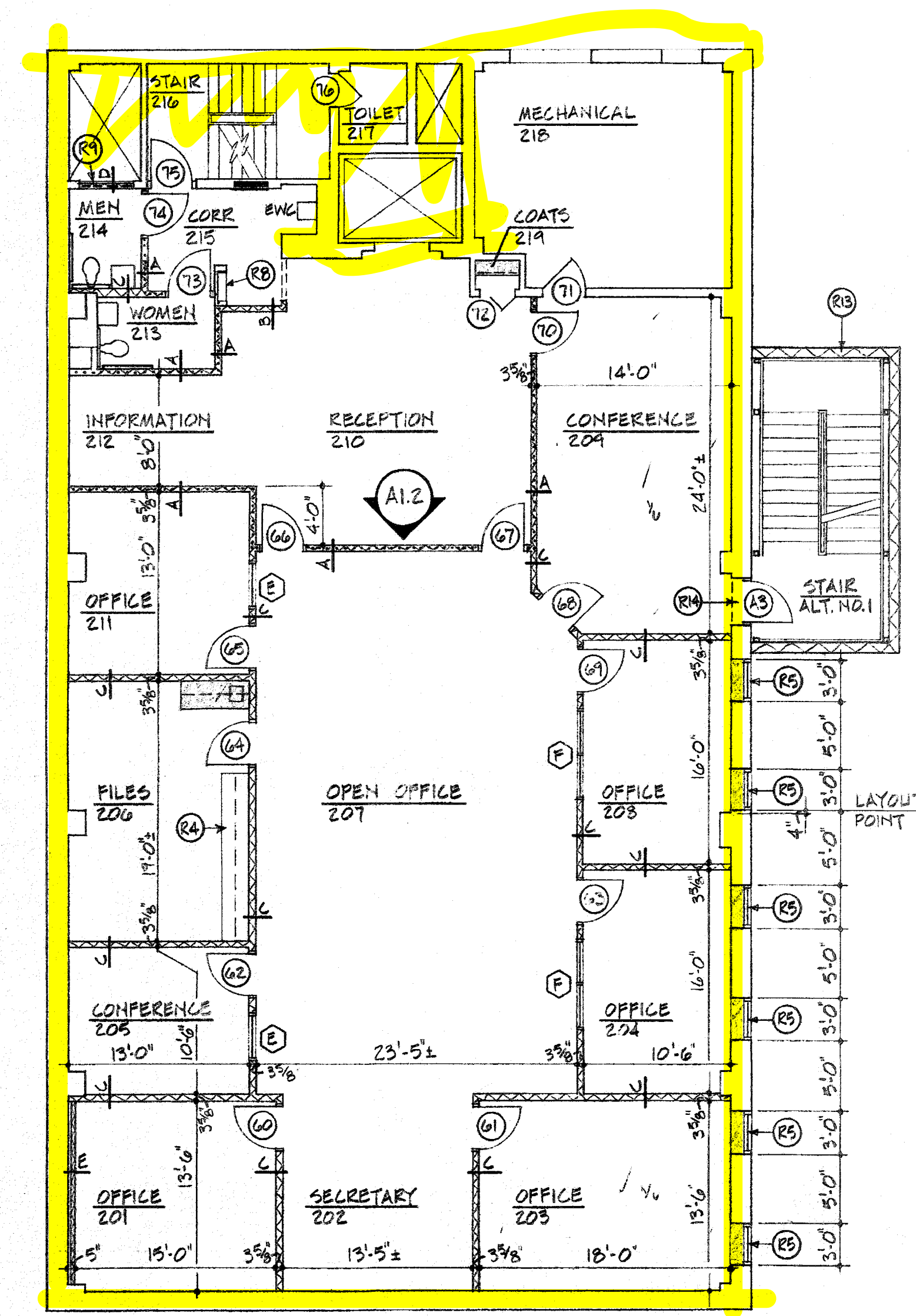
**OCCUPANCY:** FIRST FLOOR: 116 (MEETING ROOM: 89 FOR CONCENTRATED SEATING)  
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SECOND FLOOR: 42  
THIRD FLOOR: NOT OCCUPIED  
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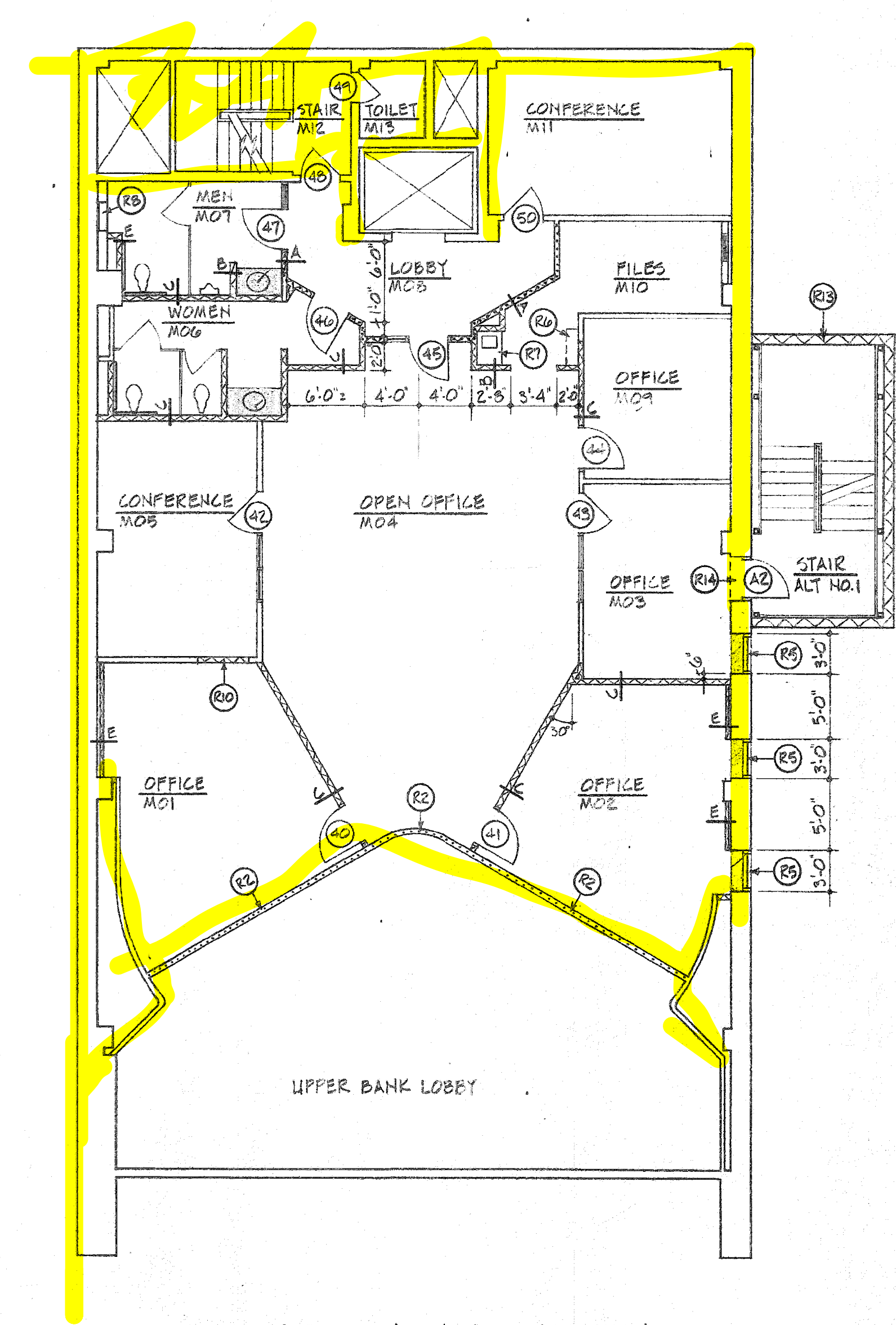
**ALLOWABLE LENGTH OF EXIT TRAVEL:** 200' **ACTUAL MAX. LENGTH:** 108'

**EXIT CAPACITY OF STAIR:** 146

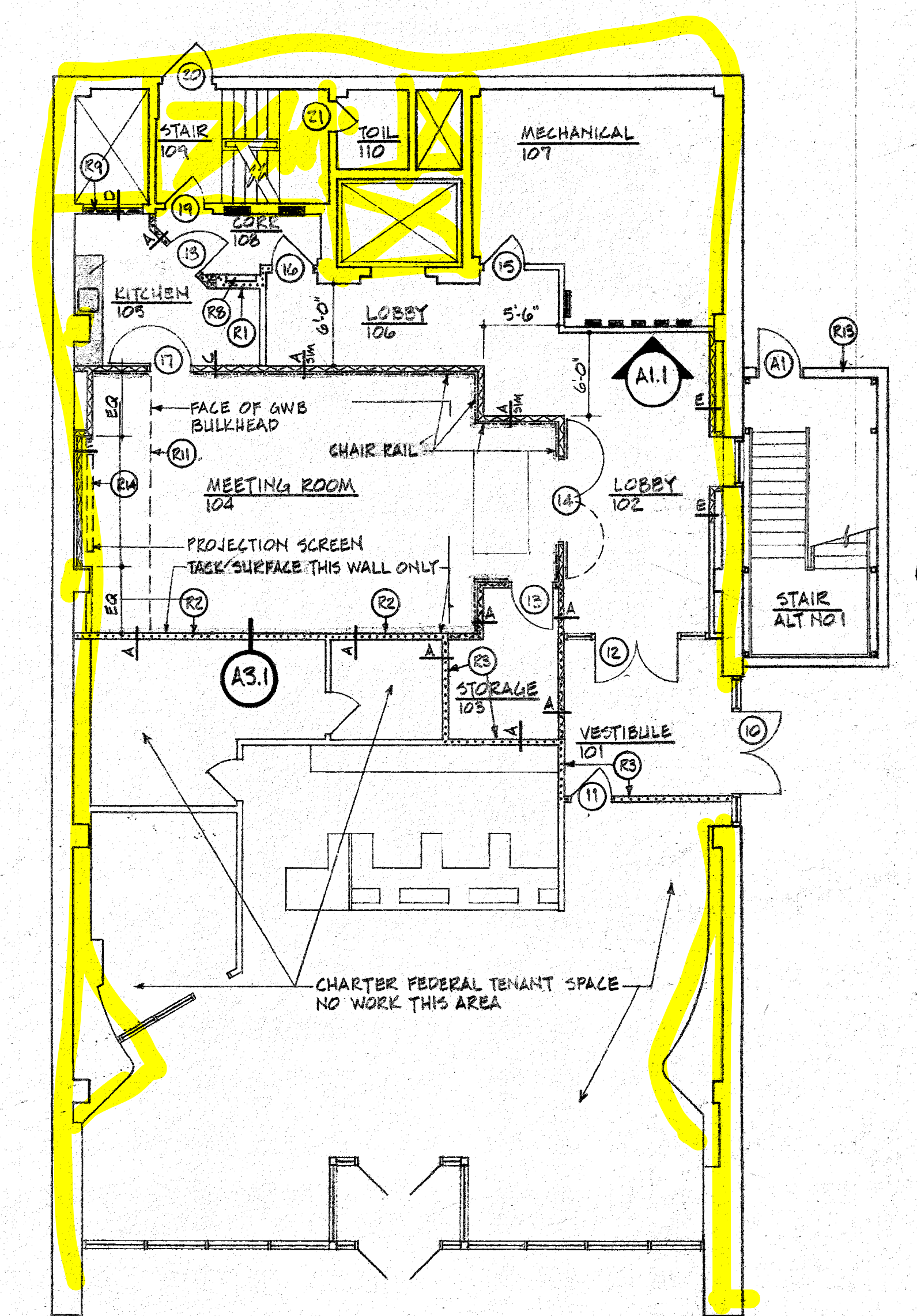
**HANDICAPPED ACCESS:** EXISTING ELEVATOR IS BEING UPGRADED FOR ADA COMPLIANCE. NEW HANDICAPPED TOILETS ARE BEING ADDED ON THE MEZZANINE AND SECOND FLOOR.



SECOND FLOOR PLAN  
1/8" = 1'-0"



MEZZANINE PLAN  
1/8" = 1'-0"



FIRST FLOOR PLAN  
1/8" = 1'-0" NORTH

- KEY**
- EXISTING WALL OR PARTITION
  - NEW PARTITION
  - 1-HOUR RATED FIRE SEPARATION
  - 2-HOUR RATED FIRE SEPARATION

