

FOR SALE

112 PAIRED HOMES IN PROCESS

PRIMROSE
AVENUE
VISTA, CA

Shadowridge
Golf Club

SYCAMORE AVE

78

TRADER
JOE'S

3333
LIVING SPACES

STARBUCKS
COFFEE

Walmart

ALDI

TARGET

LAIFITNESS

miramar



BUENA
CREEK
STATION

LIGHT RAIL ROUTE

PRIMROSE AVE

SANTA FE AVE

LOBENDR



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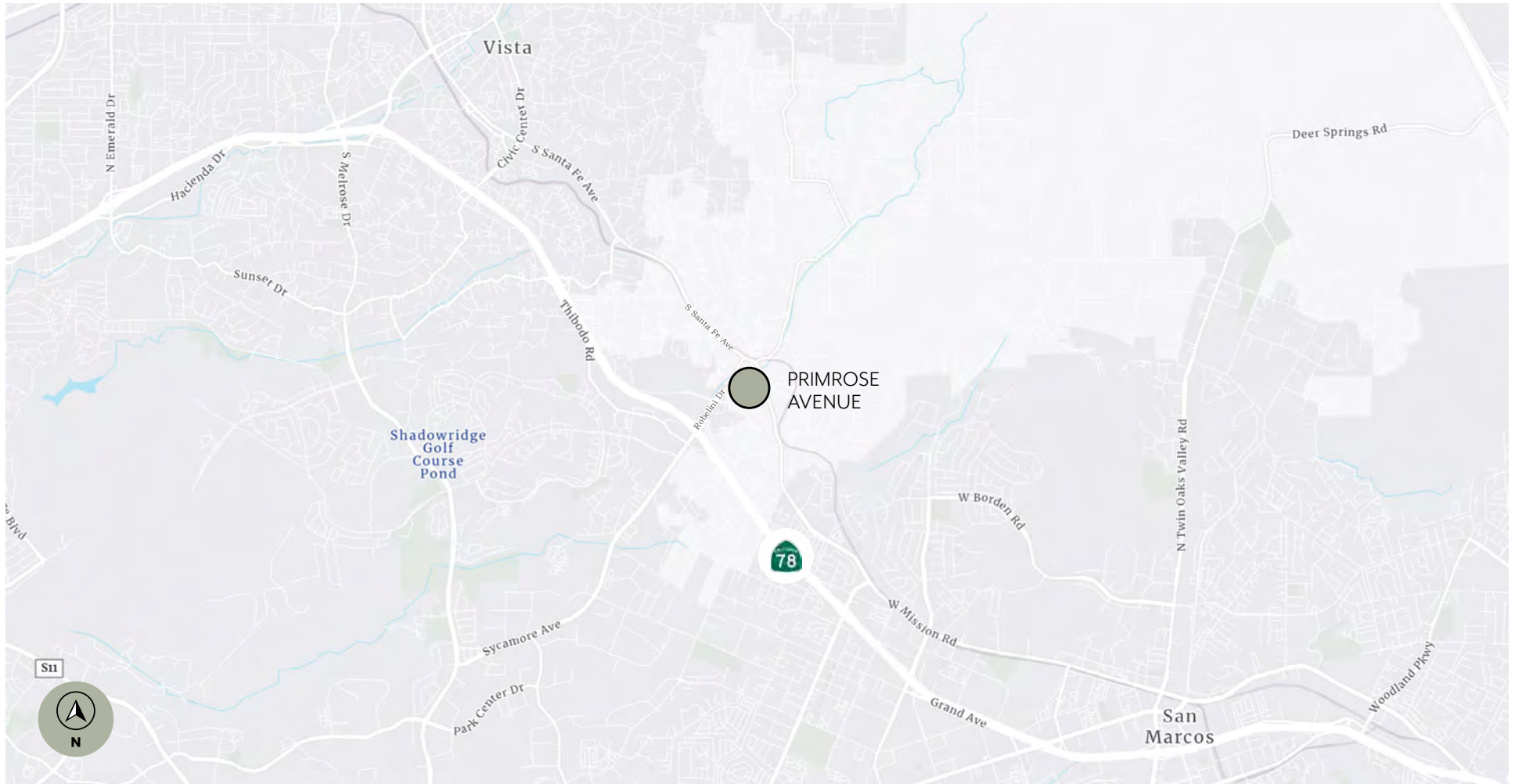
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CLICK # TO
ACCESS PAGE

3

PROPERTY
HIGHLIGHTS

5

SITE PLAN

8

AERIALS

13

COMPARABLES

PROPERTY OVERVIEW

EXECUTIVE SUMMARY

The Primrose property offers a strong marketing window off the Sycamore exit with immediate access to Hwy 78 in Vista, CA. Situated within walking distance of retail, services, and light rail, this project is strategically designed to deliver 112 duplex homes creating a desirable project scale and delivering critical ‘missing middle’ housing. The site boasts a premium layout, with over half the units offering beautiful views and vistas and the remainder of the units benefit from the privacy of uphill slopes.

The proposed Tentative Map designs pads to fit units ranging from 1,800 to 2,300 square feet, however Buyers are not tied to the preliminary architecture and may utilize their preferred plans. The project compiled a full submittal for pre-app and received comprehensive comments from the County due to the completeness of the submittal. Those comments are all being addressed to allow for a smooth TM submittal which will received expedited plan checks (30-day turnaround) because the project is located in a VMT efficiency zone. The County has committed to 15-day turnarounds on the builder’s future plan checks.

APN’S

APN	ACRES	SQ FT
184-122-25	5.96	259,617
184-122-11	0.59	25,700
184-122-21	0.33	14,158
184-122-22	0.32	13,824
184-122-19	0.31	13,671
184-122-18	0.47	20,286
184-121-14 <i>(Non-Contiguous)</i>	0.28	11,965
184-121-15 <i>(Non-Contiguous)</i>	0.22	9,628
184-122-16	1.12	48,787
184-122-17	0.8	34,848
184-122-10	0.5	21,780
TOTAL	10.4	474,264

Location	Primrose Ave., Vista, CA 92083
APN	See Table
Gross Acreage	10.04
Municipality	County of San Diego (Vista)
Submarket	North County Metro
Property Condition	Unimproved
Adjacent Uses	Single-Family Residential, Commercial, & Multifamily
Access	Public streets Primrose Ave., & Lobelia Dr.
Zoning	Residential Urban (Ru)
General Plan	Village Residential Vr-20 Density 20 du/acre
Municipal Inclusionary Requirement	Currently the County of San Diego has no approved Inclusionary Ordinance. TM submittal with SB330 application in place.
Fire Zone	Not in a fire hazard severity zone
Applicable Overlay Zones	Special Area Reg "P"
Tax Rate	1.38% (inclusive of CFD)
School Districts	Vista Unified
Utility Districts	Water: Vista Irrigation District Sewer: Buena Sanitation District

PROJECT INFORMATION

The project foot print sits on Apx. 7.98 acres. Separate from that, non-contiguous, on Sycamore are two legal parcels totaling half an acre (0.5 acres) with an existing 1,072 SF single-family house on one of the two legal lots. These lots with the existing home are part of the offering.

Entitlements	Tentative Map in Process
Product Type	Paired Homes
Units / Lots Yield	112 Units (56 Buildings)
Average Unit Size	1,900 - 2,100 SF
Estimated Development Impact Fees Per Unit	\$22,213.97 w/ CFD credits)
CFD Analysis	VIEW
Cost to Complete	VIEW
Grading	11,000 CY Export 46,000 SF Geogrid Wall Area

HIGHLIGHTS

- Located near City of Vista
- Great Freeway Access
- Site - Great Window
- Product: SFD living
- Site Plan: Very Few Back-to-Backs
- Views on 40 – 50% of Units
- Walkable Retail Nearby
- Project Size - 112 DU
- VMT Efficient - Expedited Plan Checks
- 5 Minute Walk to Transit Station
- Large Yards or Expanded Footprints
- No LAFCO
- No Resource Agency Jurisdiction

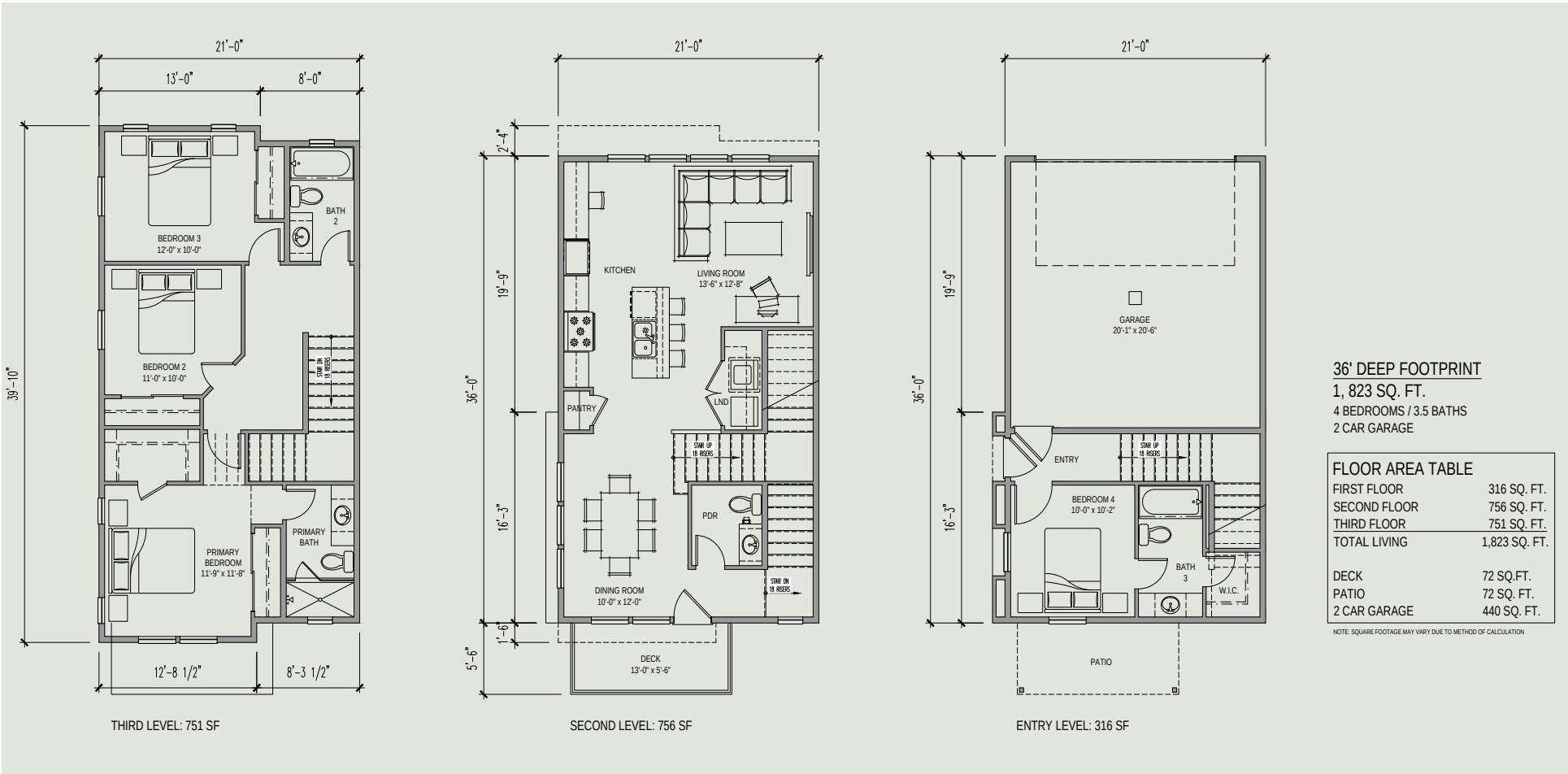
PRIMROSE AVE - SITE PLAN



Approximately 45% of the units are expected to have views; approximately 45% of the units will offer privacy, and approximately 30% of the units have potential for expanded house footprints with depths up to 41.'

[CLICK TO VIEW
FULL SITE PLAN](#)

SAMPLE FLOOR PLANS



Architecture is not part of the current application, however below and attached are sample floorplans that fit the project as designed. Most have a standard 36' footprint depth. Some lots (apx. 30) allow for additional depth up to 41'.

[CLICK TO VIEW
FULL PLAN SET](#)

ESTIMATED FEES

LOCATION	County of San Diego (North County Metro)
NUMBER OF UNITS	112
ACRES	10.04
PRODUCT TYPE	Paired Homes
NUMBER OF BLDGS	56
PRODUCT SQ FT	1,850

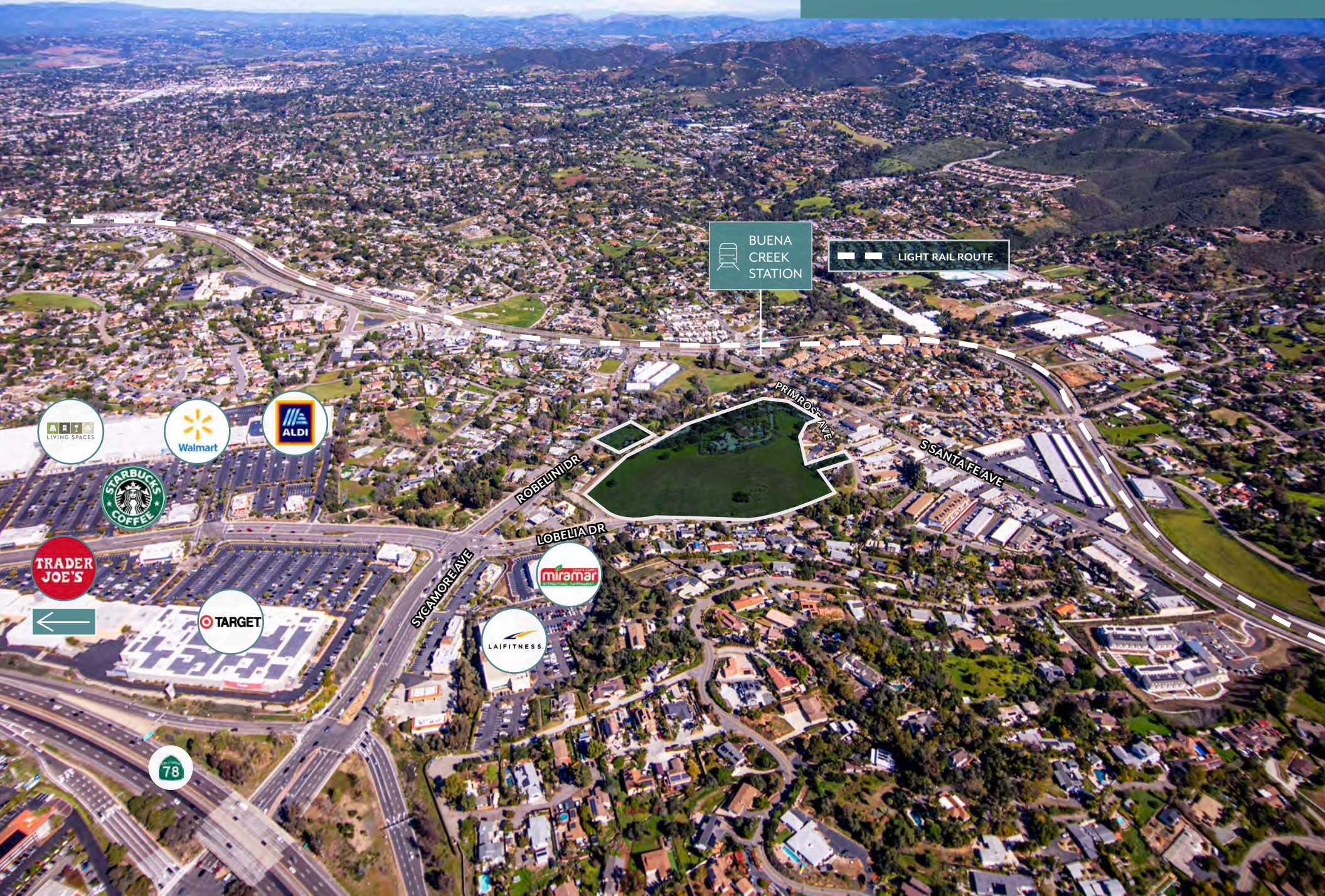
FEE TYPE	PER UNIT COST	NOTES
Sewer - Annexation & Capacity Fee	\$8,391.23	Buena Sanitation Dist. per EDU
One 4" SDCWA Water System + Treatment	\$978.58	
One 3" SDCWA Water System + Treatment	\$572.83	
Two 1.5" SDCWA Water System + Treatment	\$358.02	Assumes Four (4) Three-Inch (3") Meters
School Fee	\$7,548.00	Vista Unified \$4.08 PSF
Park Fee (CFD Financeable Portion)	\$8,018.00	POTENTIAL TO BE COVERED BY CFD
Park Fee (Admin fee not eligible for CFD)	\$160.00	Administration Fee (Not eligible for CFD coverage)
Drainage Fee	\$629.00	North County Metro \$0.34 PSF
Fire Mitigation Fee 2026	\$2,257.00	North County Fire Protection District \$1.22 SF
Parkland Dedication	\$346.30	
TIF Fee (State)	\$293.00	Village Core - North County Metro - Single Family (Not eligible for CFD coverage)
TIF Fee (Regional & Local)	\$4,082.00	POTENTIAL TO BE COVERED BY CFD Village Core - North County Metro - Single Family
One 3" Water Capacity / Installation / Meter Fee	\$1,056.70	POTENTIAL TO BE COVERED BY CFD Vista Irrigation
One 4" Water Capacity / Installation / Meter Fee	\$1,637.97	POTENTIAL TO BE COVERED BY CFD Vista Irrigation
Two 1.5" Water Capacity / Installation / Meter Fee	\$673.29	POTENTIAL TO BE COVERED BY CFD Vista Irrigation
PER MARKET RATE UNIT TOTAL	\$39,105.86	
TOTAL POTENTIAL CFD CREDIT PER UNIT	\$16,891.88	
PER UNIT TOTAL WITH CFD CREDIT	\$22,213.97	



VIEWS



NORTH-FACING AERIAL



BUENA
CREEK
STATION

— — LIGHT RAIL ROUTE



ROBELINI DR

LOBELIA DR

PRIMROSE AVE

SANTA FE AVE

SYCAMORE AVE



SOUTH-FACING AERIAL



78

— — LIGHT RAIL ROUTE

BUENA CREEK STATION

SANTA FE AVE

PRIMROSE AVE

LOBELIA DR

SYCAMORE AVE





EAST-FACING AERIAL



BUENA CREEK STATION

LIGHT RAIL ROUTE

SANTAFE AVE

LOBLOLLI DR

SYCAMORE AVE





WEST-FACING AERIAL



Shadowridge
Golf Club



UNIVERSITY DR

SYCAMORE AVE

LOBELIA DR

PRIMROSE AVE

SANTA FE AVE

BUENA
CREEK
STATION

— LIGHT RAIL ROUTE

ATTACHED RESALE COMPARABLES

#	Address	Zip	Bed	Bath	Year Built	Sale Date	Sale Price	SF	Price Per SF	Monthly HOA Fees	Community Master Plan	Housing Type
1	901 La Tierra Drive	92078	2	2	1974	6/13/2025	\$980,000	1,433	\$683.88	\$0		Twin Home
2	1638 La Tierra Lane	92078	3	2	1971	2/27/2026	\$880,000	1,313	\$670.22	\$0		Twin Home
3	1897 Chaparral Drive	92081	2	2	1986	4/30/2025	\$808,000	1,231	\$656.38	\$282	Shadowridge Greens	Twin Home
4	1974 Spyglass Circle	92081	3	2	1989	4/28/2025	\$925,000	1,480	\$625.00	\$250	Shadowridge Sunrise	Twin Home
5	1970 Spyglass Circle	92081	2	2	1989	3/21/2025	\$890,000	1,480	\$601.35	\$250	Shadowridge Sunrise	Twin Home
6	1626 La Tierra Lane	92078	3	2	1971	11/10/2025	\$835,000	1,520	\$549.34	\$0		Twin Home
7	1862 Key Largo	92081	3	3	1991	5/30/2025	\$825,000	1,518	\$543.48	\$419	Calypso	Twin Home
8	1035 Potomac Lane	92081	3	3	2024	3/27/2025	\$846,990	1,576	\$537.43	\$447	Soltaire	Town Home
9	1042 Arrowood Trail	92081	3	3	2023	3/14/2025	\$849,000	1,627	\$521.82	\$447	Soltaire	Town Home
Averages							\$870,999	1,464	\$598.77			

COMPARABLE HIGHLIGHTS



901 LA TIERRA DRIVE

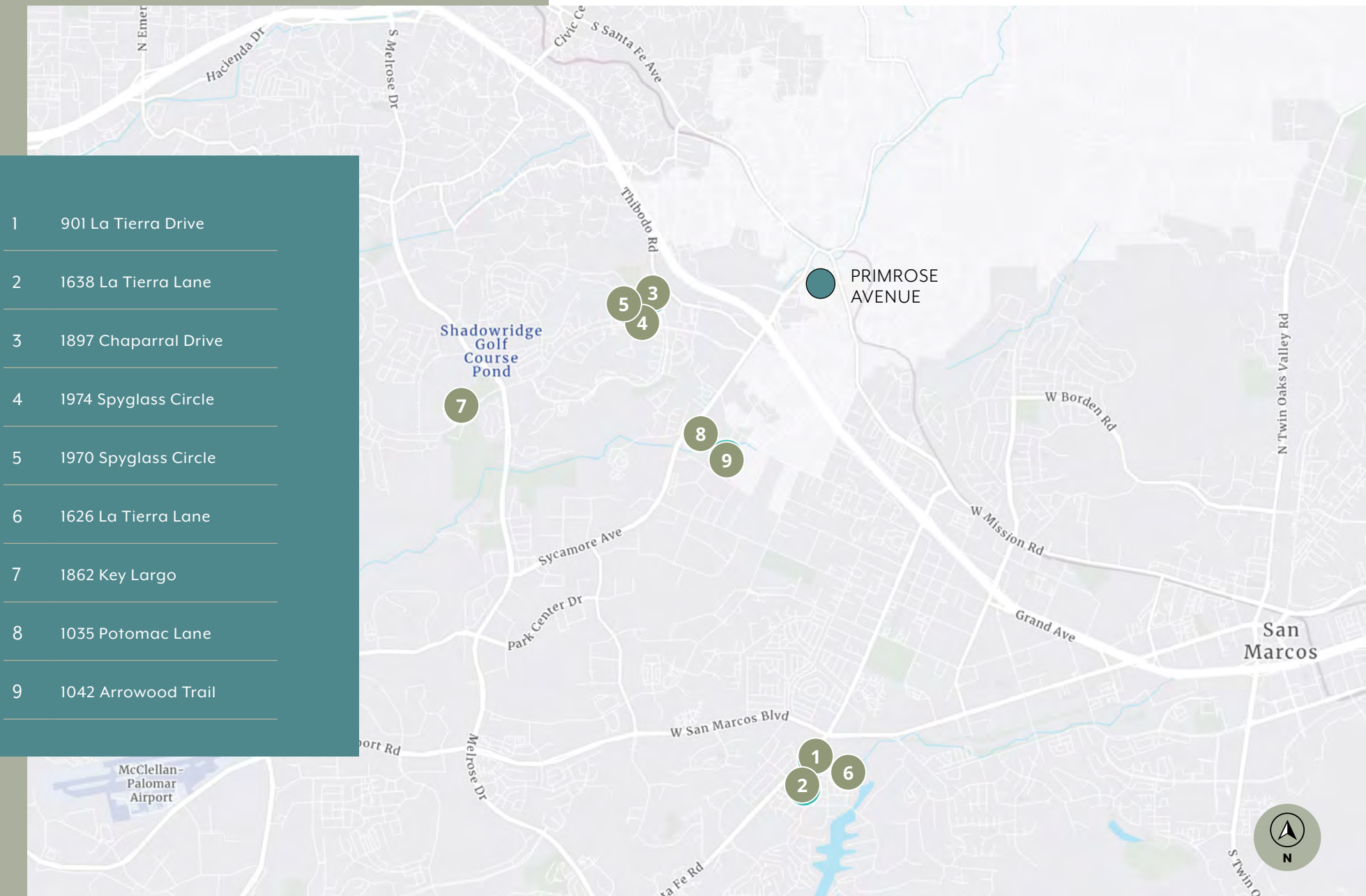


1638 LA TIERRA LANE



1974 SPYGLASS CIRCLE

ATTACHED RESALE COMPARABLES MAP



ATTACHED NEW HOME COMPARABLES

Currently in the Inland North County Market there are no new home comparables for 2-story Paired Home product. The product type in the table below is majority 3-story townhomes which are both more expensive to produce and typically have lower revenue projections when compared to a 2-story Paired Home product. The Primrose product will be a unique offering, living more like a single-family home with glazing on three sides. This will push revenues and absorption beyond what is currently represented in the market.

#	Name	Builder	City	Absorption Per Mo.	Status	Product Type	Home Size	Price Range	Units	Units Sold	Units Remaining
1	Element at Hill District	Lennar	San Marcos	3.16	Active	3-Story Towns	1,793-2,324 SF	\$695,900-\$780,900	147	43	104
2	Radius at Hill District	Lennar	San Marcos	2.92	Active	3-Story Towns	1,615-2,062 SF	\$839,900-\$959,900	128	40	88
3	Cielo	Meritage	San Marcos	4.04	Active	3-Story Towns	1,215-1,781 SF	\$679,000-\$769,000	120	43	77
4	Amplitude	Shea	San Marcos	2.52	Active	3-Story Towns	1,504-1,895 SF	\$784,000-\$870,640	158	35	123
5	Peak 59	Shea	San Marcos	1.24	Active	3-Story Towns	1,793-2,324 SF	\$978,775-\$1,104,168	48	16	32
6	ReVel	Shea	San Marcos	2.64	Active	2-Story Towns	1,292-1,661 SF	\$738,900-\$839,900	91	37	54

COMPARABLE HIGHLIGHTS



ELEMENT



RADIUS



PEAK 59



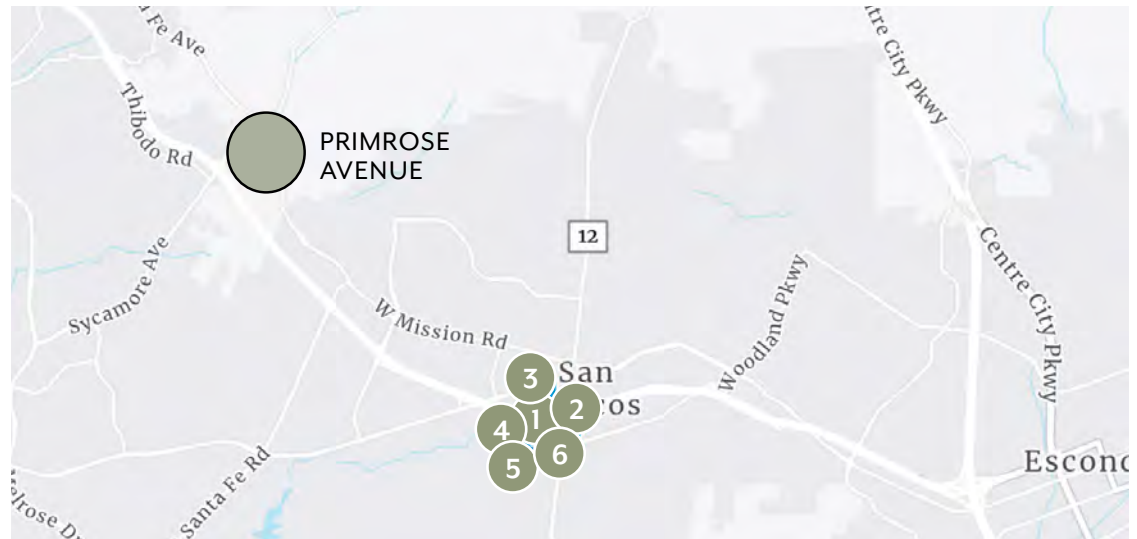
CIELO



AMPLITUDE



REVEL



VISTA, CA

Living in Vista, CA, offers a unique blend of a “small-town” community feel, with an active arts and brewery culture, and a prime North County location just 7 miles from the ocean. Vista offers the ideal microclimate with a “happy medium”—inland enough to avoid constant coastal fog (the marine layer) but close enough to catch cool ocean breezes that keep temperatures milder than neighboring Escondido.



Lifestyle

Vista famously has more breweries per capita than any other city in the U.S. Local favorites like Belching Beaver Brewery, Pure Project, and Mother Earth Brew Co. anchor a thriving craft beer scene and necessary stops along the “Hops Highway.” For arts fans the Moonlight Amphitheatre, a state-of-the-art outdoor venue in Brengle Terrace Park, is a major draw, hosting high-quality Broadway musicals and concerts under the stars. A quiet day could also be spent wandering the Alta Vista Botanical Gardens, a serene spot featuring rare plants, sculptures, and an interactive children’s area. Vista also offers families many places to enjoy from the Vista Farmer’s market, one of the oldest in the County, held Saturday mornings at the County Courthouse with over 100 vendors, or more active fun at Boomers and The Wave Waterpark with rides, games, and places to get their wiggles out.

Transportation

Vista’s central location provides quick access to Highway 78, making commutes to nearby employment hubs or a 15-minute drive to the beach very manageable. Vista offers centralized transportation hubs at the Vista Transit Center & Downtown Vista creating connection points for both the Sprinter hybrid rail and multiple Breeze Bus routes. The Sprinter offers a quick 23-minute trip to Oceanside while the Breeze system connects Vista to neighboring San Marcos, Escondido, and Carlsbad.

Growth & Future Potential

The City of Vista has been working to transform Downtown Vista into a premier destination by supporting public-private partnerships and establishing a formal Arts Culture District. Strategic collaborations have revitalized the Vista Village area, integrating local favorites like Little Cakes with neighborhood staples like the Belching Beaver Tavern & Grill to boost the local economy. The City is also continually investing in local improvements such as adding protected bike lanes and improving lighting to prioritize the safety. Just a few years back the City invested over \$30 million dollars in a project that transformed nearly a mile of South Santa Fe Ave. into a pedestrian-friendly district with undergrounding of utilities, wide sidewalks, and public art.

OFFERING GUIDELINES

PRICE

No stated price. The Buyer is requested to base their offer upon a price they can support. Please provide both a finished unit price and a residual unit price in your offer.

DEPOSIT

Upon acceptance of an offer, the selected Buyer shall deposit \$250,000 to open the escrow. Upon the successful completion of the Due Diligence period, the Buyer shall increase the deposit to 10% of the purchase price. The deposit shall become non-refundable and be released by escrow to Seller.

OFFERS DUE

All offers shall be submitted by **Tuesday May 26, 2026**

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DUE DILIGENCE

Buyer shall have sixty (60) days from the acceptance of the Letter of Intent to complete their due diligence.

CLOSE

Closing shall be fifteen (15) days after the approval of Tentative Map and all appeal periods. Seller to deliver Tentative Map

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