

S Pipkin Multi-Tenant Flex Building

3929 S Pipkin Road, Lakeland, Florida 33803

David Hungerford, CCIM, SIOR
Senior Advisor
863-660-3138
david@saundersrealestate.com

Joey Hungerford, MiCP
Advisor
863-660-3511
joey@saundersrealestate.com

TABLE OF CONTENTS



Table of Contents

| | |
|------------------------------|----|
| Property Summary | 4 |
| Property Description | 5 |
| Interior Photos | 6 |
| Spaces For Lease | 7 |
| Spaces For Lease | 8 |
| Floor Plans - North Section | 9 |
| Floor Plans - Middle Section | 10 |
| Floor Plans - South Section | 11 |
| Site Plan | 12 |
| Regional Map | 14 |
| Location Map | 15 |
| Demographics Map & Report | 16 |
| Market Area Map | 17 |
| Neighborhood Aerial | 18 |
| County | 19 |
| City | 20 |
| Advisor Biography | 22 |
| Advisor Biography | 23 |



SECTION 1

Property Information

PROPERTY SUMMARY



Offering Summary

| | |
|-----------------------------|--------------------------------------|
| Starting Lease Rate: | \$15.00 - \$18.00 SF/yr (NNN) |
| Estimated NNN Expenses: | \$4.00/SF |
| Total SF: | 49,172 SF |
| Available SF: | 3,486 SF - 45,651 SF |
| Lot Size: | 4.27 Acres |
| # of Units: | 12 |
| # of Grade Level Doors: | 25 |
| Jurisdiction: | City of Lakeland |
| Zoning: | PUD-5420 |
| Utilities: | Water and Sewer |
| PIN: | 232903139563000031 |

Property Overview

Exciting new industrial space for lease on S Pipkin Road in Lakeland's Parkway Corporate Center. This new construction, Class A concrete tilt-wall building offers flexible leasing options within its 49,000+ SF. The building is ground level, with large 14' x 16' doors.

Six units on the north end of the building are built out with offices, restrooms, and mezzanines.

Benefit from a prime location in one of Lakeland's most desirable business parks. Nearby is the growing Lakeland Linder Airport, Amazon Air Cargo Hub, Publix HQ, and quick access to Polk Parkway (SR 570), County Line Road, and I-4.

PROPERTY DESCRIPTION



Building Highlights

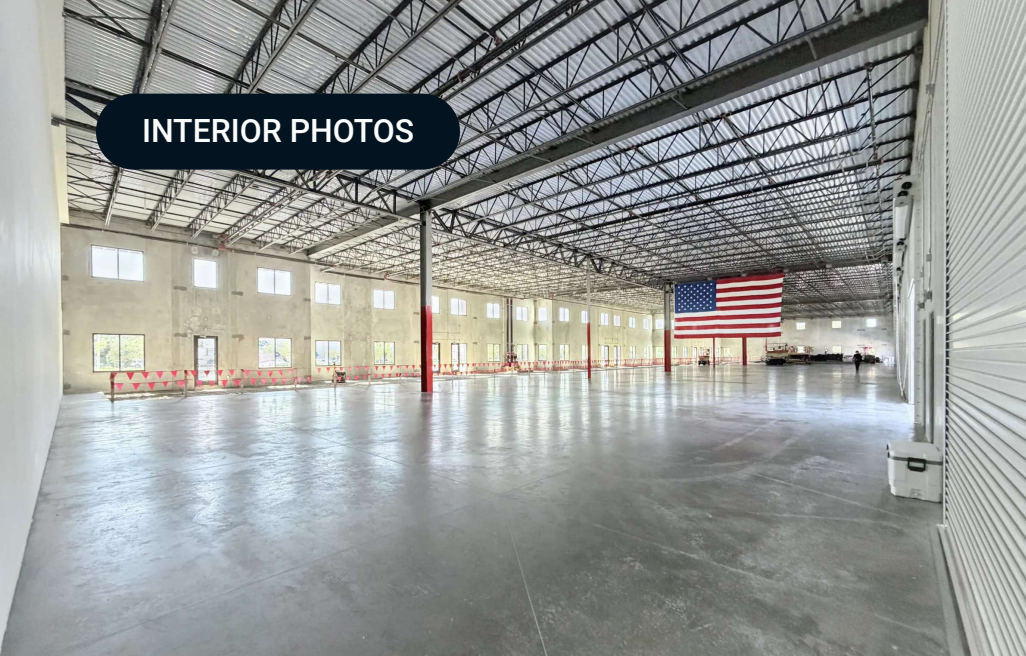
- True Class A Flex Building
- Tilt-Wall Construction
- Fully Sprinkled
- 7" reinforced concrete slab
- Power: 3-Phase, 120-208V, 200 Amps per Unit
- 142 Total Parking Spaces
- LED Lighting
- Rear service dock can be available



Warehouse Highlights

- Clear Height: 24'
- Column Spacing: 41'6" x 50'0"
- 6 Spec Units Built-Out With 2-3 Offices, Restrooms, and Mezzanines
- 25 Total Grade Level Doors (14' x 16'), 2 Doors in Most Units

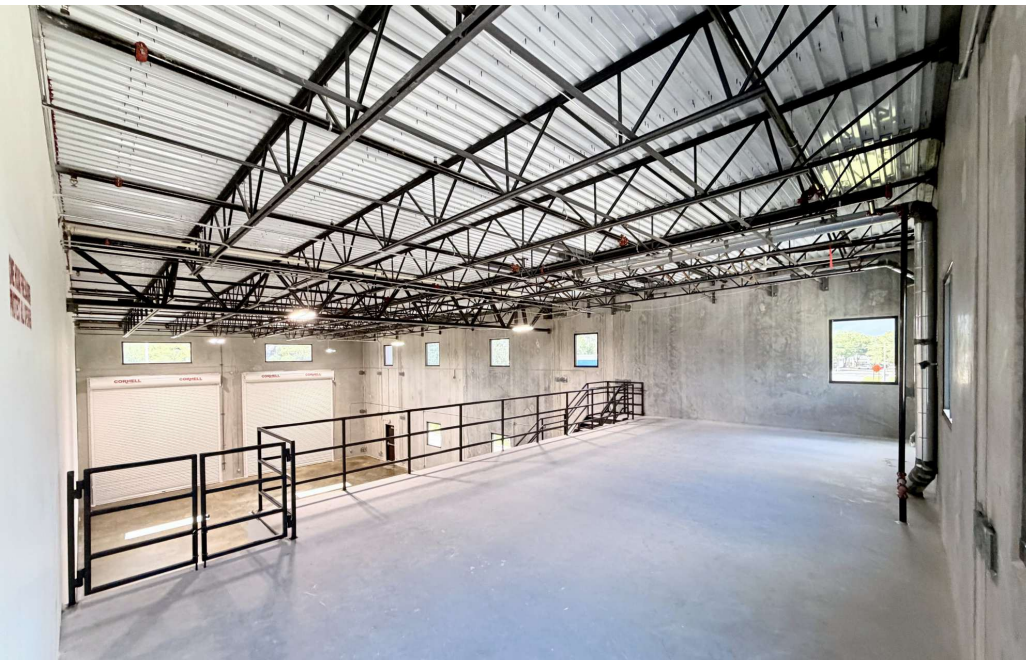
INTERIOR PHOTOS



Shell Space (Max Contiguous: 26,195 ± SF)



Suite Warehouse Space

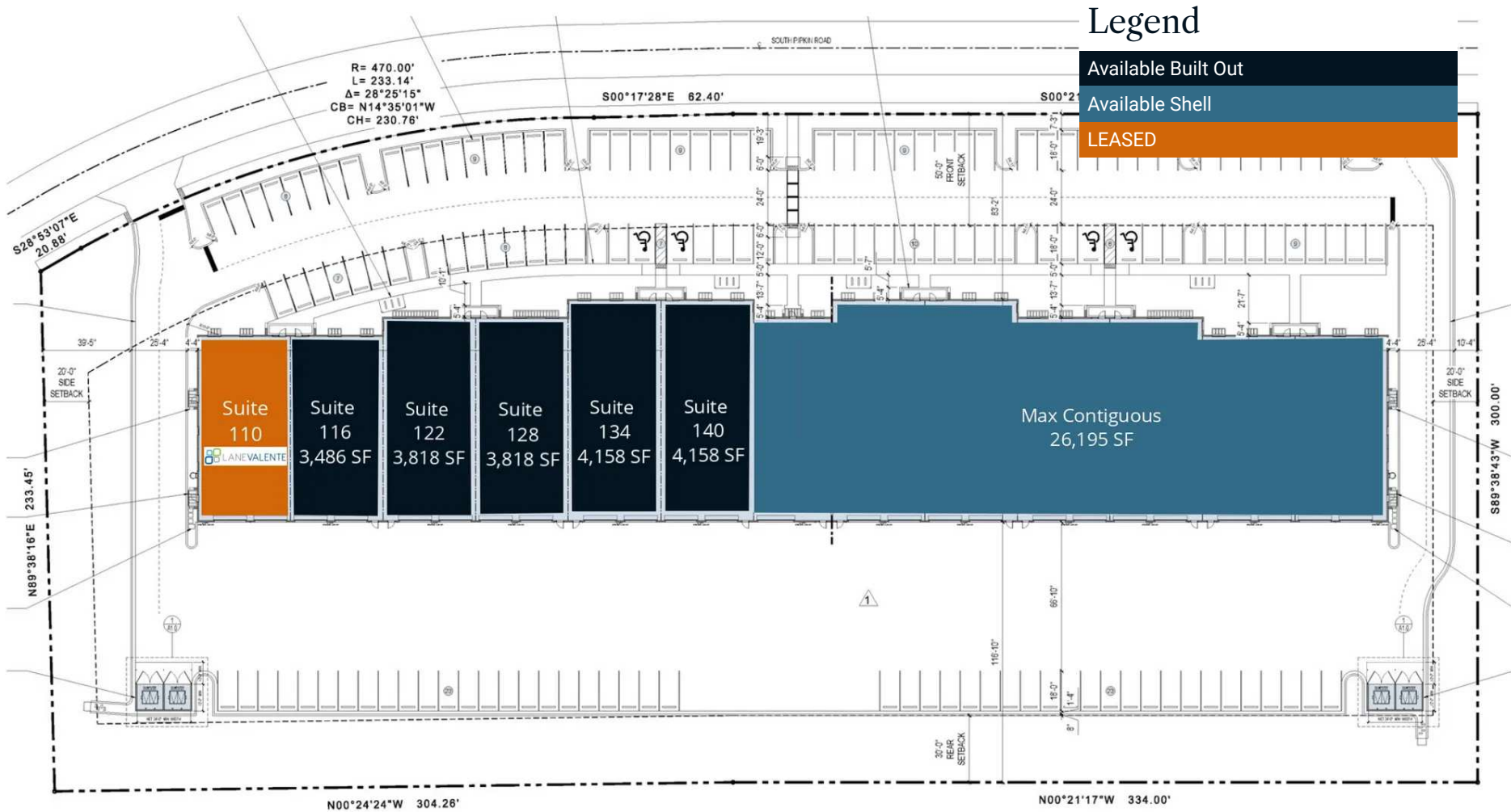


Structural Mezzanine



Typical Suite Office Space

SPACES FOR LEASE



SPACES FOR LEASE

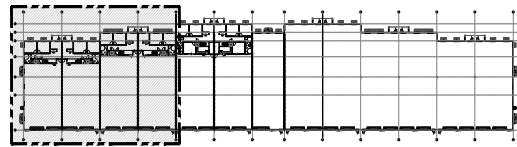


| Legend |
|---------------------|
| Available Built Out |
| Available Shell |
| LEASED |

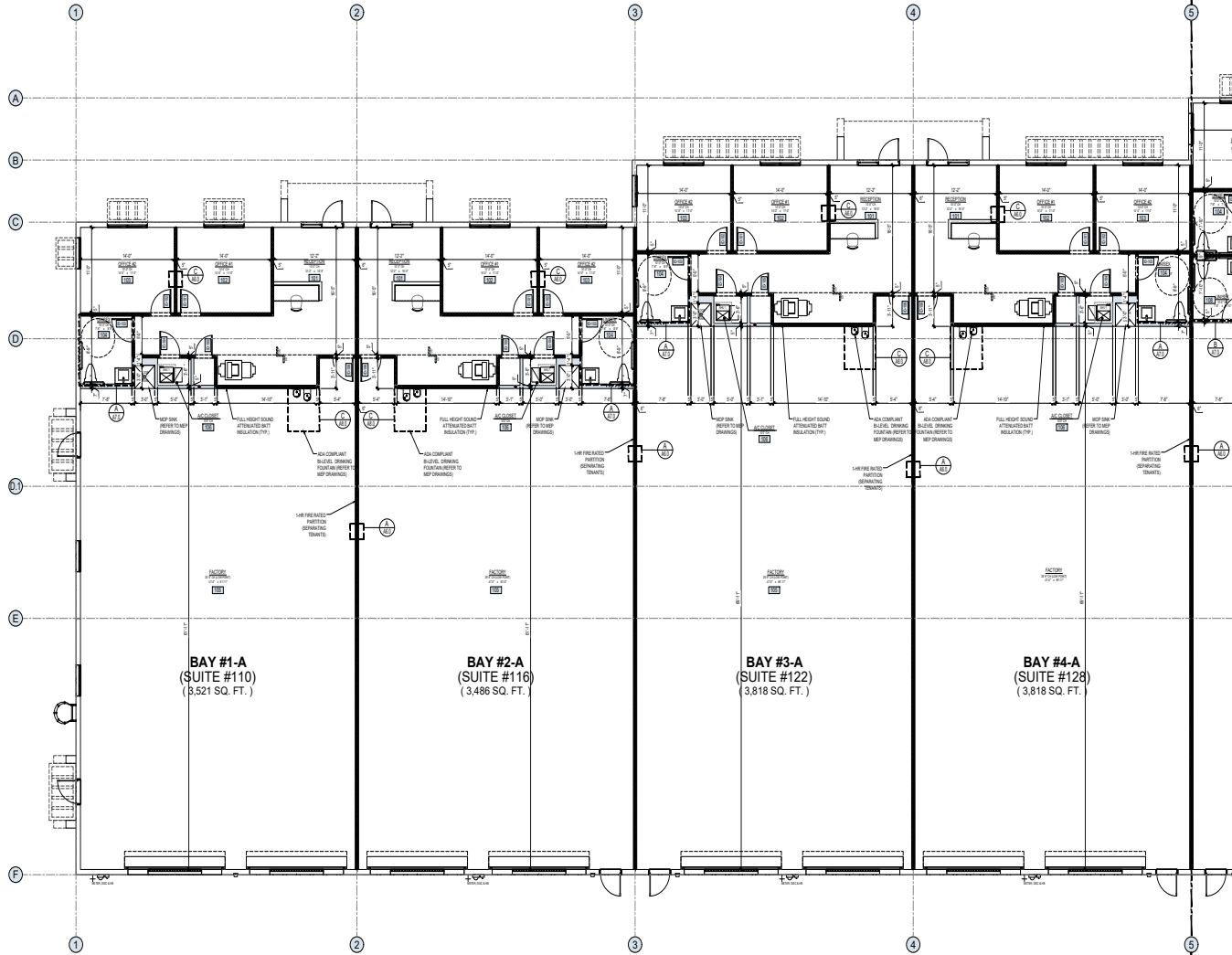
| SUITE | SIZE | RATE | MEZZANINE SIZE | MEZZANINE RATE | NNN RATE | TOTAL MO. RENT |
|-----------|----------|---------------|----------------|----------------|--------------|----------------|
| Suite 110 | 3,521 SF | LEASED | 833 SF | LEASED | LEASED | LEASED |
| Suite 116 | 3,486 SF | \$18.00 SF/yr | 838 SF | \$9.00 SF/yr | \$4.00 SF/yr | \$7,298.83 |
| Suite 122 | 3,818 SF | \$18.00 SF/yr | 836 SF | \$9.00 SF/yr | \$4.00 SF/yr | \$7,905.33 |
| Suite 128 | 3,818 SF | \$18.00 SF/yr | 839 SF | \$9.00 SF/yr | \$4.00 SF/yr | \$7,908.58 |
| Suite 134 | 4,158 SF | \$18.00 SF/yr | 1,175 SF | \$9.00 SF/yr | \$4.00 SF/yr | \$8,895.92 |
| Suite 140 | 4,158 SF | \$18.00 SF/yr | 1,178 SF | \$9.00 SF/yr | \$4.00 SF/yr | \$8,899.17 |
| Suite 146 | 3,227 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$5,109.42 |
| Suite 152 | 4,167 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$6,597.75 |
| Suite 158 | 4,158 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$7,623.00 |
| Suite 164 | 3,818 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$6,045.17 |
| Suite 170 | 3,818 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$6,045.17 |
| Suite 176 | 3,486 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$5,519.50 |
| Suite 182 | 3,521 SF | \$15.00 SF/yr | - | - | \$4.00 SF/yr | \$5,574.92 |

Maximum Contiguous Space: Up to 25,674 square feet.
 Rental rate begins at \$15/sf depending on size and configuration.

FLOOR PLANS - NORTH SECTION



OVERALL FLOOR PLAN



MATCHLINE

FLOOR PLAN NOTES

1. ALL EXTERIOR WINDOWS AND DOORS TO BE IMPACT RESISTANT AND FULLY CALKED FOR A WEATHER TIGHT CONDITION.
2. VERIFY AND COORDINATE ALL MASONRY OPENINGS WITH THE WINDOW/DOOR MANUFACTURERS/SUPPLIER PRIOR TO CONSTRUCTION.
3. ALL DOOR SWEIGHTS WITHIN 24" OF DOOR TO BE TEMPERED. ALL WINDOWS, MIRRORS & GLASS ENCLOSURES WITH SILLS LESS THAN 8" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN FRENCH DOORS TO BE TEMPERED.
4. CEILINGS AND WALLS UNDER STAIR MUST BE ONE (1) HOUR RATED CONSTRUCTION.
5. STAIR SHALL BE FIRESTOPPED (SEE SECTION).
6. FICKETS IN ALL BALUSTRADES MUST BE SPACED TO PREVENT PASSAGE OF A 4" OBJECT.
7. BATHROOM FLOORS AND BASES SHALL BE OF AN IMPERVIOUS MATERIAL.
8. INSULATE EXTERIOR BLOCK WALL WITH A MINIMUM OF R-4.1 AND ATTIC SPACES WITH A MINIMUM OF R-19. INSULATE EXTERIOR FRAME WALL WITH A MINIMUM OF R-11. ENERGY CALCULATIONS SHALL TAKE PRECEDENCE OVER THE MINIMUM REQUIRED ENERGY CODE.
9. STEEL COLUMNS SHALL BE WRAPPED W/ 2 LAYERS 1/2" FIRE RATED GYP WALL BOARD.
10. WALL SHEATHING & NAILING WHEN APPLICABLE SHALL BE 1/2" MINIMUM P.A.A. EXTERIOR EXPOSURE 1, C-D GRADE PLYWOOD, INSTALLED PER MANF. RECOMMENDATION & NAILED WITH 8 D GALV. RING-SHANK NAILS @ 6" O.C. IN FIELD & 4" O.C. ON PANELS EDGES.
11. PROVIDE TREATED AND FIRESTOPPED 1/2" PT FLOORING HORIZONTAL @ CEILING/WALL INTERSECTION.
12. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" WIDE & 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 4" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR MAXIMUM.
13. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY CODE.
14. TERMINATE TREATMENT NOTES.
 - 14.1. SOIL SHALL BE TREATED WITH DUPONT BRAND TERMITICIDE AND APPLIED PER FLORIDA STATUTE CHAPTER 482 PEST CONTROL ACT.
 - 14.2. CONTRACTOR TO SUBMIT CERTIFICATE, FULLY DOCUMENTING APPLICATIONS, STRENGTH OF SOLUTION AND QUANTITY OF SOLUTION PER FLOATING SLAB/STEM WALL CONSTRUCTION TABLE. CALCULATIONS REQUIRED TO COMPLY WITH FLORIDA STATUTE CHAPTER 482 PEST CONTROL ACT.

| LEGEND & SYMBOLS | |
|------------------|-----------------------------------|
| | EXISTING MASONRY CONSTRUCTION |
| | BEARING FRAME CONSTRUCTION |
| | NON-BEARING FRAME CONSTRUCTION |
| | FRAME CONSTRUCTION ABOVE OR BELOW |
| | DETAIL NO. 250 |
| | DETAIL NO. 251 |
| | DETAIL NO. 252 |
| | DETAIL NO. 253 |
| | DETAIL NO. 254 |
| | DETAIL NO. 255 |
| | DETAIL NO. 256 |
| | DETAIL NO. 257 |
| | DETAIL NO. 258 |
| | DETAIL NO. 259 |
| | DETAIL NO. 260 |
| | DETAIL NO. 261 |
| | DETAIL NO. 262 |
| | DETAIL NO. 263 |
| | DETAIL NO. 264 |
| | DETAIL NO. 265 |
| | DETAIL NO. 266 |
| | DETAIL NO. 267 |
| | DETAIL NO. 268 |
| | DETAIL NO. 269 |
| | DETAIL NO. 270 |
| | DETAIL NO. 271 |
| | DETAIL NO. 272 |
| | DETAIL NO. 273 |
| | DETAIL NO. 274 |
| | DETAIL NO. 275 |
| | DETAIL NO. 276 |
| | DETAIL NO. 277 |
| | DETAIL NO. 278 |
| | DETAIL NO. 279 |
| | DETAIL NO. 280 |
| | DETAIL NO. 281 |
| | DETAIL NO. 282 |
| | DETAIL NO. 283 |
| | DETAIL NO. 284 |
| | DETAIL NO. 285 |
| | DETAIL NO. 286 |
| | DETAIL NO. 287 |
| | DETAIL NO. 288 |
| | DETAIL NO. 289 |
| | DETAIL NO. 290 |
| | DETAIL NO. 291 |
| | DETAIL NO. 292 |
| | DETAIL NO. 293 |
| | DETAIL NO. 294 |
| | DETAIL NO. 295 |
| | DETAIL NO. 296 |
| | DETAIL NO. 297 |
| | DETAIL NO. 298 |
| | DETAIL NO. 299 |
| | DETAIL NO. 300 |
| | DETAIL NO. 301 |
| | DETAIL NO. 302 |
| | DETAIL NO. 303 |
| | DETAIL NO. 304 |
| | DETAIL NO. 305 |
| | DETAIL NO. 306 |
| | DETAIL NO. 307 |
| | DETAIL NO. 308 |
| | DETAIL NO. 309 |
| | DETAIL NO. 310 |
| | DETAIL NO. 311 |
| | DETAIL NO. 312 |
| | DETAIL NO. 313 |
| | DETAIL NO. 314 |
| | DETAIL NO. 315 |
| | DETAIL NO. 316 |
| | DETAIL NO. 317 |
| | DETAIL NO. 318 |
| | DETAIL NO. 319 |
| | DETAIL NO. 320 |
| | DETAIL NO. 321 |
| | DETAIL NO. 322 |
| | DETAIL NO. 323 |
| | DETAIL NO. 324 |
| | DETAIL NO. 325 |
| | DETAIL NO. 326 |
| | DETAIL NO. 327 |
| | DETAIL NO. 328 |
| | DETAIL NO. 329 |
| | DETAIL NO. 330 |
| | DETAIL NO. 331 |
| | DETAIL NO. 332 |
| | DETAIL NO. 333 |
| | DETAIL NO. 334 |
| | DETAIL NO. 335 |
| | DETAIL NO. 336 |
| | DETAIL NO. 337 |
| | DETAIL NO. 338 |
| | DETAIL NO. 339 |
| | DETAIL NO. 340 |
| | DETAIL NO. 341 |
| | DETAIL NO. 342 |
| | DETAIL NO. 343 |
| | DETAIL NO. 344 |
| | DETAIL NO. 345 |
| | DETAIL NO. 346 |
| | DETAIL NO. 347 |
| | DETAIL NO. 348 |
| | DETAIL NO. 349 |
| | DETAIL NO. 350 |
| | DETAIL NO. 351 |
| | DETAIL NO. 352 |
| | DETAIL NO. 353 |
| | DETAIL NO. 354 |
| | DETAIL NO. 355 |
| | DETAIL NO. 356 |
| | DETAIL NO. 357 |
| | DETAIL NO. 358 |
| | DETAIL NO. 359 |
| | DETAIL NO. 360 |
| | DETAIL NO. 361 |
| | DETAIL NO. 362 |
| | DETAIL NO. 363 |
| | DETAIL NO. 364 |
| | DETAIL NO. 365 |
| | DETAIL NO. 366 |
| | DETAIL NO. 367 |
| | DETAIL NO. 368 |
| | DETAIL NO. 369 |
| | DETAIL NO. 370 |
| | DETAIL NO. 371 |
| | DETAIL NO. 372 |
| | DETAIL NO. 373 |
| | DETAIL NO. 374 |
| | DETAIL NO. 375 |
| | DETAIL NO. 376 |
| | DETAIL NO. 377 |
| | DETAIL NO. 378 |
| | DETAIL NO. 379 |
| | DETAIL NO. 380 |
| | DETAIL NO. 381 |
| | DETAIL NO. 382 |
| | DETAIL NO. 383 |
| | DETAIL NO. 384 |
| | DETAIL NO. 385 |
| | DETAIL NO. 386 |
| | DETAIL NO. 387 |
| | DETAIL NO. 388 |
| | DETAIL NO. 389 |
| | DETAIL NO. 390 |
| | DETAIL NO. 391 |
| | DETAIL NO. 392 |
| | DETAIL NO. 393 |
| | DETAIL NO. 394 |
| | DETAIL NO. 395 |
| | DETAIL NO. 396 |
| | DETAIL NO. 397 |
| | DETAIL NO. 398 |
| | DETAIL NO. 399 |
| | DETAIL NO. 400 |
| | DETAIL NO. 401 |
| | DETAIL NO. 402 |
| | DETAIL NO. 403 |
| | DETAIL NO. 404 |
| | DETAIL NO. 405 |
| | DETAIL NO. 406 |
| | DETAIL NO. 407 |
| | DETAIL NO. 408 |
| | DETAIL NO. 409 |
| | DETAIL NO. 410 |
| | DETAIL NO. 411 |
| | DETAIL NO. 412 |
| | DETAIL NO. 413 |
| | DETAIL NO. 414 |
| | DETAIL NO. 415 |
| | DETAIL NO. 416 |
| | DETAIL NO. 417 |
| | DETAIL NO. 418 |
| | DETAIL NO. 419 |
| | DETAIL NO. 420 |
| | DETAIL NO. 421 |
| | DETAIL NO. 422 |
| | DETAIL NO. 423 |
| | DETAIL NO. 424 |
| | DETAIL NO. 425 |
| | DETAIL NO. 426 |
| | DETAIL NO. 427 |
| | DETAIL NO. 428 |
| | DETAIL NO. 429 |
| | DETAIL NO. 430 |
| | DETAIL NO. 431 |
| | DETAIL NO. 432 |
| | DETAIL NO. 433 |
| | DETAIL NO. 434 |
| | DETAIL NO. 435 |
| | DETAIL NO. 436 |
| | DETAIL NO. 437 |
| | DETAIL NO. 438 |
| | DETAIL NO. 439 |
| | DETAIL NO. 440 |
| | DETAIL NO. 441 |
| | DETAIL NO. 442 |
| | DETAIL NO. 443 |
| | DETAIL NO. 444 |
| | DETAIL NO. 445 |
| | DETAIL NO. 446 |
| | DETAIL NO. 447 |
| | DETAIL NO. 448 |
| | DETAIL NO. 449 |
| | DETAIL NO. 450 |

BAY #1-A
(SUITE #110)
(8,521 SQ. FT.)

BAY #2-A
(SUITE #116)
(3,486 SQ. FT.)

BAY #3-A
(SUITE #122)
(3,818 SQ. FT.)

BAY #4-A
(SUITE #128)
(3,818 SQ. FT.)

#21076-T

architecture + energy of intelligence

INTELAE

OFFICE: 408.672.7424 WEBSITE: intelae.com
 1315 SOUTH FEDERAL HIGHWAY • SUITE 206
 BOCA RATON • FLORIDA • 33432

TENANT IMPROVEMENT

COMMERCIAL BUILDING

3929 SOUTH PIPKIN ROAD

LAKELAND, FL 33811

REVISIONS:

DATE: 07-18-2024

DRAWN / CHECKED: TRA / LUJ

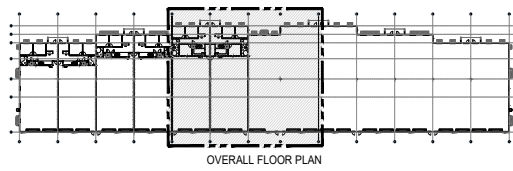
PERMIT: 8-7-2024

CONSTRUCTION:

@024 - #ARD0013830

A2.0

FLOOR PLANS - MIDDLE SECTION



FLOOR PLAN NOTES

- ALL EXTERIOR WINDOWS AND DOORS TO BE IMPACT RESISTANT AND FULLY CALKED FOR A WEATHER TIGHT CONDITION.
- VERIFY AND COORDINATE ALL MASONRY OPENINGS WITH THE WINDOW/DOOR MANUFACTURER/SUPPLIER PRIOR TO CONSTRUCTION.
- ALL DOOR SWEIGHTS WITHIN 24" OF DOOR TO BE TEMPERED. ALL WINDOWS, MIRRORS & GLASS ENCLOSURES WITH SILLS LESS THAN 80" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN FRENCH DOORS TO BE TEMPERED.
- CEILINGS AND WALLS UNDER STAIR MUST BE ONE (1) HOUR RATED CONSTRUCTION.
- STAIR SHALL BE FIRESTOPPED (SEE SECTION).
- FRICTES IN ALL ILLUSTRATIONS MUST BE SPACED TO PREVENT PASSAGE OF 4" OBJECT.
- BATHROOM FLOORS AND BASES SHALL BE OF AN IMPERVIOUS MATERIAL.
- INSULATE EXTERIOR BLOCK WALL WITH A MINIMUM OF R-4.1 AND ATTIC SPACES WITH A MINIMUM OF R-19. INSULATE EXTERIOR FRAME WALL WITH A MINIMUM OF R-11. ENERGY CALCULATIONS SHALL TAKE PRECEDENCE OVER THE MINIMUM REQUIRED ENERGY CODE.
- STEEL COLUMNS SHALL BE WRAPPED W/ 2 LAYERS 1/2" FIRE RATED GYP WALL BOARD.
- WALL SHEATHING & NAILING WHEN APPLICABLE SHALL BE 1932' MINIMUM P.A. EXTERIOR EXPOSURE 1, C-D GRADE PLYWOOD, INSTALLED PER MANF. RECOMMENDATION & NAILED WITH 8 D GALV. RING-SHANK NAILS @ 6" O.C. IN FIELD & 4" O.C. ON PANELS EDGES.
- PROVIDE TREATED AND FIRESTOPPED 1/2" PT FLOORING HORIZONTAL @ CEILING/WALL INTERSECTION.
- EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" WIDE & 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 4" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR MAXIMUM.
- WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY CODE.
- TERMITE TREATMENT NOTES:
 - SOIL SHALL BE TREATED WITH DUPONT BRAND TERMITICIDE AND APPLIED PER FLORIDA STATUTE CHAPTER 482 PEST CONTROL ACT.
 - CONTRACTOR TO SUBMIT CERTIFICATE, FULLY DOCUMENTING APPLICATIONS, STRENGTH OF SOLUTION AND QUANTITY OF SOLUTION PER FLOATING SLAB/STEM WALL CONSTRUCTION TABLE CALCULATIONS REQUIRED TO COMPLY WITH FLORIDA STATUTE CHAPTER 482 PEST CONTROL ACT.

LEGEND & SYMBOLS

| | |
|--|-----------------------------------|
| | EXISTING MASONRY CONSTRUCTION |
| | BEARING FRAME CONSTRUCTION |
| | NON-BEARING FRAME CONSTRUCTION |
| | FRAME CONSTRUCTION ABOVE OR BELOW |
| | DETAIL NO. BELOW |
| | DETAIL INDICATION |
| | DOOR SIZE (TYPICAL, U.O.) |

FIRE RATING LEGEND

| | |
|--|--------------------------------|
| | 1-HOUR FIRE RATED WALL (U-419) |
| | 4-HOUR FIRE RATED WALL (U-480) |

#21076-T

architecture + energy of intelligence

INTELAE

TENANT IMPROVEMENT
COMMERCIAL BUILDING
3929 SOUTH PIPKIN ROAD
LAKELAND, FL 33811

DATE: 07-16-2024
DRAWN / CHECKED: TRA / LUJ
PERMIT: 8-17-2024
CONSTRUCTION

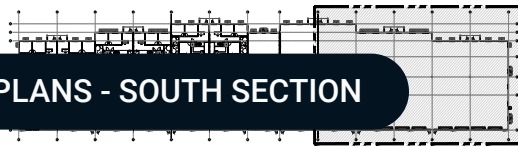
REVISIONS:

1

024 - #ARD0013630

A3.0

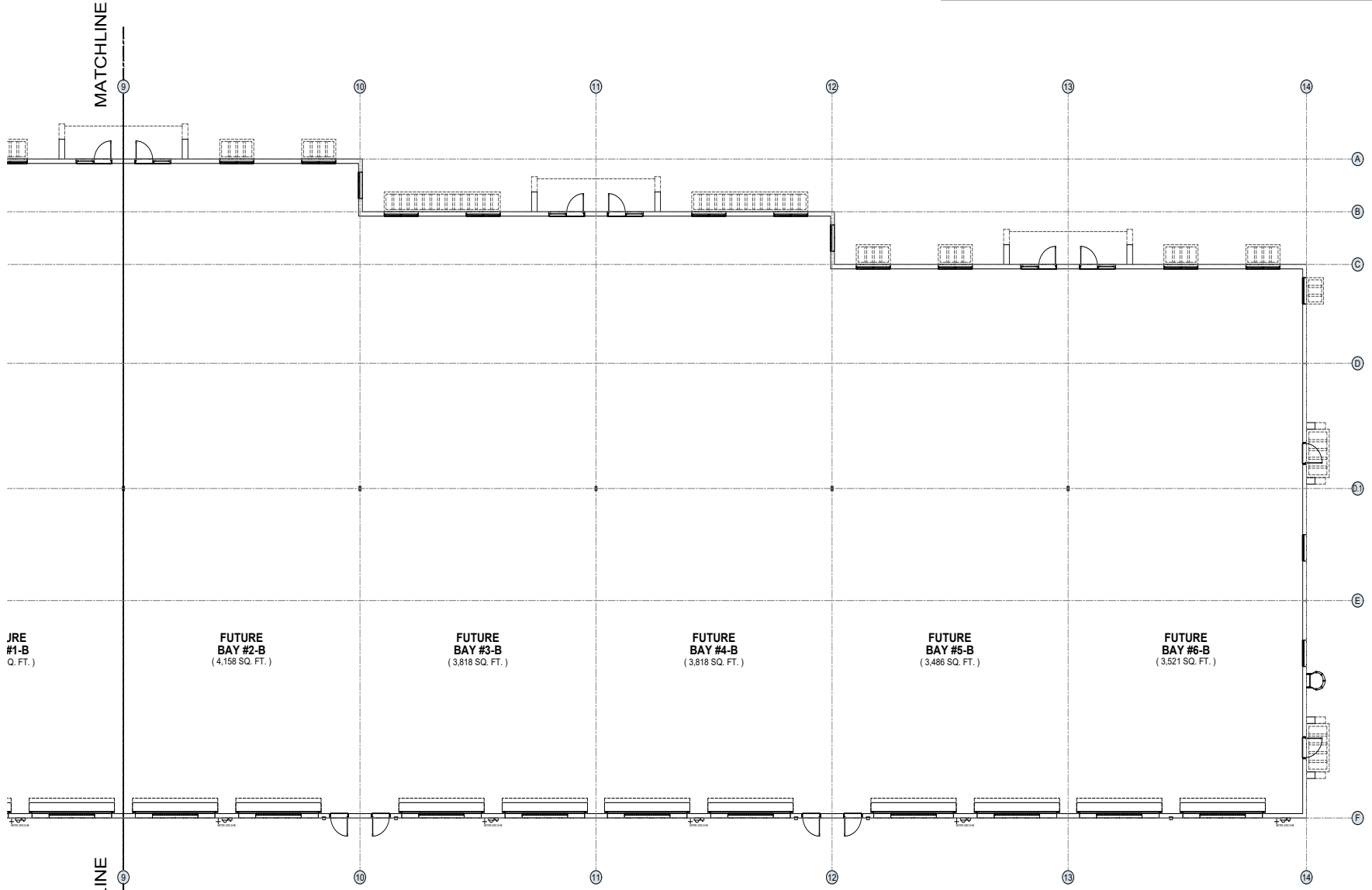
FLOOR PLANS - SOUTH SECTION



OVERALL FLOOR PLAN

| LEGEND & SYMBOLS | |
|--------------------|-----------------------------------|
| | MASONRY CONSTRUCTION (TYPICAL) |
| | NON-BEARING FRAME CONSTRUCTION |
| | POURED CONCRETE COLUMN |
| | FRAME CONSTRUCTION ABOVE OR BELOW |
| | GROUT FILLED CELL |
| | DETAIL NO. |
| | SHEET NO. |
| | DETAIL INDICATION |
| | BEARING FRAME CONSTRUCTION |
| | DOOR SIZE (TYPICAL, U.N.O.) |
| FIRE RATING LEGEND | |
| | 1-HOUR FIRE RATED WALL (U-419) |
| | 4-HOUR FIRE RATED WALL (U-490) |

| FLOOR PLAN NOTES | |
|------------------|---|
| 1. | ALL EXTERIOR WINDOWS AND DOORS TO BE IMPACT RESISTANT AND FULLY CALKED FOR A WEATHER TIGHT CONDITION. |
| 2. | VERIFY AND COORDINATE ALL MASONRY OPENINGS WITH THE WINDOW/DOOR MANUFACTURERS/SUPPLIER PRIOR TO CONSTRUCTION. |
| 3. | ALL DOOR SIDELIGHTS WITHIN 24" OF DOOR TO BE TEMPERED. ALL WINDOW/MIRROR & GLASS ENCLOSURES WITH SILLS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN FRENCH DOORS TO BE TEMPERED. |
| 4. | CELLINGS AND WALLS UNDER STAIR MUST BE ONE (1) HOUR RATED CONSTRUCTION. |
| 5. | STAR SHALL BE FIRE STOPPED (SEE SECTION). |
| 6. | PICKETS IN ALL BALUSTRADES MUST BE SPACED TO PREVENT PASSAGE OF A 4" OBJECT. |
| 7. | BATHROOM FLOORS AND BASES SHALL BE OF AN IMPERVIOUS MATERIAL. |
| 8. | INSULATE EXTERIOR BLOCK WALL WITH A MINIMUM OF R-4.1 AND ATTIC SPACES WITH A MINIMUM OF R-19. INSULATE EXTERIOR FRAME WALL WITH A MINIMUM OF R-11. ENERGY CALCULATIONS SHALL TAKE PRECEDENCE OVER THE MINIMUM REQUIRED ENERGY CODE. |
| 9. | STEEL COLUMNS SHALL BE WRAPPED IN 2 LAYERS 1/2" FIRE RATED GYP. WALL BOARD. |
| 10. | WALL SHEATHING & WALLING WHEN APPLICABLE SHALL BE 1/2" MINIMUM P.A. EXTERIOR EXPOSURE 1, C/O GRADE PLYWOOD, INSTALLED PER MANF. RECOMMENDATION & NAILED WITH 8 D GALV. RING-SHANK NAILS @ 6" O.C. IN FIELD & 6" O.C. ON PANELS EDGES. |
| 11. | PROVIDE TREATED AND FIRE STOPPED 1X2 FT FLOORING HORIZONTAL @ CEILING/WALL INTERSECTION. |
| 12. | EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" WIDE & 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR MAXIMUM. |
| 13. | WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY CODE. |
| 14. | TERMITE TREATMENT NOTES: |
| 14.1. | SOIL SHALL BE TREATED WITH DUPONT BRAND TERMITE AND APPLIED PER FLORIDA STATUTE CHAPTER 482 PEST CONTROL ACT. |
| 14.2. | CONTRACTOR TO SUBMIT CERTIFICATE, FULLY DOCUMENTING APPLICATIONS, STRENGTH OF SOLUTION AND QUANTITY OF SOLUTION PER FLOATING SLAB/STEM WALL CONSTRUCTION TABLE CALCULATIONS REQUIRED TO COMPLY WITH FLORIDA STATUTE CHAPTER 482 PEST CONTROL ACT. |



FOR REFERENCE ONLY

#21076-T

architecture + energy of intelligence

INTELAÆ

TENANT IMPROVEMENT
COMMERCIAL BUILDING
3929 SOUTH PIPKIN ROAD
LAKELAND, FL 33811

DATE: 07-12-2024
DRAWN/CHECKED: TRA/LUJ
PERMIT: 8-7-2024
CONSTRUCTION

OFFICE: 405.672.7124
1315 SOUTH FEDERAL HIGHWAY • SUITE 206
LAKELAND, FL 33802

REVISIONS:

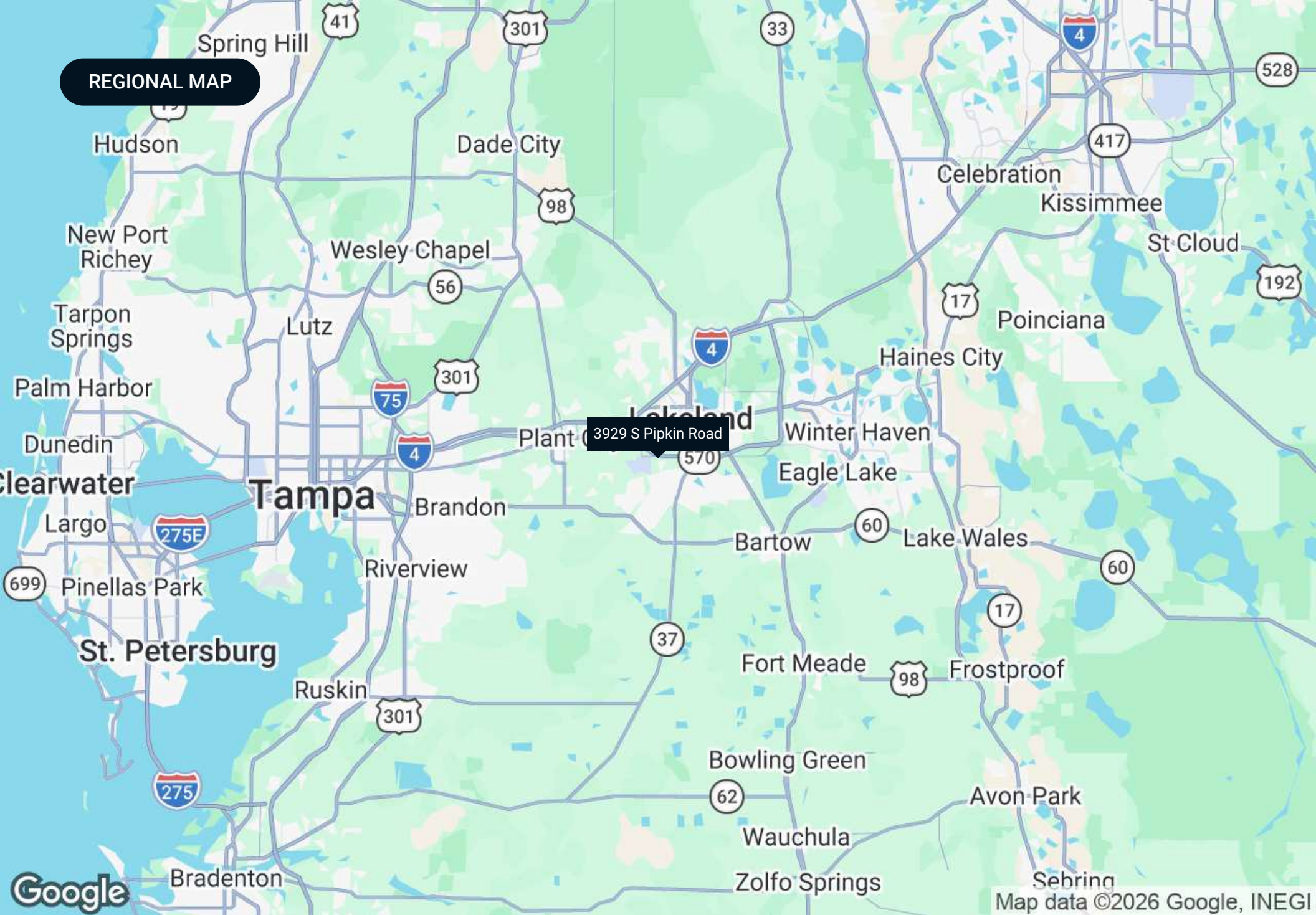
©2024 - #ARD0013830

A4.0



SECTION 2

Location Information



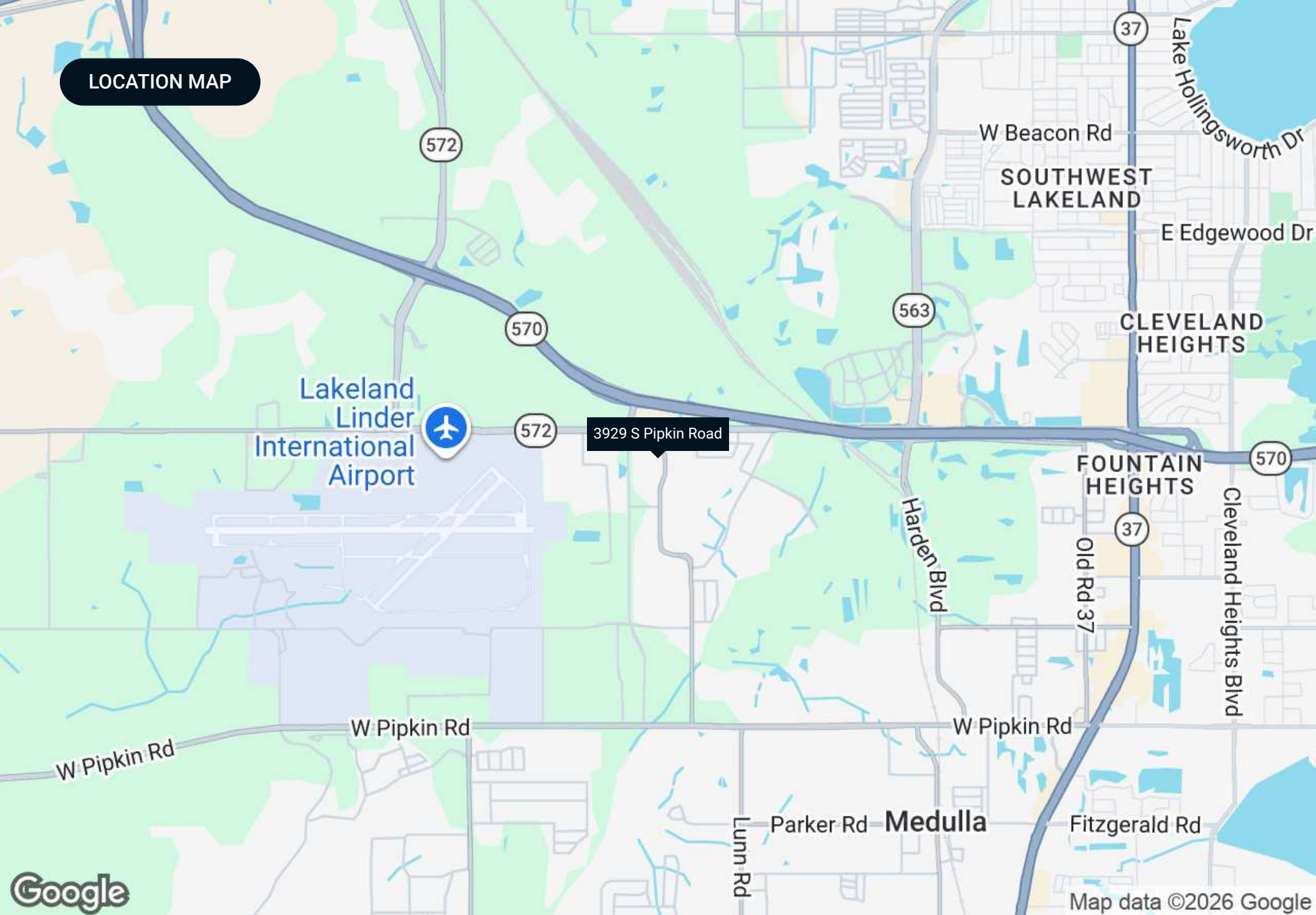
REGIONAL MAP

3929 S Pipkin Road

Google

Map data ©2026 Google, INEGI

LOCATION MAP



3929 S Pipkin Road

Lakeland Linder International Airport

W Beacon Rd

SOUTHWEST LAKELAND

E Edgewood Dr

CLEVELAND HEIGHTS

FOUNTAIN HEIGHTS

Harden Blvd

Old Rd 37

Cleveland Heights Blvd

W Pipkin Rd

W Pipkin Rd

W Pipkin Rd

Lunn Rd

Parker Rd

Medulla

Fitzgerald Rd

Map data ©2026 Google

DEMOGRAPHICS MAP & REPORT

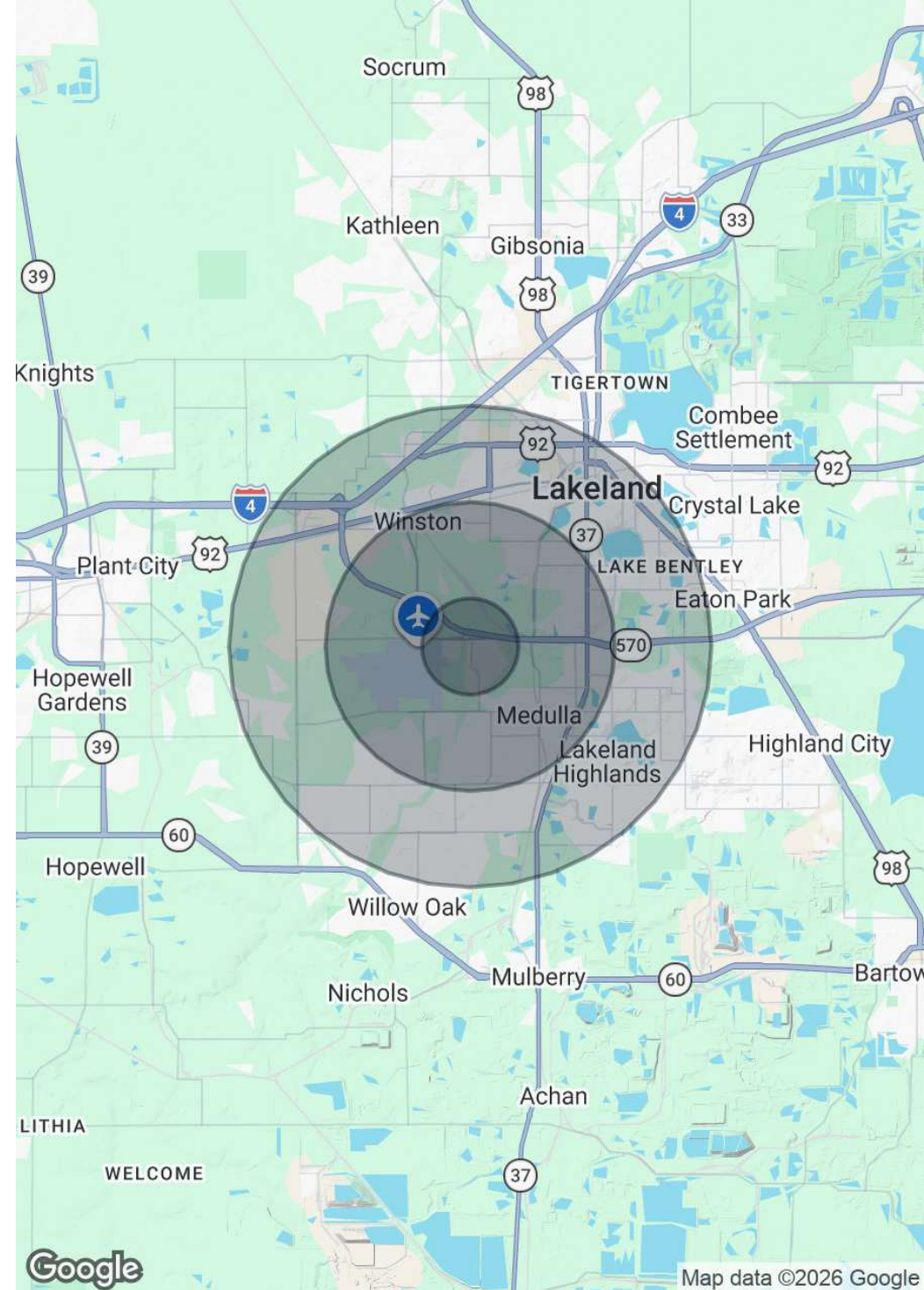
Population

| | 1 Mile | 3 Miles | 5 Miles |
|----------------------|--------|---------|---------|
| Total Population | 1,875 | 43,919 | 131,658 |
| Average Age | 44 | 43 | 42 |
| Average Age (Male) | 43 | 42 | 40 |
| Average Age (Female) | 45 | 45 | 43 |

Households & Income

| | 1 Mile | 3 Miles | 5 Miles |
|---------------------|-----------|-----------|-----------|
| Total Households | 757 | 18,198 | 51,483 |
| # of Persons per HH | 2.5 | 2.4 | 2.6 |
| Average HH Income | \$106,479 | \$90,127 | \$93,209 |
| Average House Value | \$371,531 | \$294,411 | \$310,787 |

2020 American Community Survey (ACS)



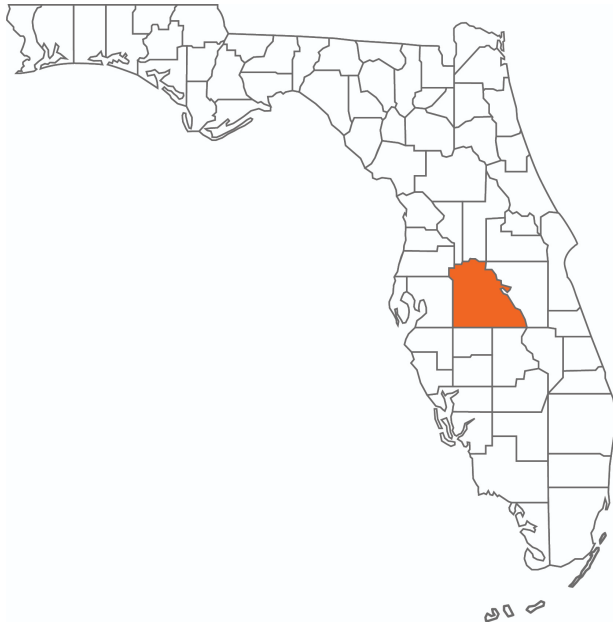
NEIGHBORHOOD AERIAL



COUNTY



Polk County FLORIDA



| | | | |
|-------------|---------------|------------|-----------------|
| Founded | 1861 | Density | 386.5 (2019) |
| County Seat | Bartow | Population | 775,084 (2023) |
| Area | 1,875 sq. mi. | Website | polk-county.net |

In Florida, Polk County is a leading contributor to the state's economy and politics. Concerning the local economy, industries like citrus, cattle, agriculture, and phosphate have all played extremely vital roles in Polk County. An increase in tourist revenue has also significantly contributed to the county's economic growth in recent years. As the heart of Central Florida, Polk County's location between the Tampa and Orlando Metropolitan Areas has aided in the development and growth of the area. Residents and visitors alike are drawn to the unique character of the county's numerous heritage sites, cultural venues, stunning natural landscapes, and plentiful outdoor activities. **Polk County has a 2025 estimated population of 826,000.**



Lakeland

POLK COUNTY

| | |
|------------------------|---|
| Founded | 1885 |
| Population | 117,606 (2023) |
| Area | 74.4 sq mi |
| Website | lakelandgov.net |
| Major Employers | Publix Supermarkets Saddle Creek Logistics Geico Insurance Amazon Rooms to Go Welldyne Advance Auto Parts |

Conveniently located along the I-4 corridor, Lakeland is a vibrant community offering great access to both Tampa and Orlando. With a population of more than 125,000, the city limits cover an impressive 74.4 square miles. At the core of its community, Lakeland is also home to an abundance of lakes that provide scenic views as well as ample recreational opportunities for its residents. Much of Lakeland's culture and iconic neighborhoods are built around the 38 named lakes found within the city.

Just as vital to the community, Downtown Lakeland is a lively and enjoyable scene for residents and visitors alike. Dubbed 'Lakeland's living room,' Downtown Lakeland truly embodies the city's community spirit. This dynamic community boasts quaint shops, casual restaurants, pubs, craft breweries, and fine-dining experiences in and around the historic brick buildings surrounding the historic Munn Park town square.

Embracing the City of Lakeland's rich history, tree-lined brick streets can be found winding through various historic neighborhoods of the community. The city is also home to several educational institutions, including Southeastern University, Florida Polytechnic University, Polk State College, and Florida Southern College, which hosts Frank Lloyd Wright's most extensive on-site collection of architecture.



SECTION 3

Agent And Company Info

ADVISOR BIOGRAPHY



David Hungerford, CCIM, SIOR

Senior Advisor

david@saundersrealestate.com

Direct: **877-518-5263 x347** | Cell: **863-660-3138**

Professional Background

David Hungerford, MBA, CCIM, SIOR is a Senior Advisor at Saunders Real Estate.

The firm serves as the premier commercial services provider of Central Florida. Throughout his career, David has closed on more than \$250 million across nearly all types of commercial properties and development land. David is a mapping and GIS specialist within the firm and formerly served as the firm's Director of Research. He prides himself on solving complex problems for his clients and stakeholders.

David graduated Cum Laude from Florida State University in Tallahassee, FL. He obtained a Bachelor of Science degree in real estate, a Bachelor of Science degree in finance, and a minor in Italian studies/language. While at FSU, he was an active member of the Florida State University Real Estate Society. David would later graduate with his Master's in Business Administration from Florida Southern College in Lakeland, FL where he was admitted into Beta Gamma Sigma and admitted as an adjunct real estate instructor.

David is an SIOR (Society of Industrial and Office Realtors) and a CCIM (Certified Commercial Investment Member) designee and has served in numerous leadership roles for the CCIM Florida West Coast District, including as President in 2024. He has experience as an expert witness in all subjects of property valuation and leasing.

David is a member of the Lakeland Association of Realtors® and has served on its Board of Directors and finance committee. He is also an active member of The International Council of Shopping Centers (ICSC). David is married and lives with his wife Aimee and children Eliana, Ezra, and Shepherd on a small farm in Lakeland, FL. They are proud members of Access Church.

David specializes in:

- Development Properties
- Industrial Properties
- Commercial Properties
- Real Estate Analytics

ADVISOR BIOGRAPHY



Joey Hungerford, MiCP

Advisor

joey@saundersrealestate.com

Direct: **877-518-5263 x348** | Cell: **863-660-3511**

Professional Background

Joey Hungerford, MiCP is an Advisor at Saunders Real Estate.

Joey has a background in communications and political affairs, having served in various roles within the U.S. government. His prior experience includes serving as Communications Director for a Congresswoman in the United States House of Representatives, Communications Advisor to the Chairman of the House Judiciary Committee, and in communications and media roles supporting the President of the United States.

Prior to relocating to Washington, D.C., Joey was born and raised in Lakeland, where he earned a Bachelor of Science degree in Communications, with an emphasis in Broadcasting, and a minor in Theology, from Southeastern University.

Joey is an active member of Lakeland REALTORS®, where he earned the 2025 Commercial Realtor of the Year award. He also serves as Co-Chair of the Public Policy Committee and is a graduate of the association's Leadership Academy. In addition, Joey is a member of the International Council of Shopping Centers (ICSC), United Way of Central Florida Young Leaders Society, Emerge Lakeland, and the CCIM Florida West Coast District, where he serves on the Membership Committee. He is currently a CCIM Candidate working toward his designation.

With his unique career experience and unmatched work ethic, Joey takes pride in his ability to build meaningful relationships while delivering exceptional service to his clients.

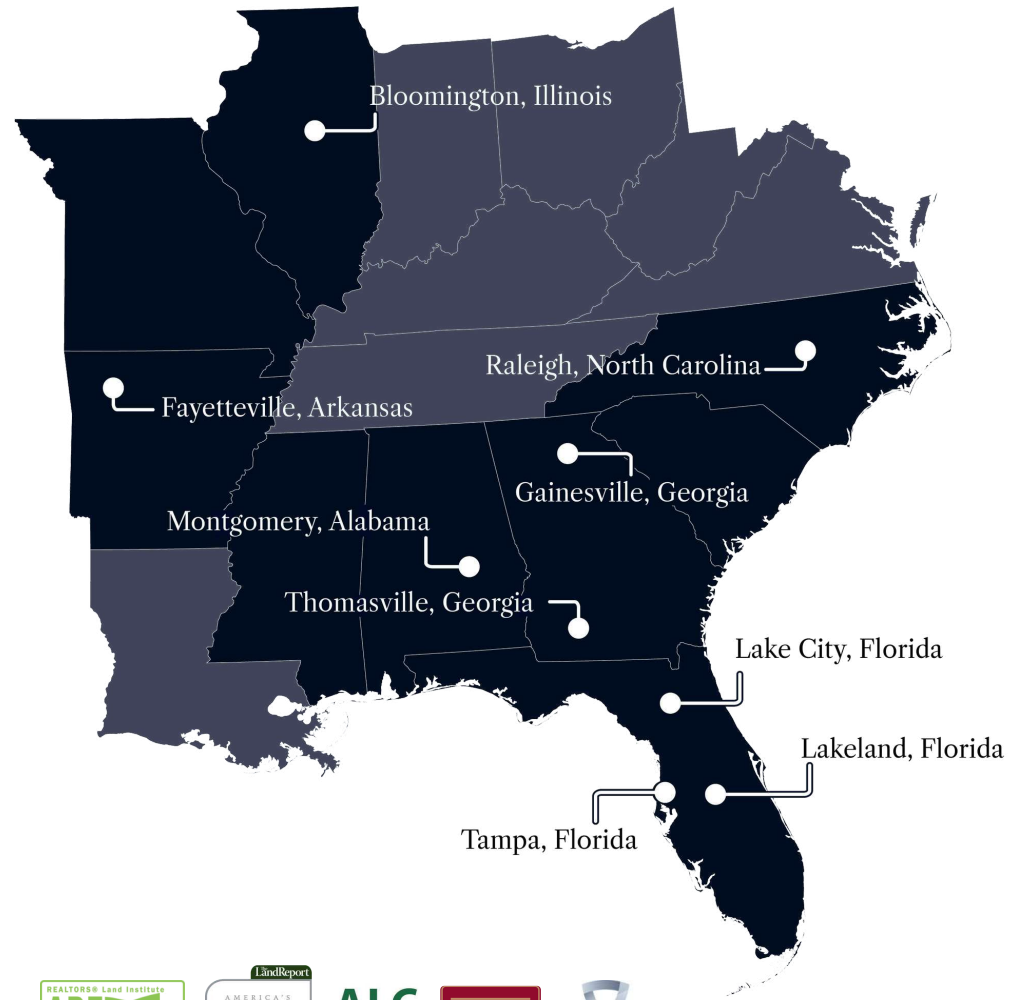
Joey and his wife, Hope, are proud parents of two boys, Levi and Hudson. They are members of Together Church in Lakeland, where Joey leads a connect group.

Joey specializes in:

- Industrial
- Commercial Leasing
- Office
- Site Identification



At Saunders Real Estate, we deliver full-service real estate solutions, built on more than 30 years of trusted experience. Our dedicated teams offer tailored guidance backed by deep regional insight and a proven track record. We believe that successful outcomes start with strong relationships built on trust and a shared commitment to your goals.



877-518-5263 • info@saundersrealestate.com



©2026 Saunders Real Estate, LLC. All rights reserved. The information contained in this communication is strictly confidential. This information has been obtained from sources believed to be reliable but has not been verified. NO WARRANTY OR REPRESENTATION, EXPRESS OR IMPLIED, IS MADE AS TO THE CONDITION OF THE PROPERTY (OR PROPERTIES) REFERENCED HEREIN OR AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN, AND SAME IS SUBMITTED SUBJECT TO ERRORS, OMISSIONS, CHANGE OF PRICE, RENTAL OR OTHER CONDITIONS, WITHDRAWAL WITHOUT NOTICE, AND TO ANY SPECIAL LISTING CONDITIONS IMPOSED BY THE PROPERTY OWNER(S). ANY PROJECTIONS, OPINIONS OR ESTIMATES ARE SUBJECT TO UNCERTAINTY AND DO NOT SIGNIFY CURRENT OR FUTURE PROPERTY PERFORMANCE.