



Rge. Rd. 262 & HW 19

Leduc County Industrial Land



PROPERTY DETAILS

Address:	Range Road 262 & HW 19, Leduc County
Legal:	Plan 1720307, Block 1, Lot 1
Zoning:	IND (Industrial)
Total Size:	12.75 Acres (+/-)
Property Tax:	\$2,626.60 (Estimate)
Sale Price:	\$1,750,000.00



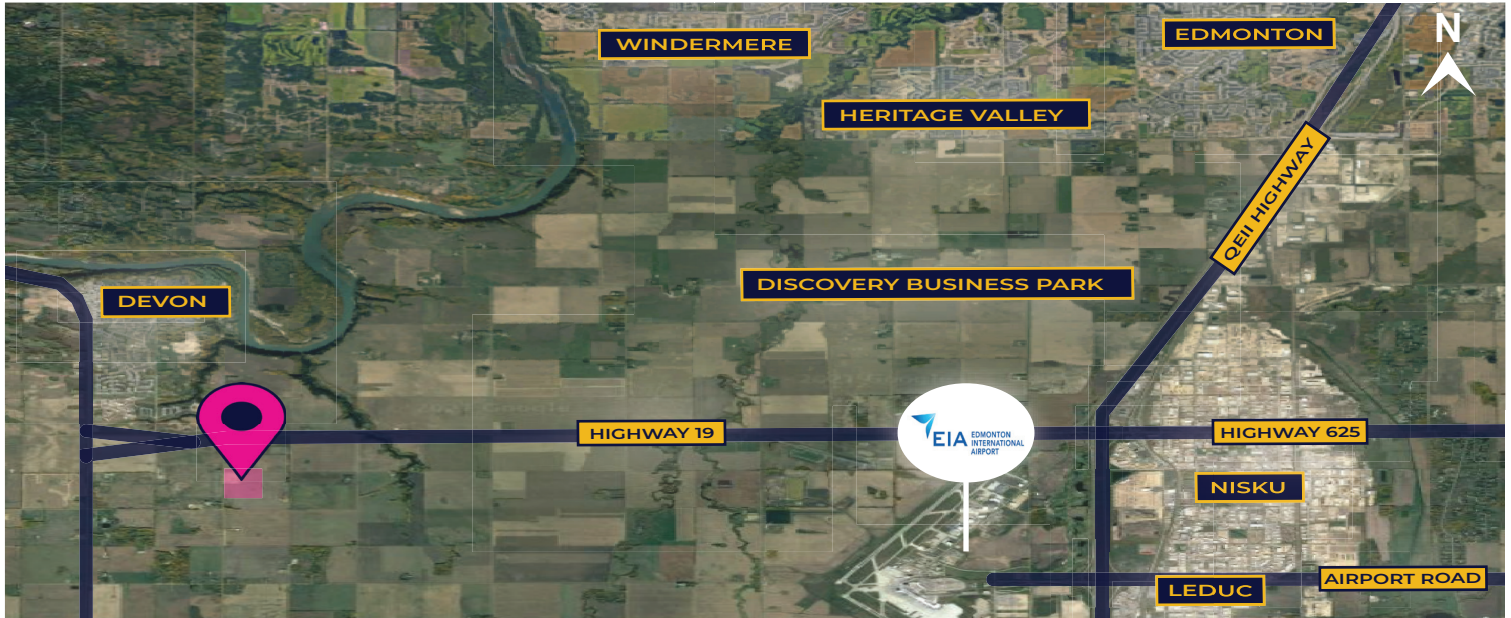
PROPERTY HIGHLIGHTS

- Industrial zoned yard
- Compacted clay base, ready for storage use
- 1/2 Mile to the high load corridor
- Completed Highway 19 twinning project
- Located in the approved south of Devon industrial ASP



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- Located just 10 minutes away from Devon, Leduc, Nisku and the Edmonton International Airport, this development-ready industrial land is perfect for a purchaser looking to be part of the Alberta's industrial action
- Excellent access to major highways including Highway 625 (20 Avenue), Queen Elizabeth II Highway, Airport Road, Sparrow Drive and Spine Road (9 Street)



MARKET HIGHLIGHTS

- **TRANSPORTATION HUB**
Easy access to the QEII Highway and the EIA. direct access to the CANA-MEX Corridor that leads to the USA and Mexico
- **HEAVY INDUSTRIAL LAND**
The ability for heavy industrial companies to conduct their business in a friendly and safe location. The ideal home and zoning for energy, fabrication and manufacturing service businesses
- **EDMONTON INTERNATIONAL AIRPORT**
The largest landmass of any Canadian airport, this busy inland port has uncongested access by rail from Prince Rupert/Vancouver and onward by air or truck to all points in Canada and the US
- **HIGHLOAD CORRIDOR (HLC)**
The HLC consists of designated highways with overhead utility lines raised to accommodate higher loads. Running through the heart of Nisku with access to Grande Prairie and Fort McMurray in the north
- **COMMERCIAL OPPORTUNITIES**
The HLC consists of designated highways with overhead utility lines raised to accommodate higher loads. Running through the heart of Nisku with access to Grande Prairie and Fort McMurray in the north
- **PORT ALBERTA**
Where industry lives and works in a tax-friendly environment. Home to COSTCO, Premium Outlet Mall and Century Mile Racetrack & Casino



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