

Academy Hill Drive, Warrenton, VA 20186

**17 SINGLE FAMILY RESIDENTIAL
LOT DEVELOPMENT IN OLD TOWN
WARRENTON**



Preliminary site plan for 17 single family residential lots completed. A picturesque community awaits on this 5.3 acre lot for sale within walking distance to Old Town Warrenton. Located directly behind the Mosby House on Main Street, a historic rock wall beckons entry into this residential enclave complete with historic homes, apartments and new houses. Currently zoned R-6 with water and sewer close to site.

GPIN: 6984-53-9508-000

Sales Price: \$1,800,000

Wright Realty, Inc. founded in 1946 continues to serve your real estate needs with over 60 years and five generations of experience



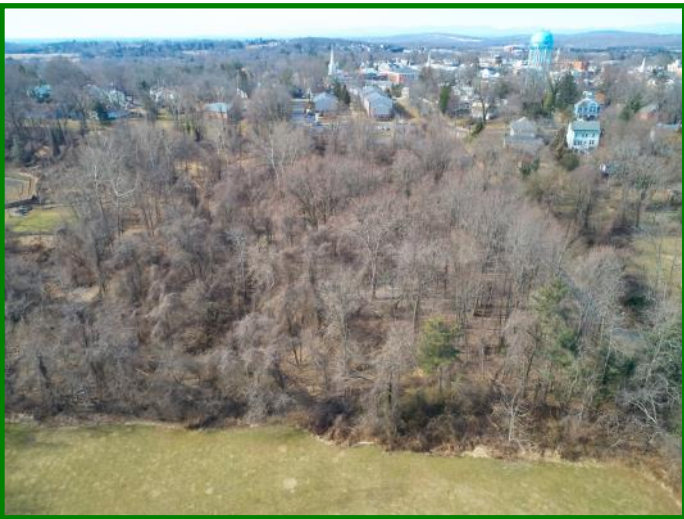
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Manassas, Virginia 20110

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ax: 703-368-7238

Email: ebw@wright-realty.com
Website: www.wright-realty.com

Offering subject to errors, omissions, prior sale, change in price, or withdrawal without notice.

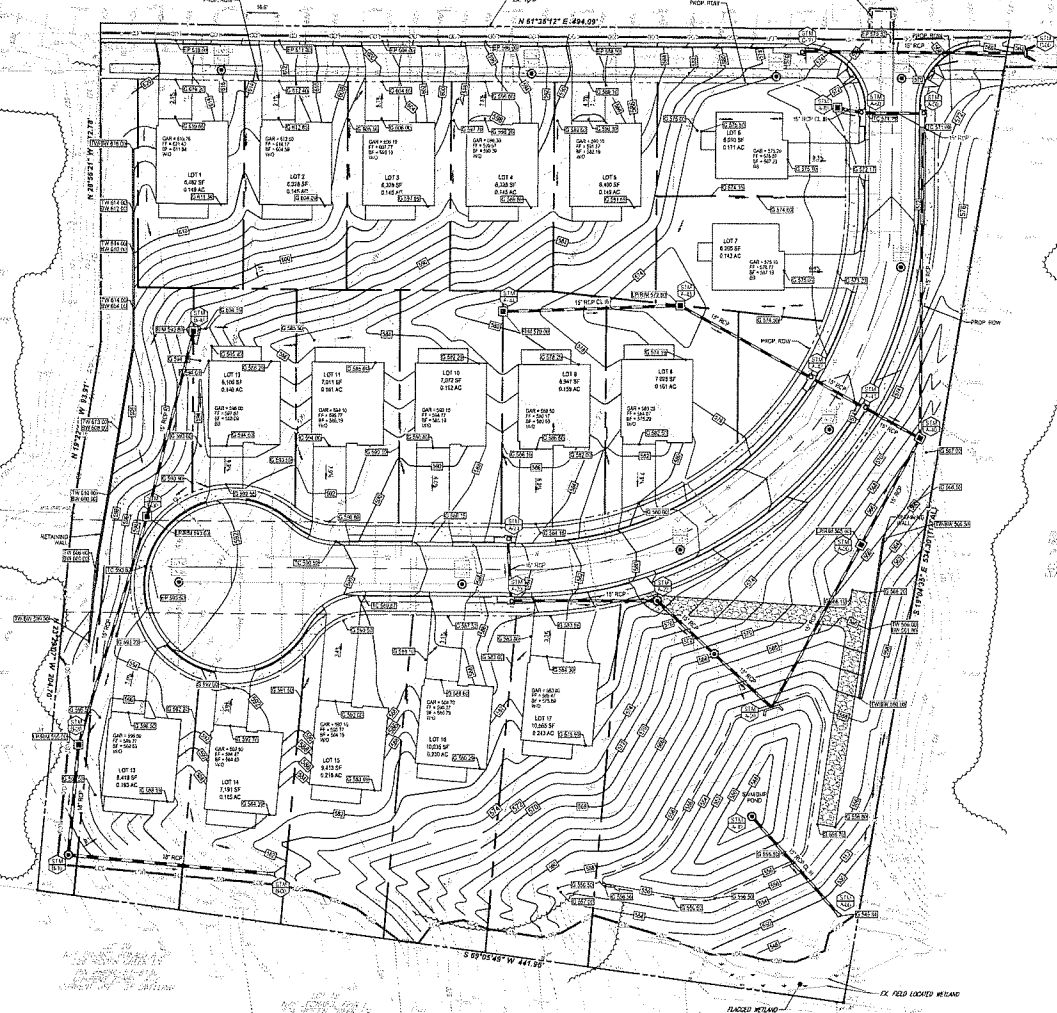


SEE PLAN SHEET
NO. 1 FOR THE STREET
AND SIDEWALK
CONNECTIONS TO
ADJACENT
PROPERTIES.

HIGH ST.

ACADEMY HILL ROAD
PROPOSED RIGHT-OF-WAY
WIDTH 66' AND RIGHT-OF-WAY
RIGHT OF WAY 75' MIN.

BOUNDARY LANE



GRADING LEGEND		
SYMBOL	TYPICAL NOTE TEXT	SYMBOL
	CONTOUR LINE	
	SPOT ELEVATIONS	
	SANITARY LABEL	
	STORM SEWER	
	STORM MANHOLE	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	MONITORING WELL	
	BORING	
	BENCHMARK	
	TEST PIT	

BOHLER
SITE CIVIL AND LAND SERVICES ENGINEERING
PROGRAM MANAGEMENT
CONSTRUCTION SUPERVISION
LANDSCAPE ARCHITECTURE
TRANSPORTATION SERVICES

REVISIONS			
REV.	DATE	COMMENT	ISSUED BY

811
Know where you're drilling.
Call before you dig.
It's fast, it's free, it's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: V03177
DRAWN BY: MEG
CHECKED BY: KCB
DATE: 5/17/2022
CAD FILE: 18E

PROP. SITE PLAN DOCUMENTS
FOR
D.R. HORTON, INC.
ACADEMY HILL
ACADEMY HILL ROAD
TOWN OF WARRENTON
FAULCONER COUNTY, VIRGINIA

BOHLER
20 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20190
Phone: (540) 345-4500
Fax: (540) 345-2311
VA@BohlerEng.com

DRAFT

SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NUMBER:
C-401

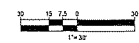
ORG. DATE: 5/27/2022

- GEOTECHNICAL NOTES:**
- THIS PLAN IS BASED ON THE FOLLOWING:
"GEOTECHNICAL SPECIFICATIONS" TO BE PROVIDED WITH FINAL SITE PLAN.
 - AFTER THE CONSTRUCTION IS COMPLETE, GEOTECHNICAL ENGINEER OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE SLOPES HAVE BEEN CONSTRUCTED INCLUDING BUT NOT LIMITED TO THE TYPE OF MATERIAL, DEGREE OF COMPACTION, DEPTH AND SPACING OF REINFORCING, LOCATION, LENGTH, SPACING, STRENGTH AND TYPE OF GEOTEXTILE, AND GROUND COVER TO PROTECT THE SLOPE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
 - AFTER THE CONSTRUCTION IS COMPLETE, THE PROJECT CIVIL ENGINEER OF RECORD ON LAND SURVEYOR ONLY LICENSED IN THE COMMONWEALTH OF VIRGINIA SHALL PROVIDE A WRITTEN CERTIFICATION ON THE GRADIENT OF THE CONSTRUCTED SLOPE AS DIRECTED BY THE COUNTY STAFF.
 - THE STRUCTURAL DESIGN OF PROPOSED GAS STATION CANOPY SHALL BE APPROVED AND APPROPRIATE PERMIT SHALL BE OBTAINED FROM PWC BUILDING DIVISION PRIOR TO SITE IMPLEMENTATION.
 - ALL PROPOSED STORM PIPE TO BE CLASS B RCP UNLESS OTHERWISE NOTED.

- ADA CONSTRUCTION NOTES TO CONTRACTOR**
- NO SIDEWALK AND/OR CROSSWALK IS TO EXCEED 2.0% CROSS SLOPE.
 - NO ADA PARKING SPACE IS TO EXCEED 2.0% SLOPE IN ANY DIRECTION.
 - NO ADA CURB RAMP IS TO EXCEED 8.33%.
 - THE CONTRACTOR IS RESPONSIBLE DURING THE FORMING OF SIDEWALKS, RAMPS, CROSSWALKS, AND ADA PARKING TO VERIFY THAT ADA COMPLIANCE IS ACHIEVED.
 - IF, DURING THAT CHECK ANY NON-COMPLIANCE IS DETERMINED, THE ENGINEER IS TO IMMEDIATELY NOTIFY PRIOR TO POURING CONCRETE AND/OR LAYING ASPHALT.

LEGEND

	PROP SAWCUT
	LIMIT OF WORK
	LIMIT OF DISTURBANCE
	SWALES, DITCH AND RIFIP
	EXISTING DITCH AND OUTLET
	EXISTING CONCRETE, STONE AND GRAVEL





Old Town

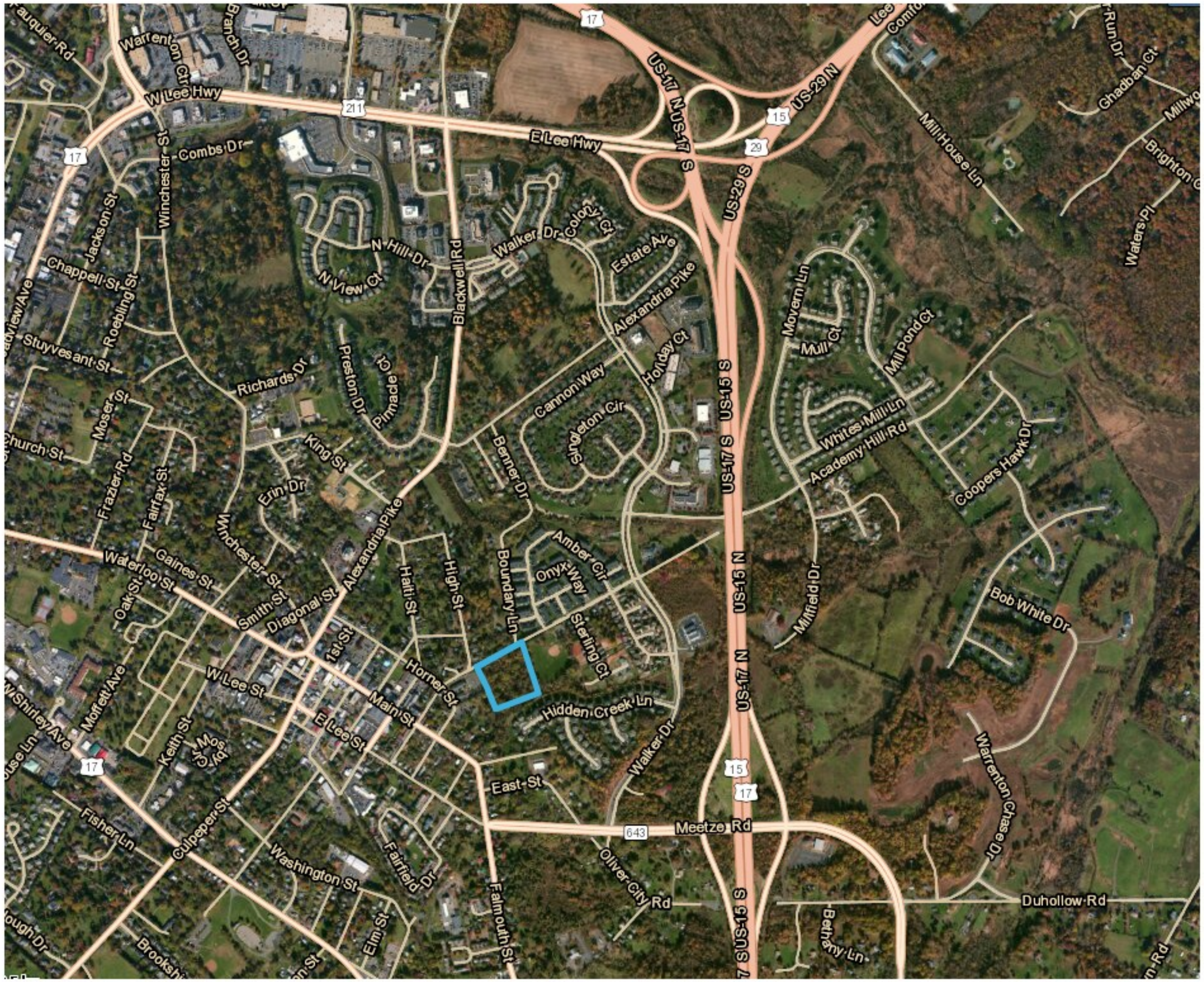
**Court
House**

Main St

**Visitor
Center**

Lee St

**Mosby
House**



Side-loaded garages shall be no nearer the front lot line than the front edge of the primary structure.

Rear-loaded garages (accessed from an alley or other street) shall be set back at least fifteen (15) feet from the rear lot line.

3-4.2.5.3 Open Space Requirements

Every site that is rezoned to R-10 or subject to subdivision or site plan approval consisting of a total of twelve (12) or more residential units shall have at least one green to serve as open space for and the focal point and organizing visual element of the neighborhood or subdivision. Greens in cluster subdivisions shall be not less than 6,000 square feet each and in conventional subdivisions shall be not less than 10,000 square feet each. An average of one green for each 10 acres of gross site area within the subdivision shall be provided.

3-4.3 R-6 Residential District

3-4.3.1 Legislative Intent

This district is composed of medium to high concentrations of predominantly residential uses, generally intended to encompass and preserve those residential structures which have developed over the years along the traffic arteries serving the Central Business District. The regulations of this district are designed to stabilize and protect these areas while at the same time allowing compatible changes to occur in an effort to ensure that the use of these areas is economically feasible and to implement the Comprehensive Plan.

3-4.3.2 Permitted Uses (by-right)

- Accessory buildings
- Churches
- Community buildings
- Group Homes of eight (8) residents or less
- Home occupations
- Off-street parking for permitted uses subject to Article 7
- Open space subject to Article 9.
- Signs subject to Article 6
- Single-family detached dwelling units
- Utilities related to and necessary for services within the Town, including poles, wires, transformers, telephone booths, and the like for electrical power distribution or communication service, and underground pipelines or conduits for local electrical, gas, sewer, or water service, but not those facilities listed as requiring a special use permit

3-4.3.3 Permissible Uses (by special use permit upon approval of Town Council)

- Active and passive recreation and recreational facilities.
- Bed and breakfast.
- Child care center, day care center or nursery school.
- Clubs
- Dwellings in an accessory building.
- Dwelling units, Two-family
- Dwellings, three or four family structures [retained from original ordinance]
- Family care homes or foster homes
- Hospitals and clinics.
- Libraries.
- Nursing Homes
- Offices, business and professional.
- Parks and playgrounds.
- Schools.
- Swim and tennis clubs.
- Tea rooms.
- Traditional Neighborhood Developments
- Treatment plants, water storage tanks, major transmission lines or pipelines, pumping or regular stations, communications towers, storage yards and substations, and cable television facilities and accessory structures.

3-4.3.4 Lot and Yard Regulations

Use	Minimum	Minimum	Maximum	Setbacks			
	Lot Size (sq. ft.)	Lot Frontage (at front setback)	Lot Coverage (impervious surfaces)	Minimum Front	Maximum Front	Side	Rear
Single-Family Dwelling	6,000	55 ft.	65%	20 ft.	30 ft.	8 ft.	20 ft.
Two-Family Dwelling	9,000	65 ft.	75%	20 ft.	30 ft.	15 ft.	20 ft.
Three-Family Dwelling	12,000	75 ft.	80%	20 ft.	30 ft.	15 ft.	20 ft.
Four-Family Dwelling	15,000	85 ft.	80%	20 ft.	30 ft.	15 ft.	20 ft.
Other Permitted Uses	6,000	55 ft.	65%	20 ft.	30 ft.	15 ft.	20 ft.

3-4.3.5 Building Regulations

3-4.3.5.1 Building Height

Use	Maximum Height
Single-Family Dwellings	35 ft.*
Other Permitted Uses	35 ft.**

* The height limit for dwellings may be increased up to forty-five (45) feet and up to three (3) stories provided that front, side, and rear yard setbacks increase one (1) foot for each additional foot of building height over thirty-five (35) feet. This may be achieved in part by setting back the second and/or third stories of the building a greater amount than the first story.

**A public or institutional building or church may be erected to a height of sixty (60) feet from grade provided that required front, side, and rear yards shall be increased one (1) foot for each foot in height over thirty-five (35) feet.

3-4.3.5.2 Garages

Front-loaded garages shall be setback at least fifteen (15) feet behind the front building line of the primary structure.

Side-loaded garages shall be no nearer the front lot line than the front edge of the primary structure.

Rear-loaded garages (accessed from an alley or other street) shall be set back at least fifteen (15) feet from the rear lot line.

3-4.3.5.3 Open Space Requirements

Every site that is rezoned to R-6 or subject to subdivision or site plan approval consisting of a total of twelve (12) or more residential units shall have at least one green to serve as open space for and the focal point and organizing visual element of the neighborhood or subdivision.

Greens shall be not less than 6,000 square feet each. An average of one green for each 10 acres of gross site area within the subdivision shall be provided.

3-4.4 RT Residential Townhouse District

3-4.4.1 Legislative Intent

This district is composed of certain medium concentrations of residential use, often located between lower density residential and commercial areas, plus certain open areas where similar development is appropriate based on the Comprehensive Plan. The regulations for this district are designed to stabilize and protect the residential character of the district, and to promote and encourage a suitable environment of medium to high density residential uses, while achieving a pedestrian-oriented streetscape.

3-4.4.2 Permitted Uses (by-right)

- Accessory buildings.
- Dwellings, Single-family detached
- Dwellings, Two-family
- Dwellings, Townhouses
- Home occupations
- Off-street parking for permitted uses subject to Article 7.
- Open space subject to Article 9.