

Saint Pierre
Palm Desert, California



North West Corner Prespective (Corner of Larrea and Portola)

SHEET

T-1 TITLE SHEET

A-1 AERIAL MAP

G-1 GRADING COVER SHEET

G-2 PRECISE GRADING PLAN

P-1 PRELIMINARY SITE/1st FLOOR PLAN

P-2 PRELIMINARY 2nd FLOOR PLAN

P2.2 PRELIMINARY 2nd FLOOR SUITE PLAN

P-3 PRELIMINARY 3rd FLOOR PLAN

P3.2 PRELIMINARY 3rd FLOOR SUITE PLAN

P-4 PRELIMINARY 4th FLOOR PLAN

P-5 PRELIMINARY ROOF PLAN

P-6 PRELIMINARY EXTERIOR ELEVATIONS

P-7 PRELIMINARY EXTERIOR ELEVATIONS

P-8 PRELIMINARY BUILDING SECTIONS

L-1 LANDSCAPE CONCEPTUAL PLAN

L-2 LANDSCAPE CONCEPTUAL IMAGES

1 TENTATIVE PARCEL MAP

1 PRELIMINARY WATER QUALITY MANAGEMENT PLAN

1 PRELIMINARY HYDROLOGY PLAN

JMA

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Mixed use Residential Project for:

Saint Pierre
73-995 El Paseo
Palm Desert, CA 92260

Lot 1 thru 4 Block
MB 21/50
A.P.N. 627-272-005

00-00-00
City

Saint Pierre

Residence

Drawn By - R.A

1st City Submittal - NA 00, 2019

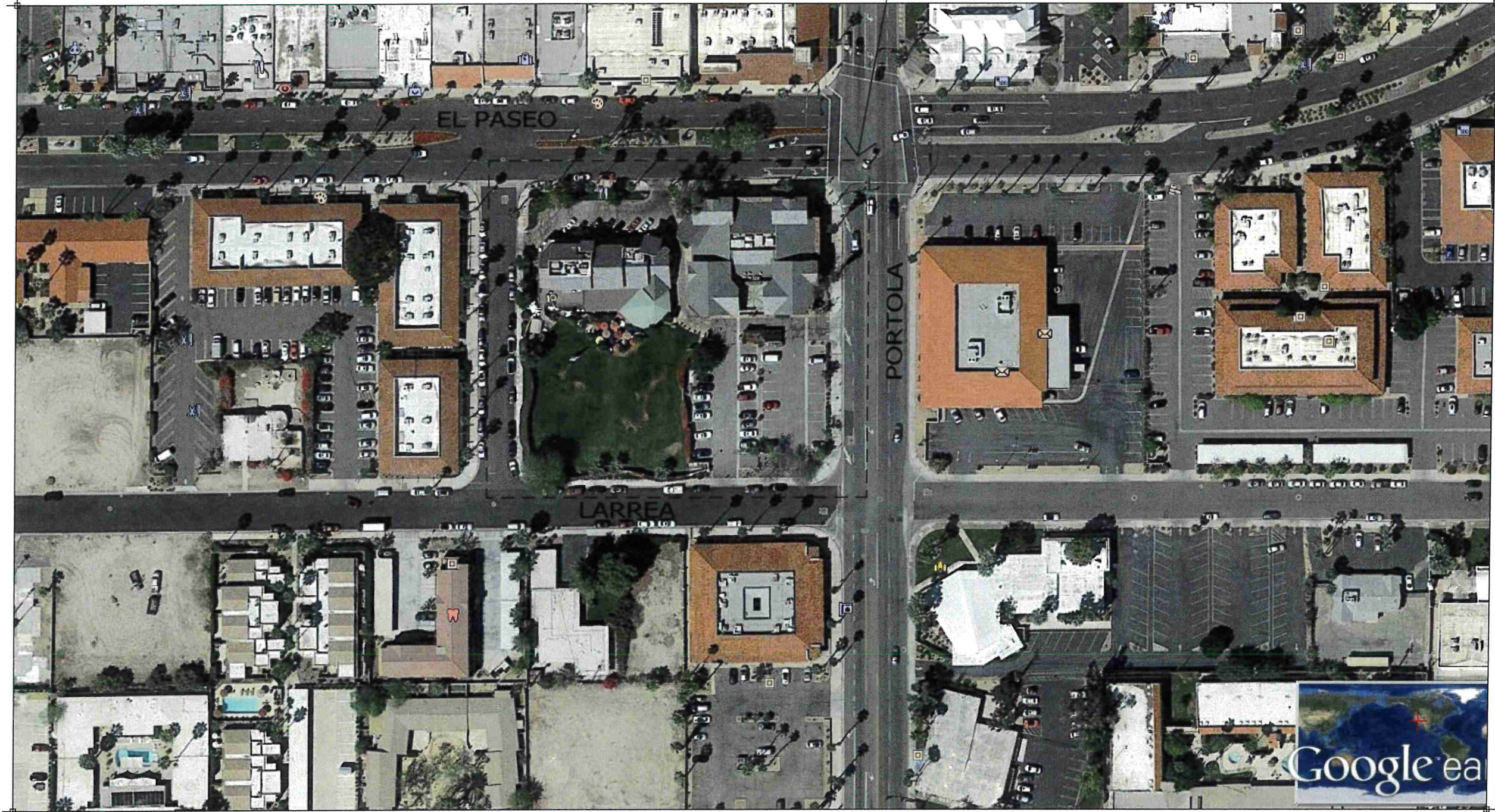
March 17, 2020

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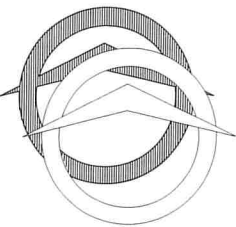
Job Number - 1926

TITLE SHEET

T-1



PROJECT LOCATION



AERIAL MAP

DRAWN	RA
1st Submit	..
Tuesday, March 17, 2020	
SCALE	N.T.S.
JOB NO.	1926
SHEET NO.	

A-1

Saint Pierre

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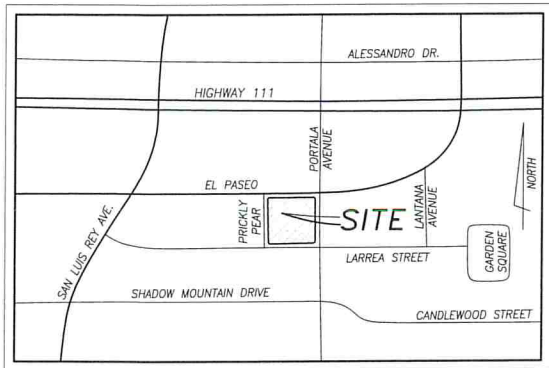
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IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

PRELIMINARY GRADING PLAN

Plaza Roberge on El Paseo
73-995 El Paseo



VICINITY MAP

NOT TO SCALE

NOTE TO OWNER AND CONTRACTOR:

IT IS THE OWNER'S RESPONSIBILITY TO SCHEDULE REGULAR MAINTENANCE OF THE DRAINAGE SYSTEM, INCLUDING BUT NOT LIMITED TO DRAIN DRAINS, DRAIN LINES, DRYWELLS AND BUBBLER BOXES.

CONTRACTOR SHALL RECOMMEND MAINTENANCE SCHEDULE TO OWNER BASED UPON INSTALLED EQUIPMENT AND AS-BUILT CONDITIONS.

ROOF DRAINS, RETAINING WALL, FRENCH DRAINS, POT DRAINS, ETC. MAY BE TIED INTO DRAINAGE SYSTEM. OVERSIZING OF PIPES MAY BE NECESSARY.

PALM DESERT GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF PALM DESERT, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE CALTRANS STANDARD PLANS AND CALTRANS STANDARD SPECIFICATIONS WHEN APPLICABLE.
- NO CONSTRUCTION IS AUTHORIZED WITHOUT THE APPROPRIATE PERMITS ISSUED BY THE CITY OF PALM DESERT PUBLIC WORKS DEPARTMENT.
- THE ENGINEER-OF-WORK SHALL BE NOTIFIED WHEN CONSTRUCTION HAS COMMENCED.
- IN THE EVENT OF DISCREPANCIES AND/OR DEVIATIONS ARISING DURING CONSTRUCTION, THE ENGINEER-OF-WORK SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE DIRECTOR OF PUBLIC WORKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ONSITE, OFFSITE AND ADJACENT UTILITIES, FACILITIES AND PROPERTIES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTY OWNERS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONJUNCTION WITH CONSTRUCTION OF THESE IMPROVEMENT PLANS.
- THE CONTRACTOR, AT NO EXPENSE TO THE CITY, SHALL PROVIDE ALL NECESSARY SAMPLES AND TESTS THAT THE DIRECTOR OF PUBLIC WORKS MAY REQUIRE TO ASSURE THAT QUALITY OF MATERIAL AND WORKMANSHIP ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND SHALL MAINTAIN ALL FACILITIES, COMPLETED AND UNCOMPLETED, UNTIL ACCEPTED BY THE CITY.
- ALL SURVEY MONUMENTS WITHIN OR BOUNDING THE WORK LIMITS, WHETHER FOUND FROM RECORD OR BY INSPECTION, SHALL, PRIOR TO ANY CONSTRUCTION, BE LOCATED AND REFERENCED BY A LICENSED SURVEYOR OR A CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. THE REFERENCED MONUMENTS DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE RESET IN ACCORDANCE WITH SECTION 8771 OF THE LAND SURVEYORS' ACT AND CITY STANDARDS AND REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS IN PALM DESERT AT (760) 776-6450 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR THE LOCATION OF UNDERGROUND UTILITIES OR FOR EMERGENCY ASSISTANCE CALL:

WATER	COACHELLA VALLEY WATER DISTRICT	760-398-2651
SEWER	COACHELLA VALLEY WATER DISTRICT	760-398-2651
ELECTRIC	SOUTHERN CALIFORNIA EDISON	760-202-4291
GAS	THE GAS COMPANY	1-800-427-2200
TELEPHONE	VERIZON CALIFORNIA, INC.	1-800-483-1000
CABLE	TIME WARNER	760-340-1312
DIG ALERT		1-800-227-2600
- THE DEPARTMENT OF PUBLIC WORKS DOES NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THE QUANTITIES SHOWN HEREON.
- THE STRUCTURAL SECTION SHALL BE AS PER THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, HIGHWAY DESIGN MANUAL TEST NO. 301-F FOR DETERMINATION BY THE R-VALUE METHOD.
- THESE PLANS MAY BE SUBJECT TO REVIEW AND/OR REVISION BY THE CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS, IF CONSTRUCTION HAS NOT COMMENCED WITHIN 12 MONTHS FROM THE DATE OF APPROVAL BY THE DIRECTOR OF PUBLIC WORKS.
- ALL P.C.C. AND A.C. REMOVALS SHALL BE OUTLINED TO NECESSARY WORKING LIMITS AND SAWCUT TO A MINIMUM DEPTH OF 2 INCHES PRIOR TO REMOVAL. ALL DEBRIS CREATED BY THE REMOVAL OPERATIONS SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN A MANNER AND LOCATION ACCEPTABLE TO ALL CONCERNED AGENCIES AND ORGANIZATIONS.
- ALL P.C.C. AND A.C. IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR AT NO COST TO THE CITY OF PALM DESERT.
- STREETS IN THE CONSTRUCTION AREA SHALL BE KEPT CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING OF THE PROPOSED WORK AREA.
- NO PUBLIC STREET SHALL BE CLOSED TO TRAFFIC WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- NO TRENCHES SHALL REMAIN OPEN OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- FAILURE TO COMPLY WITH ANY OF THE ABOVE ITEMS SHALL BE SUFFICIENT CAUSE FOR THE CITY TO ARRANGE FOR NECESSARY WORK TO BE COMPLETED BY OTHERS. COSTS TO COMPLETE THE WORK BY OTHERS WILL BE CHARGED TO THE CONTRACTOR.
- ALL LANDSCAPING AND IRRIGATION THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED TO THE APPROVAL OF THE CITY AND THE PROPERTY OWNER.
- CONTRACTOR MUST OBTAIN APPROVAL FOR ANY LANE CLOSURES A MINIMUM OF 48 HOURS IN ADVANCE.
- CONTRACTOR SHALL CALL THE PUBLIC WORKS DEPARTMENT TO REQUEST INSPECTION A MINIMUM OF 24 HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL KEEP THE INSPECTOR INFORMED OF PROGRESS OF THE WORK ON A DAILY BASIS. IMPROVEMENTS

PALM DESERT GRADING NOTES:

- ALL GRADING TO BE DONE IN ACCORDANCE WITH THE CITY OF PALM DESERT GRADING ORDINANCE.
- THIS PLAN IS FOR GRADING PURPOSES ONLY. ISSUANCE OF A GRADING PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS AND SIZES, PARKING LAYOUT, BUILDING LOCATION, WALL HEIGHTS AND LOCATIONS, OFFSITE DRAINAGE FACILITIES, OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION.
- A WET SIGNED LETTER OF CERTIFICATION FROM THE ENGINEER-OF-WORK STATING LOCATIONS OF FORMS ARE IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLAN, AND A COMPACTION REPORT FROM A SOILS ENGINEER ON ALL FILL AREAS ARE REQUIRED PRIOR TO THE BUILDING PERMIT ISSUANCE.
- ALL WALLS SHOWN ON THESE PLANS SHALL BE APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT, ISSUED A SEPARATE PERMIT AND BE INSPECTED BY THE DEPARTMENT OF BUILDING AND SAFETY. THOSE WALLS THAT THE GRADING, PAD ELEVATIONS/FINISHED FLOOR ELEVATION AND HORIZONTAL SHOWN AS RETAINING WALLS SHALL BE CONSTRUCTED TO CITY OF PALM DESERT RETAINING WALL STANDARDS OR BE SUPPORTED BY ENGINEERING CALCULATIONS AND DETAILS.
- THE ENGINEER-OF-WORK SHALL BE NOTIFIED WHEN CONSTRUCTION HAS COMMENCED.
- IN THE EVENT OF DISCREPANCIES AND/OR DEVIATIONS ARISING DURING CONSTRUCTION, THE ENGINEER-OF-WORK SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ON-SITE, OFF-SITE AND ADJACENT UTILITIES, FACILITIES AND PROPERTIES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTY OWNERS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONJUNCTION WITH CONSTRUCTION OF THESE GRADING PLANS.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS (760) 776-6450 AT LEAST 24 HOURS PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR THE LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE CALL:

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GAS	THE GAS COMPANY	1-800-427-2200
TELEPHONE	VERIZON CALIFORNIA, INC.	1-800-483-1000
CABLE	TIME WARNER	760-340-1312
DIG ALERT		1-800-227-2600
- ALL PROPERTY CORNER MONUMENTS SHALL NOT BE DISTURBED BY THE GRADING OPERATION AND RELATED WORK. ANY MONUMENT WHICH THE CONTRACTOR ANTICIPATES DISTURBING SHALL BE LOCATED AND REFERENCED BY A LICENSED LAND SURVEYOR OR A CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. ALL MONUMENTS DISTURBED OR REMOVED SHALL BE RESET BY A LICENSED SURVEYOR, OR A CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING, AT THE CONTRACTOR'S EXPENSE.
- THESE PLANS MAY BE SUBJECT TO REVIEW AND/OR REVISION BY THE CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS, IF CONSTRUCTION HAS NOT COMMENCED WITHIN 12 MONTHS FROM THE DATE OF APPROVAL BY THE CITY ENGINEER.

EROSION CONTROL NOTE:

PER 2010 CAL GREEN CODE, SECTION 4.106.2:

In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.

2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.

3. Compliance with a lawfully enacted storm water management ordinance.

PROJECT INFO

PROJECT DATA:

TOTAL LOT AREA: 81,022 SQ.FT (1.86 ACRES)
DISTURBED AREA: 81,022 SQ.FT (1.86 ACRES)

SOURCE OF TOPOGRAPHY:

THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A FIELD SURVEY BY FEIRO ENGINEERING, INC ON 1/10/16

SITE BENCHMARK:

NAIL AT THE RAMP ON THE NORTH WEST CORNER OF THE INTERSECTION OF PORTOLA AVE. AND LARREA STREET.
ELEVATION=(236.47 NAIL)

SITE BENCHMARK:

INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

APN:

APN: 627-272-005

OWNER:

TWO BIRD HOLDINGS
C/O JMA ARCHITECTURE,
INC. PO BOX 778 PALM
DESERT, CA. 92261
TELEPHONE: (760)
346-6155

CIVIL ENGINEER:

FEIRO ENGINEERING, INC
75-060 GERALD FORD DR. STE.3
PALM DESERT, CA 92211
PHONE: (760) 346-8015

NOTE:

QUANTITIES ESTIMATE SHOWN IS FOR PERMIT PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE QUANTITIES FOR HIS BID AND PAYMENT PURPOSES.

QUANTITIES ESTIMATE DOES NOT INCLUDE CLEARING, SHRINKAGE, SUBSIDENCE, ANY OTHER LOSSES, OR ANY GRADING OR EXCAVATION COVERED UNDER A SEPARATE PERMIT.

EARTHWORK QUANTITIES ESTIMATE:

CUT = 1,420	CU YDS
FILL = 1,420	CU YDS
NET = 0	CU YDS [BALANCE]

NOTE:

UTILITIES SHOWN REFLECT AVAILABLE PUBLIC RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND PROTECT ALL UTILITIES IN THE CONSTRUCTION AREA, WHETHER SHOWN OR NOT HEREON, AND TO NOTIFY UNDERGROUND SERVICE ALERT AT 1-800-422-4133, 48 HOURS IN ADVANCE.



BENCHMARK: 121
ELEVATION: 267.732 DATUM: NGVD29
LOCATION:
2" CITY OF PALM DESERT BRONZE DISC IN TOP OF CURB,
EAST SIDE OF PORTOLA AVE. SOUTH OF FAIRWAY DR.
BASIS OF BEARINGS:
CENTERLINE OF PORTOLA AVENUE AS
N 00°09'45" W, PER MB 21/50-54.

ANY MODIFICATION OF THIS PLAN MUST BE APPROVED BY THE CITY PRIOR TO CONSTRUCTION

ENGINEER			REVISIONS			CITY		
MARK	BY	DATE				APPR.		DATE

ENGINEERS SEAL



Feiro Engineering Inc.
P.O. Box 12980
Palm Desert, Ca 92255
(760) 346-8015 www.feiro.net

PREPARED UNDER THE DIRECT SUPERVISION OF:
DATE: _____
Ronald K. Feiro R.C.E. NO. 52260

FOR CITY USE ONLY

CITY PERMIT #:

CITY ISSUE DATE:

CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS

APPROVED BY:

BO CHEN
CITY ENGINEER
R.C.E. 64819

DATE:

PLAN CHECKED BY:

CIVIL

TRAFFIC

LANDSCAPE

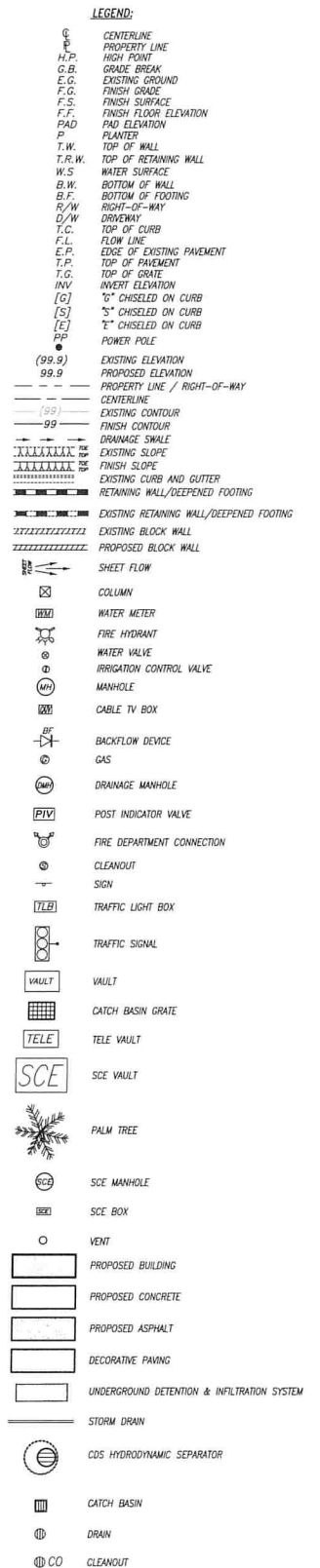
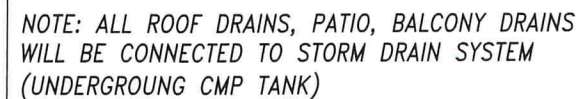
SHEET INDEX

1	COVER SHEET
2	PRECISE GRADING PLAN

DWG FILE: 121m60npg01
LAYOUT: PGP01
JOB NUMBER: 121m-60

CITY OF PALM DESERT
PRELIMINARY GRADING PLAN
LOTS 1, 2 3 & 4
PER PM 21/50-54
73-995 El Paseo, Palm Desert, CA. 92260

SHEET 1
OF
SHEETS 2
CITY FILE NUMBER



SHEET 2
OF
SHEETS 2
CITY FILE NUMBER

Saint Pierre

Townhomes

Unit Type	Sq. Ft.	# of Units	Total Sq. Ft.	Balcony Sq. Ft.	Total Balcony Sq. Ft.
Plan A 2BR	1,810	16	28,960	305	4,880
Plan B 1BR	1,315	24	31,560	400	9,600
Plan C 2BR	2,280	4	9,120	445	1,780
Plan D 2BR	1,850	8	14,800	430	3,440
Penthouse	2,880	3	8,640	2,785	8,355

Townhome TOTALS 55 Units @ 93,080 Sq.Ft. Cond. Space 28,055 Sq. Ft. Outdoor Balcony Space

Common Areas

Description	Sq. Ft.	QTY.	Total Sq. Ft.
Central Corridor	4,655	2	9,310
Roof Corridor	1,280	1	1,280
Roof Top Pool Deck	4,130	1	4,130
Private Gym	805	1	805
Conierge	480	1	480

Common Space TOTALS 1,285 Sq.Ft. Cond. Space 14,720 Sq. Ft. Outdoor Space
TOTAL 16,005 Sq. Ft. Common space

Ground Floor

Description	Sq. Ft.	QTY.	Total Sq. Ft.
Office	1,100	1	1,100
Retail	16,655	*	16,655
Electrical	430	1	430
Trash / Mech	1,800	1	1,800
Storage	805	1	805

Paving / Landscape

Foyer / Corridor	3,065	1	3,065
Driveway	10,120	1	10,120
Landscape	6,220	1	6,220
Covered parking	30,770	1	30,770

Ground Floor TOTALS 17,755 Sq.Ft. Cond. Space 3,035 Sq. Ft. Non Cond. Enclosure
TOTAL 20,790 Sq. Ft. Enclosed Space

Landscape TOTALS 6,220 Sq. Ft. Softscape

Property Data

Description	Total Sq. Ft.
Overall Lot Area	76,473
Building Coverage	52,505

TOTALS 31,580 Sq.Ft. Open space 58.70% Lot Coverage

Parking

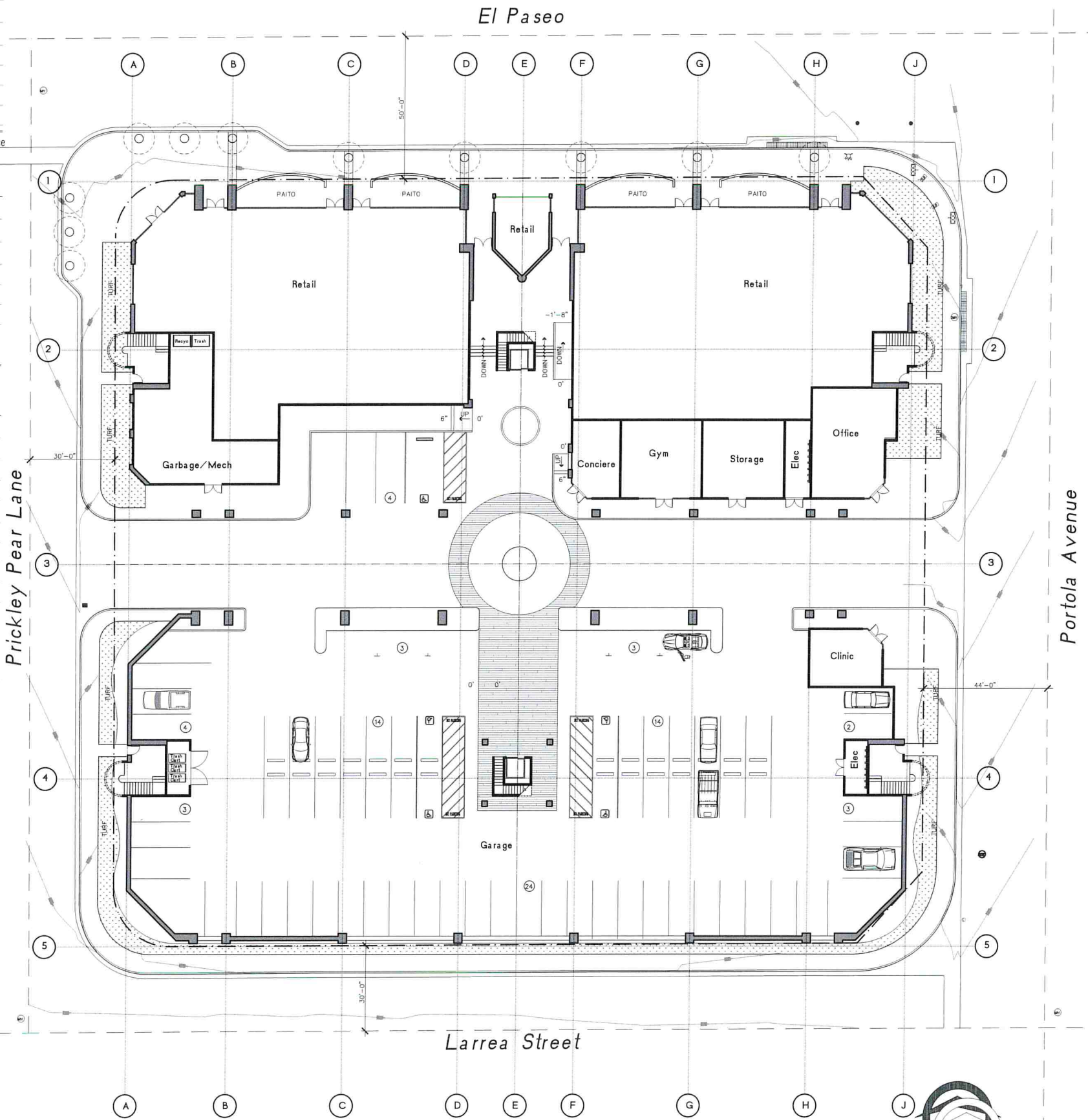
Required Parking

Residential:	Parking Study	Spaces Required
24 - 1 Bedroom	1 per Dwelling Unit	24
31 - 2 Bedroom	.66 Spaces per Bdrm.	41
Non-Residential		
17,550 Sq. Ft.	1 per 387 S.F.	46

Total Spaces Required: 108 Spaces

Parking Provided:

Provided On Site	74
Provided Off Site (Portola / Shadow Mountain)	32
	106



Preliminary Site and First Floor Plan

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Mixed use Residential Project

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PRELIMINARY SITE/FIRST FLOOR PLAN

Saint Pierre

DRAWN	RA
1st Submitter	..
Tuesday, March 17, 2020	
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JOB NO.	1926
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P-1	



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Drawn By - R.A

1st City Submittal - NA 00, 2019

March 17, 2020

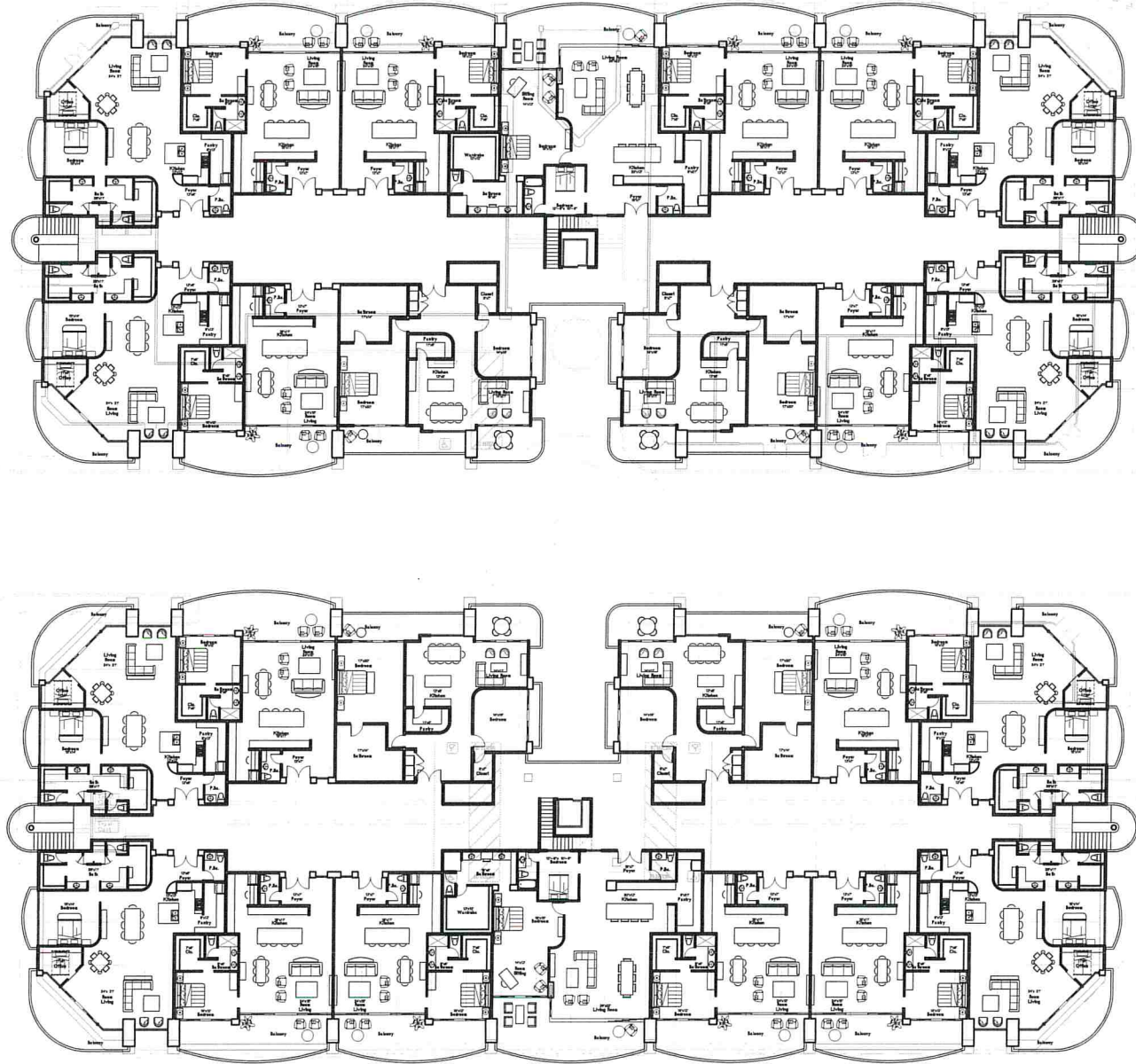
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Job Number - 1926

P-2

PRELIMINARY 2nd FLOOR PLAN

Preliminary 2nd Floor Suite Plans



PRELIMINARY 2ND FLOOR SUITE PLANS

DRAWN	RA
1st Submittal	..
Tuesday, March 17, 2020	
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P2.2

Saint Pierre

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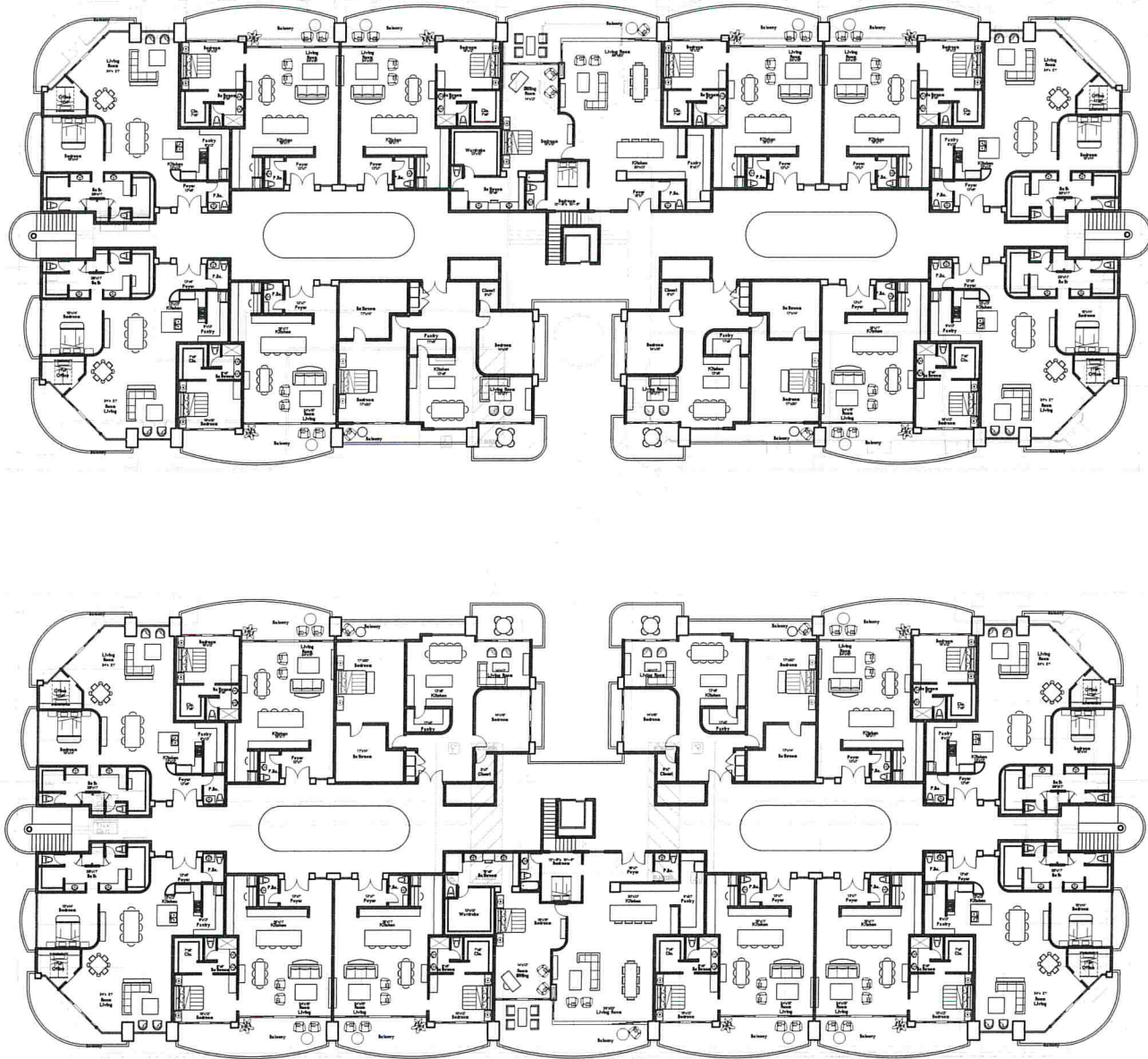
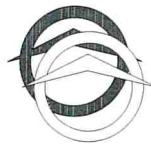
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P-3

PRELIMINARY 3rd FLOOR PLAN

Preliminary 3rd Floor Suite Plans



PRELIMINARY 3RD FLOOR SUITE PLANS

DRAWN	RA
1st Submittal	
Tuesday, March 17, 2020	
SCALE	1/16"=1'-0"
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SHEET NO.	

P3.2

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P-4

PRELIMINARY 4th FLOOR PLAN



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Phone: 805.433.4444
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P-5

PRELIMINARY ROOF PLAN



Front Elevation (El Paseo)



Right Side Elevation (Prickly Pear)



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1st City Submittal - NA 00, 2019

March 17, 2020

Scale = 1/16"=1'-0"

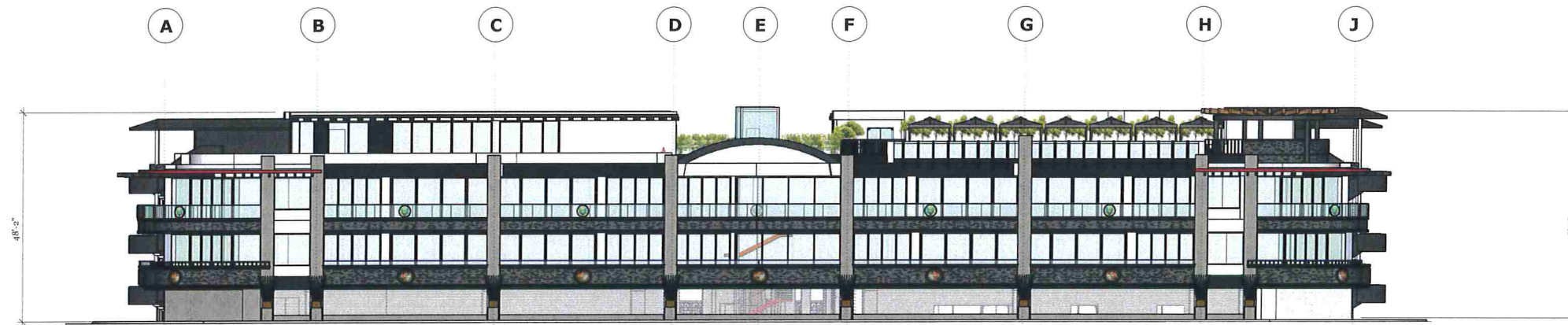
Job Number - 1926

P-6

PRELIMINARY EXTERIOR
ELEVATIONS



Left Side Elevation (Portola)



Rear Elevation (Larrea)



JMA

James G. McIntosh
Architecture and Engineering
73-995 El Paseo, Suite 201
Palm Desert, CA 92260
(760) 346-6155
jim@jmaarchitects.net

Mixed use Residential Project for:

Saint Pierre
73-995 El Paseo
Palm Desert, CA 92260

Lot 1 thru 4 Block
MB 21/50
A.P.N. 627-272-005

00-00-00
City

Saint Pierre

Residence

Drawn By - R.A
1st City Submittal - NA 00, 2019
March 17, 2020
Scale = 1/16"=1'-0"
Job Number - 1926

P-7

PRELIMINARY EXTERIOR
ELEVATIONS



Building Section A



James G. McIntosh
Architecture and Engineering
73-995 El Paseo, Suite 201
Palm Desert, CA 92260
(760) 346-0055
Jim@JMAarchitects.net

Mixed use Residential Project for:

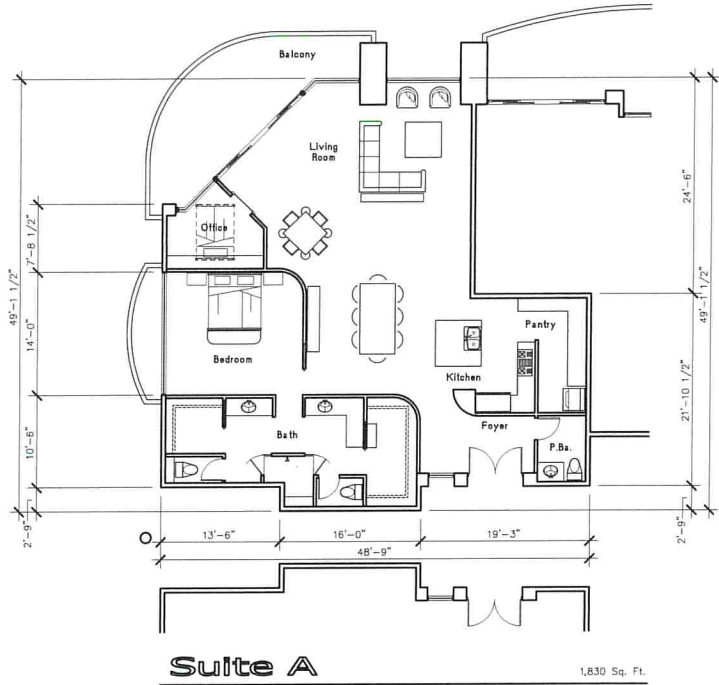
Saint Pierre
73-995 El Paseo
Palm Desert, CA 92260

Lot 1 thru 4 Block
MB 21/50
A.P.N. 627-272-005

00-00-00
City

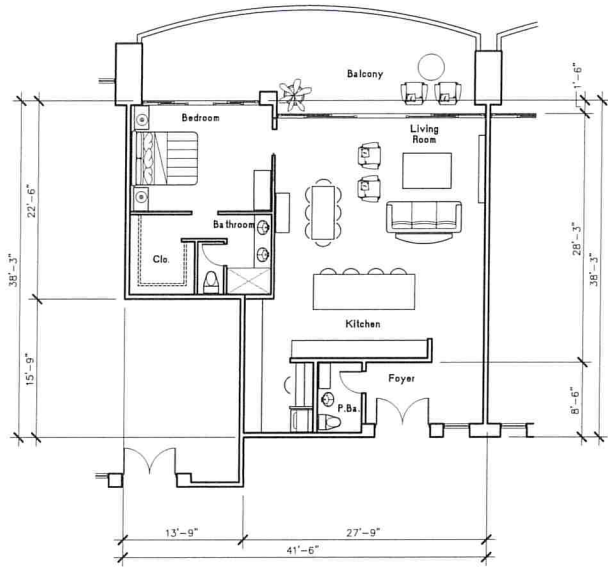
Saint Pierre
Residence

Drawn By - R.A
1st City Submittal - NA 00, 2019
March 17, 2020
Scale = 1/8"=1'-0"
Job Number - 1926



Suite A

1,830 Sq. Ft.



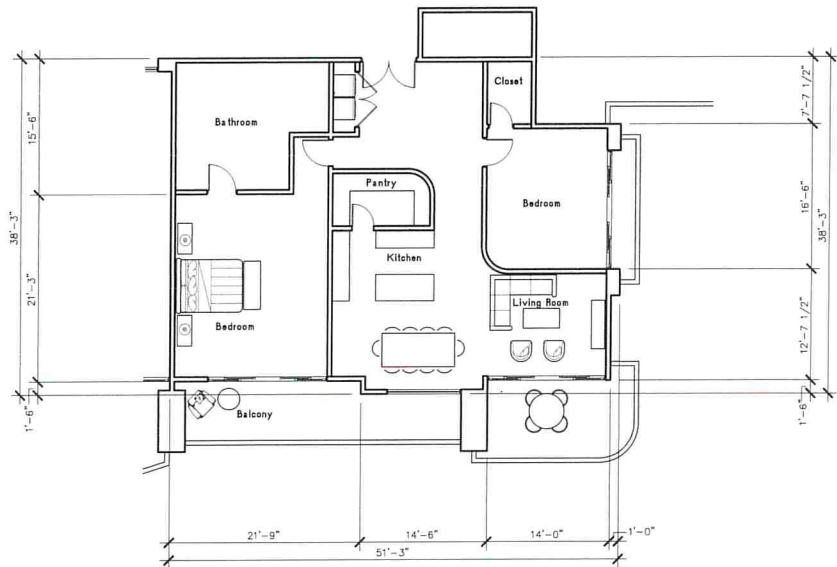
Suite B

1,320 Sq. Ft.



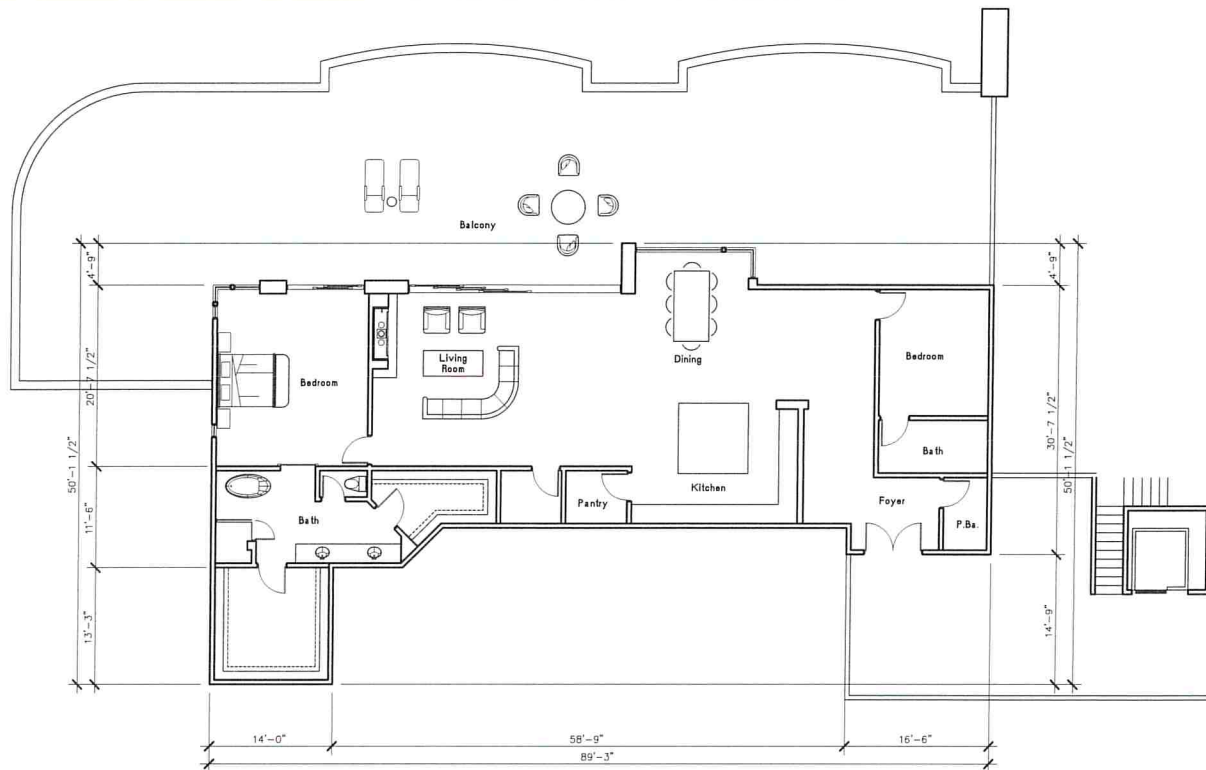
Suite C

2,280 Sq. Ft.



Suite D

1,770 Sq. Ft.



Penthouse

2,870 Sq. Ft.

PRELIMINARY SUITE PLAN

DRAWN	RA
1st Submitter	..
Wednesday, March 25, 2020	
SCALE	1/8"=1'-0"
JOB NO.	1926
SHEET NO.	P-9

Saint Pierre

*** Unless this document is a BLACKLINE print on a BLUE background it is NOT to be used for construction ***
Identifying marks and symbols have been incorporated to maintain conformance with this requirement.

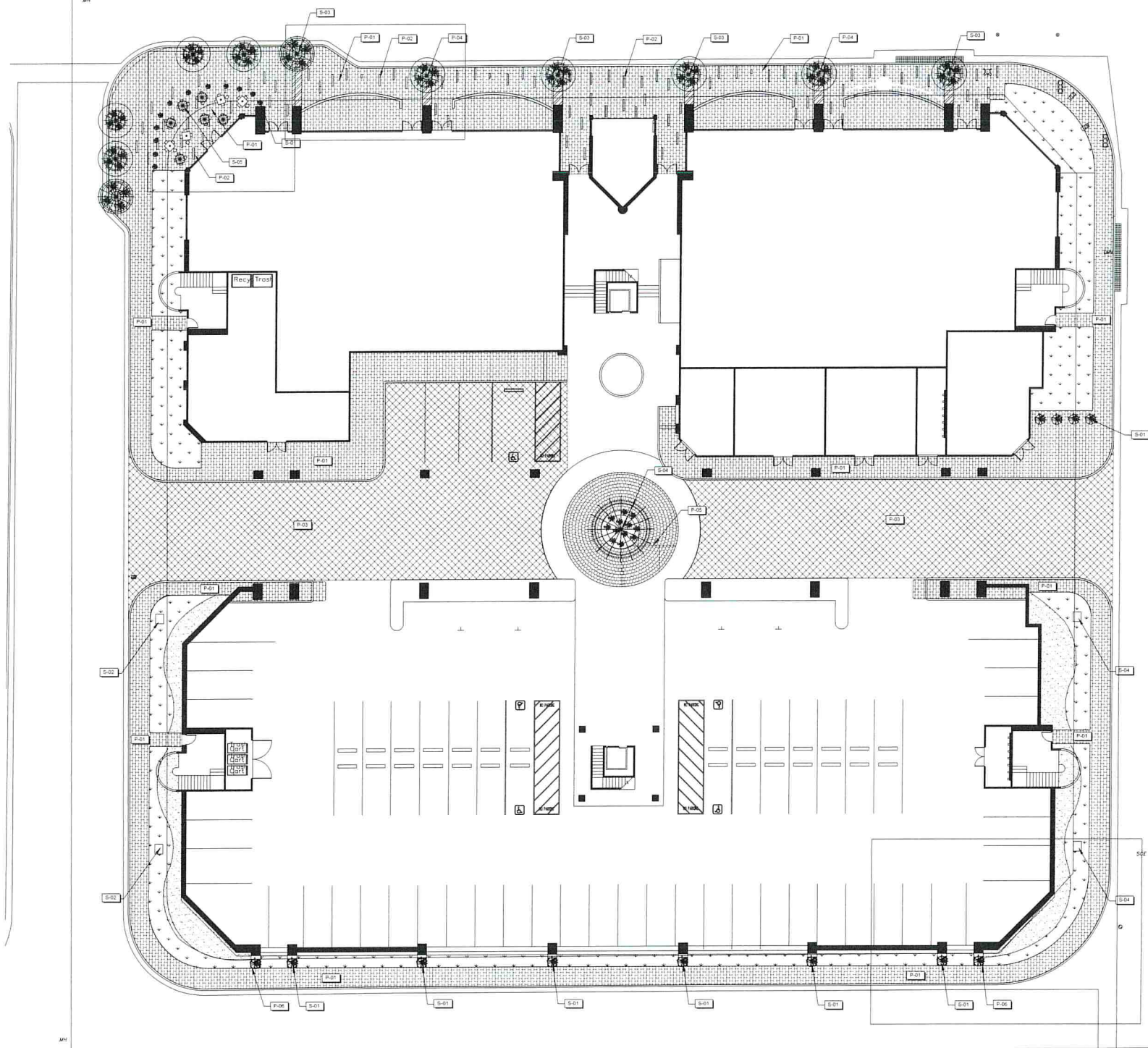
This drawing may not be reproduced in whole or part without the expressed written consent of the Architect.

JMA

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Architecture and Engineering
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Palm Desert, CA 92260
jim@jmaarchitects.net



Mixed use Residential Project
Saint Pierre
73-995 El Paseo
Palm Desert, CA 92260
Lot 1 thru 4 Block
MB 21/50
A.P.N. 627-272-005

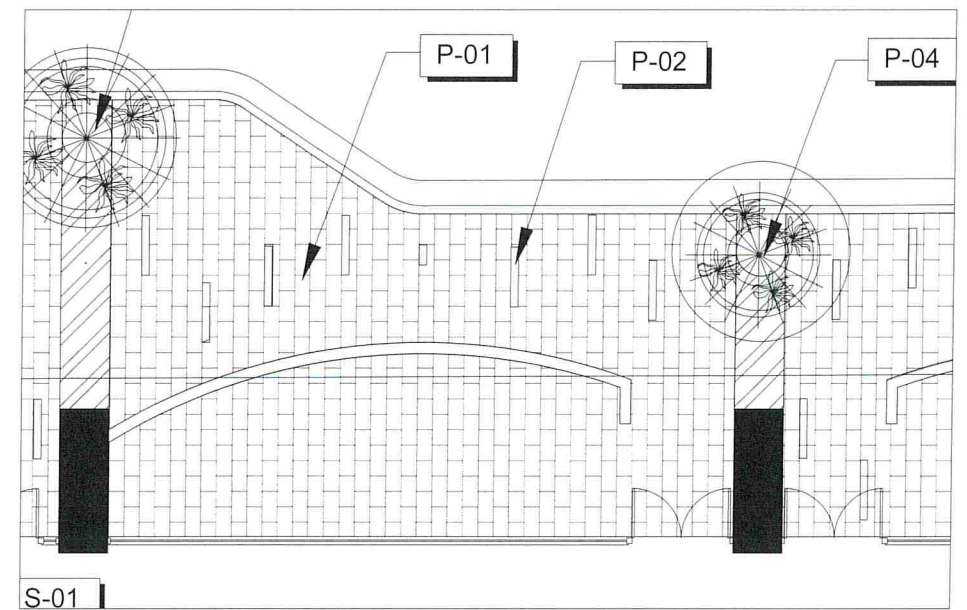
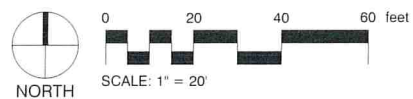
COPYRIGHT 2019



PAVING SCHEDULE	
P-01	CONCRETE PAVERS
P-02	IN-GROUND LINEAR LIGHT PAVES
P-03	COLORLED PAVES - VEHICLE DRIVE WAY
P-04	BIG IN-GROUND LIGHT
P-05	PAVER - ROUNDABOUT
P-06	PEA GRAVEL

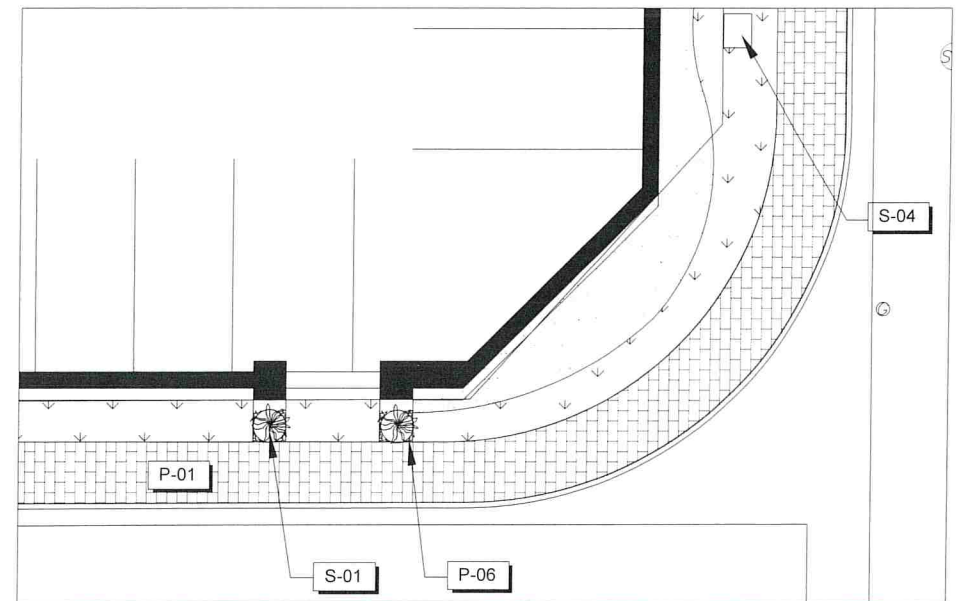
SITE ELEMENTS SCHEDULE	
S-01	POT PLANTER
S-02	SCULPTURE
S-03	REBAR TREE-16' TALL
S-04	REBAR TREE-20' TALL 12" DIA
S-05	TABLE WITH UMBRELLA

 BLUE FESCUE GRASS AREA
 D.G. & COBBLE AREA



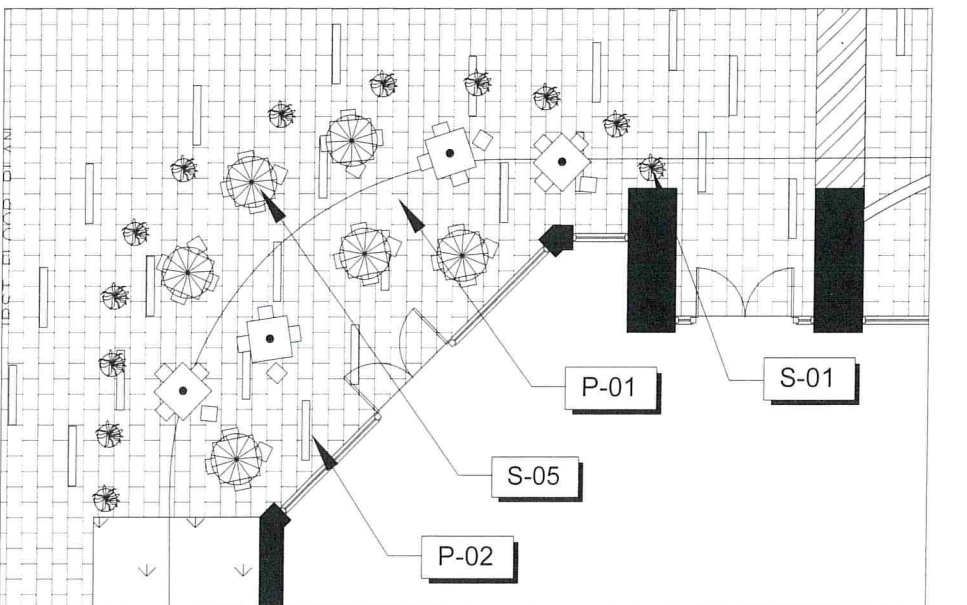
ENLARGED EL PASEO SIDEWALK PLAN

SCALE: 3/16"=1'-0"



ENLARGED LARREA STREET SIDEWALK PLAN

SCALE: 1/8"=1'-0"

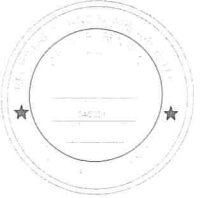


ENLARGED PLAYFUL FOUNTAIN AREA PLAN

SCALE: 3/16"=1'-0"



869 W. 9th St.
 Upland, Ca 91786
 P. 909.346.1111
 chris@soltislandscape.com
 dbenson@soltislandscape.com



PROJECT OWNER

PROJECT TITLE
PLAZA ROBERGE ON EL PASEO
73-995 EL PASEO PALM DESERT
CA 92260

NO.	REVISIONS
1	

SHEET TITLE
CONSTRUCTION
CONCEPTUAL
PLAN

DRAWN BY: D.L.W.

CHECKED BY: C.M.S./D.R.B.

DATE: 01/29/2020

JOB NO: B120

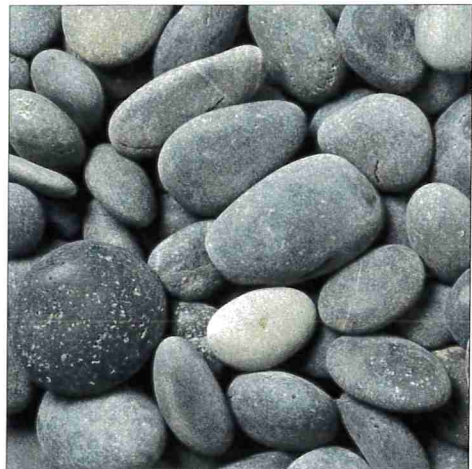
SHEET:

L-1

SHEETS 1 OF 3



P-04 BIG IN-GROUND LIGHT



P-06 PEA GRAVEL



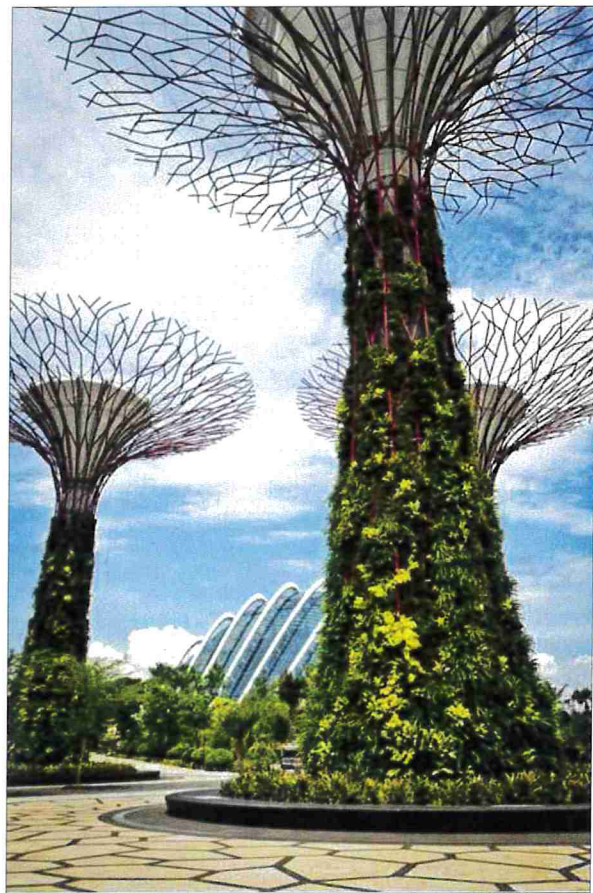
S-03 REBAR TREE-16' TALL



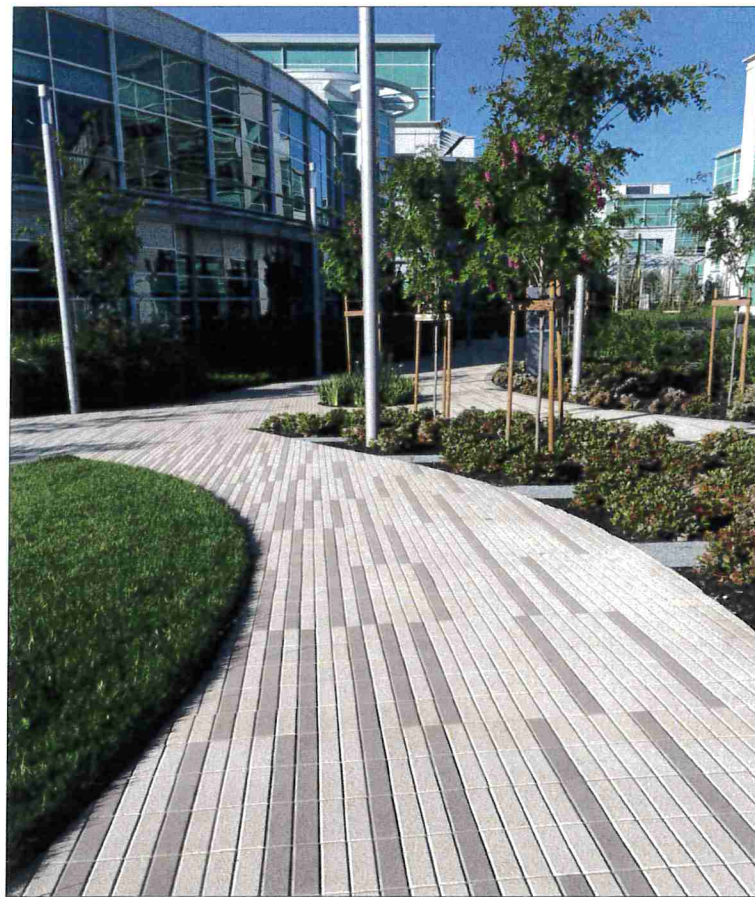
S-02 SCULPTURE



S-01 PDT PLANTER



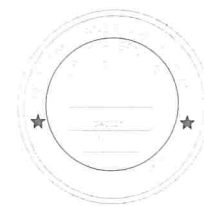
S-04 REBAR TREE-20' TALL 12' DIA



P-01 CONCRETE PAVERS



P-02 IN-GROUND LINEAR LIGHT PAVER



PROJECT OWNER

PROJECT TITLE
PLAZA ROBERGE ON EL PASEO
73-995 EL PASEO PALM DESERT
CA 92260

NO	REVISIONS
1	

SHEET TITLE
CONSTRUCTION
CONCEPTUAL
PLAN

DRAWN BY D.L.W

CHECKED BY C.M.S./D.R.B

DATE 01/29/2020

JOB NO B120

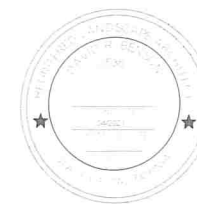
SHEET:

L-2

SHEETS 2 OF 3



859 W. 9th St.
Upland, Ca 91786
P. 909.346.1111
chris@soltislandscape.com
dbenson@soltislandscape.com



PROJECT OWNER

PROJECT TITLE
**PLAZA ROBERGE ON EL PASEO
73-995 EL PASEO PALM DESERT
CA 92260**

NO.	REVISIONS
1	

SHEET TITLE
**CONSTRUCTION
CONCEPTUAL
PLAN**

DRAWN BY: D.L.W.

CHECKED BY: C.M.S./D.R.B.

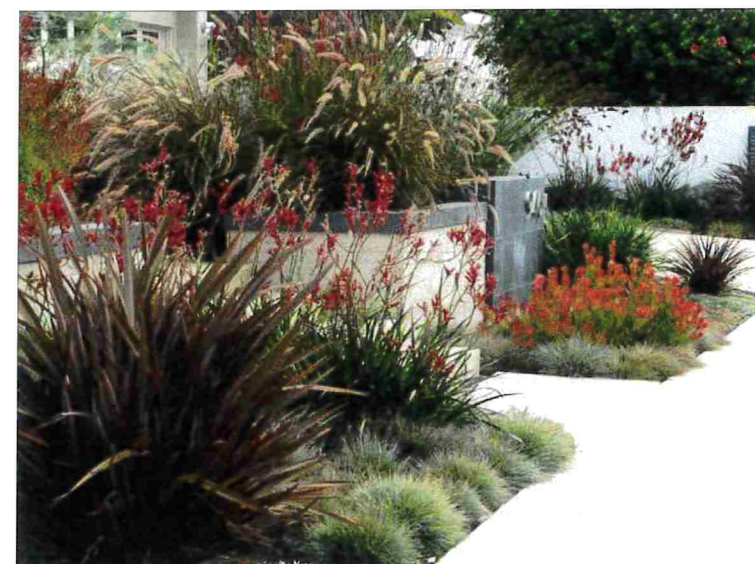
DATE: 01/29/2020

JOB NO. B120

SHEET:

L-3

SHEETS 3 OF 3



IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

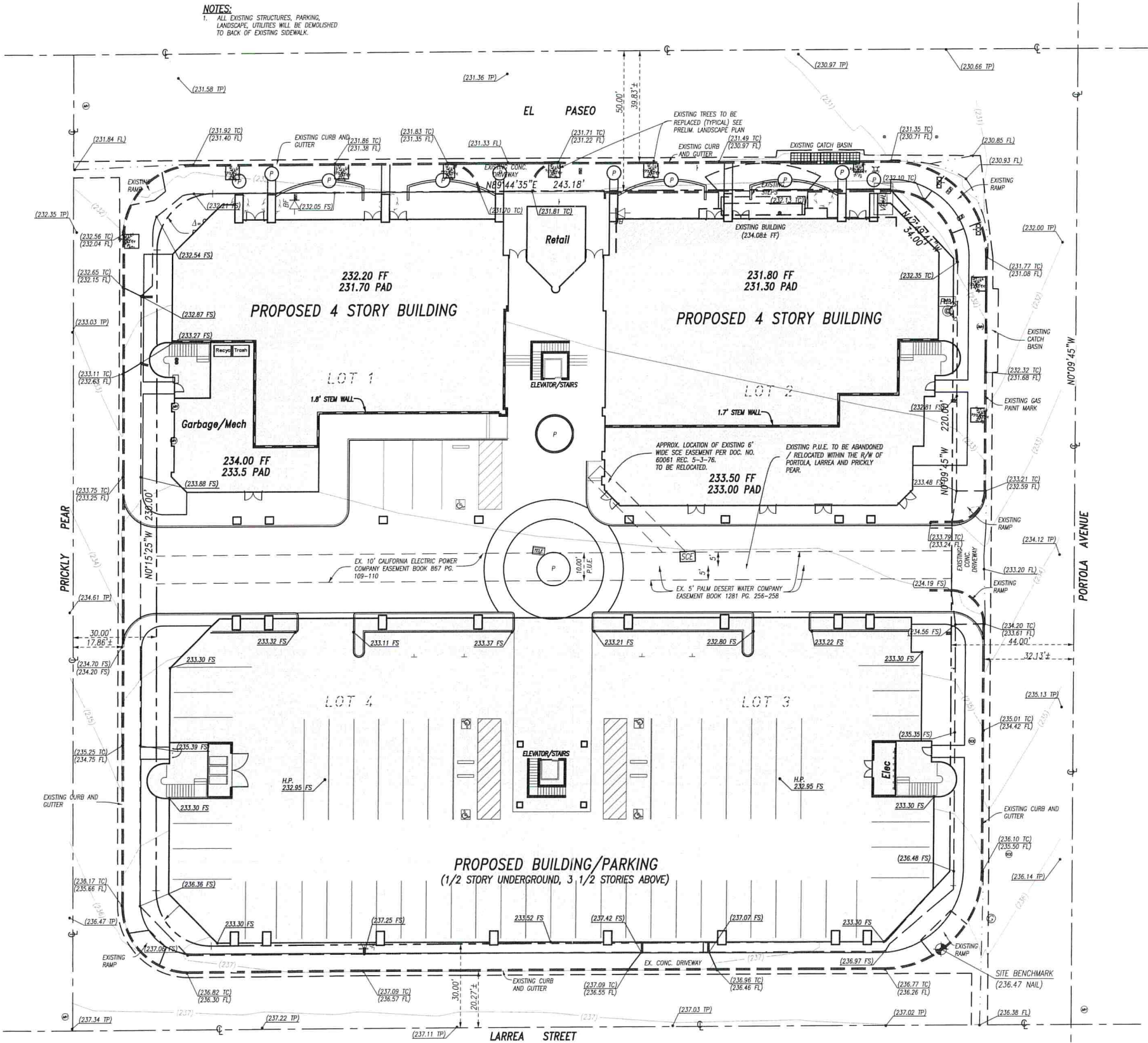
TENTATIVE TRACT MAP NO. 37849

BEING A SUBDIVISION OF LOTS 1-4, BLOCK T, PALM DESERT PER MAP BOOK RECORDED OCTOBER 17, 1946 MAP BOOK 21/50-54, OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING A PORTION OF THE SOUTH HALF OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.B.&M.

FEIRO ENGINEERING, INC. NOVEMBER, 2019

NOTES:

1. ALL EXISTING STRUCTURES, PARKING, LANDSCAPE, UTILITIES WILL BE DEMOLISHED TO BACK OF EXISTING SIDEWALK.



OWNER/APPLICANT:
TWO BIRD HOLDINGS, LLC
c/o JMA ARCHITECTURE, INC.
P.O. BOX 778
PALM DESERT, CA 92261
(760) 346-6155 PHONE
jim@jmaarchitects.net

ENGINEER:
FEIRO ENGINEERING, INC.
P. O. BOX 12980
PALM DESERT, CA. 92255
(760) 346-8015 PHONE

APN:
627-272-005

APPROXIMATE AREA:
1.76 ACRES OR 76,474 sq. ft.

BASIS OF BEARING:
CENTERLINE OF PORTOLA AVENUE AS
N 00°09'45" W, PER MB 21/50-54.

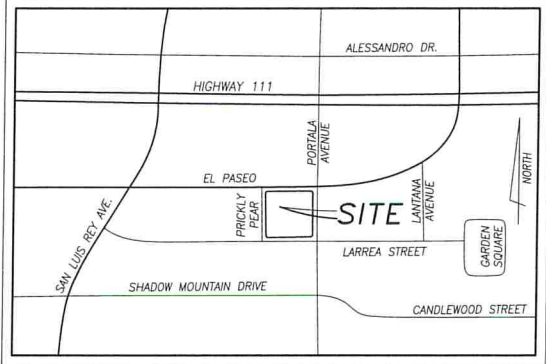
BENCHMARK:
CITY OF PALM DESERT BM#121
2" CITY OF PALM DESERT BRONZE DISC IN TOP OF CURB,
EAST SIDE OF PORTOLA AVE. SOUTH OF FAIRWAY DR.
ELEVATION=(267.732) NGVD29

SITE BENCHMARK:
NAIL AT THE RAMP ON THE NORTH WEST CORNER OF THE
INTERSECTION OF PORTOLA AVE. AND LARREA STREET.
ELEVATION=(236.47 NAIL)

SITE BENCHMARK:
INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF
RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING
CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF
RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE
BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

SOURCE OF TOPOGRAPHY:
THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A
FIELD SURVEY BY FEIRO ENGINEERING DATED 1-10-2016.

LEGAL DESCRIPTION:
LOTS 1, 2, 3 AND 4 IN BLOCK T OF PALM DESERT IN THE CITY OF
PALM DESERT, COUNTY OF RIVERSIDE, AS PER MAP ON FILE IN BOOK
21 OF MAPS, PAGES 50 TO 54 OF MAPS, IN THE OFFICE OF THE
COUNTY RECORDER OF SAID COUNTY.



VICINITY MAP
NOT TO SCALE

UTILITIES:

ELECTRIC	SOUTHERN CALIFORNIA EDISON	760-202-4286
GAS	SO. CA. GAS (THE GAS COMPANY)	800-427-2200
TELEPHONE	FRONTIER COMMUNICATIONS	877-775-6373
WATER	CWWD	760-398-2651
SEWER	CWWD	760-398-2651
CABLE	SPECTRUM	888-892-2253

SCHOOL DISTRICT:
DESERT SANDS UNIFIED SCHOOL DISTRICT

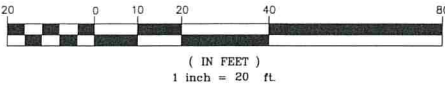
PROPOSED LAND USE:
MULTI USE RETAIL/RESIDENTIAL

EXISTING & PROPOSED ZONING:
C-1 GENERAL COMMERCIAL

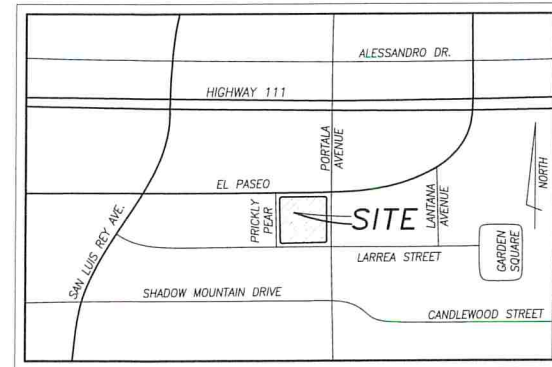
GENERAL PLAN DESIGNATION:
DOWNTOWN

LEGEND:	
(99.9)	EXISTING ELEVATION
99.9	PROPOSED ELEVATION
H.P.	HIGH POINT
G.B.	GRADE BREAK
E.G.	EXISTING GROUND
F.G.	FINISH GRADE
F.S.	FINISH SURFACE
F.F.	FINISH FLOOR ELEVATION
PAD	PAD ELEVATION
P	PLANTER
T.W.	TOP OF WALL
T.R.W.	TOP OF RETAINING WALL
W.S.	WATER SURFACE
B.W.	BOTTOM OF WALL
B.F.	BOTTOM OF FOOTING
R/W	RIGHT-OF-WAY
D/W	DRIVEWAY
T.C.	TOP OF CURB
F.L.	FLOW LINE
E.P.	EDGE OF EXISTING PAVEMENT
T.P.	TOP OF PAVEMENT
T.G.	TOP OF GRADE
INV	INVERT ELEVATION
[C]	10" CHISELED ON CURB
[S]	5" CHISELED ON CURB
[E]	2" CHISELED ON CURB
FP	POWER POLE
MH	MANHOLE
CB	CABLE TV BOX
BF	BACKFLOW DEVICE
G	GAS
DMH	DRAINAGE MANHOLE
PIV	POST INDICATOR VALVE
FD	FIRE DEPARTMENT CONNECTION
CN	CLEANOUT
TLB	TRAFFIC LIGHT BOX
VS	VAULT
CBG	CATCH BASIN GRATE
(99.9)	EXISTING ELEVATION
99.9	PROPOSED ELEVATION
---	PROPERTY LINE / RIGHT-OF-WAY
---	CENTERLINE
---	EXISTING CONTOUR
---	FINISH CONTOUR
---	DRAINAGE SWALE
---	EXISTING SLOPE
---	FINISH SLOPE
---	EXISTING CURB AND GUTTER
---	RETAINING WALL/DEEPEENED FOOTING
---	EXISTING RETAINING WALL/DEEPEENED FOOTING
---	EXISTING BLOCK WALL
---	PROPOSED BLOCK WALL
---	SHEET FLOW
---	CONCRETE
---	COLUMN
---	WATER METER
---	FIRE HYDRANT
---	WATER VALVE
---	IRRIGATION CONTROL VALVE
---	TELE VAULT
---	SCE VAULT
---	PALM TREE
---	SCE MANHOLE
---	SCE BOX
---	VENT

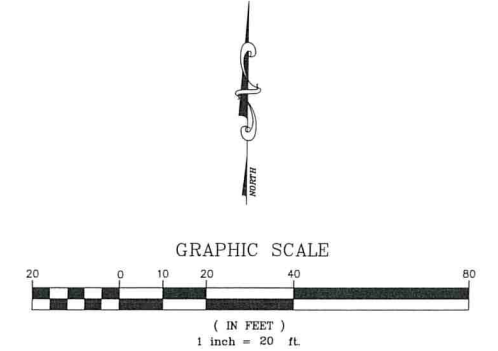
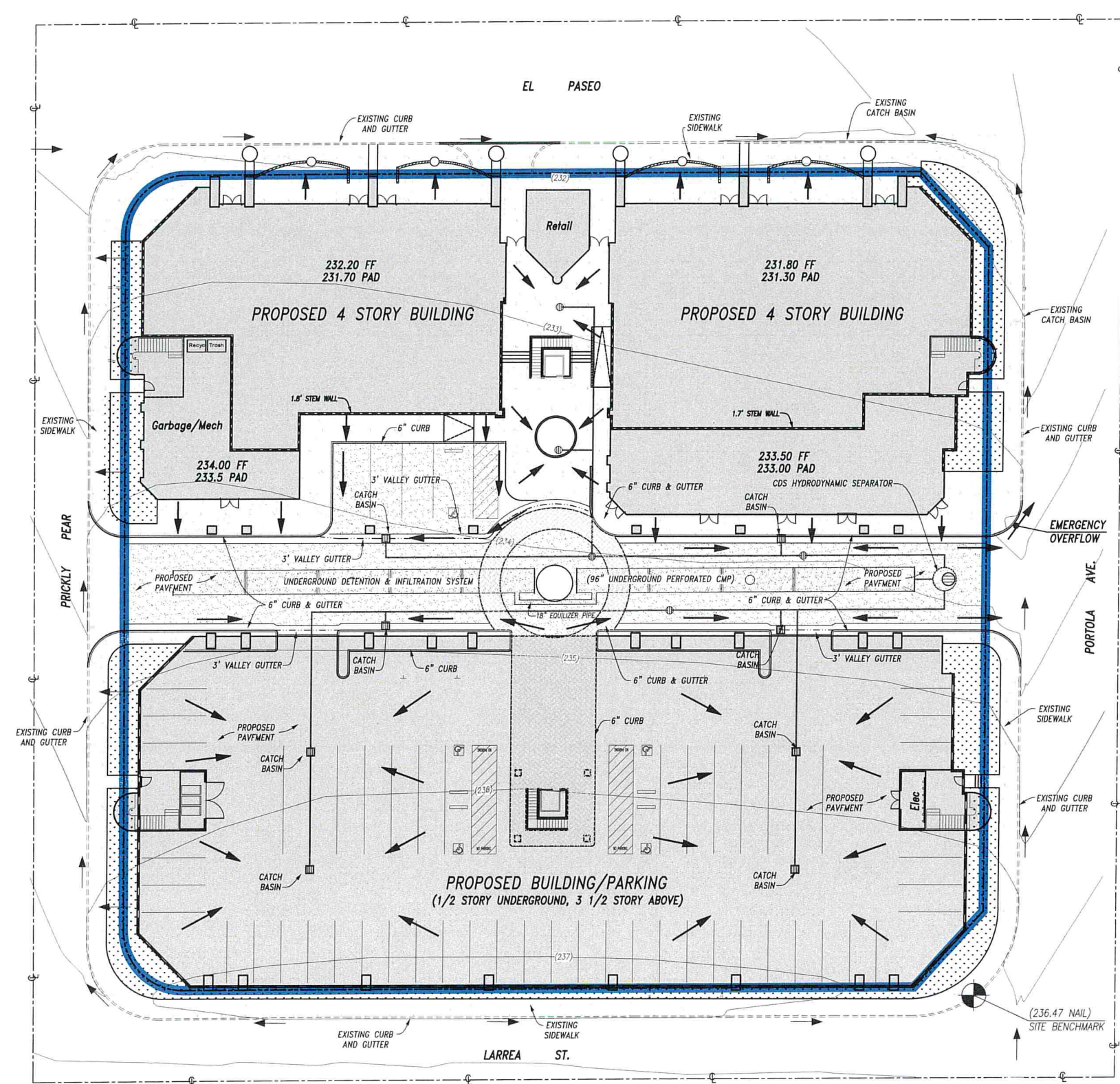
GRAPHIC SCALE















In the City of Indio
Preliminary Water Quality Management Plan
Plaza Roberge on El Paseo



VICINITY MAP
NOT TO SCALE



- LEGEND:**
- | | |
|---|---|
|  | TRIBUTARY AREA |
|  | STORM DRAIN |
|  | CDS HYDRODYNAMIC SEPARATOR |
|  | CATCH BASIN |
|  | DRAIN |
|  | CLEANOUT |
|  | PROPOSED DRAINAGE FLOW |
|  | PROPOSED BUILDING |
|  | PROPOSED CONCRETE |
|  | PROPOSED ASPHALT |
|  | DECORATIVE PAVING |
|  | UNDERGROUND DETENTION & INFILTRATION SYSTEM |

In the City of Indio

Preliminary Hydrology Plan

Plaza Roberge on El Paseo

HYDROGRAPH PARAMETERS

Job No. 121m-060
Job Name Plaza Roberge on El Paseo

Tributary Area
Area Description
Total Area 76474 [Sq. Ft.] 1.756 [Ac.]
Impervious Area 76474 [Sq. Ft.] 1.756 [Ac.]

% Impervious Area 100.0 [%]

Point Rainfall
1-Hour Storm 1.6 [In] [View Map](#)
3-Hour Storm 2.2 [In] [View Map](#)
6-Hour Storm 2.8 [In] [View Map](#)
24-Hour Storm 4.5 [In] [View Map](#)

Soil Type
Soil Type MaB [View Soil Maps](#)
Soil Name Myoma
Hydrologic Group A

Soil Loss Rate
Runoff Index Number 32 [In/Hr] [View](#)
Pervious Loss Rate 0.74

HYDROGRAPH SUMMARY

1-Hour Storm:	Volume = 9725 [CF]	Qmax = 4.13 [CFS]
3-Hour Storm:	Volume = 12605 [CF]	Qmax = 3.67 [CFS]
6-Hour Storm:	Volume = 14704 [CF]	Qmax = 3.11 [CFS]
24-Hour Storm:	Volume = 18969 [CF]	Qmax = 0.96 [CFS]



Design - CMP
DVIDS# 12826
System Description: Underground Detention and Infiltration
Project: 121m-060
Application: Infiltration (Perforated CMP)
Created: 10/03/2019
Modified: 10/03/2019

System Selection
Application: Infiltration
System: CMP - Perforated w/ Stone Backfill

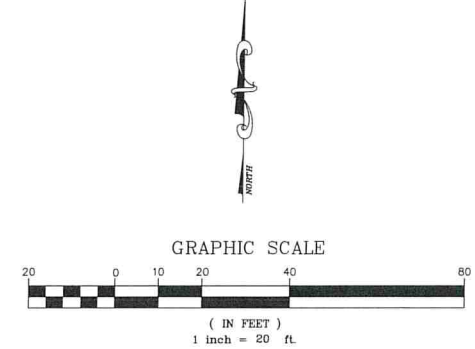
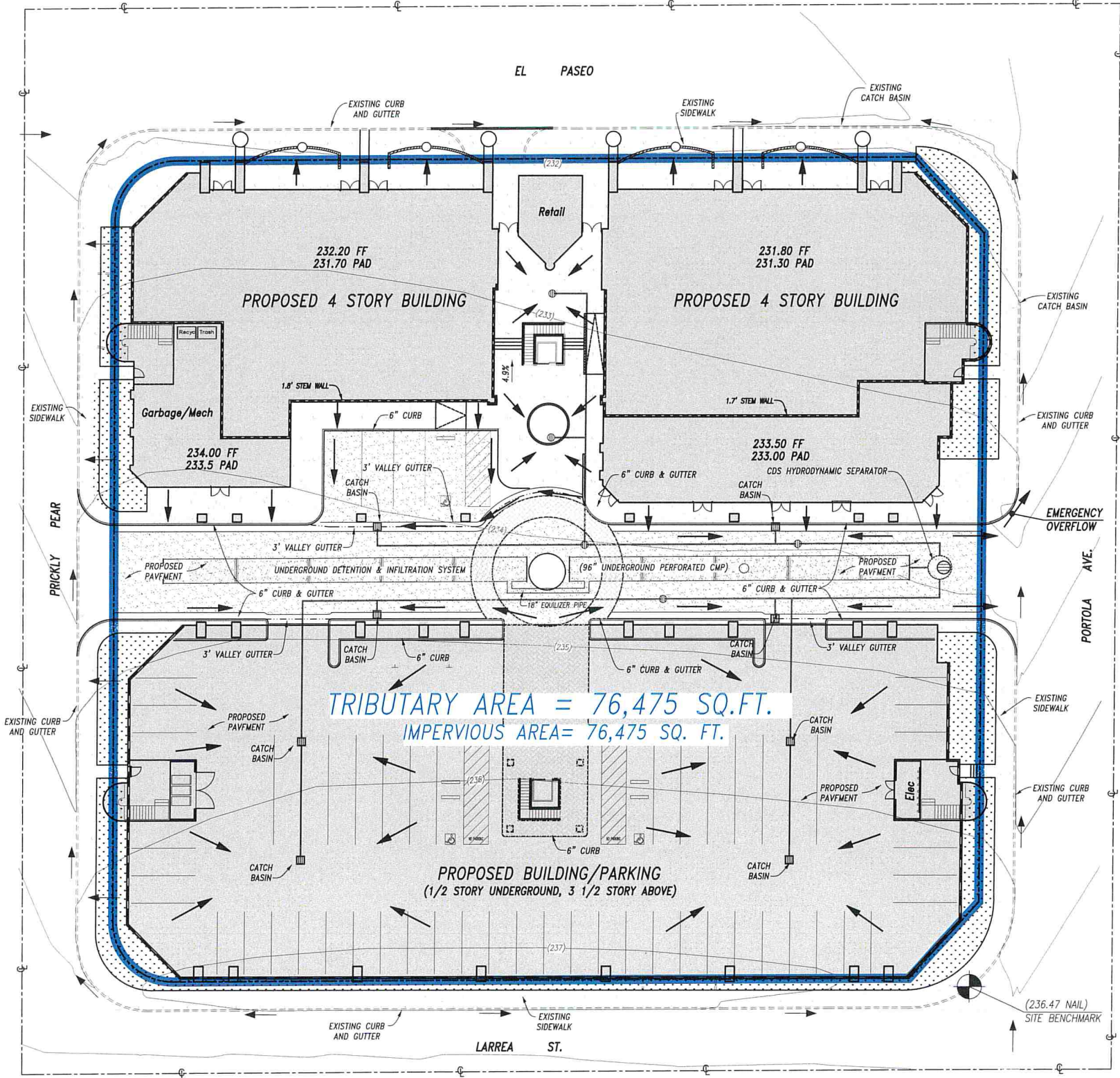
Structural Backfill Detail
Stone Porosity: 40%
Width At Ends: 36 in
Above Pipe: 6 in
Width At Sides: 36 in
Below Pipe: 6 in

Design Parameters
Storage Volume: 18,970 cf
Limiting Length: 250 ft
Limiting Width: 24 ft
Pavement Type: Rigid Pavement
Pavement Depth: 4 in
Freeboard Depth: 0 in
Invert Depth: 10 ft

Pipe Detail
Material: Steel
Shape: Round
Size: 18 in
Corrugation: 5" x 1" or 3" x 1"
Gage: 16
Pipe Spacing: 36 in
Coating: Aluminum Steel Type 2 (A12)
Layout: Single Manifold

Draftboard

Calculations
Status: OK
Barrel Count: 1
CMP Footprint (LxW): 232 x 8 ft
Length Per Barrel: 232 ft
Length Per Header: N/A
Pipe Storage: 11,661 cf
Structural Backfill Zone Storage: 7,309 cf
Total Storage Provided: 18,970 cf
Percent Of Required Storage: 100.12%
Total CMP Footage: 232 ft
Approximate CMP Piece Count: 11
Approximate Coupling Bands: 10
Approximate Truckloads: 6
Total Excavation: 1,296 cy
Structural Backfill: 679 cy
Pavement Volume: 41 cy
Remaining Backfill To Pavement: 144 cy



- LEGEND:**
- TRIBUTARY AREA
 - STORM DRAIN
 - CDS HYDRODYNAMIC SEPARATOR
 - CATCH BASIN
 - DRAIN
 - CLEANOUT
 - PROPOSED DRAINAGE FLOW
 - PROPOSED BUILDING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - DECORATIVE PAVING
 - UNDERGROUND DETENTION & INFILTRATION SYSTEM



Civil Engineering
Land Surveying
www.feiro.net
PREPARED UNDER THE DIRECT SUPERVISION OF:
Ronald K. Feiro
R.C.E. 52260 DATE

City of Palm Desert
Preliminary Hydrology Plan
FOR: Plaza Roberge on El Paseo

SHEET NUMBER:
1
OF 1 SHEETS
DWG FILE:
LAYOUT:
JOB NUMBER: