

PROPOSED DUPLEX FOR:

# BEECH STREET DEVELOPMENT

BEECH STREET

FITCHBURG, MA 01420



w/ WALKOUT BASEMENT

## GENERAL NOTES:

1. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF TDA PRIOR TO WORK COMMENCING.
2. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
3. ALL DIMENSIONS ARE TO THE ROUGH FRAME. DIMENSIONS NOTED "HOLD" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN PERMISSION OF TDA. "ALIGN" MEANS TO ACCURATELY LOCATE THE FINISH FACES OF THE SAME PLANE. DIMENSIONS NOTED "CLEAR" ARE MINIMUM DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED +/- MEAN A VARIANCE NOT GREATER THAN 1". VERIFY DIMENSION EXCEEDING A TOLERANCE WITH THE DESIGNER.
4. PATCH ALL NEW AND EXISTING PENETRATIONS AT THE FLOOR AND CEILING SLAB, WALLS AND SHAFTS. SEAL ABANDONED PENETRATIONS AT FLOORS, WALLS AND SHAFTS TO MAINTAIN FIRE/SMOKE AND ACOUSTICAL RATINGS. PATCH FIREPROOFING AT ALL NEW AND EXISTING LOCATIONS WITH EXPOSED STRUCTURE.
5. ALL GLASS SHALL BE TEMPERED GLAZING WHEN WINDOW IS LARGER THAN 9 SF IN AREA AND LESS THAN 18" ABOVE THE FLOOR OR AS IT APPLIES TO 180 CMR 24.00. ALL GLAZING SHALL BE CLEANED AFTER INSTALL.
6. REFER TO PARTITION TYPES FOR PARTITION THICKNESS.
7. ALL INFILL OF DOORS/WALLS/OPENINGS SHALL BE PATCH AND FINISHED WITH EXISTING ADJACENT PARTITION CONSTRUCTION TYPE.
8. WHERE NEW PARTITIONS ABUT EXISTING SURFACE, REMOVE EXISTING CORNER BEAD AND PROVIDE SMOOTH FINISH AT INTERSECTION.
9. ALL GYPSUM SHALL BE TAPE AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE A LEVEL 4 FINISH, UNLESS OTHERWISE NOTED.
10. ALL EXPOSED GYPSUM EDGES TO HAVE METAL EDGE TRIM
11. CONTRACTOR SHALL COORDINATE REVIEW OF PARTITION LAYOUT WITH DESIGNER PRIOR TO PARTITION INSTALLATION.
12. CONSTRUCTION OF FIRE RATED PARTITIONS INCLUDING TAPE AND FINISHING OF GYPSUM WALL BOARD FOR FULL HEIGHT TO STRUCTURE ABOVE SHALL BE IN ACCORDANCE WITH THE UL SPECIFICATION TO ACHIEVE RATING INDICATED.
13. PROVIDE VERTICAL CONTROL JOINTS 30' O/C MAX IN ALL GWB PARTITIONS. LONGER THAN 30' WHEN POSSIBLE CONTROL JOINTS SHOULD BE LOCATED ABOVE CORNERS OF DOORS.
14. ALL HINGED DOORS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N. DIMENSIONING LOCATING DOORS ARE TO INSIDE EDGE OF JAMB.
15. THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOPS OF ALL DOORS SUCH THAT THE TOPS OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF THE VARIANCE IN THE FLOOR SLAB OR FINISH FLOOR THICKNESS.
16. PROVIDE DOUBLE STUDS AT DOOR JAMBS. INSTALL ADDITIONAL STUDS IN EXISTING PARTITIONS AT NEW DOORS IN ORDER TO PROVIDE DOUBLE STUDS AT JAMBS.
17. GYPSUM WALL BOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGHIN (e.g. BATHROOMS, PANTRY, JANITOR CLOSET, WET COLUMNS) SHALL BE WATER RESISTANT.
18. ALL CONCRETE USED SHALL DEVELOP A MIN COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:  
SLABS & FLOORS = 4,000 PSI  
FOOTINGS AND FOUNDATION WALLS = 4,000 PSI
19. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE IBC 2015 & THE NINTH (9TH) EDITION OF THE MA STATE BUILDING CODES w/ AMMENDMENTS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL, STATE & FEDERAL PERMITS AND PAY FOR SUCH PERMIT & INSPECTION FEES.

## BUILDING CODE DATA:

USE GROUP: R2  
2 FAMILY RESIDENCE  
CONSTRUCTION TYPE: 5B

## LIST OF DRAWING:

C-1 - COVER SHEET  
A-1.1 FOUNDATION PLAN (w/WALKOUT)  
A-1.2 BASEMENT PLAN (w/WALKOUT)  
A-2 FIRST FLOOR PLAN  
A-2.1 SECOND FLOOR PLAN  
A-2.2 SECOND FLOOR FRAMING & BUILDING SECTIONS  
A-3 BUILDING SECTIONS  
A-4.1 ELEVATIONS (w/ WALKOUT)  
A-5 DETAILS  
A-6 GENERAL NOTES

## GROSS AREA:

EACH UNIT  
BASEMENT: 508 SF  
FIRST LIVING: 508 SF  
GARAGE: 264 SF  
SECOND LIVING: 772 SF  
TOTAL AREA: 2,052 SF

## INSULATION VALUES:

PENETRATIONS  
U VALUES: .32  
CEILING R-VALUES: R-49  
WALL R-VALUES: R-21  
FLOORS OVER UNCONDITIONED: R-30  
BASEMENT WALLS: R-10  
SLABS PERIMETER R-VALUE: R-10

## For Construction

No. Date Revision

1 6/8/23 REMOVE 2ND FLR & DORMER



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Project Name:

PROPOSED RESIDENCE for:  
BEECH ST  
DEVELOPMENT  
BEECH ST  
FITCHBURG, MA 01420

Drawing Title:  
COVER SHEET

GENERAL NOTES

BLDG CODE DATA



Drawn by: VMP Checked by: VMP  
Date: JUNE 26, 2023

Project No. 2023-14

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Drawing No. C-1

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Project Name:

PROPOSED RESIDENCE for:  
**BEECH ST**  
**BEECHBURG, MA 01420**

Drawing Title:  
**FOUNDATION PLAN w/  
WALKOUT BASEMENT**  
DRAWING NO. **A-1.1**



Drawn by: **VMP** Checked by: **VMP**  
Date: **JUNE 26, 2023**

Project No. **2023-14**

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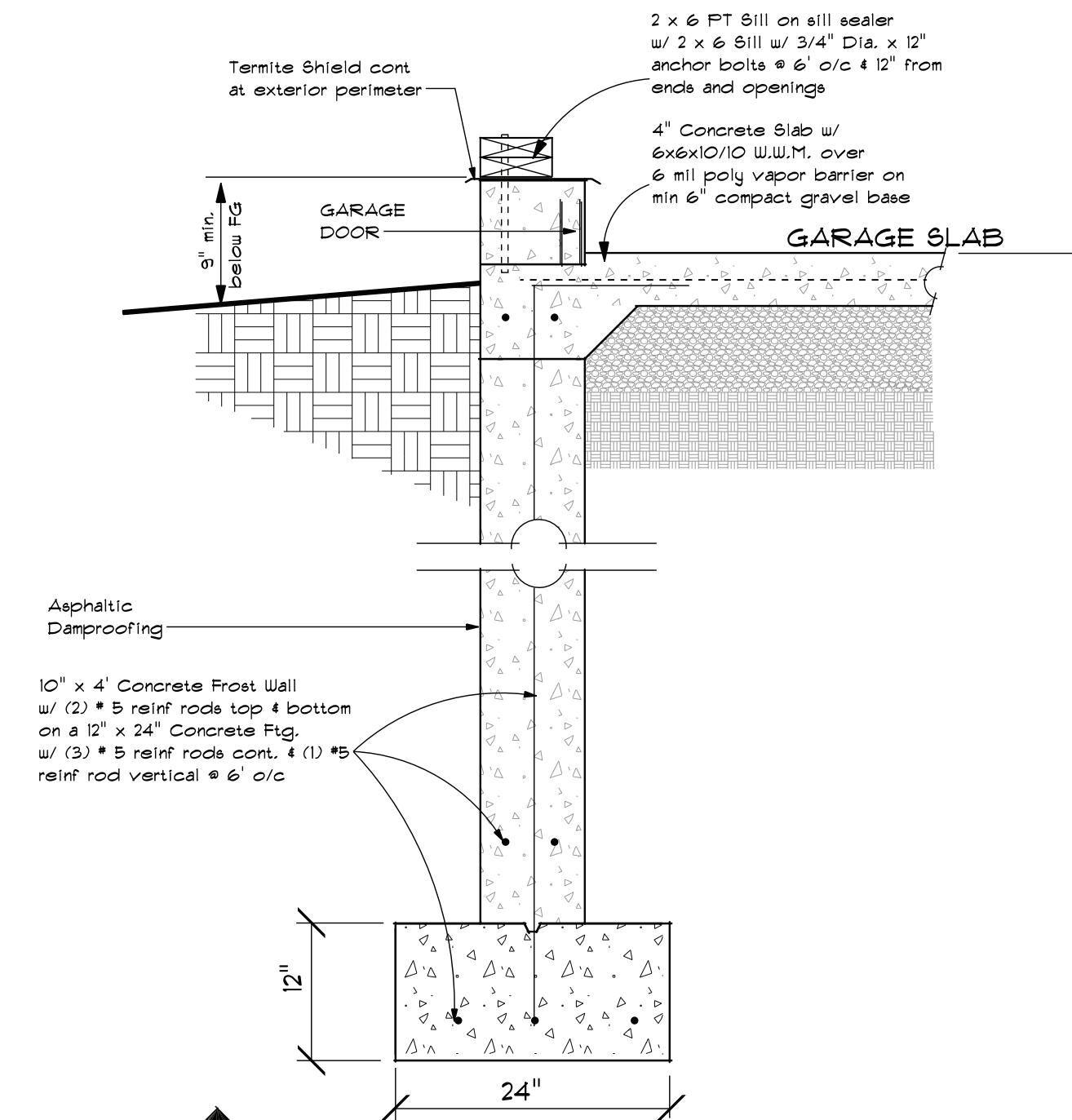
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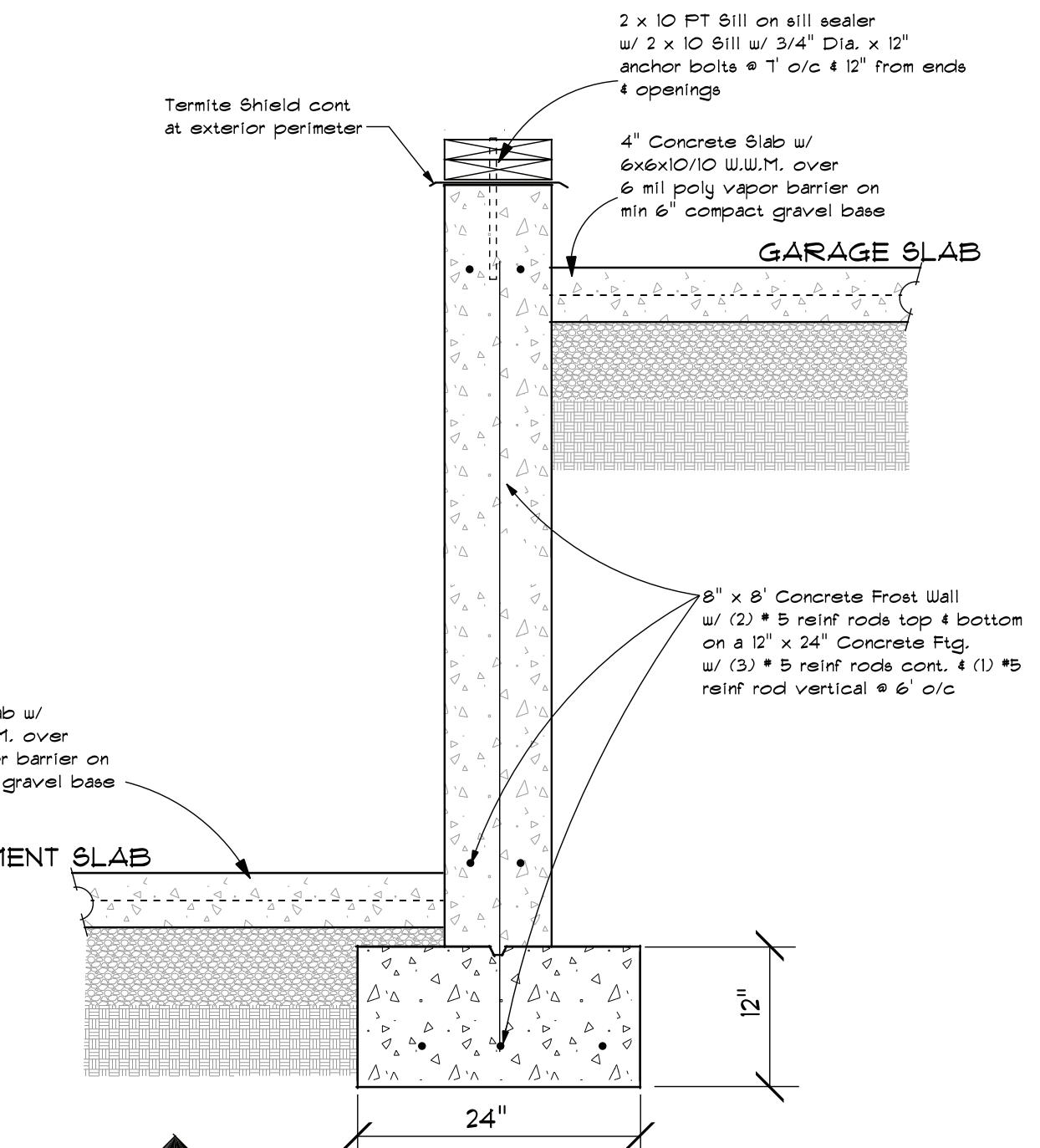
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Drawing No. **A-1.1**

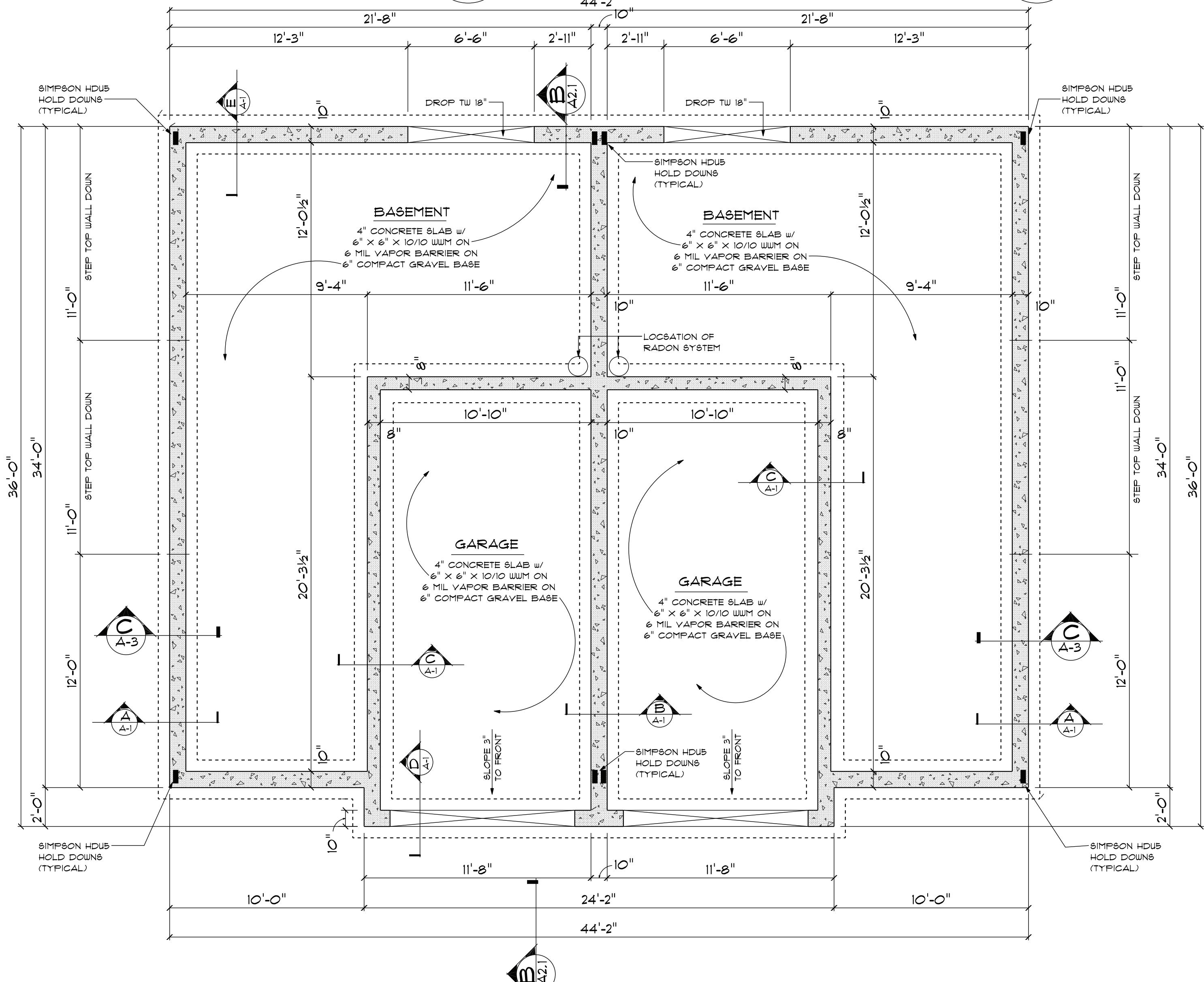
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**Foundation Detail**  
Scale: 1" = 1'-0"



**Foundation Detail**  
Scale: 1" = 1'-0"

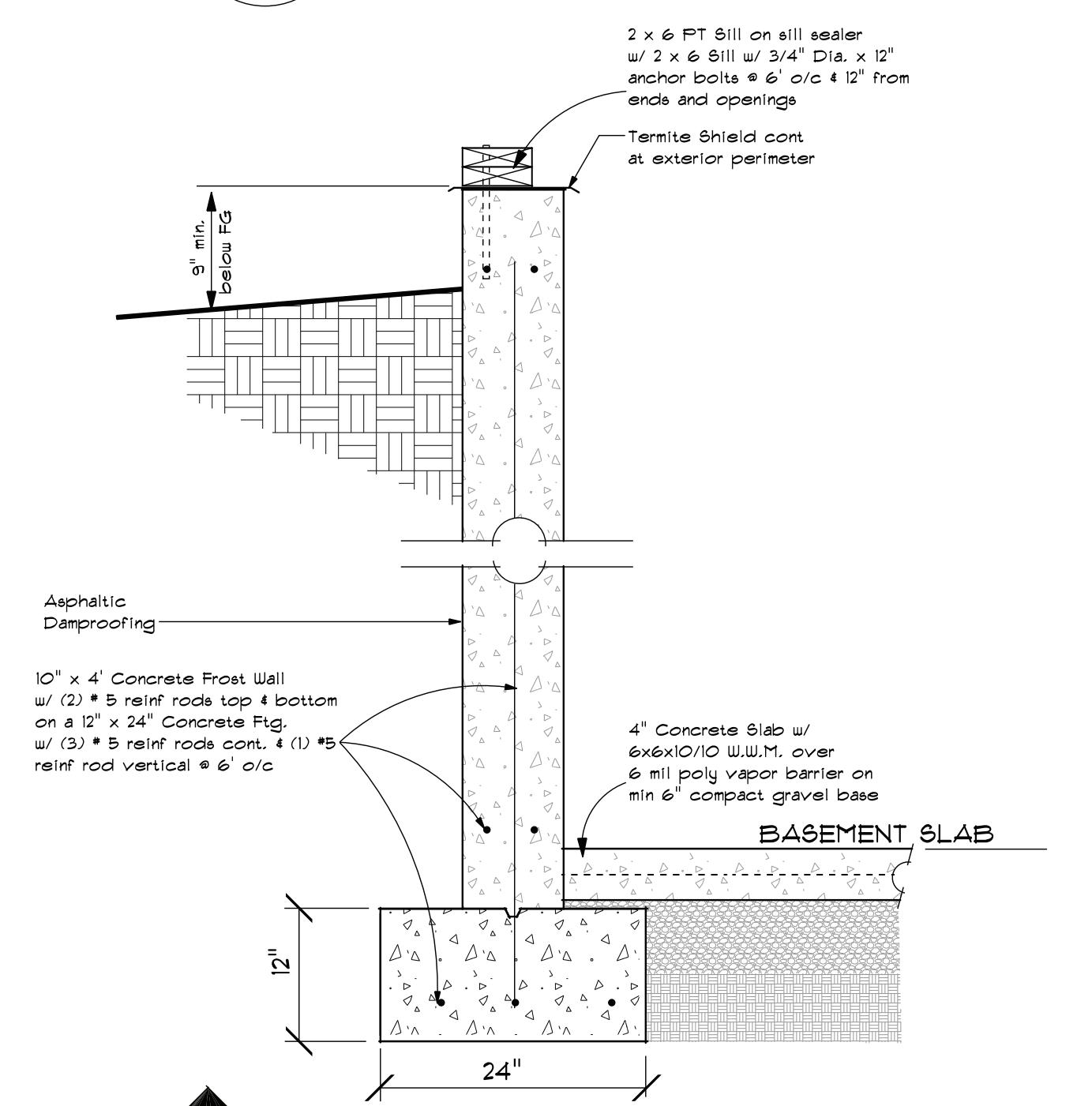


**FOUNDATION PLAN**

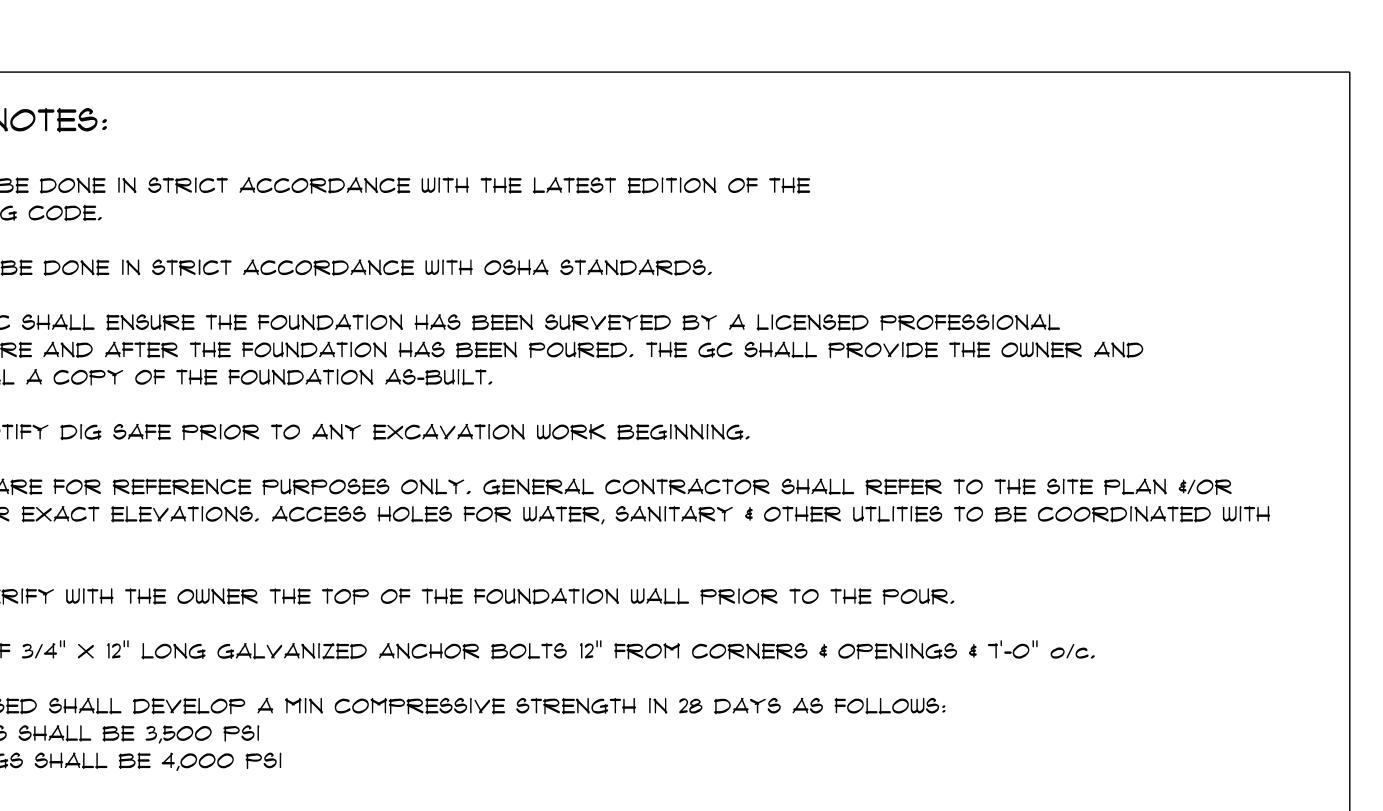
**FOUNDATION - w/ WALK OUT BASEMENT**

### FOUNDATION NOTES:

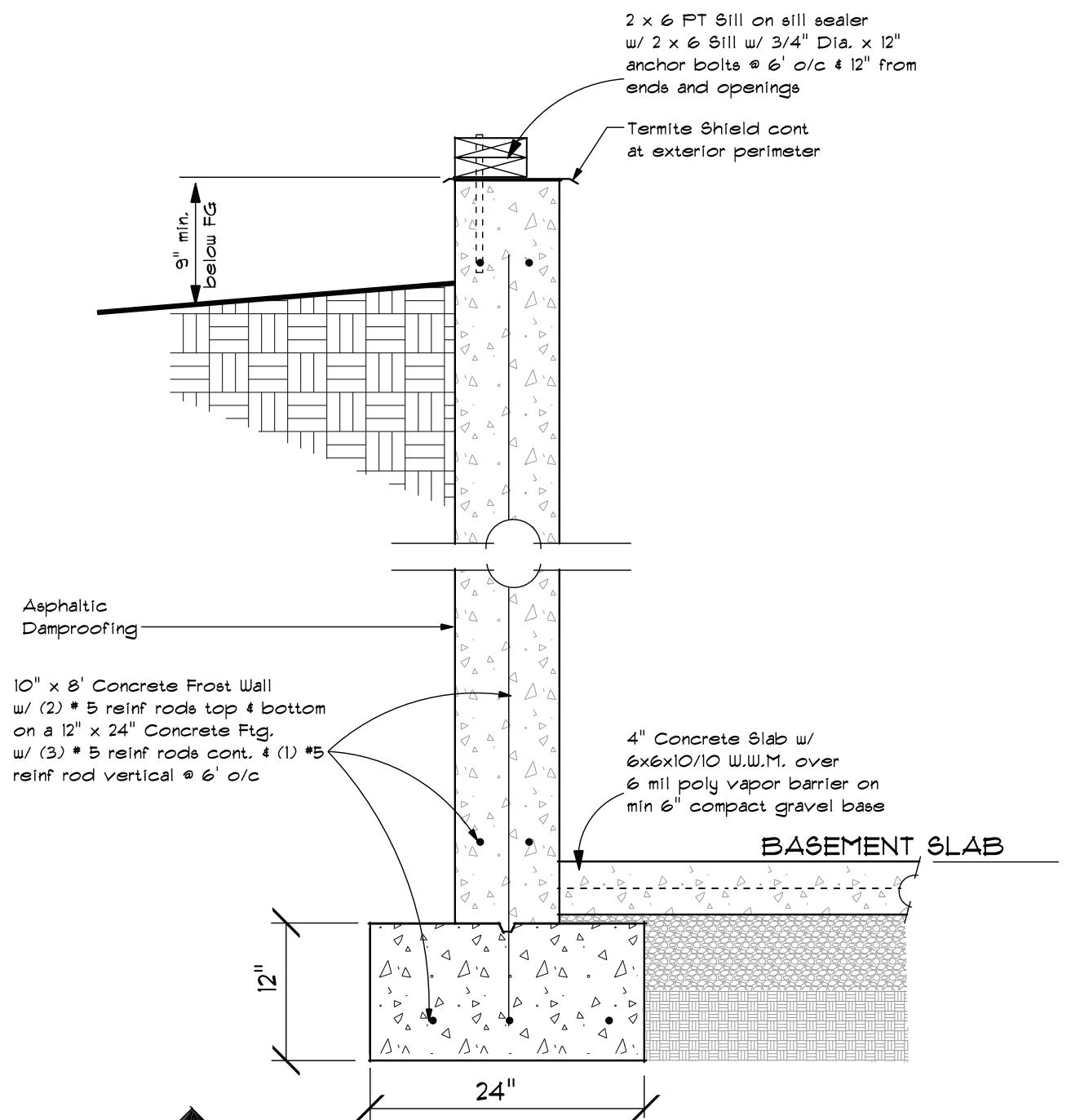
1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE RI STATE BUILDING CODE.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA STANDARDS.
3. THE OWNER OR GC SHALL ENSURE THE FOUNDATION HAS BEEN SURVEYED BY A LICENSED PROFESSIONAL SURVEYOR BEFORE AND AFTER THE FOUNDATION HAS BEEN Poured. THE GC SHALL PROVIDE THE OWNER AND BUILDING OFFICIAL A COPY OF THE FOUNDATION AS-BUILT.
4. THE GC SHALL NOTIFY DIG SAFE PRIOR TO ANY EXCAVATION WORK BEGINNING.
5. ALL ELEVATIONS ARE FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL REFER TO THE SITE PLAN & OR SEPTIC PLAN FOR EXACT ELEVATIONS. ACCESS HOLES FOR WATER, SANITARY & OTHER UTILITIES TO BE COORDINATED WITH THE OWNER.
6. THE GC SHALL VERIFY WITH THE OWNER THE TOP OF THE FOUNDATION WALL PRIOR TO THE POUR.
7. PROVIDE A MIN OF 3/4" x 12" LONG GALVANIZED ANCHOR BOLTS 12" FROM CORNERS & OPENINGS & 1'-0" o/c.
8. ALL CONCRETE USED SHALL DEVELOP A MIN COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:  
SLABS & FLOORS SHALL BE 3,800 PSI  
WALLS & FOOTINGS SHALL BE 4,000 PSI



**Foundation Detail**  
Scale: 1" = 1'-0"



**Foundation Detail**  
Scale: 1" = 1'-0"



**Foundation Detail**  
Scale: 1" = 1'-0"

## For Construction



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Project Name

PROPOSED RESIDENCE for:  
**BEECH ST  
DEVELOPMENT**

---

**BEECH ST**

**FITCHBURG, MA 014**

Drawing Title:

# WALKOUT BASEMENT FLOOR PLAN

A circular registration stamp for a professional engineer. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "PROFESSIONAL ENGINEER" at the bottom. The center of the stamp contains the name "ROBERT A. GUAY" in large letters, with "MASSACHUSETTS" and "No. 43128" stacked below it. The entire stamp is surrounded by a decorative scalloped border. The stamp is partially obscured by a blue ink signature.

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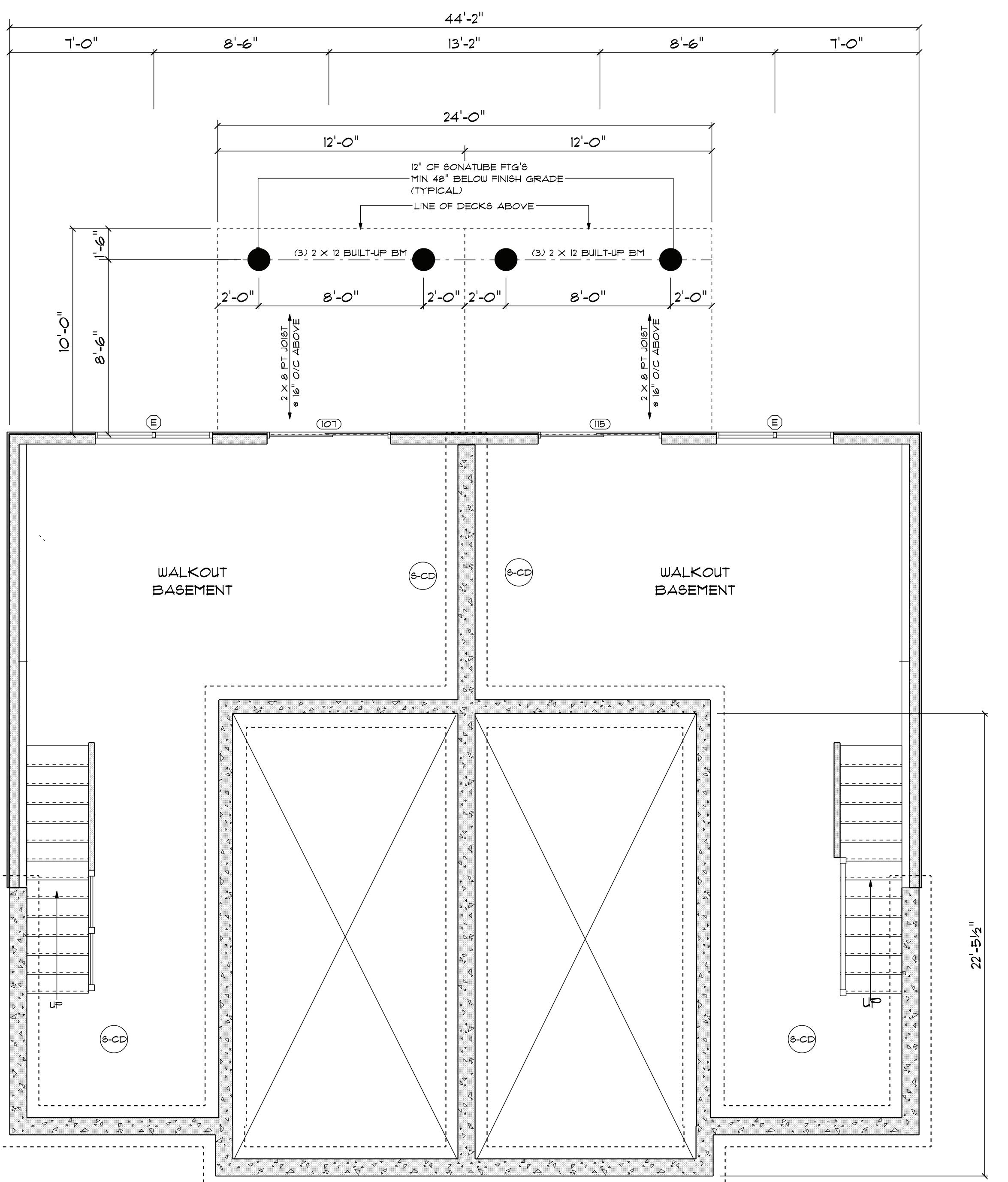
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rawing No.

A-1.2



# WALKOUT BASEMENT PLAN

SCALE: 1/4" = 1'-0"





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No.	Date	Revision
1	6/8/23	REMOVE 2ND FLR & DORMER



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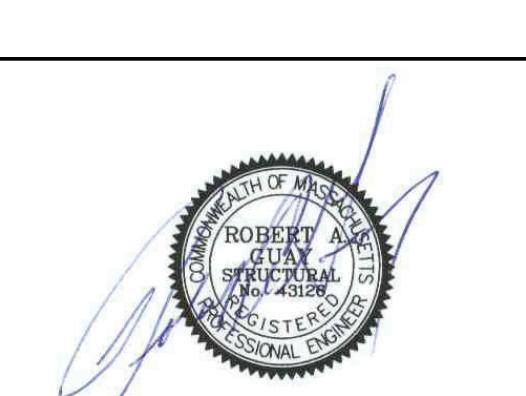
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Project Name:

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### SECOND FLOOR FRAMING PLAN BUILDING SECTIONS



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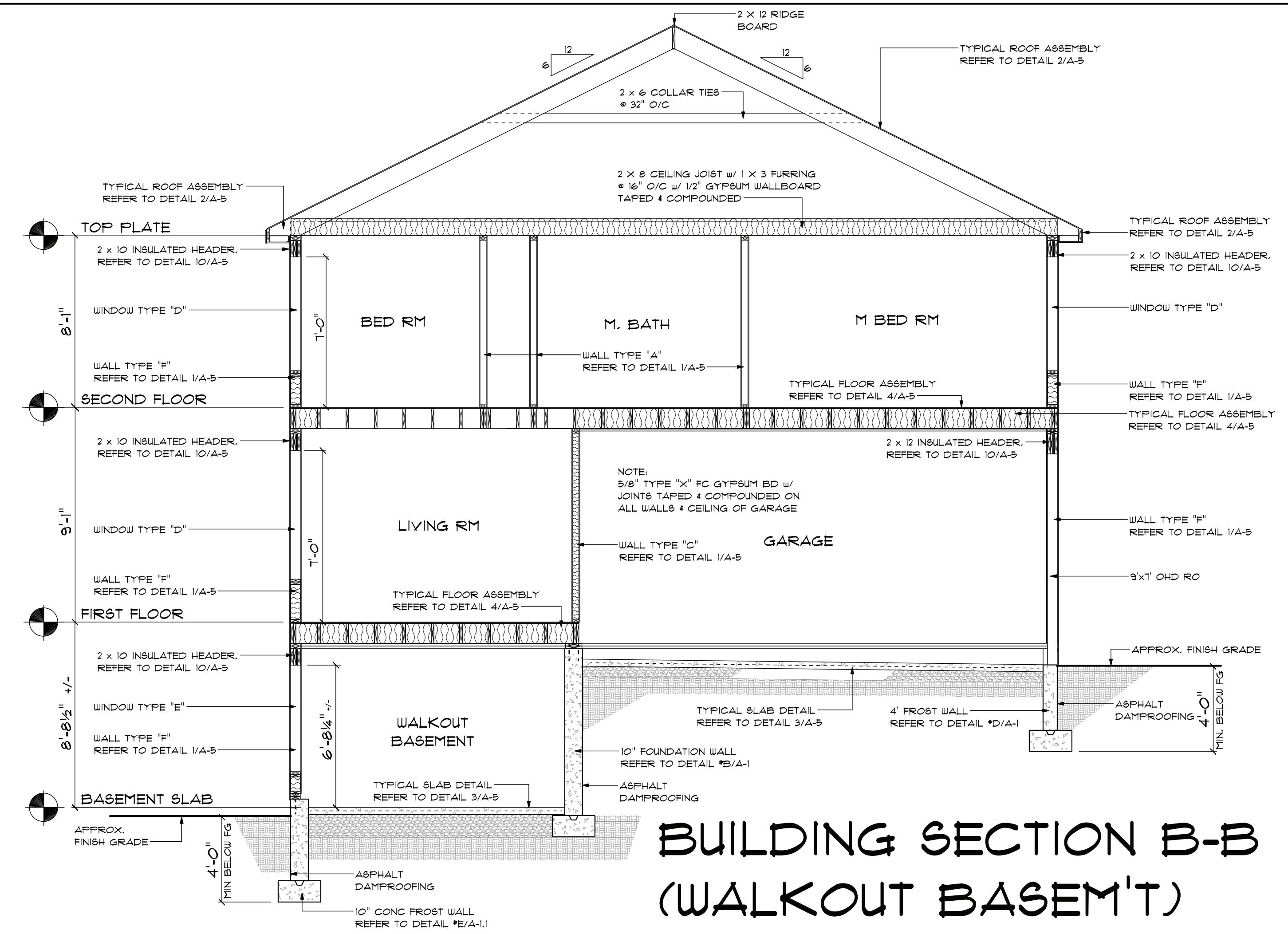
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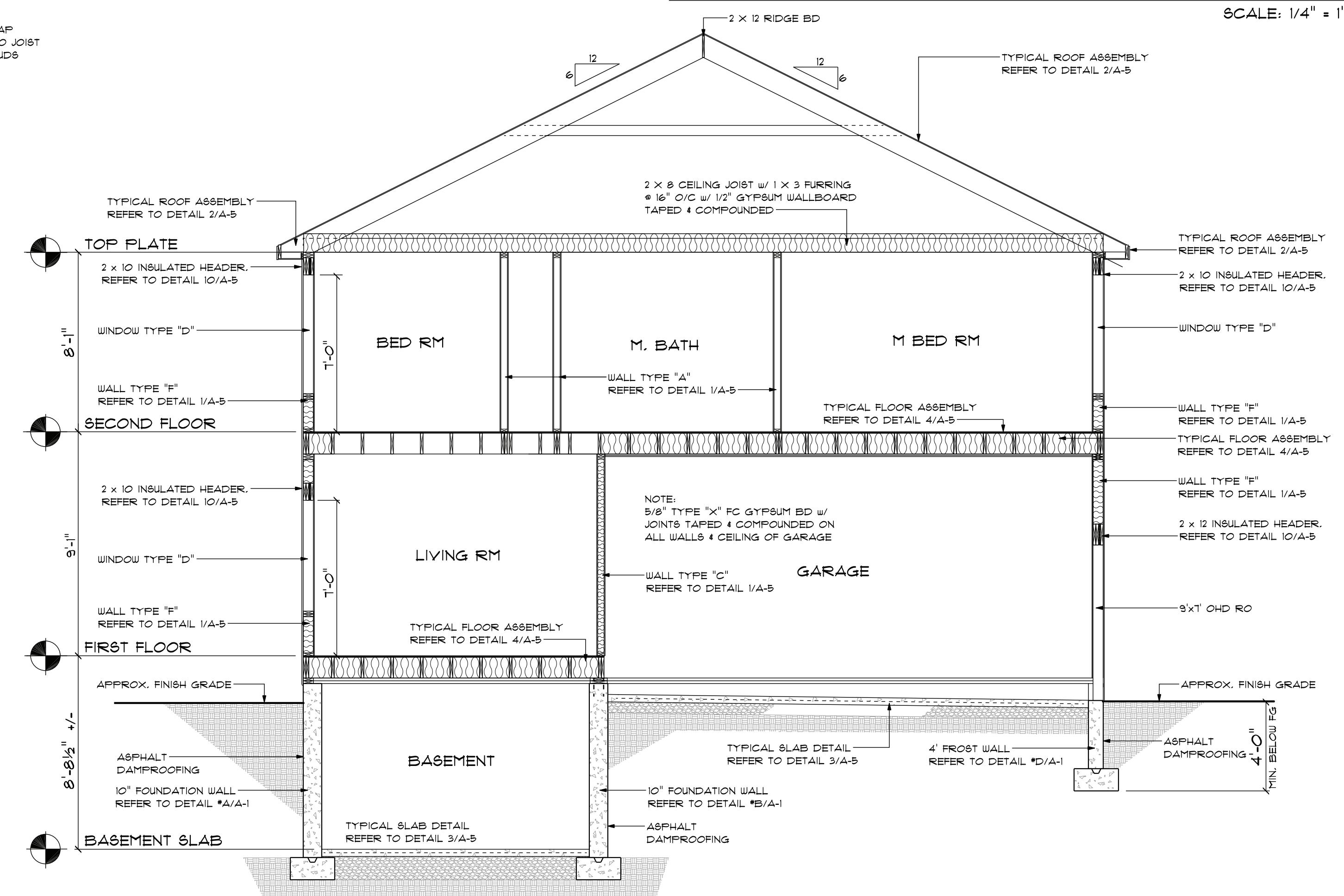
Drawing No. A-2.2

A-2.2



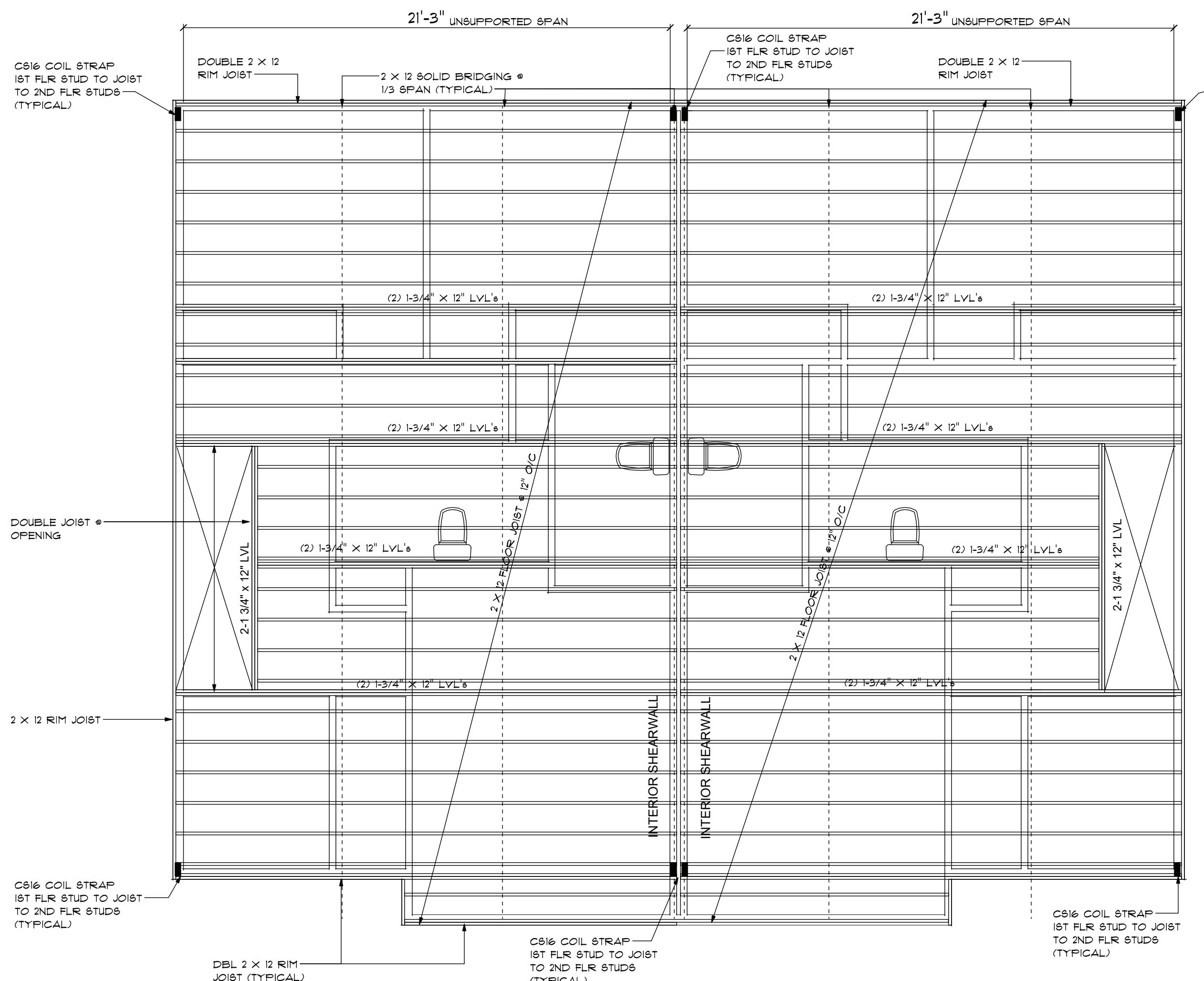
### BUILDING SECTION B-B (WALKOUT BASEM'T)

SCALE: 1/4" = 1'-0"



### BUILDING SECTION A-A

SCALE: 1/4" = 1'-0"



### SECOND FLR FRAMING PLAN

SCALE: 1/4" = 1'-0"

For Construction

No. Date Revision  
1 7/28/23 1 HR RATED ASSEMBLY



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**BEECH ST**  
**FITCHBURG, MA 01420**

Drawing Title:  
**BUILDING SECTION**



Drawn by: VMP Checked by: VMP

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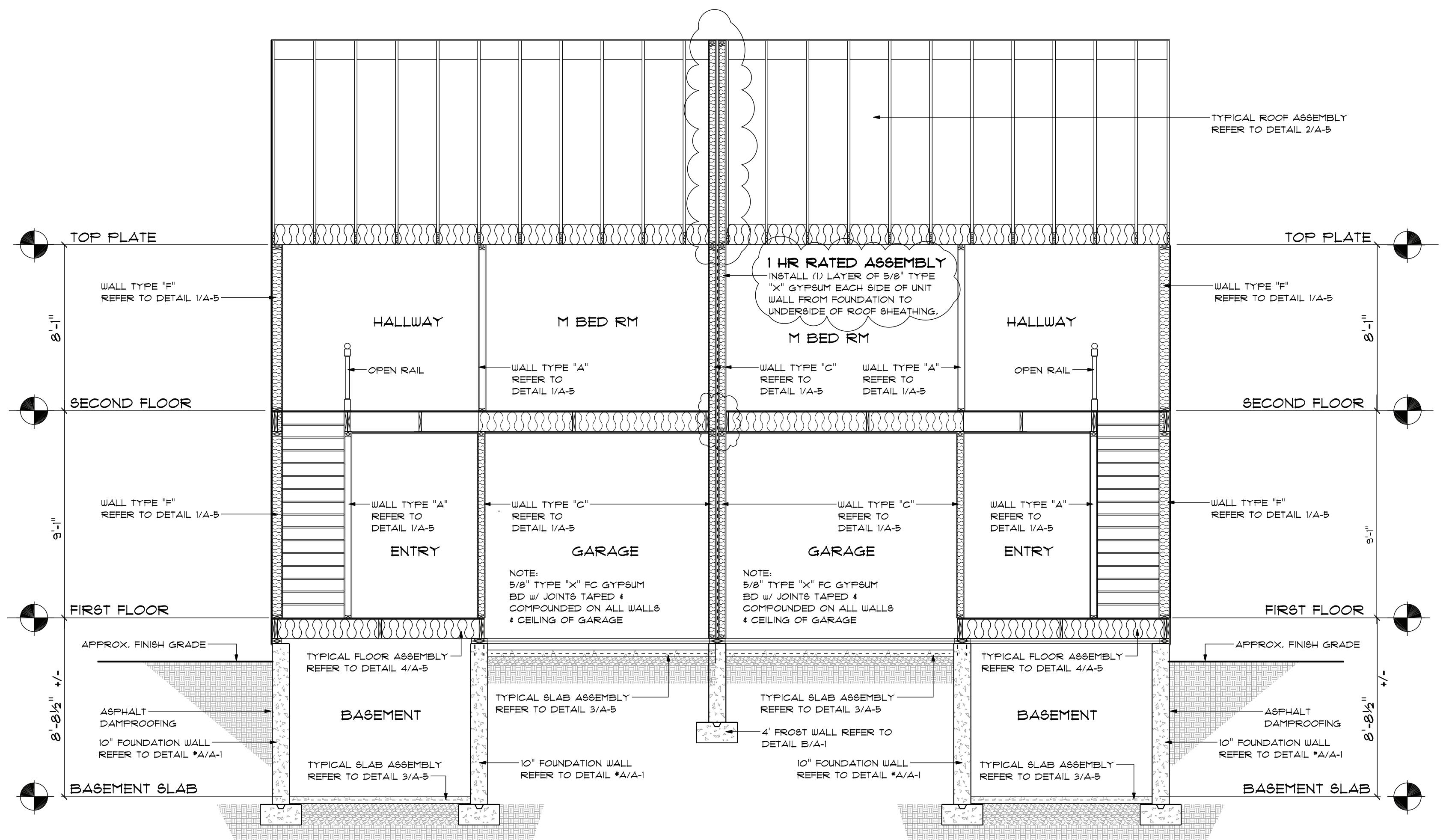
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Drawing No. A-3



SCALE: 1/4" = 1'-0"

**BUILDING SECTION C-C**





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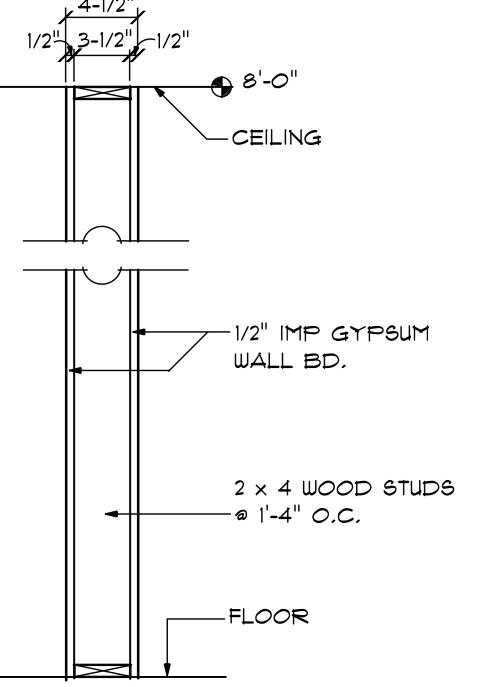
Project Name:

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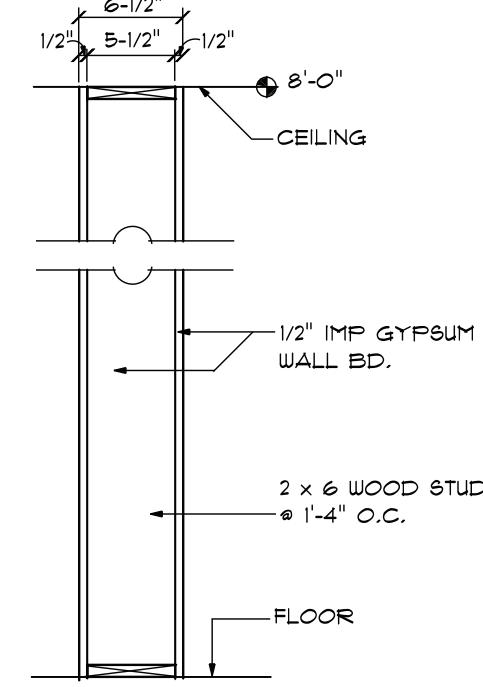
Drawing Title:  
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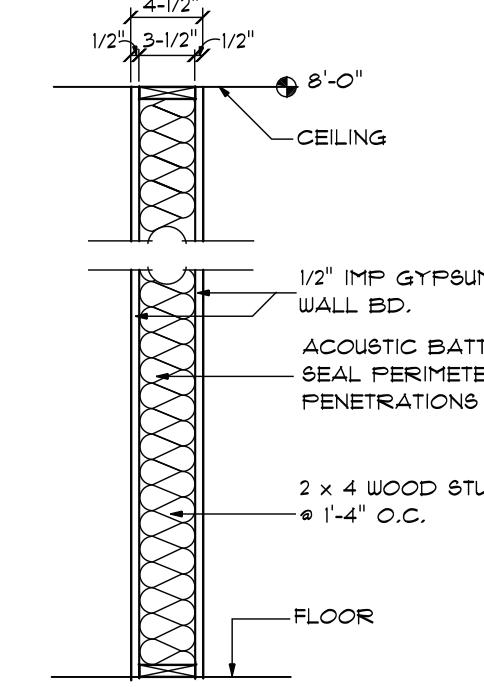
Drawing No: A-5



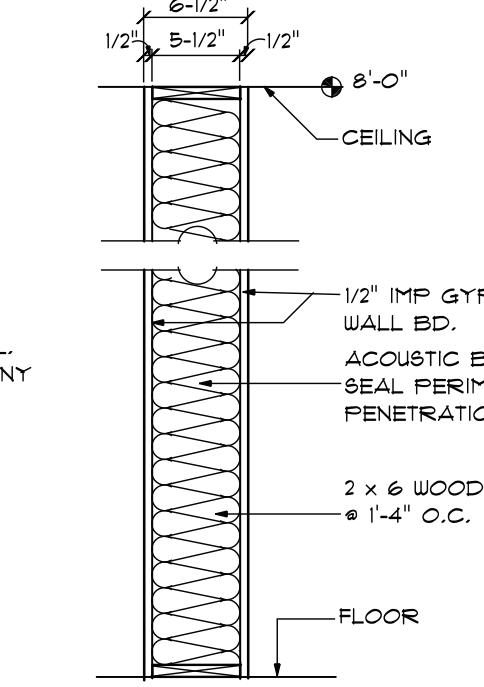
A INTERIOR NON-RATED PARTITION



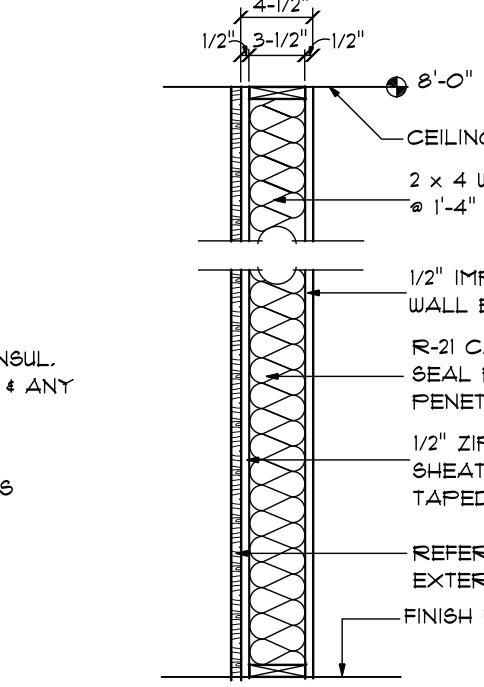
B INTERIOR NON-RATED PARTITION



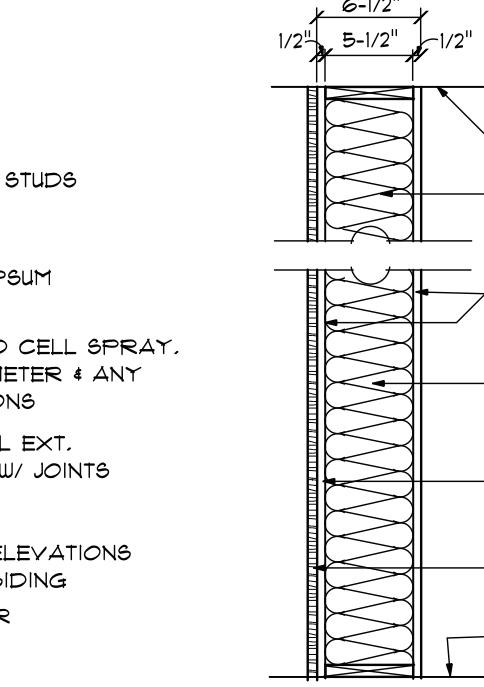
C INTERIOR NON-RATED INSULATED PARTITION



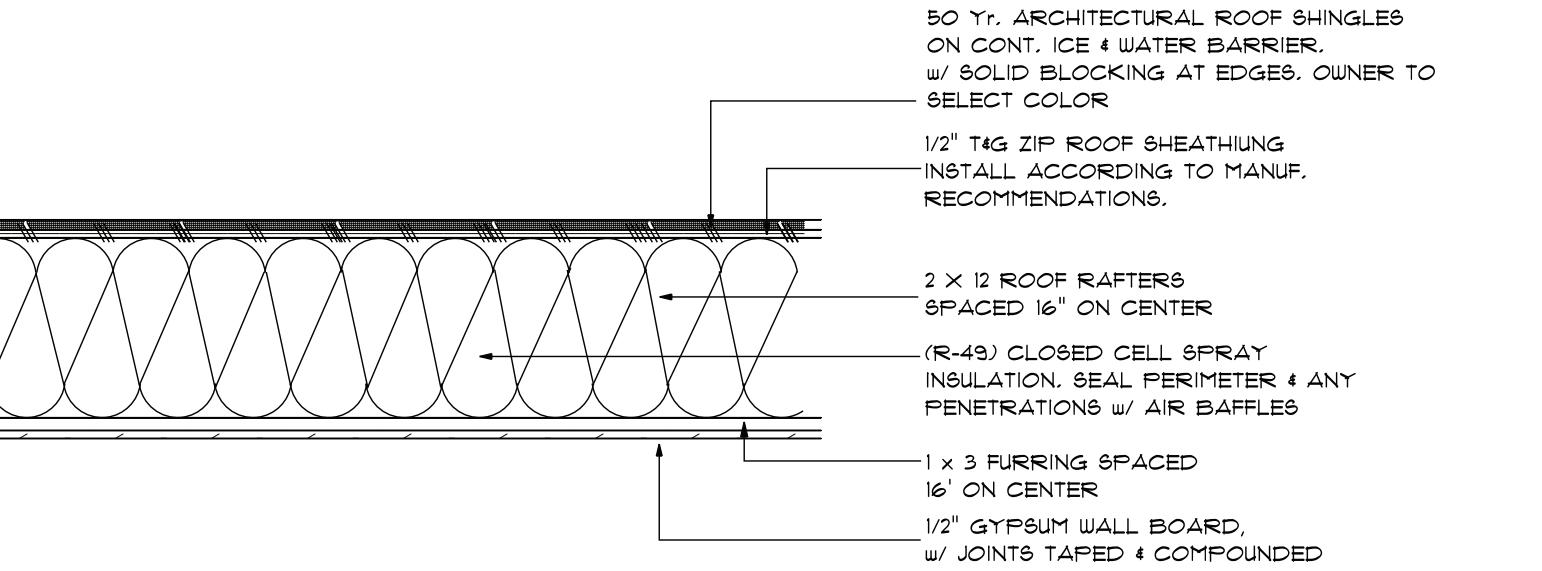
D INTERIOR NON-RATED INSULATED PARTITION



E EXTERIOR PARTITION



F EXTERIOR PARTITION



BO YR. ARCHITECTURAL ROOF SHINGLES  
ON CONT. ICE & WATER BARRIER  
W/ SOLID BLOCKING AT EDGES. OWNER TO  
SELECT COLOR

1/2" T12 ZIP ROOF SHEATHING  
INSTALL ACCORDING TO MANU.  
RECOMMENDATIONS.

2 x 12 ROOF RAPERS  
SPACED 16" ON CENTER

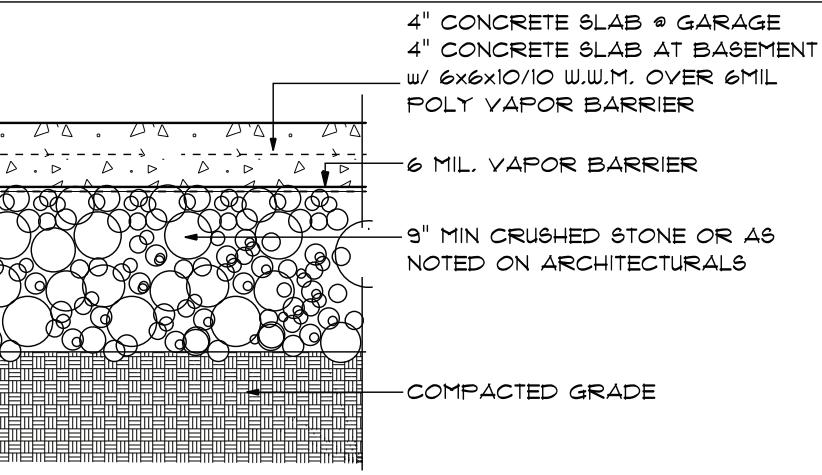
(R-49) CLOSED CELL SPRAY  
INSULATION, SEAL PERIMETER & ANY  
PENETRATIONS W/ AIR BAFFLES

1x3 FURRING SPACED  
16" ON CENTER

1/2" GYPSUM WALL BOARD,  
W/ JOINTS TAPE & COMPOUNDED

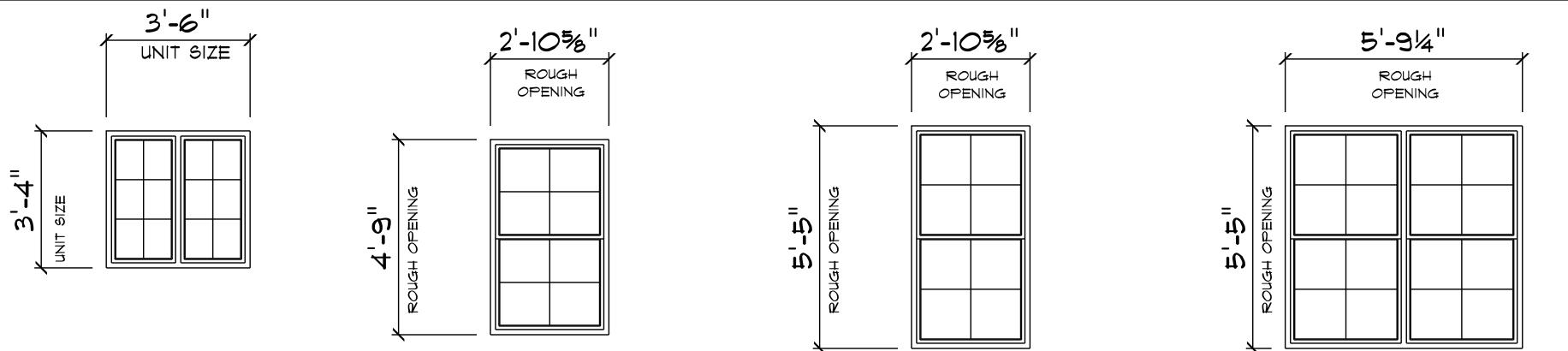
# 1 WALL TYPES

A-5 SCALE: 1" = 1'-0"



# 3 TYP. SLAB DETAIL

A-5 SCALE: 1" = 1'-0"



A

MAKI WINDOW  
CASEMENT  
W/ SCREENS & GRILLS  
VERIFY ROUGH OPENING

B

MAKI WINDOW  
DG2224 DOUBLE HUNG  
EGRESS UNIT  
W/ SCREENS & GRILLS

C

MAKI WINDOW  
DG2226 DOUBLE HUNG  
EGRESS UNIT  
W/ SCREENS & GRILLS

D

MAKI WINDOW  
DG2226-2 DOUBLE HUNG  
EGRESS UNIT  
W/ SCREENS & GRILLS

WINDOW SPECS  
- MAKI VINYL CLAD WINDOW w/ J TRIM  
- LOU E INSULATED GLASS.  
- GRILLS BETWEEN WINDOW PANE  
- FULL SCREENS.  
- HARDWARE TO BE DETERMINED BY OWNER.

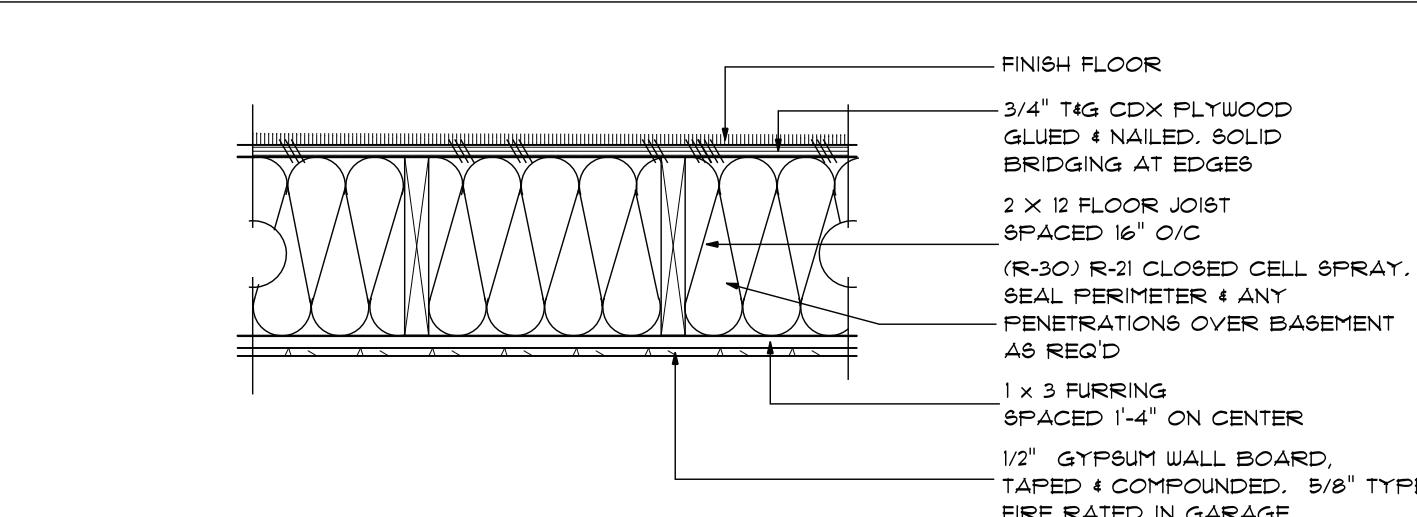
GC TO VERIFY ROUGH OPENINGS W/ MANUFACTURER

# 5 WINDOW SCHEDULE

A-5

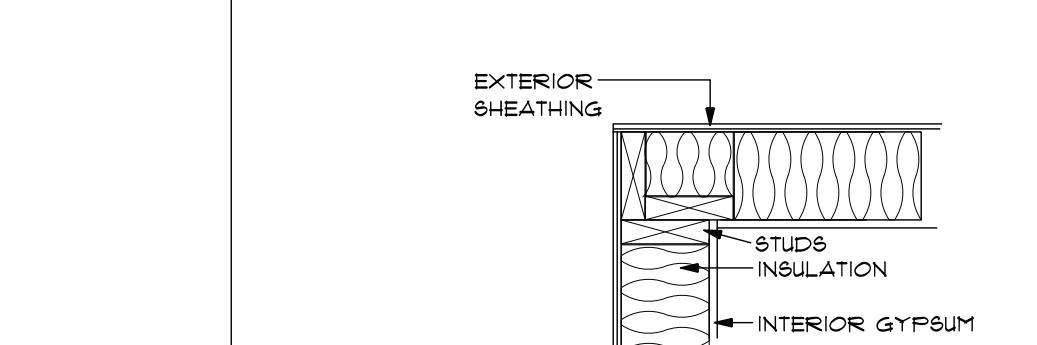
# 4 TYP. FLOOR DETAIL

A-5 SCALE: 1" = 1'-0"



# 2 TYPICAL ROOF ASSEMBLY

A-5 SCALE: 1" = 1'-0"



# 9 EXTERIOR INSULATED HDR

A-5 SCALE: 1" = 1'-0"

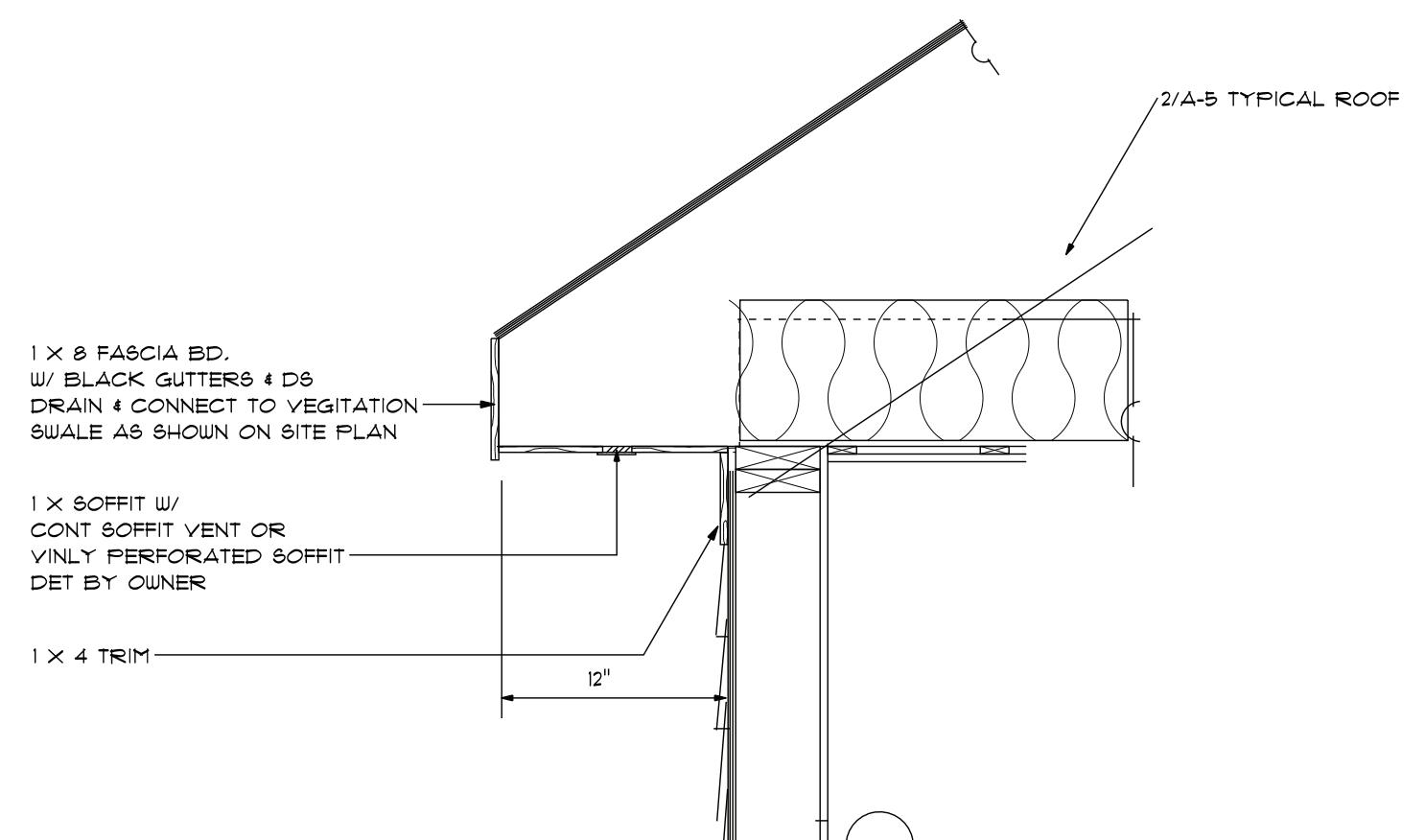
# 10 EXTER INSUL CORNER (TYP)

A-5 SCALE: 1" = 1'-0"

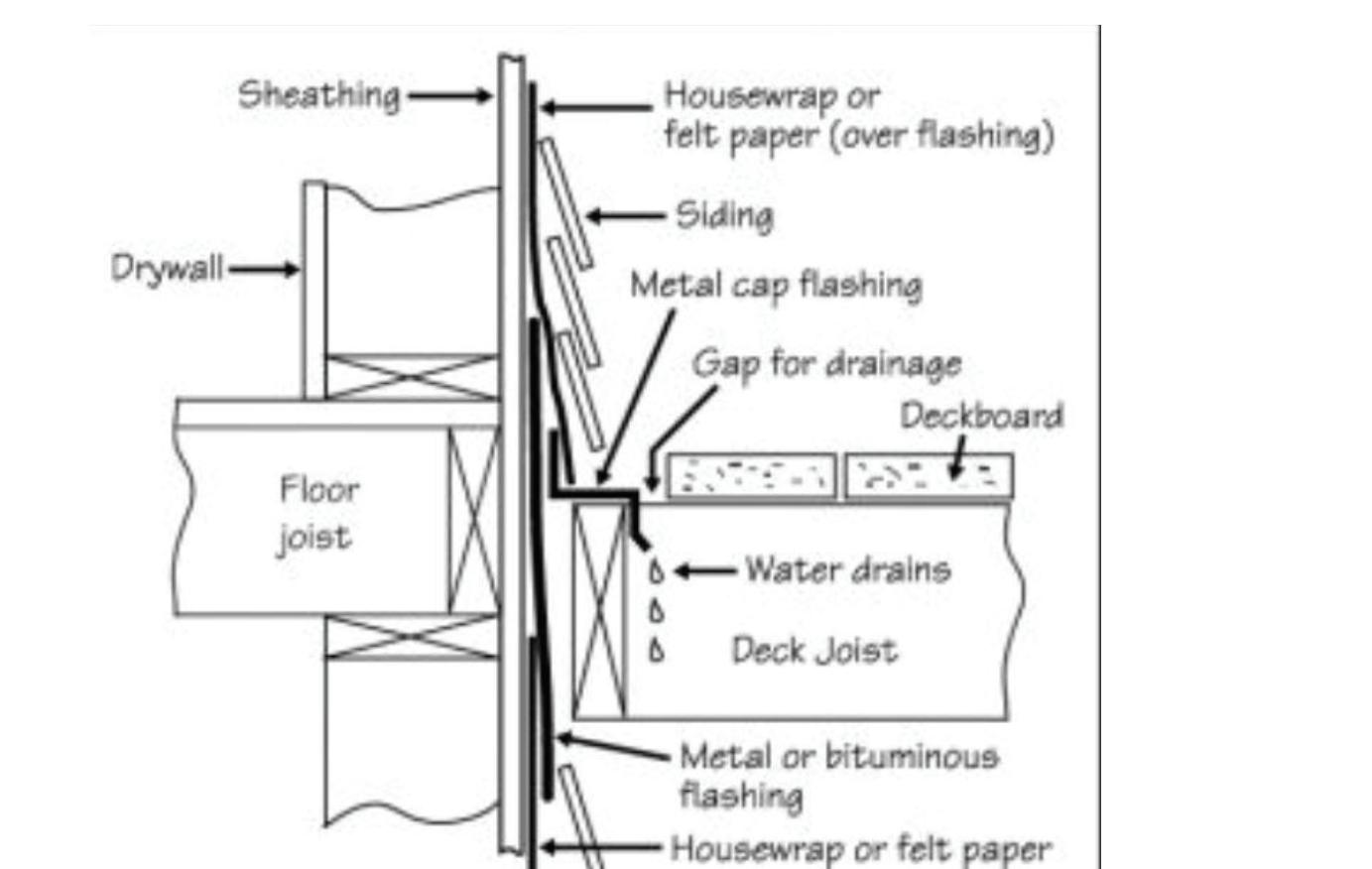
NOT USED

# 7 TYP SOFFIT DETAIL

A-5



SCALE: 1" = 1'-0"



# 8 DECK LEDGER DETAIL

A-5

NOT USED

For Construction

Revisions

No Date Revision



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Project Name:

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Drawing No:

A-5

## GENERAL NOTES:

1. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE MA STATE BUILDING CODE, PARTICULAR ATTENTION TO ARTICLE 30 (PRECAUTIONS DURING BUILDING OPERATIONS). ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF TDA PRIOR TO THE COMMENCEMENT OF THE WORK.
2. ALL ELEVATIONS ARE FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW. ACTUAL ELEVATIONS TO BE DETERMINED IN FIELD BY A PROFESSIONAL ENGINEER OR AS SHOWN ON THE SEPTIC SYSTEM DESIGN. ACCESS HOLES FOR WATER, SEWER & OTHER UTILITIES TO BE COORDINATED WITH THE OWNER.
3. PROVIDE A MIN OF  $\frac{3}{4}$ " DIA. X 12" LONG ANCHOR BOLTS 12" FROM CORNERS & OPENINGS & 1'-0" ON CENTER.
4. ALL CONCRETE USED SHALL DEVELOP A MIN COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:  
SLABS & FLOORS to be 3,500 PSI  
WALLS & FOOTINGS to be 4,000 PSI
5. ALL FRAMING LUMBER TO BE USED SHALL BE AS FOLLOWS:  
WALL STUDS JOIST, BEAMS, RAFTERS TO BE SPRUCE # 1 OR BETTER (MIN E=1,400,000)
6. STAIRWAYS:
  - A.) REQUIRED STAIRWAYS SHALL BE NOT LESS THAN 3'-0" IN CLEAR WIDTH. MAXIMUM RISE SHALL BE 8-1/4". MINIMUM TREAD SHALL BE 9" WITH NOISING NOT TO EXCEED 1-1/4". MINIMUM HEADROOM SHALL BE 6'-8"
  - B.) HANDRAIL (S) SHALL BE LOCATED IN EACH STAIR SYSTEM WITH MORE THAN (3) RISERS AT A HEIGHT OF 30" MIN & 38" MAX MEASURED VERTICALLY FROM THE NOISING OF THE TREAD. GUARD RAILS, 34" MIN IN HEIGHT, SHALL BE INSTALLED IN FLOOR PORCH, AND/OR BALCONY AREAS OF MORE THAN 30" ABOVE FLOORS OR GRADE BELOW. MAX CLEAR OPENING BETWEEN RAILS/BALUSTERS SHALL NOT EXCEED FOUR (4") INCHES.
  - C.) PROVIDE AN INSULATED DOOR AT TOP OF THE BASEMENT STAIRS, OR INSULATE THE WALLS AND UNDERSIDE OF THE STAIR AND PROVIDE INSULATED DOOR @ BOTTOM OF THE BASEMENT STAIR.
7. DIMENSION STANDARDS USED WITHIN THE DOCUMENTS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:
  - A.) EXTERIOR DIMENSIONING AT THE BUILDING CORNERS REPRESENTS AN OUTSIDE FACE OF STUD DIMENSION
  - B.) EXTERIOR DIMENSIONS AT WINDOWS & DOORS REPRESENT TO THE CENTER OF THE OPENING, FROM CENTER OF ANOTHER OPENING OR THE OUTSIDE OF THE STUD.
  - C.) INTERIOR DIMENSIONING AT THE STUD WALL REPRESENTS A DIMENSION TO THE MIDDLE OF THE STUD UNLESS OTHERWISE NOTED.
8. STRUCTURAL HEADERS & BEAMS SHALL BEAR ON THE FOLLOWING:
  - A.) DOUBLE HEADERS SHALL BEAR ON (2) TWO 2 X STUDS MIN.
  - B.) TRIPLE HEADERS SHALL BEAR ON (3) THREE 2 X STUDS MIN.
  - C.) STEEL BEAMS SHALL BEAR ON 3-1/2" STEEL PIPE COLUMNS OR (4) FOUR 2 X STUDS
  - D.) LAMINATED VENEER LUMBER (LVL) PRODUCTS SPECIFIED WITHIN ARE SIZED FOR MICRO-LAM BRAND, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY AND COORDINATE SUBSTITUTIONS WITH TDA & THE OWNER. LAMINATED VENEER LUMBER SHALL BE HANDLED & INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
9. BEARING PLATES SHALL MATCH OR EXCEED THE WIDTH OF ALL BEAMS THAT BEAR UPON THEM.
10. ALL DUCT WORK & HOT WATER PIPING SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DUCT WORK BE INSTALLED TO PREVENT CONDENSATION.
11. IN ALL AREAS OF CONCRETE SLABS, A MIN 6 MIL POLY VAPOR BARRIER SHALL BE INSTALLED OVER GRADE & BELOW THE CONCRETE SLAB.
12. WINDOWS SIZES SHOWN WITHIN ARE BASED GENERICALLY ON PELLA PROLINE SERIES. THE GENERAL CONTRACTOR SHALL GET APPROVALS FROM THE OWNER FOR ANY SUBSTITUTIONS. WINDOWS MUST MEET THE FOLLOWING CRITERIA:
  - A.) GLAZING CLOSER THAN 18" TO THE FLOOR AND EXCEEDING SIX (6) SQUARE FEET IN AREA MUST BE TEMPERED.
  - B.) EMERGENCY EGRESS: SLEEPING ROOMS SHALL HAVE DOOR TO PERMIT EMERGENCY EGRESS OR RESCUE. A REQUIRED WINDOW MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS, AND SHALL CONFORM TO THE FOLLOWING:
    - 1.) THE SILL HEIGHT SHALL BE NOT MORE THAN FORTY-FOUR (44) INCHES ABOVE THE FINISH FLOOR.
    - 2.) THE WINDOW SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 3.3 SQUARE FEET WITH A RECTANGULAR HAVING A MINIMUM NET CLEAR OPENING DIMENSION OF TWENTY (20) INCHES BY TWENTY-FOUR (24) INCHES, IN EITHER DIRECTION. IF A DOUBLE HUNG UNIT IS USED THEN SUCH DIMENSION SHALL APPLY TO BOTTOM HALF.

For Construction

No. Date Revision



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Project Name:

BEECH ST  
BEECH ST  
DEVELOPMENT  
FITCHBURG, MA 01420

Drawing Title:  
GENERAL NOTES

Drawn by: VMP Checked by: VMP

Date: JUNE 26, 2023

Project No. 2023-14

File Path:  
Traditional Design\PROJECTS\2023-14 B16, LLC

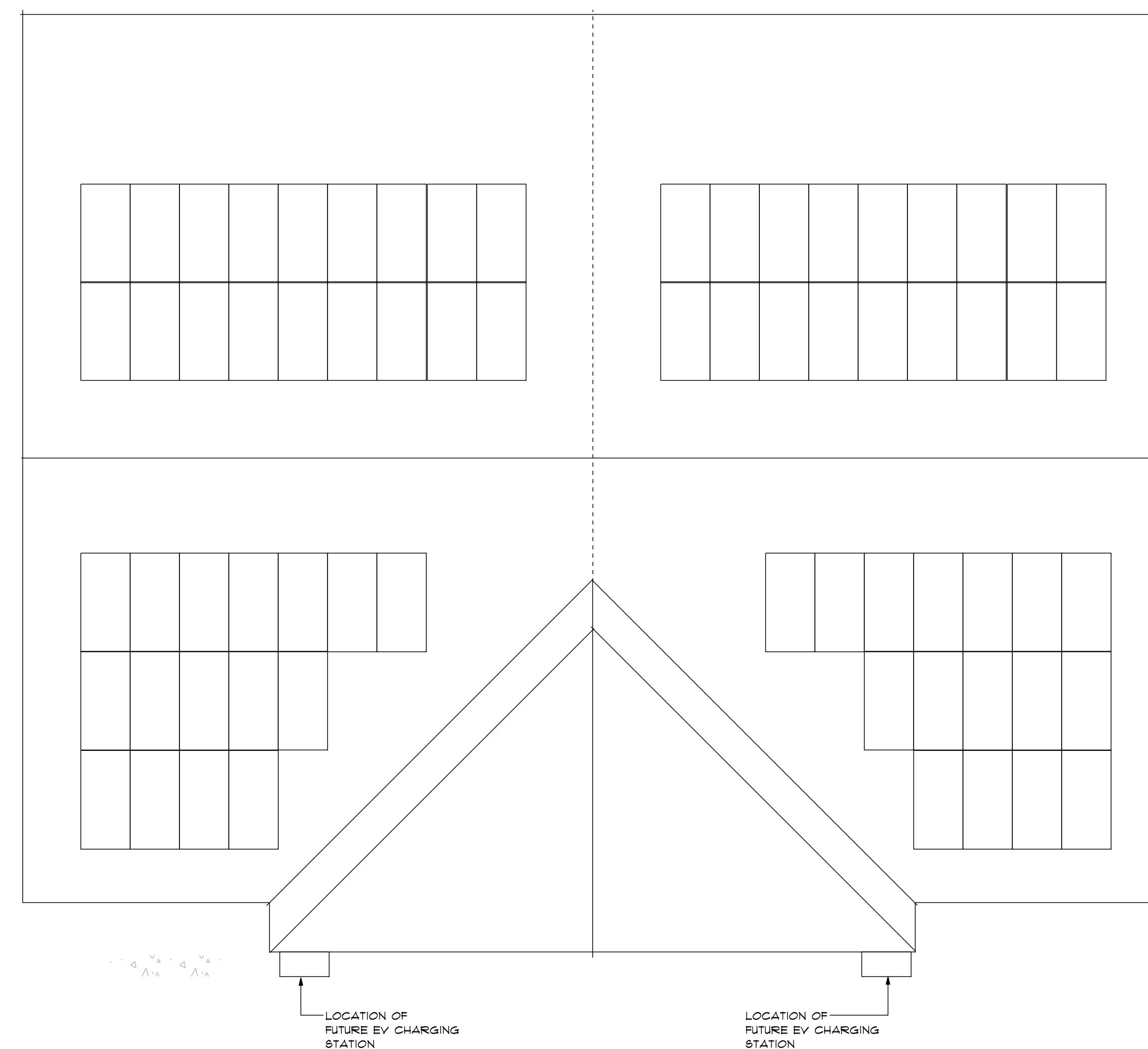
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Drawing No.

A-6

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## NOMENCLATURE

YELLOW = 95% SUN EXPOSURE

RED = 70% SUN EXPOSURE

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No. Date Revision



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Project Name:

PROPOSED RESIDENCE for:  
**BEECH ST  
DEVELOPMENT**

Drawing Title:  
PHOTOVOLTAIC  
PLAN  
EV CHARGING  
LOCATION

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Project No. 2023-14

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10-1