

PROPOSED DUPLEX FOR:

BEECH STREET DEVELOPMENT

BEECH STREET
FITCHBURG, MA 01420



w/ WALKOUT BASEMENT

GENERAL NOTES:

- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF TDA PRIOR TO WORK COMMENCING.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
- ALL DIMENSIONS ARE TO THE ROUGH FRAME. DIMENSIONS NOTED "HOLD" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN PERMISSION OF TDA. "ALIGN" MEANS TO ACCURATELY LOCATE THE FINISH FACES OF THE SAME PLANE. DIMENSIONS NOTED "CLEAR" ARE MINIMUM DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED +/- MEAN A VARIANCE NOT GREATER THAN 1". VERIFY DIMENSION EXCEEDING A TOLERANCE WITH THE DESIGNER.
- PATCH ALL NEW AND EXISTING PENETRATIONS AT THE FLOOR AND CEILING SLAB, WALLS AND SHAFTS. SEAL ABANDONED PENETRATIONS AT FLOORS, WALLS AND SHAFTS TO MAINTAIN FIRE/SMOKE AND ACOUSTICAL RATINGS. PATCH FIREPROOFING AT ALL NEW AND EXISTING LOCATIONS WITH EXPOSED STRUCTURE.
- ALL GLASS SHALL BE TEMPERED GLAZING WHEN WINDOW IS LARGER THAN 9 SF IN AREA AND LESS THAN 18" ABOVE THE FLOOR OR AS IT APPLIES TO 180 CMR 24.00. ALL GLAZING SHALL BE CLEANED AFTER INSTALL.
- REFER TO PARTITION TYPES FOR PARTITION THICKNESS.
- ALL INFILL OF DOORS/WALLS/OPENINGS SHALL BE PATCH AND FINISHED WITH EXISTING ADJACENT PARTITION CONSTRUCTION TYPE.
- WHERE NEW PARTITIONS ABUT EXISTING SURFACE, REMOVE EXISTING CORNER BEAD AND PROVIDE SMOOTH FINISH AT INTERSECTION.
- ALL GYPSUM SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE A LEVEL 4 FINISH, UNLESS OTHERWISE NOTED.
- ALL EXPOSED GYPSUM EDGES TO HAVE METAL EDGE TRIM
- CONTRACTOR SHALL COORDINATE REVIEW OF PARTITION LAYOUT WITH DESIGNER PRIOR TO PARTITION INSTALLATION.
- CONSTRUCTION OF FIRE RATED PARTITIONS INCLUDING TAPING AND FINISHING OF GYPSUM WALL BOARD FOR FULL HEIGHT TO STRUCTURE ABOVE SHALL BE IN ACCORDANCE WITH THE UL SPECIFICATION TO ACHIEVE RATING INDICATED.
- PROVIDE VERTICAL CONTROL JOINTS 30' O/C MAX IN ALL GWB PARTITIONS. LONGER THAN 30' WHEN POSSIBLE CONTROL JOINTS SHOULD BE LOCATED ABOVE CORNERS OF DOORS.
- ALL HINGED DOORS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N. DIMENSIONING LOCATING DOORS ARE TO INSIDE EDGE OF JAMB.
- THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOPS OF ALL DOORS SUCH THAT THE TOPS OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF THE VARIANCE IN THE FLOOR SLAB OR FINISH FLOOR THICKNESS.
- PROVIDE DOUBLE STUDS AT DOOR JAMBS. INSTALL ADDITIONAL STUDS IN EXISTING PARTITIONS AT NEW DOORS IN ORDER TO PROVIDE DOUBLE STUDS AT JAMBS.
- GYPSUM WALL BOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGHIN (e.g. BATHROOMS, PANTRY, JANITOR CLOSET, WET COLUMNS) SHALL BE WATER RESISTANT.
- ALL CONCRETE USED SHALL DEVELOP A MIN COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
SLABS & FLOORS = 4,000 PSI
FOOTINGS AND FOUNDATION WALLS = 4,000 PSI
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE IBC 2015 & THE NINTH (9TH) EDITION OF THE MA STATE BUILDING CODES w/ AMMENDMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL, STATE & FEDERAL PERMITS AND PAY FOR SUCH PERMIT & INSPECTION FEES.

BUILDING CODE DATA:

USE GROUP: R2
2 FAMILY RESIDENCE
CONSTRUCTION TYPE: 5B

LIST OF DRAWING:

C-1 - COVER SHEET
A-1.1 FOUNDATION PLAN (w/WALKOUT)
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A-3 BUILDING SECTIONS
A-4.1 ELEVATIONS (w/ WALKOUT)
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GROSS AREA:

EACH UNIT
BASEMENT: 508 SF
FIRST LIVING: 508 SF
GARAGE: 264 SF
SECOND LIVING: 712 SF
TOTAL AREA: 2,052 SF

INSULATION VALUES:

PENETRATIONS
U VALUES: .32
CEILING R-VALUES: R-49
WALL R-VALUES: R-21
FLOORS OVER UNCONDITIONED: R-30
BASEMENT WALLS: R-10
SLABS PERIMETER R-VALUE: R-10

For Construction

No.	Date	Revision
1	6/8/23	REMOVE 2ND FLR 4 DORMER



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STRUCTURAL ENGINEERING GROUP

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Project Name:

PROPOSED RESIDENCE FOR:
**BEECH ST
DEVELOPMENT
BEECH ST
FITCHBURG, MA 01420**

Drawing Title:

COVER SHEET

GENERAL NOTES

BLDG CODE DATA



Drawn by: VMP | Checked by: VMP

Date: JUNE 26, 2023

Project No: 2023-14

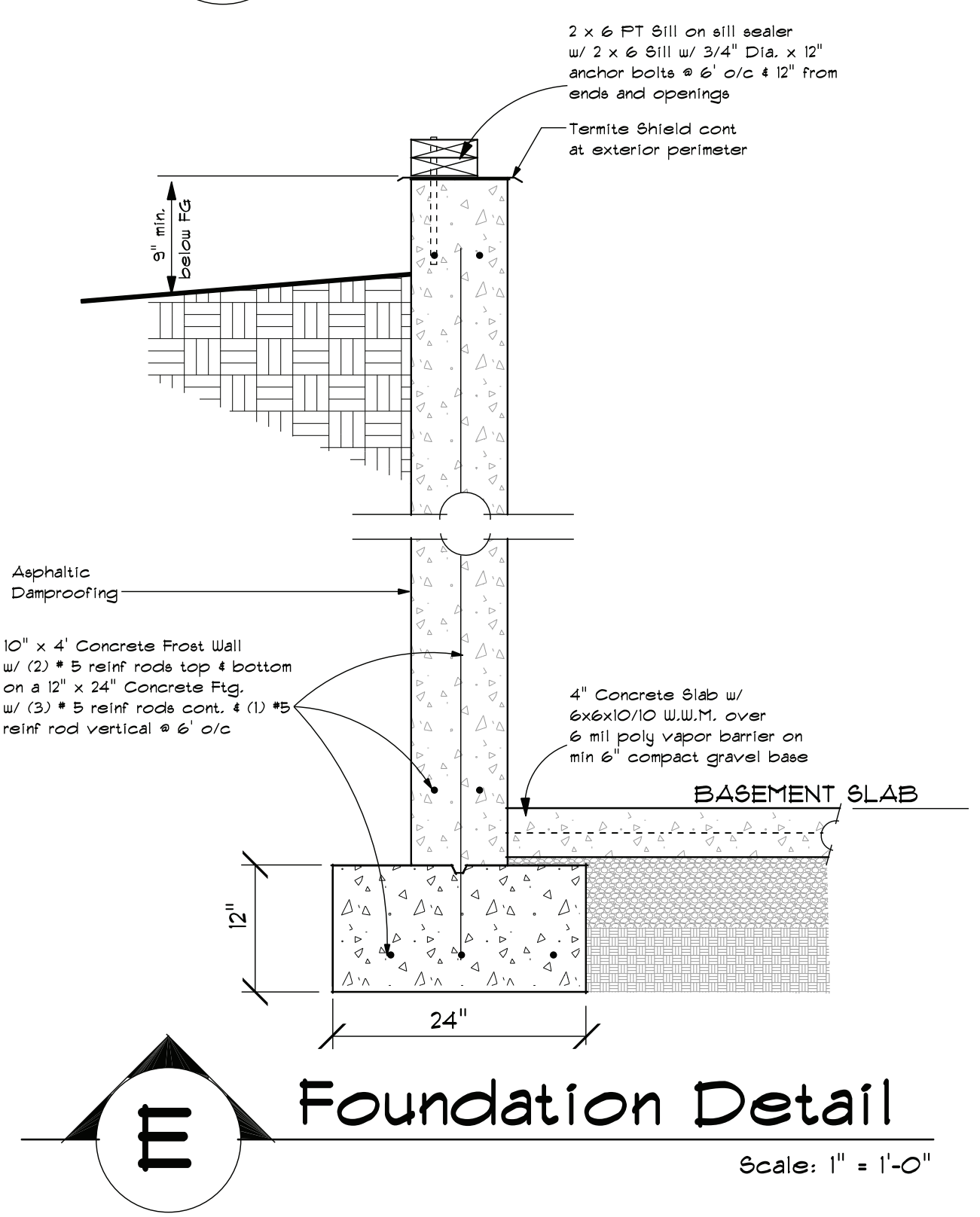
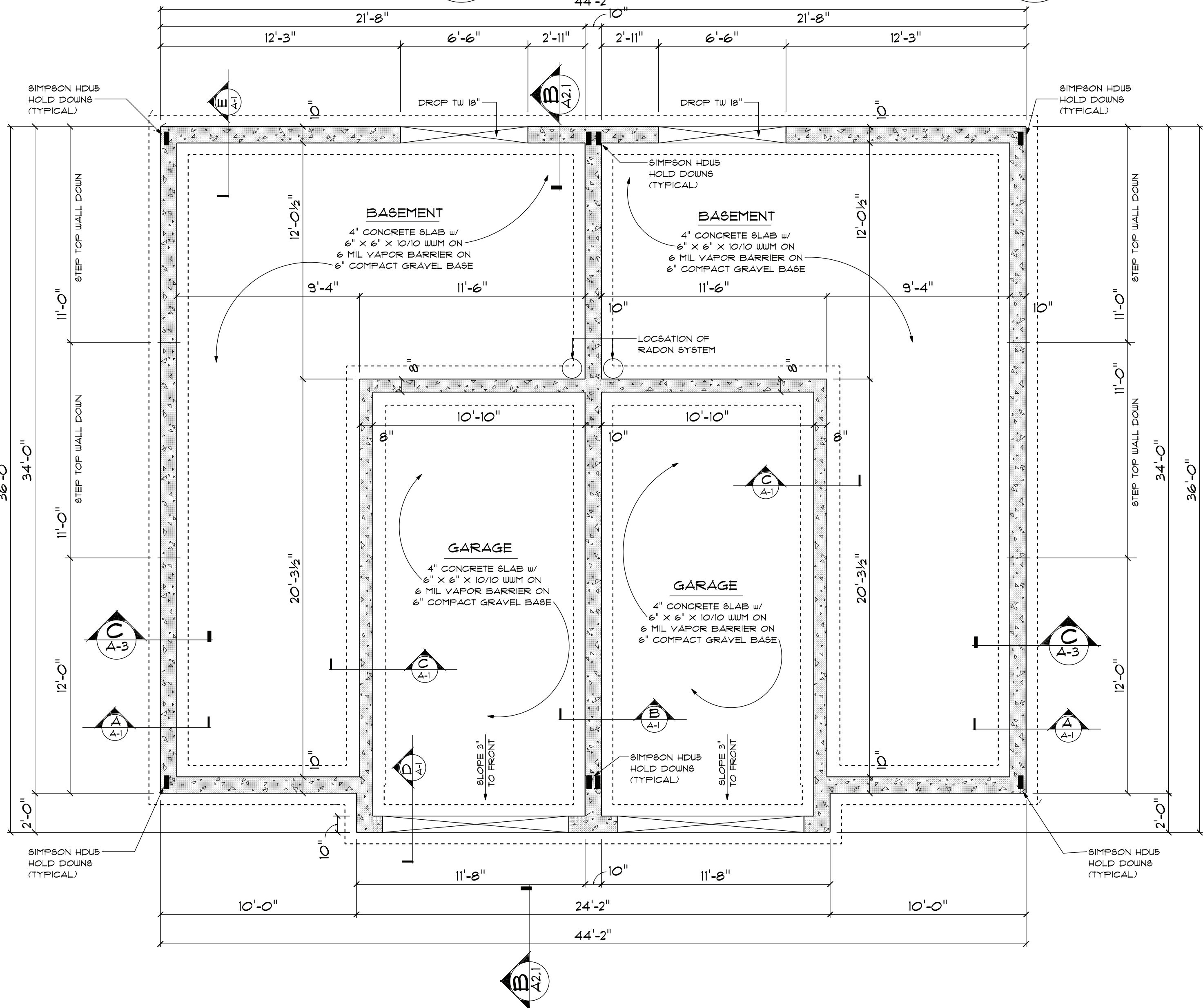
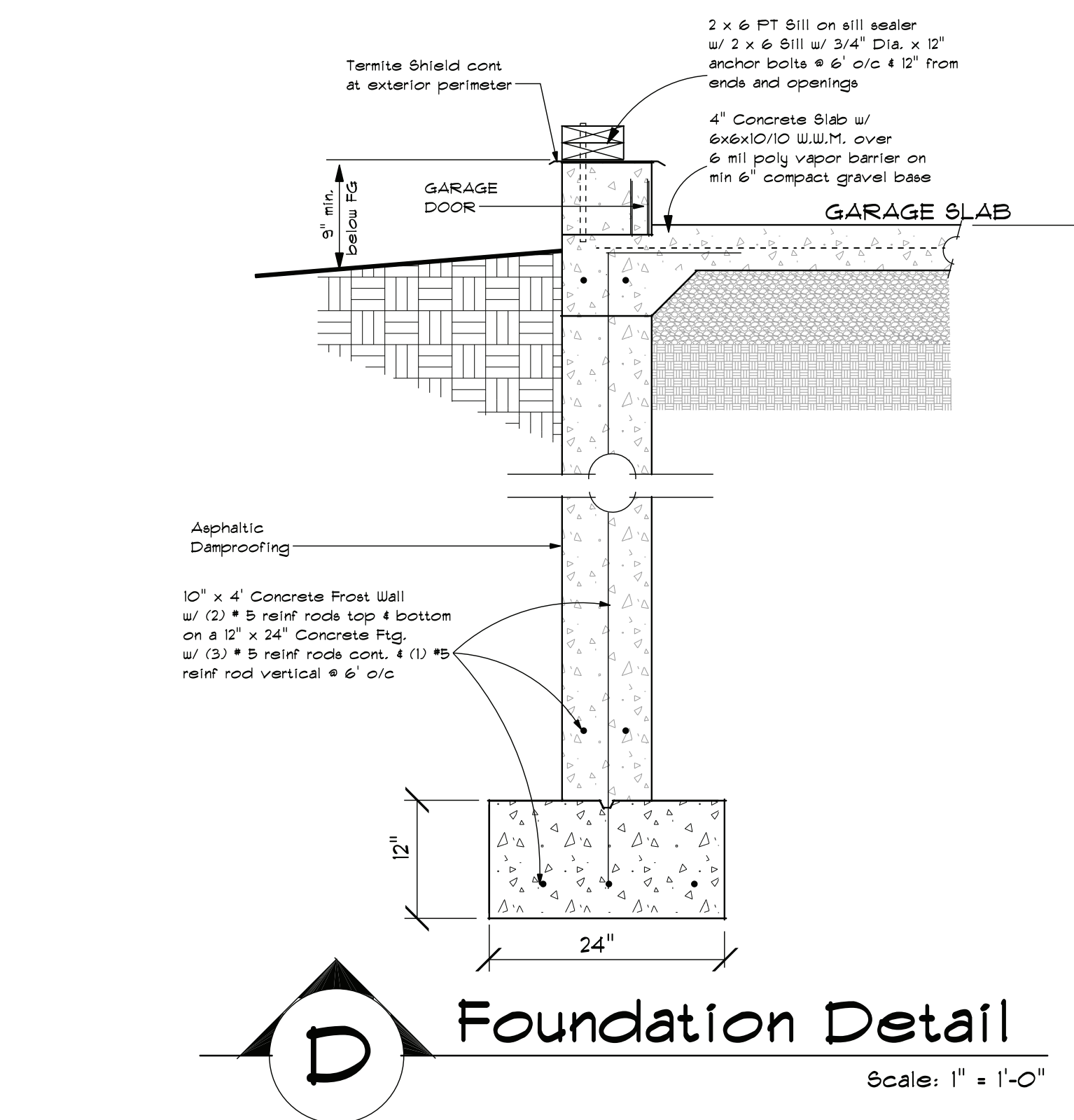
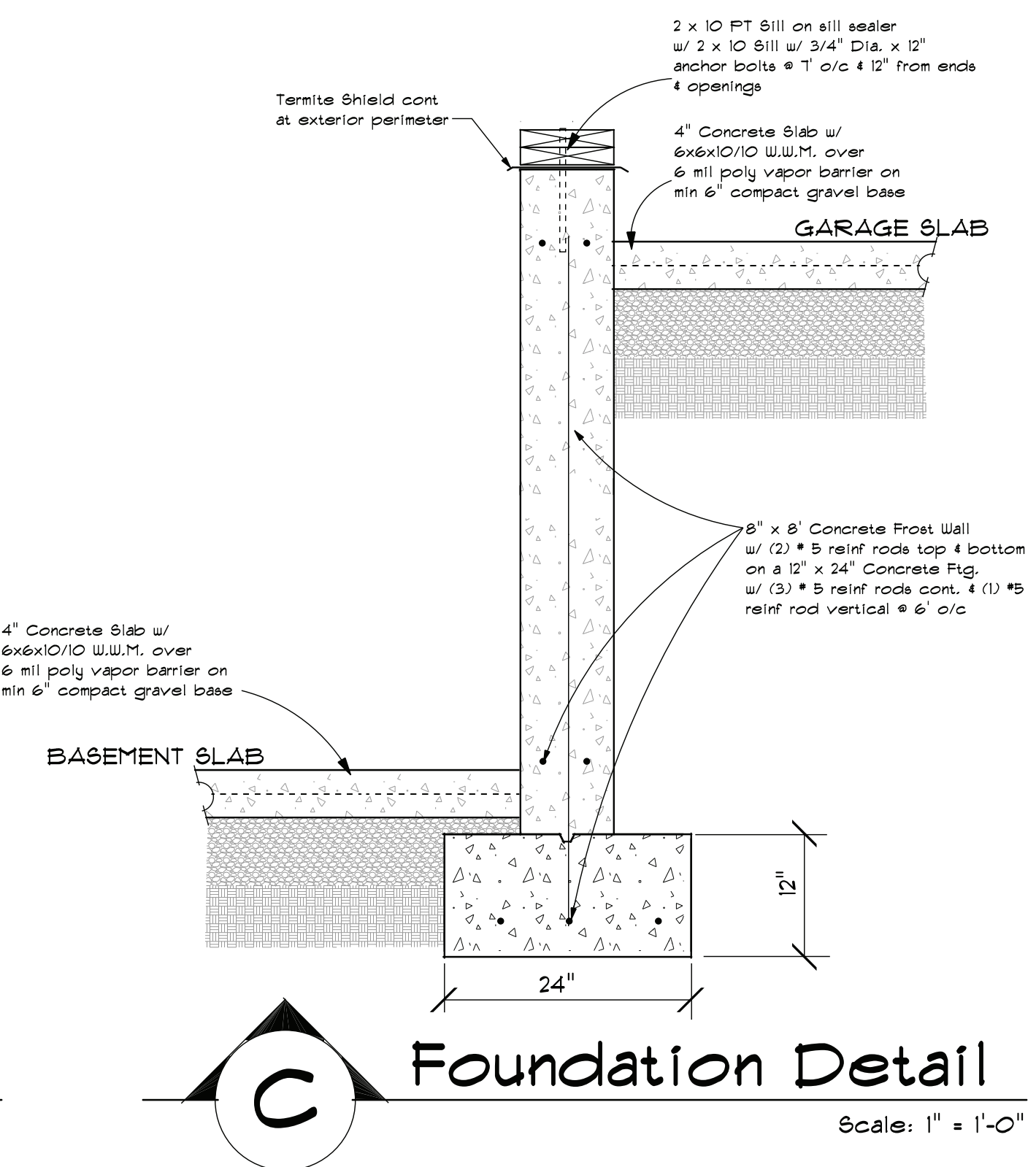
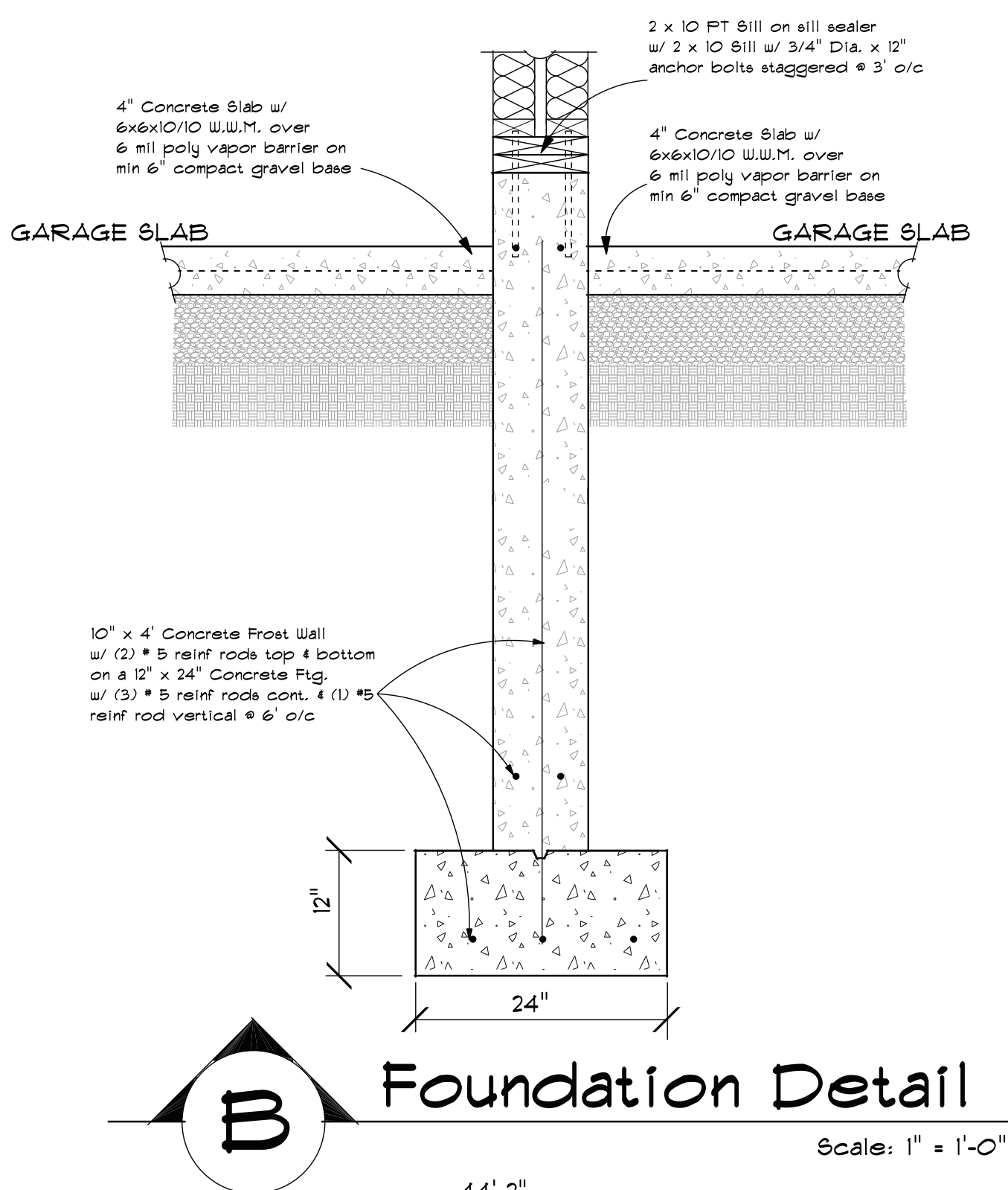
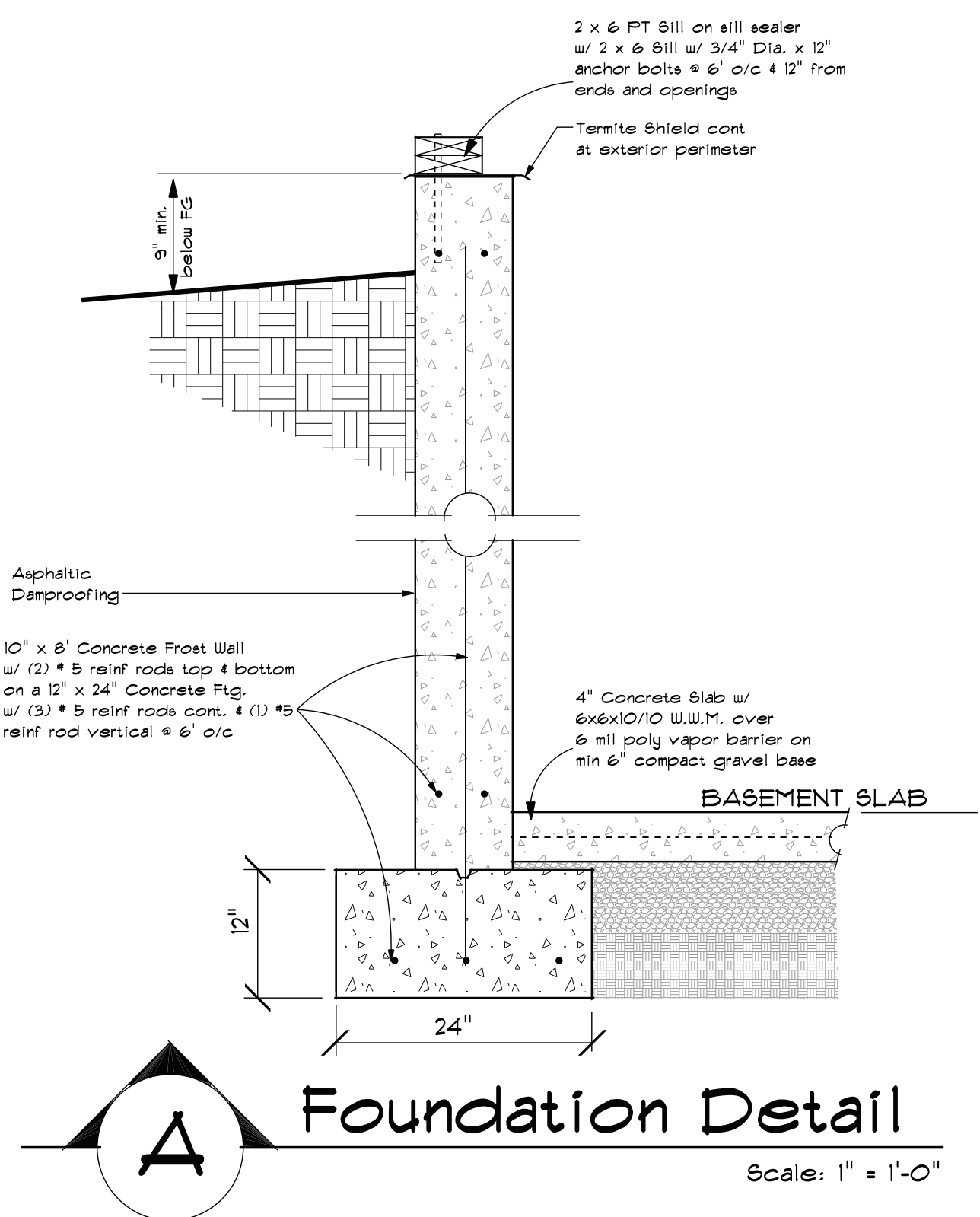
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Drawing No.

C-1

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- FOUNDATION NOTES:**
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE RI STATE BUILDING CODE.
 - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA STANDARDS.
 - THE OWNER OR GC SHALL ENSURE THE FOUNDATION HAS BEEN SURVEYED BY A LICENSED PROFESSIONAL SURVEYOR BEFORE AND AFTER THE FOUNDATION HAS BEEN POURED. THE GC SHALL PROVIDE THE OWNER AND BUILDING OFFICIAL A COPY OF THE FOUNDATION AS-BUILT.
 - THE GC SHALL NOTIFY DIG SAFE PRIOR TO ANY EXCAVATION WORK BEGINNING.
 - ALL ELEVATIONS ARE FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL REFER TO THE SITE PLAN &/OR SEPTIC PLAN FOR EXACT ELEVATIONS. ACCESS HOLES FOR WATER, SANITARY & OTHER UTILITIES TO BE COORDINATED WITH THE OWNER.
 - THE GC SHALL VERIFY WITH THE OWNER THE TOP OF THE FOUNDATION WALL PRIOR TO THE POUR.
 - PROVIDE A MIN OF 3/4" x 12" LONG GALVANIZED ANCHOR BOLTS 12" FROM CORNERS & OPENINGS & 1'-0" o/c.
 - ALL CONCRETE USED SHALL DEVELOP A MIN COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
SLABS & FLOORS SHALL BE 3,500 PSI
WALLS & FOOTINGS SHALL BE 4,000 PSI

FOUNDATION PLAN FOUNDATION - W/ WALK OUT BASEMENT

For Construction

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FITCHBURG, MA 01420

Drawing Title:

**FOUNDATION PLAN w/
WALKOUT BASEMENT**
FOUNDATION DETAILS

Drawn by:	Checked by:
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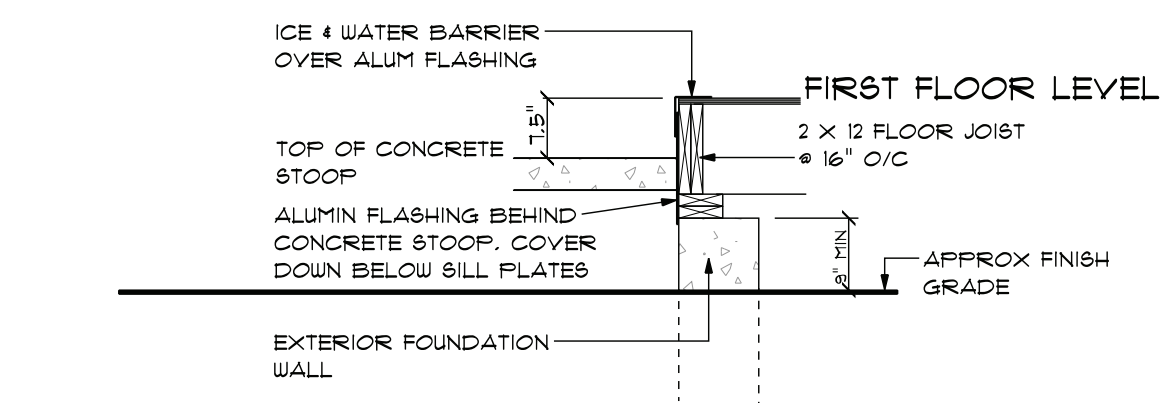
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A-1.1

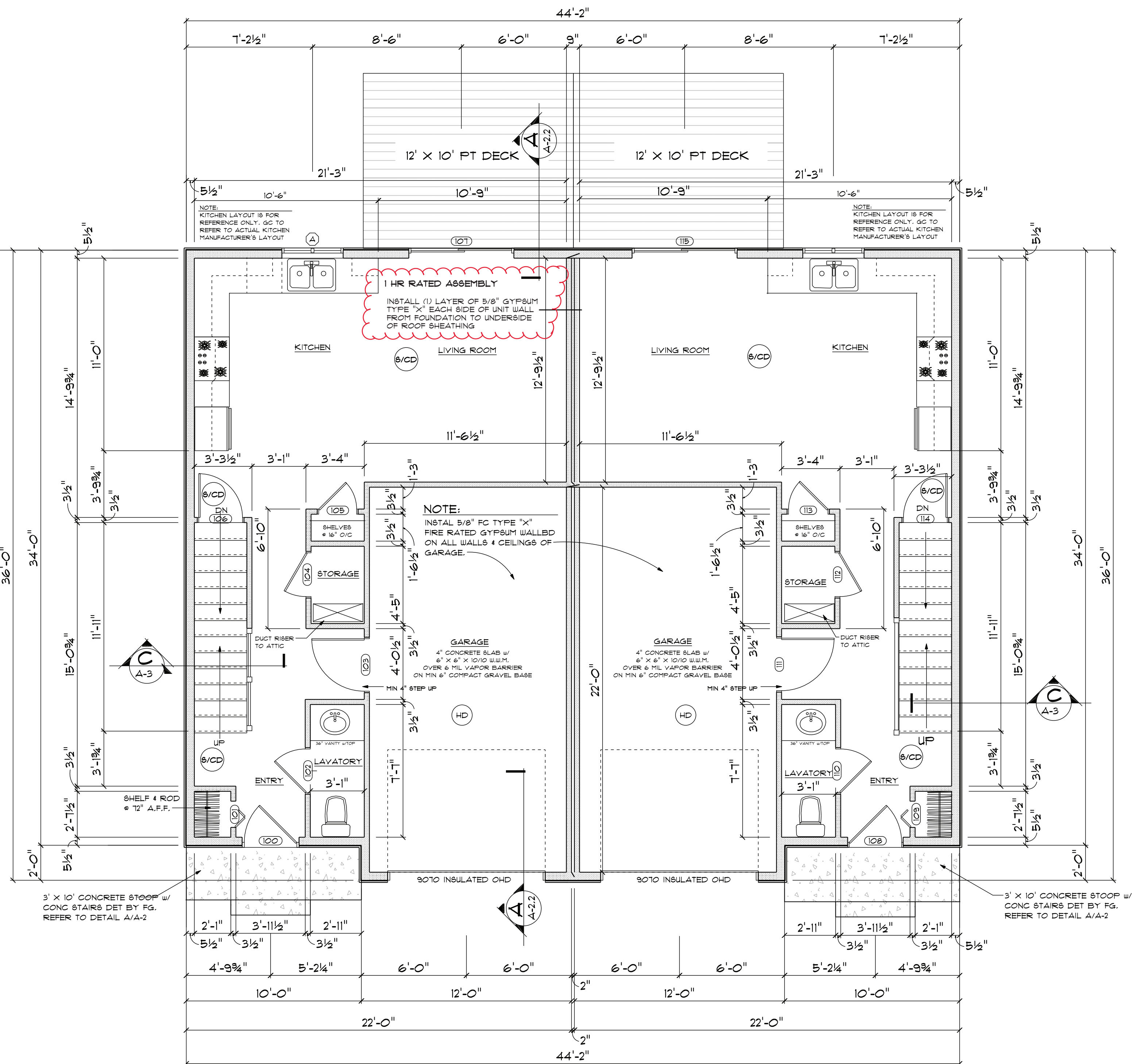
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A-1.2

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DETAIL @ CONC STOOP
SCALE: 1/2" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST FLOOR = 508 SF GARAGE = 264 SF
TOTAL LIVING = 1,280 SF

GENERAL FRAMING NOTES:

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE w/ 180 CMR 5502 WOOD FLOOR FRAMING.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE w/ SECTION 5502.3.1 (1) & 5502.3.1 (2) ALLOWABLE JOIST SPANS. PARTICULAR ATTENTION TO WOOD SPECIES FOR THE UNSUPPORTED SPAN OF 21'-3" FOR 2 X 12 FLOOR JOIST @ 16" O/C FOR 20 LB LIVE LOAD.
3. WOOD SPECIES SHALL BE SPRUCE-PINE-FIR 55.
4. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED LUMBER.
5. ALL PLYWOOD SUBFLOOR SHALL BE 3/4" ADVANTECH SUBFLOORING. ALL SUBFLOOR SHALL BE GLUED & NAILED.

GENERAL NOTES:

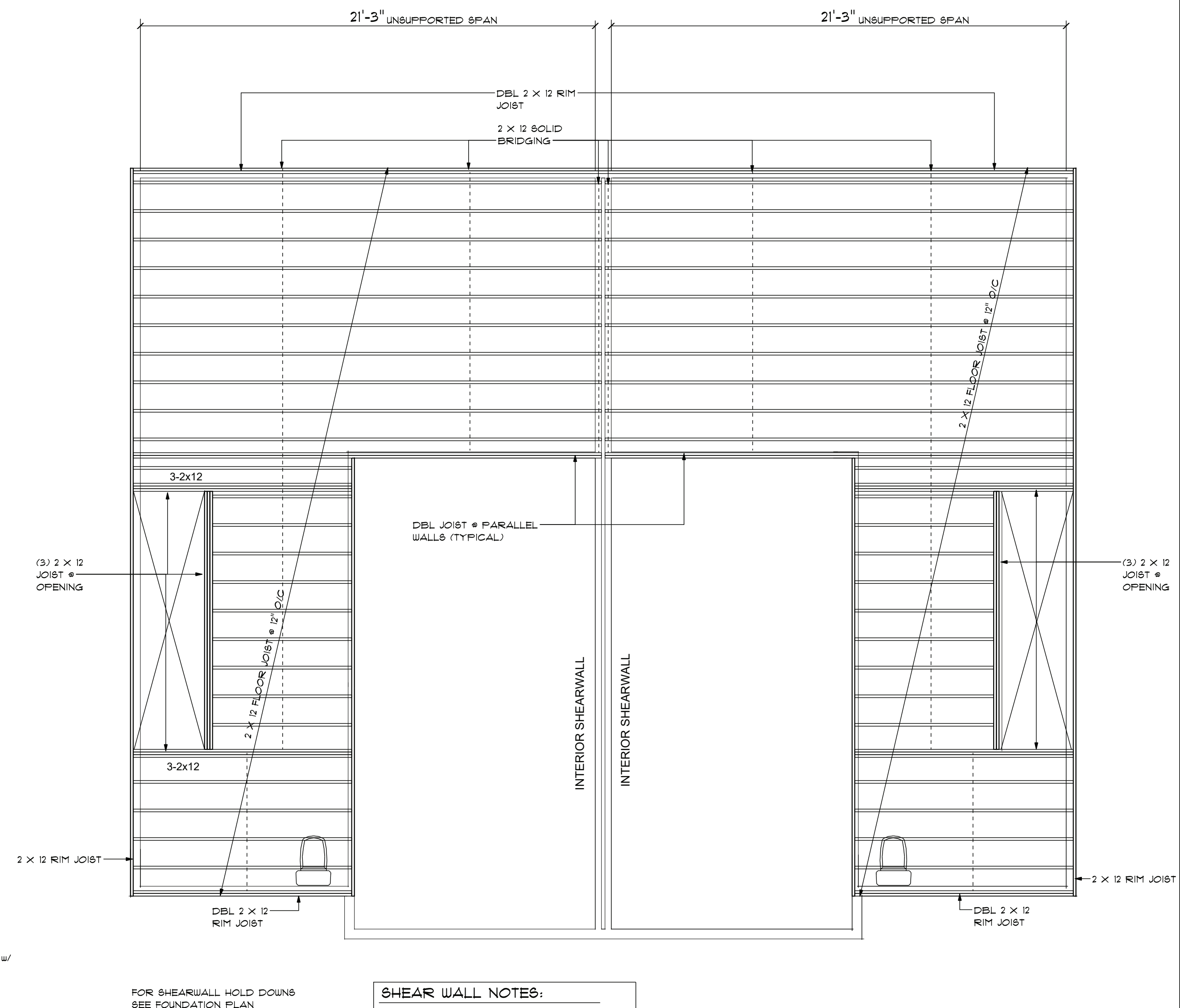
1. ALL NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, REGARDLESS OF WHETHER MAIL IS DELIVERED TO SUCH BUILDING OR PROPERTY.

SMOKE & CARBON MONOXIDE DETECTOR NOTES:

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE w/ FITCHBURG FIRE DEPARTMENT RULES & REGS.
2. ALL SMOKE ALARMS SHALL BE HARDWIRED, INTERCONNECTED w/ BATTERY BACKUP.
3. ALL SMOKE ALARMS SHALL BE PHOTOELECTRIC ONLY.

SMOKE & CARBON MONOXIDE DETECTOR NOMENCLATURE:

- 6/CD SMOKE/CARBON MONOXIDE COMBO
HD HEAT DETECTOR



SHEAR WALL NOTES:

- EXTERIOR WALLS:**
1/6" OSB NAILED w/ 8D NAILS @ 6" O/C @ PANEL EDGES & 1" IN FIELD. AL PANEL EDGES SOLID BLOCKED.
- INTERIOR WALLS:**
5/8" GYPSUM WALL BOARD SECURED w/ #6 x 1.25" IS DRYWALL SCREWS @ 4" O/C. ALL PANEL EDGES TO BE SOLID BLOCKED

FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

For Construction

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1	6/8/23	REMOVE 2ND FLR 4 DORMER



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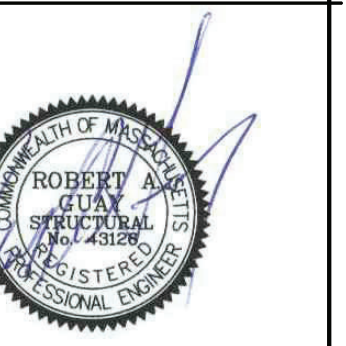
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PROPOSED RESIDENCE for:
**BEECH ST
DEVELOPMENT**
**BEECH ST
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Drawing Title:

FIRST FLOOR PLAN

**FIRST FLOOR
FRAMING PLAN**



Drawn by: VMP Checked by: VMP

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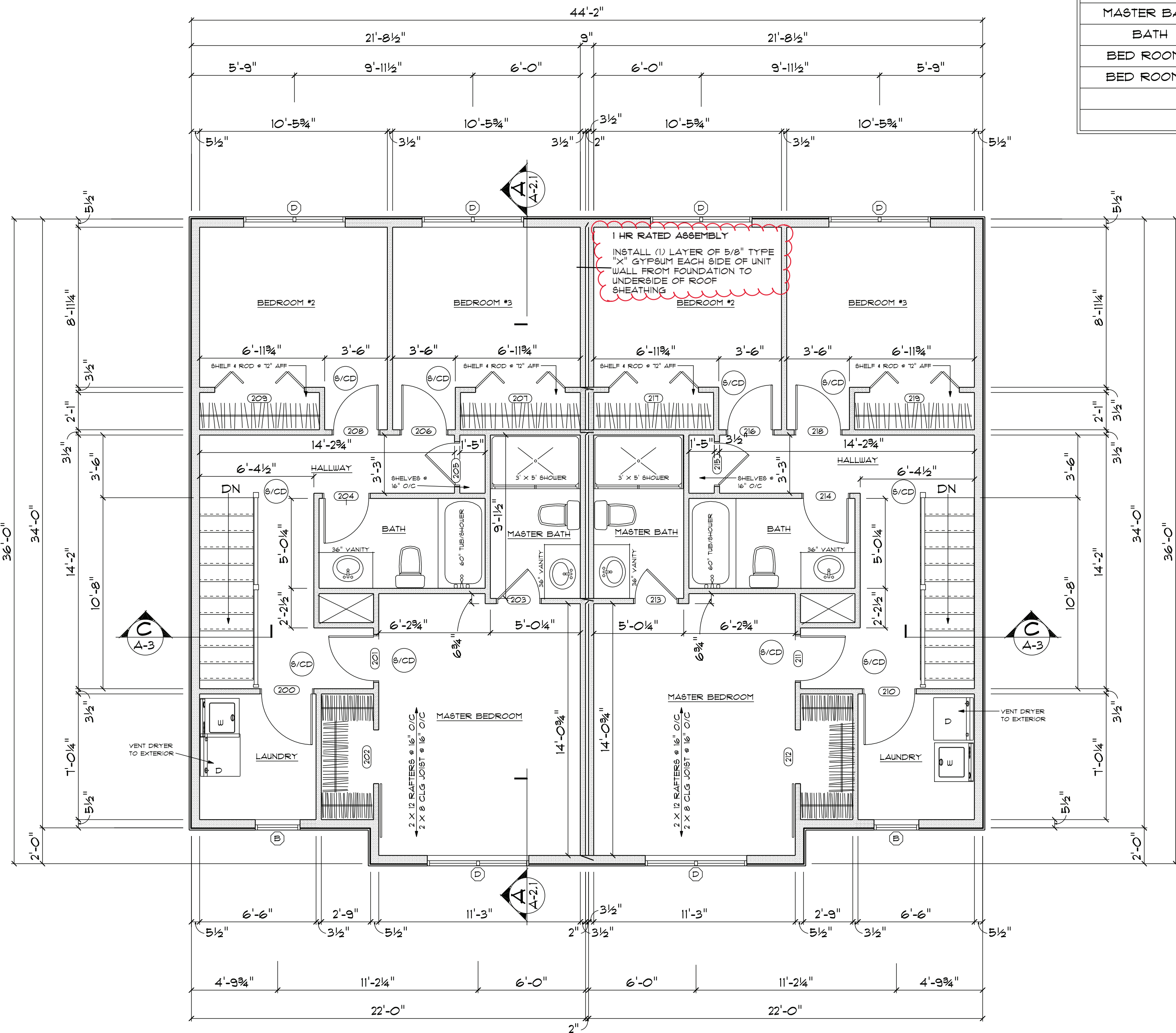
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A-2



SECOND FLOOR PLAN

2ND FLOOR = 712 SF
TOTAL LIVING = 1,280 SF

SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE						
ROOM NAME	FLOORING	WALLS	CEILING FINISH	CEILING MATERIAL	CEILING HEIGHT	BASEBOARD
ENTRY	LVT	PAINT	TEXTURED	PAINT	9'	6" SPEED BASE
LAV	CERAMIC TILE	PAINT	TEXTURED	PAINT	9'	6" SPEED BASE
STAIRS	OAK TREADS - POPLAR RISERS	PAINT	TEXTURED	PAINT		6" SPEED BASE
GARAGE	SEALED CONCRETE	PAINT	TEXTURED	PAINT		
MECH ROOM	SEALED CONCRETE	PAINT	TEXTURED	PAINT		
LIVING ROOM	LVT	PAINT	TEXTURED	PAINT	9'	6" SPEED BASE
DINING ROOM	LVT	PAINT	TEXTURED	PAINT	9'	6" SPEED BASE
KITCHEN	LVT	PAINT	TEXTURED	PAINT	9'	6" SPEED BASE
LAUNDRY	LVT	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
HALLWAY	LVT	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
MASTER BED ROOM	LVT	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
MASTER CLOSET	LVT	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
MASTER BATH	CERAMIC TILE	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
BATH	CERAMIC TILE	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
BED ROOM 2	LVT	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE
BED ROOM 3	LVT	PAINT	TEXTURED	PAINT	8'	6" SPEED BASE

DOOR SCHEDULE						
OPENING ID	SIZE	HEIGHT	TYPE	MATERIAL	HINGE	HARDWARE
100	3'-0"	6'-8"	DOOR	STEEL	R	LOCKSET - DEAD BOLT
101	2'-0"	6'-8"	BI FOLD	MASONITE	N/A	PASSAGE
102	2'-6"	6'-8"	DOOR	MASONITE	L	BATHROOM SET
103	3'-0"	6'-8"	20 MIN RATED	RATED	R	LOCKSET
104	2'-6"	6'-8"	DOOR	MASONITE	R	PASSAGE
105	2'-6"	6'-8"	DOOR	MASONITE	L	PASSAGE
106	2'-6"	6'-8"	DOOR	MASONITE	L	PASSAGE
107	6'-0"	6'-8"	EXT SLIDER	VINYL	N/A	LOCKET
108	3'-0"	6'-8"	DOOR	STEEL	L	LOCKSET - DEAD BOLT
109	2'-0"	6'-8"	BIFOLD	MASONITE	N/A	PASSAGE
110	2'-6"	6'-8"	DOOR	MASONITE	R	BATHROOM SET
111	3'-0"	6'-8"	20 MIN RATED	RATED	R	LOCKSET
112	3'-0"	6'-8"	DOOR	MASONITE	L	PASSAGE
113	2'-6"	6'-8"	DOOR	MASONITE	L	PASSAGE
114	2'-6"	6'-8"	DOOR	MASONITE	L	PASSAGE
115	6'-0"	6'-8"	EXT SLIDER	VINYL	N/A	LOCKET
200	2'-10"	6'-8"	DOOR	MASONITE	L	PASSAGE
201	2'-6"	6'-8"	DOOR	MASONITE	R	BED ROOM SET
202	3'-0"	6'-8"	SLIDING BARN DOOR	MASONITE	R	PASSAGE
203	2'-4"	6'-8"	DOOR	MASONITE	L	BATHROOM
204	2'-6"	6'-8"	DOOR	MASONITE	R	BATHROOM
205	2'-4"	6'-8"	DOOR	MASONITE	L	PASSAGE
206	2'-6"	6'-8"	DOOR	MASONITE	L	BED ROOM
207	5'-0"	6'-8"	BIFOLD	MASONITE	LR	PASSAGE
208	2'-6"	6'-8"	DOOR	MASONITE	R	BED ROOM
209	5'-0"	6'-8"	BIFOLD	MASONITE	LR	PASSAGE
210	2'-10"	6'-8"	DOOR	MASONITE	R	PASSAGE
211	2'-6"	6'-8"	DOOR	MASONITE	R	BED ROOM SET
212	3'-0"	6'-8"	SLIDING BARN DOOR	MASONITE	R	PASSAGE
213	2'-4"	6'-8"	DOOR	MASONITE	L	BATHROOM
214	2'-6"	6'-8"	DOOR	MASONITE	R	BATHROOM
215	2'-4"	6'-8"	DOOR	MASONITE	L	PASSAGE
216	2'-6"	6'-8"	DOOR	MASONITE	L	BED ROOM
217	5'-0"	6'-8"	BIFOLD	MASONITE	LR	PASSAGE
218	2'-6"	6'-8"	DOOR	MASONITE	R	BED ROOM
219	5'-0"	6'-8"	BIFOLD	MASONITE	LR	PASSAGE

For Construction

No.	Date	Revision
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Project Name:

PROPOSED RESIDENCE for:

BEECH ST
DEVELOPMENT

BEECH ST

FITCHBURG, MA 01420

Drawing Title:

SECOND FLOOR
PLAN

ROOM FINISH SCHED

DOOR SCHEDULE



Drawn by: VMP | Checked by: VMP

Date: JUNE 26, 2023

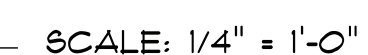
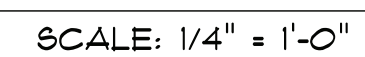
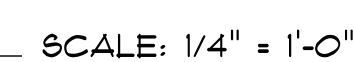
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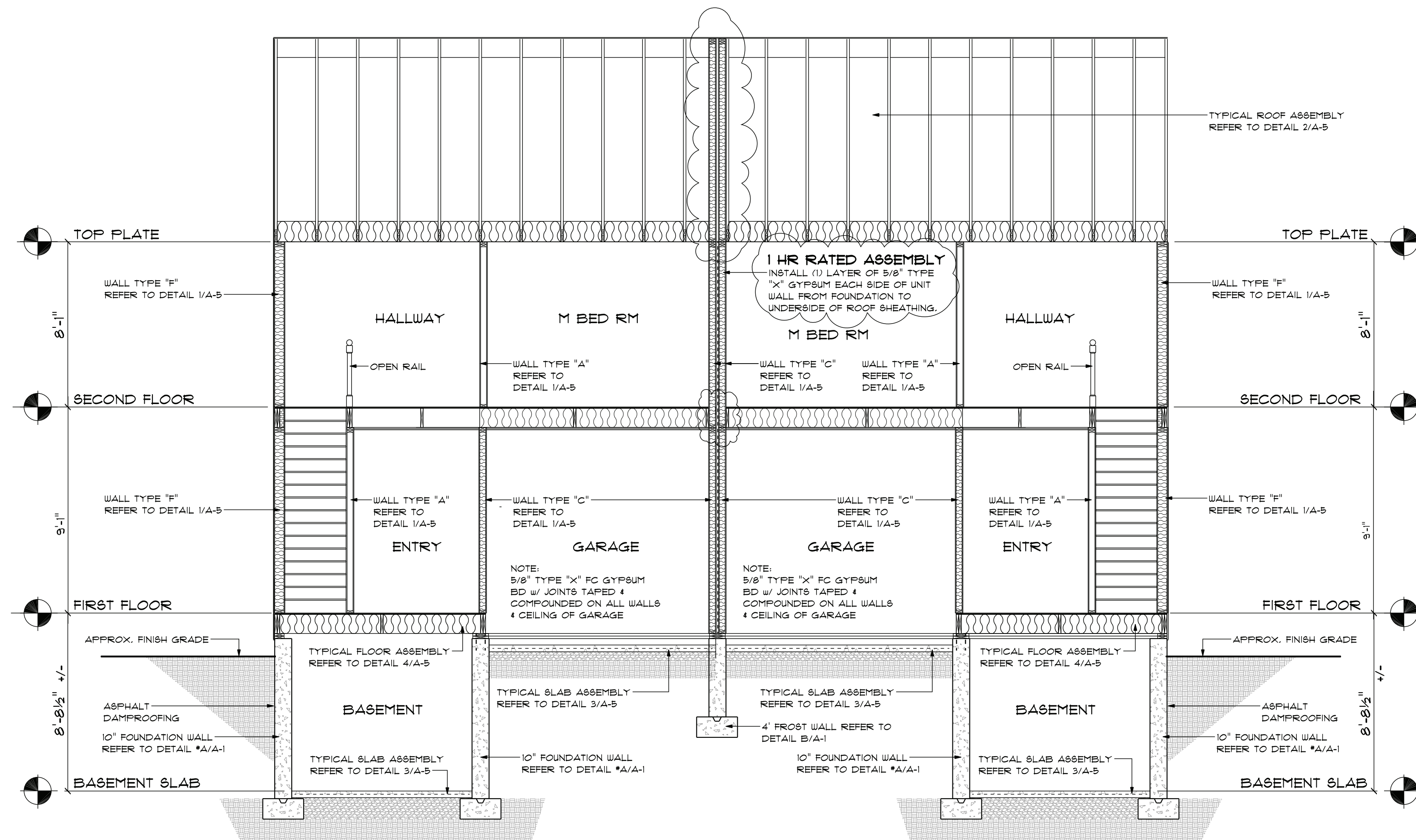
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Drawing No.

A-2.1



A-2.2



BUILDING SECTION C-C

SCALE: 1/4" = 1'-0"

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No.	Date	Revision
1	7/28/23	1 HR RATED ASSEMBLY

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Project Name:

PROPOSED RESIDENCE for:
BEECH ST
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BEECH ST
FITCHBURG, MA 01420

Drawing Title:

BUILDING SECTION

SEAL

ROBERT GUAY

REGISTERED PROFESSIONAL ENGINEER

MASSACHUSETTS

Drawn by:

VMP

Checked by:

VMP

Date:

JUNE 26, 2023

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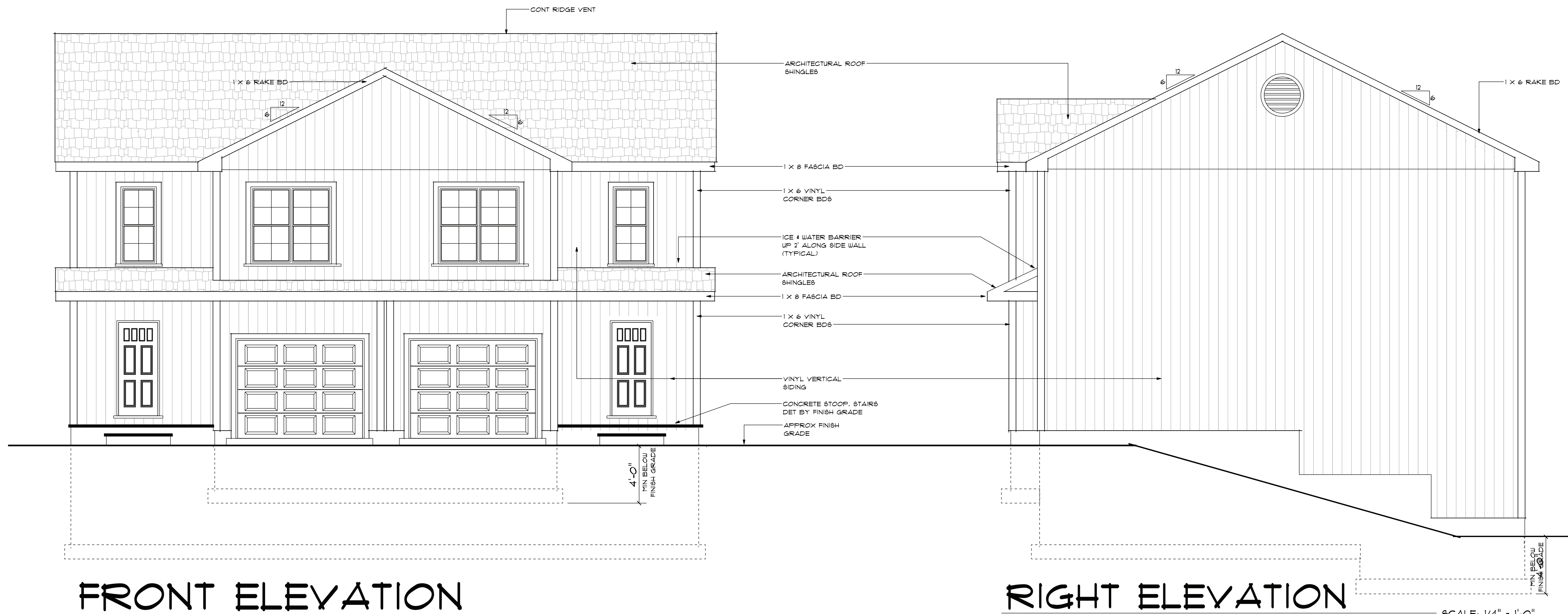
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A-3

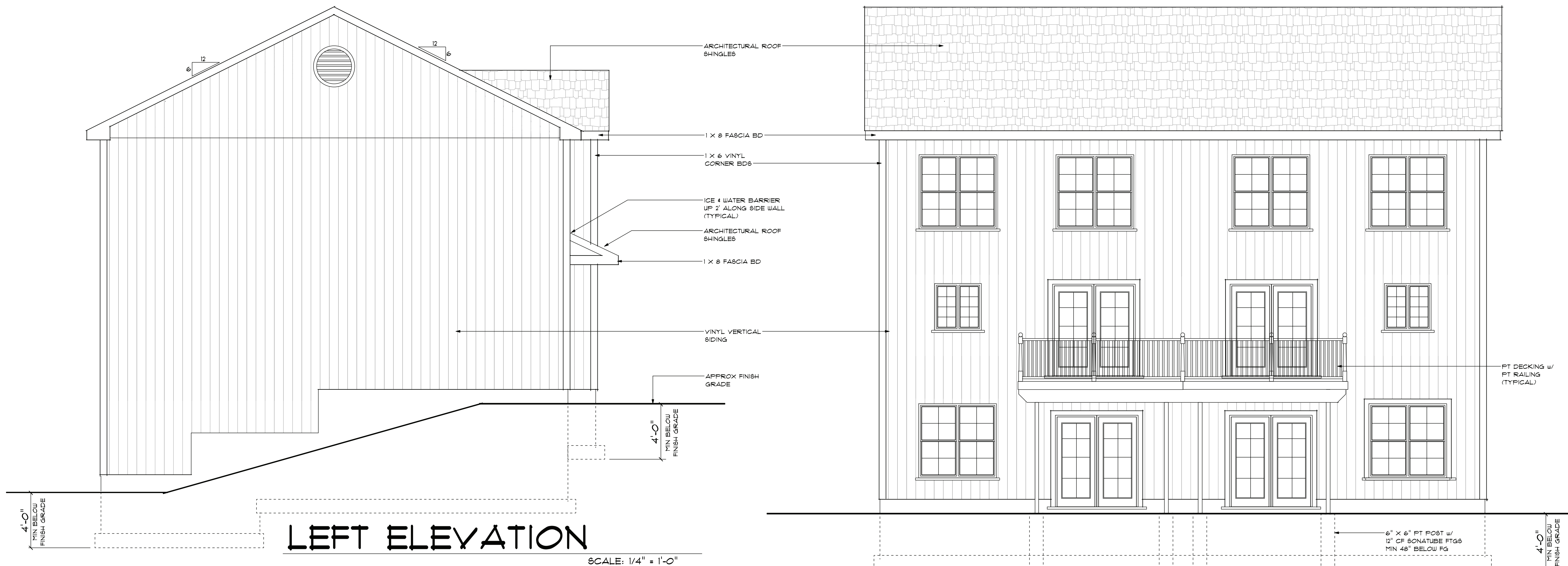


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

WALKOUT BASEMENT

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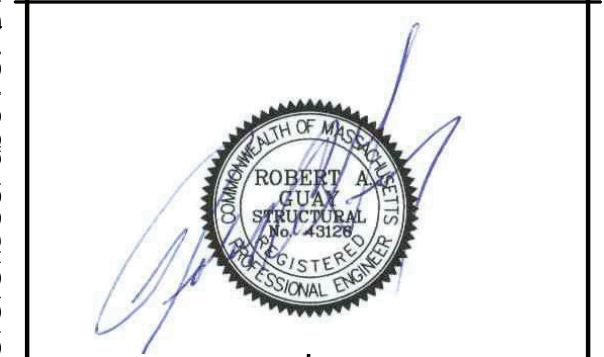
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Project Name:

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Drawing Title:

**ELEVATIONS
w/ WALKOUT
BASEMENT**



Drawn by: VMP Checked by: VMP

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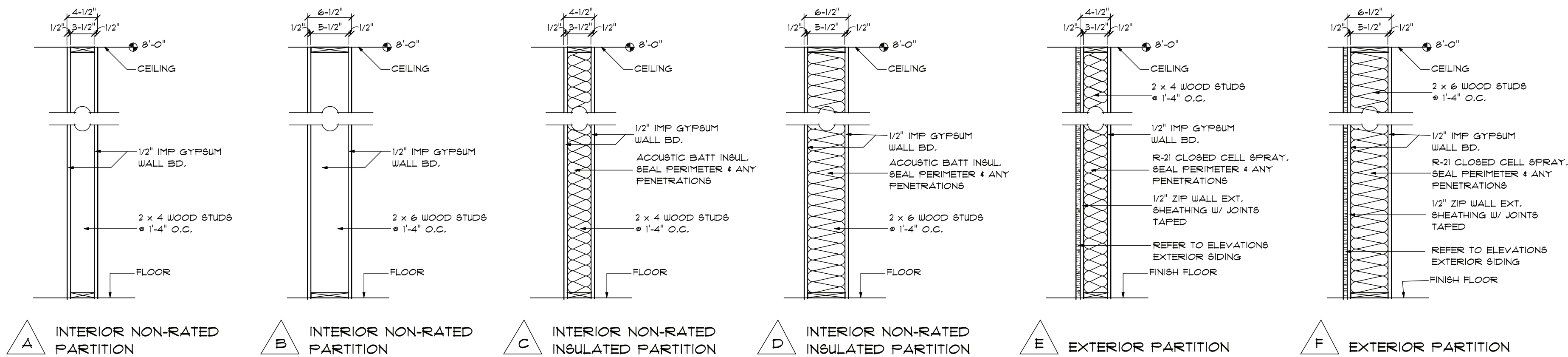
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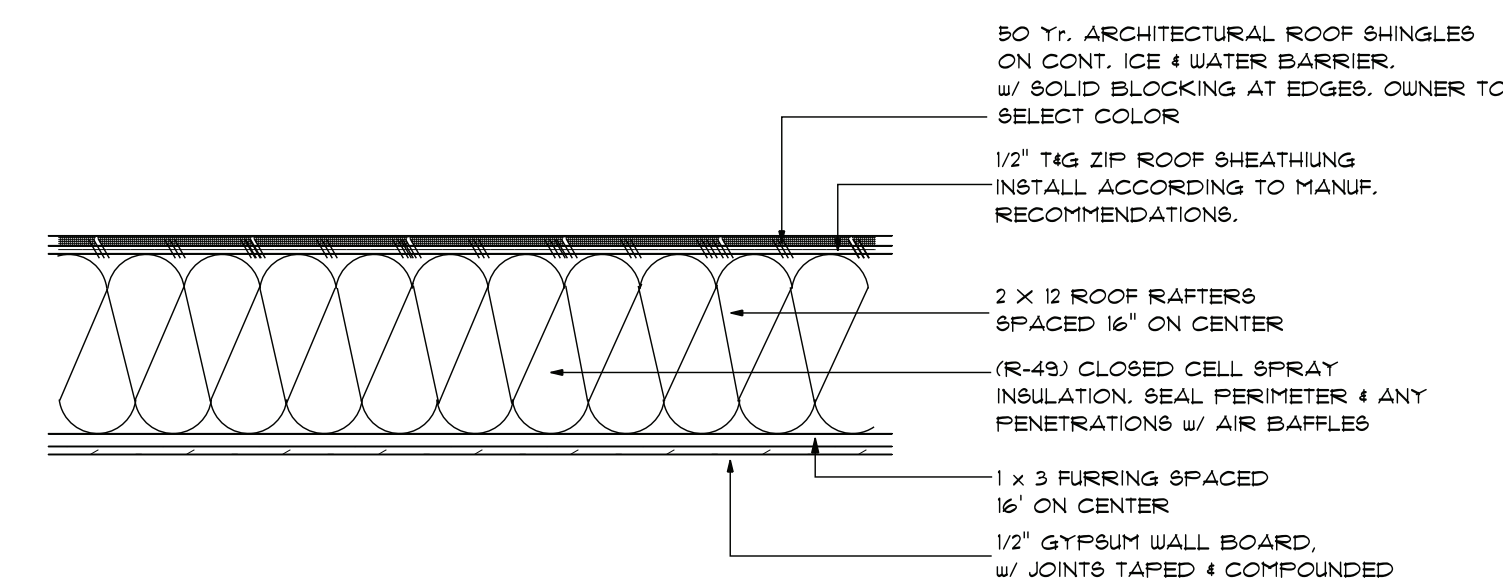
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A-4.1

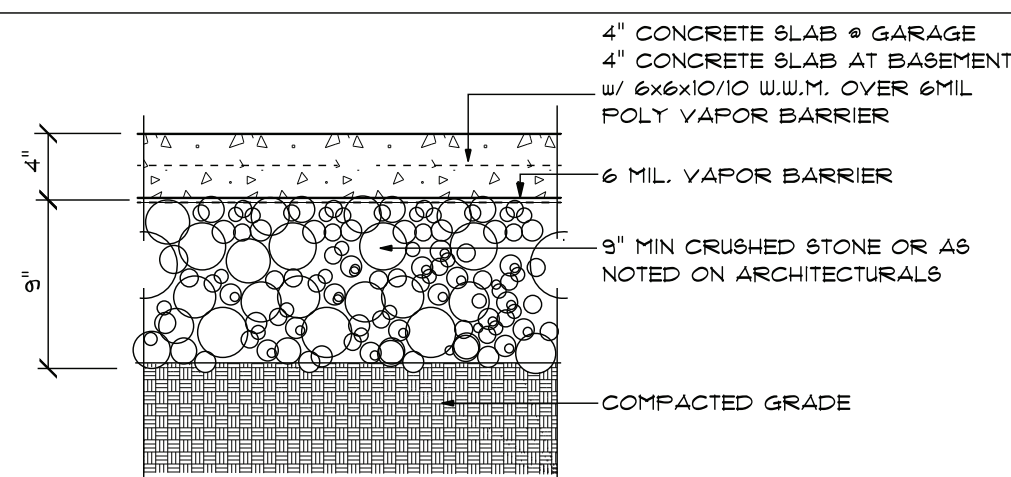
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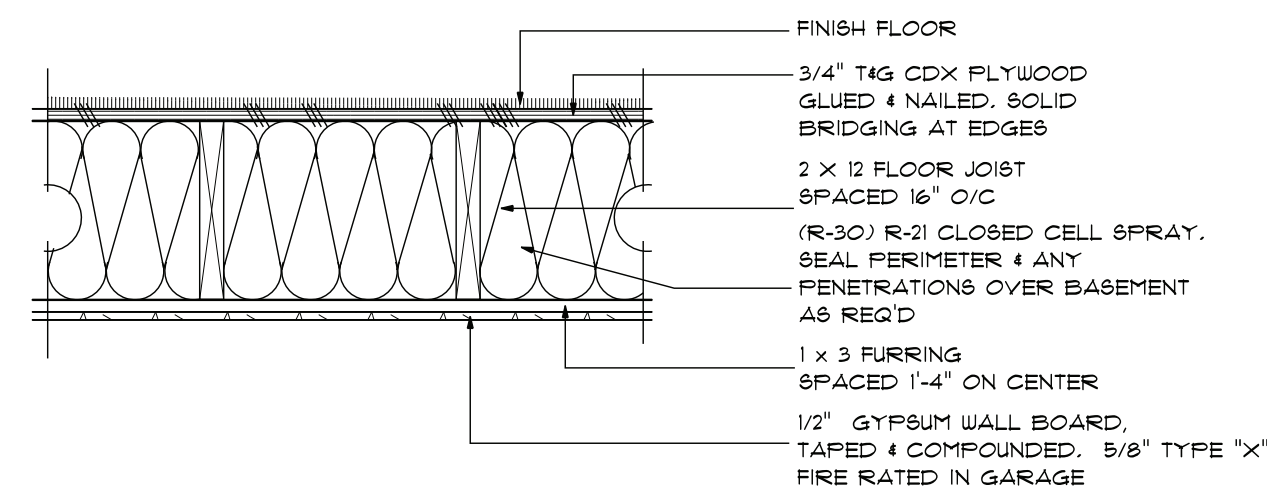
1 WALL TYPES
A-5 SCALE: 1" = 1'-0"



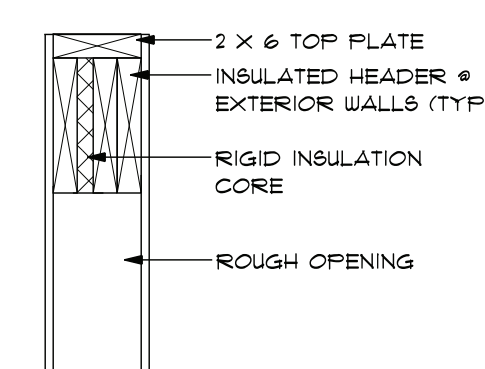
2 TYPICAL ROOF ASSEMBLY
A-5 SCALE: 1" = 1'-0"



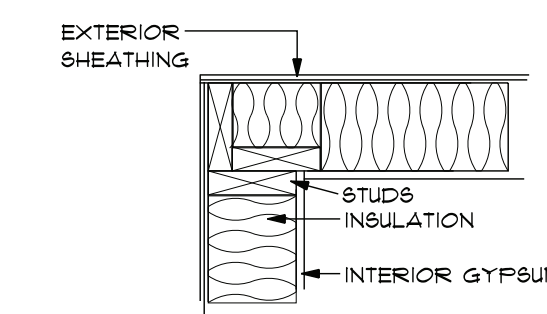
3 TYP. SLAB DETAIL
A-5 SCALE: 1" = 1'-0"



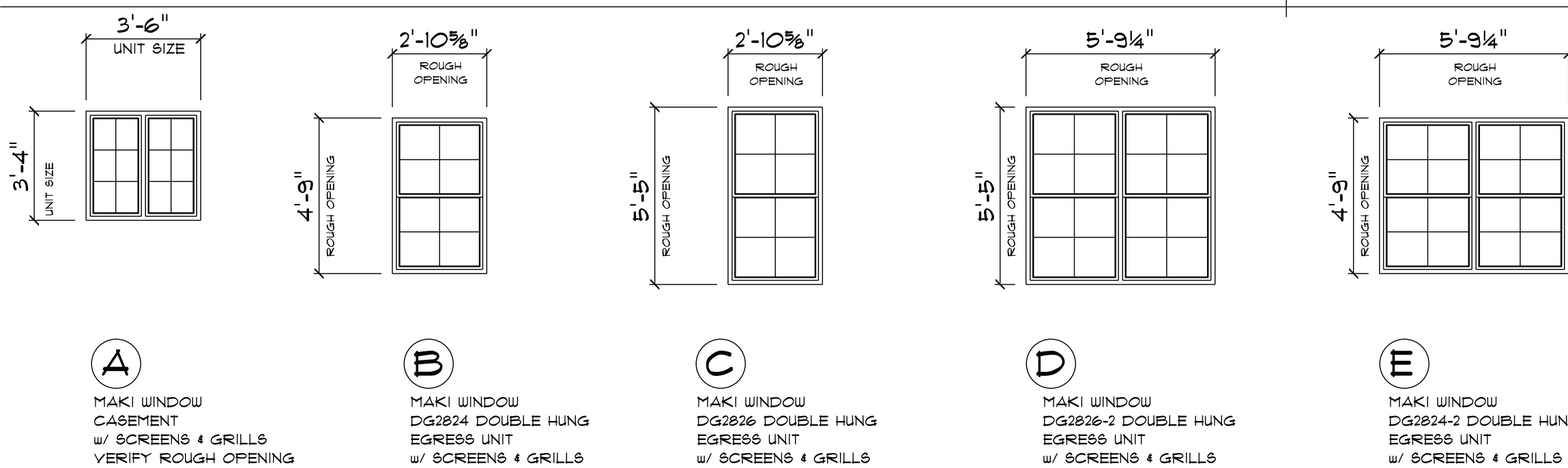
4 TYP. FLOOR DETAIL
A-5 SCALE: 1" = 1'-0"



9 EXTERIOR INSULATED HDR
A-5 SCALE: 1" = 1'-0"

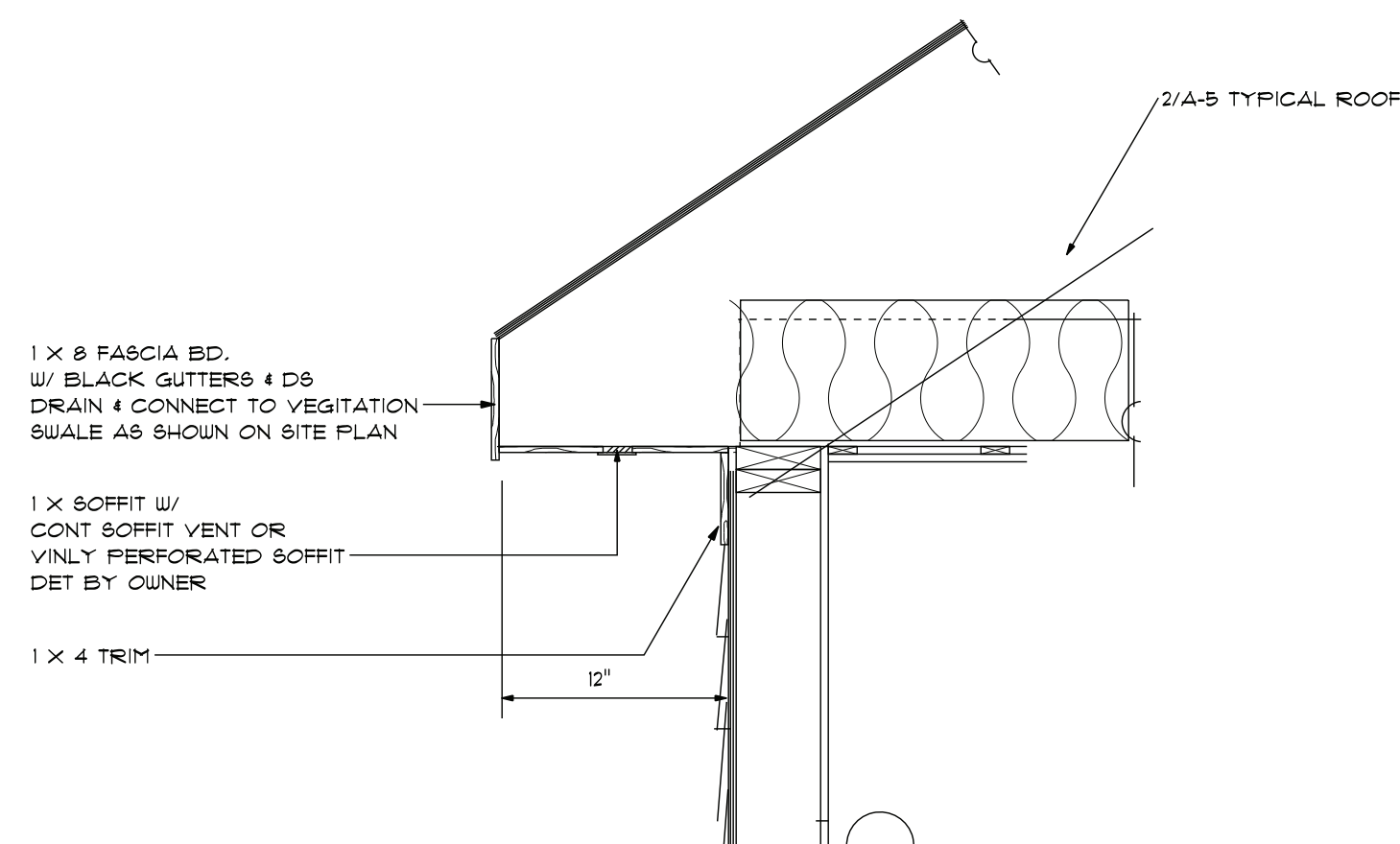


10 EXTER INSUL CORNER (TYP)
A-5 SCALE: 1" = 1'-0"

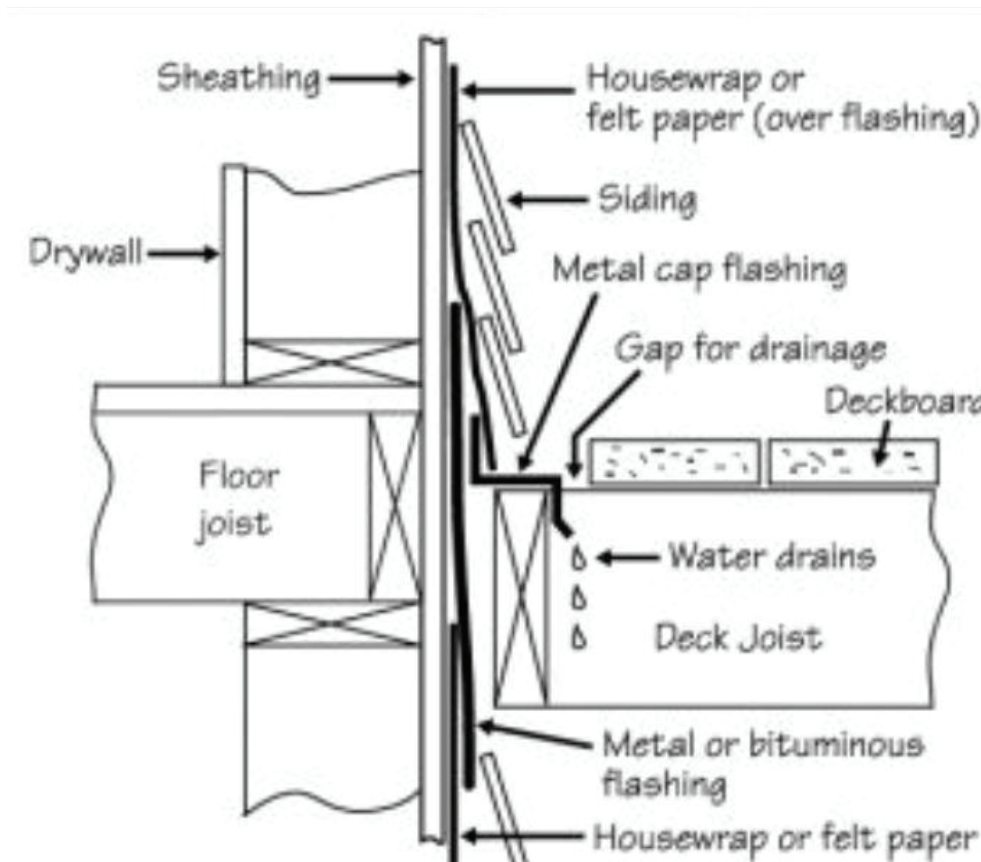


5 WINDOW SCHEDULE
A-5

WINDOW SPECS
- MAKI VINYL GLAZED WINDOW w/ J TRIM
- LOW E INSULATED GLASS
- GRILLS BETWEEN WINDOW PANE
- FULL SCREENS
- HARDWARE TO BE DETERMINED BY OWNER.
GC TO VERIFY ROUGH OPENINGS w/ MANUFACTURER



7 TYP SOFFIT DETAIL
A-5 SCALE: 1" = 1'-0"



8 DECK LEDGER DETAIL
A-5

NOT USED

NOT USED

For Construction

Revisions

No	Date	Revision

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Project Name:
BEECH ST
DEVELOPMENT
BEECH ST.
FITCHBURG, MA 01420

Drawing Title:
DETAILS

Drawn By: VMP
Checked By: VMP
Date: JUNE 26, 2023

Project No:
2023-14

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Drawing No:
A-5

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GENERAL NOTES:

1. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE MA STATE BUILDING CODE, PARTICULAR ATTENTION TO ARTICLE 30 (PRECAUTIONS DURING BUILDING OPERATIONS). ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF TDA PRIOR TO THE COMMENCEMENT OF THE WORK.
2. ALL ELEVATIONS ARE FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW. ACTUAL ELEVATIONS TO BE DETERMINED IN FIELD BY A PROFESSIONAL ENGINEER OR AS SHOWN ON THE SEPTIC SYSTEM DESIGN. ACCESS HOLES FOR WATER, SEWER & OTHER UTILITIES TO BE COORDINATED WITH THE OWNER.
3. PROVIDE A MIN OF 3/4" DIA. X 12" LONG ANCHOR BOLTS 12" FROM CORNERS & OPENINGS & T'-O" ON CENTER.
4. ALL CONCRETE USED SHALL DEVELOP A MIN COMPPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:

SLABS & FLOORS to be 3,500 PSI

WALLS & FOOTINGS to be 4,000 PSI
5. ALL FRAMING LUMBER TO BE USED SHALL BE AS FOLLOWS:

WALL STUDS JOIST, BEAMS, RAFTERS TO BE SPRUCE # 1 OR BETTER (MIN E=1,400,000)
6. STAIRWAYS:

A.) REQUIRED STAIRWAYS SHALL BE NOT LESS THAN 3'-0" IN CLEAR WIDTH. MAXIMUM RISE SHALL BE 8-1/4". MINIMUM TREAD SHALL BE 9" WITH NOSING NOT TO EXCEED 1-1/4". MINIMUM HEADROOM SHALL BE 6'-8"

B.) HANDRAIL (S) SHALL BE LOCATED IN EACH STAIR SYSTEM WITH MORE THAN (3) RISERS AT A HEIGHT OF 30" MIN & 38" MAX MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. GUARD RAILS, 34" MIN IN HEIGHT, SHALL BE INSTALLED IN FLOOR PORCH, AND/OR BALCONY AREAS OF MORE THAN 30" ABOVE FLOORS OR GRADE BELOW. MAX CLEAR OPENING BETWEEN RAILS/BALUSTERS SHALL NOT EXCEED FOUR (4") INCHES.

C.) PROVIDE AN INSULATED DOOR AT TOP OF THE BASEMENT STAIRS, OR INSULATE THE WALLS AND UNDERSIDE OF THE STAIR AND PROVIDE INSULATED DOOR @ BOTTOM OF THE BASEMENT STAIR.
7. DIMENSION STANDARDS USED WITHIN THE DOCUMENTS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:

A.) EXTERIOR DIMENSIONING AT THE BUILDING CORNERS REPRESENTS AN OUTSIDE FACE OF STUD DIMENSION

B.) EXTERIOR DIMENSIONS AT WINDOWS & DOORS REPRESENT TO THE CENTER OF THE OPENING, FROM CENTER OF ANOTHER OPENING OR THE OUTSIDE OF THE STUD.

C.) INTERIOR DIMENSIONING AT THE STUD WALL REPRESENTS A DIMENSION TO THE MIDDLE OF THE STUD UNLESS OTHERWISE NOTED.
8. STRUCTURAL HEADERS & BEAMS SHALL BEAR ON THE FOLLOWING:

A.) DOUBLE HEADERS SHALL BEAR ON (2) TWO 2 X STUDS MIN.

B.) TRIPLE HEADERS SHALL BEAR ON (3) THREE 2 X STUDS MIN.

C.) STEEL BEAMS SHALL BEAR ON 3-1/2" STEEL PIPE COLUMNS OR (4) FOUR 2 X STUDS

D.) LAMINATED VENEER LUMBER (LVL) PRODUCTS SPECIFIED WITHIN ARE SIZED FOR MICRO-LAM BRAND, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY AND COORDINATE SUBSTITUTIONS WITH TDA & THE OWNER. LAMINATED VENEER LUMBER SHALL BE HANDLED & INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
9. BEARING PLATES SHALL MATCH PR EXCEED THE WIDTH OF ALL BEAMS THAT BEAR UPON THEM.
10. ALL DUCT WORK & HOT WATER PIPING SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DUCT WORK BE INSTLLED TO PREVENT CONDENSATION.
11. IN ALL AREAS OF CONCRETE SLABS, A MIN 6 MIL POLY VAPOR BARRIER SHALL BE INSTALLED OVER GRADE & BELOW THE CONCRETE SLAB.
12. WINDOWS SIZES SHOWN WITHIN ARE BASED GENERICALLY ON PELLA PROLINE SERIES. THE GENERAL CONTRACTOR SHALL GET APPROVALS FROM THE OWNER FOR ANY SUBSTITUTIONS. WINDOWS MUST MEET THE FOLLOWING CRITERIA:

A.) GLAZING CLOSER THAN 18" TO THE FLOOR AND EXCEEDING SIX (6) SQUARE FEET IN AREA MUST BE TEMPERED.

B.) EMERGENCY EGRESS: SLEEPING ROOMS SHALL HAVE DOOR TO PERMIT EMERGENCY EGRESS OR RESCUE. A REQUIRED WINDOW MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS, AND SHALL CONFORM TO THE FOLLOWING:

1.) THE SILL HEIGHT SHALL BE NOT MORE THAN FORTY-FOUR (44) INCHES ABOVE THE FINISH FLOOR.

2.) THE WINDOW SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 3.3 SQUARE FEET WITH A RECTANGULAR HAVING A MINIMUM NET CLEAR OPENING DIMENSION OF TWENTY (20) INCHES BY TWENTY-FOUR (24) INCHES, IN EITHER DIRECTION. IF A DOUBLE HUNG UNIT IS USED THEN SUCH DIMENSION SHALL APPLY TO BOTTOM HALF.

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For Construction

No.	Date	Revision

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LLC.

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DEVELOPMENT

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FITCHBURG, MA 01420

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GENERAL NOTES

Drawn by:

VMP

Checked by:

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Date:

JUNE 26, 2023

Project No.

2023-14

File Path:

Traditional Design\PROJECTS\2023-14 B&E, LLC

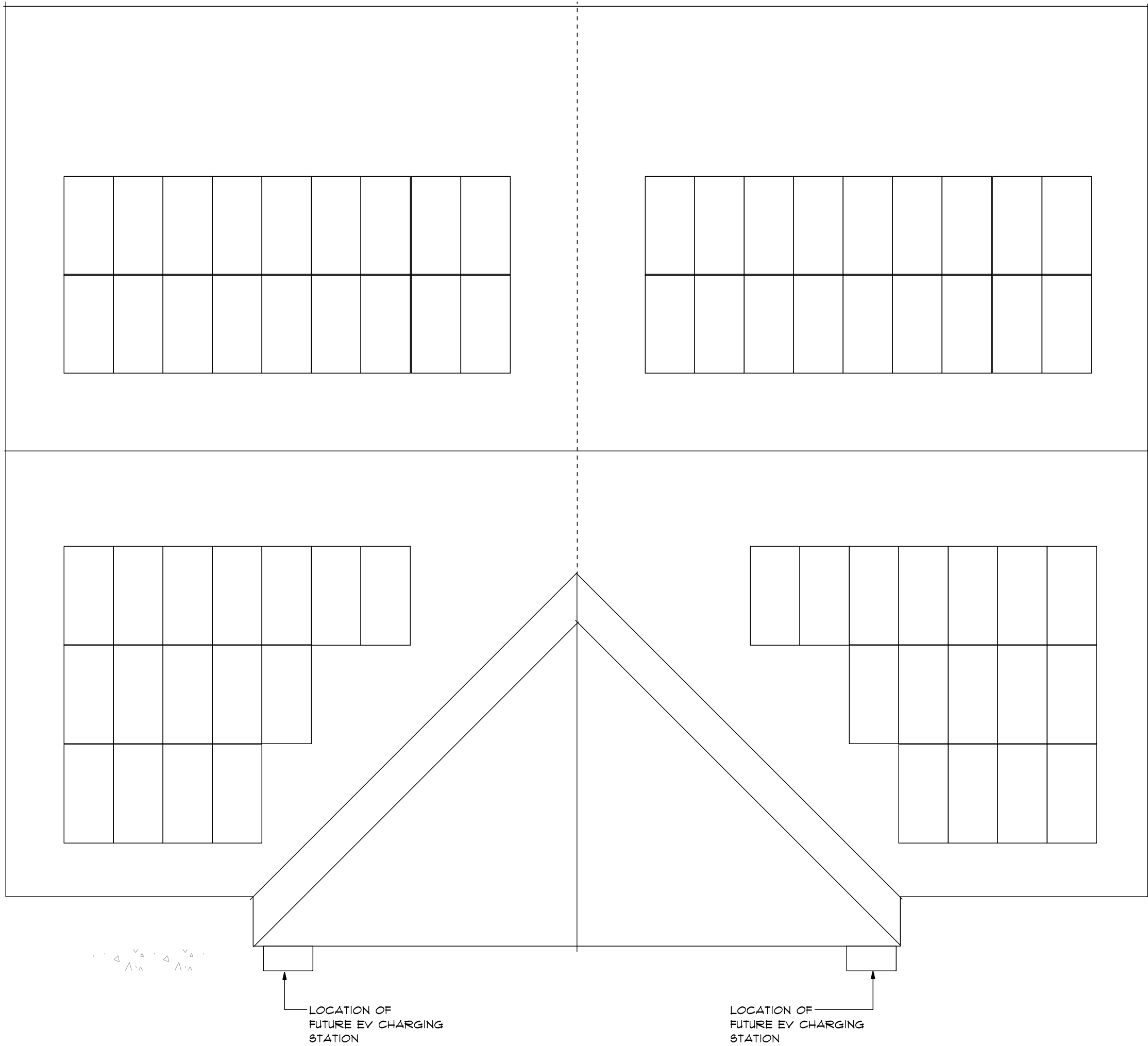
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Drawing No.

A-6



PHOTOVOLTAIC PLAN



NOMENCLATURE

- YELLOW = 95% SUN EXPOSURE
- RED = 10% SUN EXPOSURE

For Construction

No.	Date	Revision

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Project Name:

PROPOSED RESIDENCE for:
**BEECH ST
DEVELOPMENT**
BEECH ST
FITCHBURG, MA 01420

Drawing Title:

PHOTOVOLTAIC
PLAN

EV CHARGING
LOCATION

Drawn by:

Checked by:

Date:

Project No.

File Path:

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Drawing No.

P-1

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