

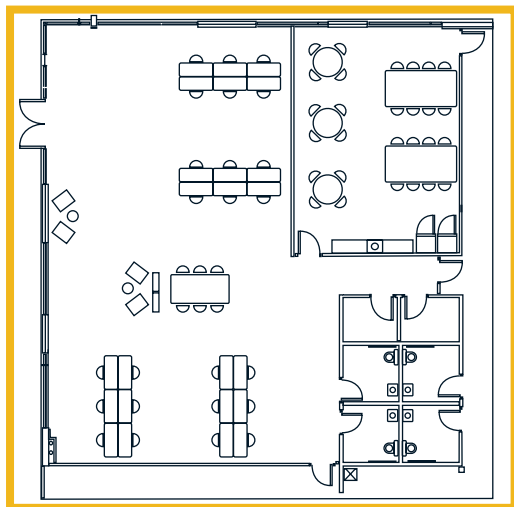
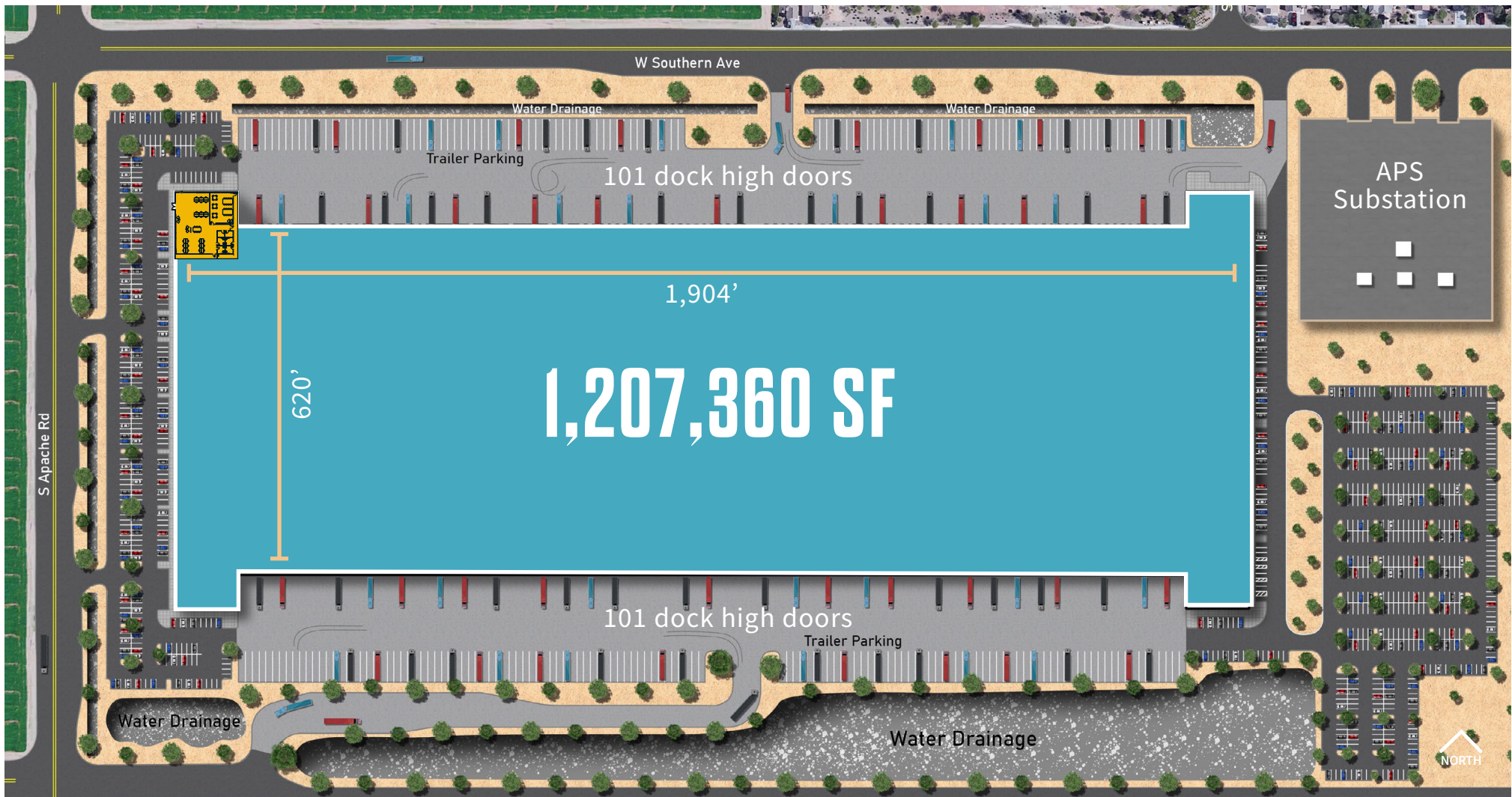


±1,207,360 SF FOR LEASE



24105 W SOUTHERN AVENUE, BUCKEYE, AZ 85326

Jones Lang LaSalle Americas, Inc. License #: CO508577000



Property Features

- 40' clear height minimum
- 620' x 1,904' building dimensions
- 50' x 56' column spacing
- 60' speed bays; reinforced
- 924 auto parking stalls
- 250 concrete trailer parking stalls
- 190' concrete truck courts
- (202) 9' x 10' dock high doors
- (4) 12' x 14' grade level doors
- ESFR K25.2 sprinkler system
- 6000A 480/277v
- .45 mil TPO roof w/ 15 year warranty
- 8" un-reinforced floor slab
- R-38 insulation below roof deck

[▶ Click for Property Tour](#)

Make Ready Work

- 3,179 SF spec office
- 200,000 SF of LED lighting
- (32) 40,000 lb dock levelers with dock locks and seals
- **Warehouse HVAC on-site**

Buckeye is home to notable corporate neighbors such as:



Drive times:

Southern California
(LA/Long Beach; San Diego)
±4 hours

Phoenix Sky Harbor
International Airport
37 miles / 40 minutes



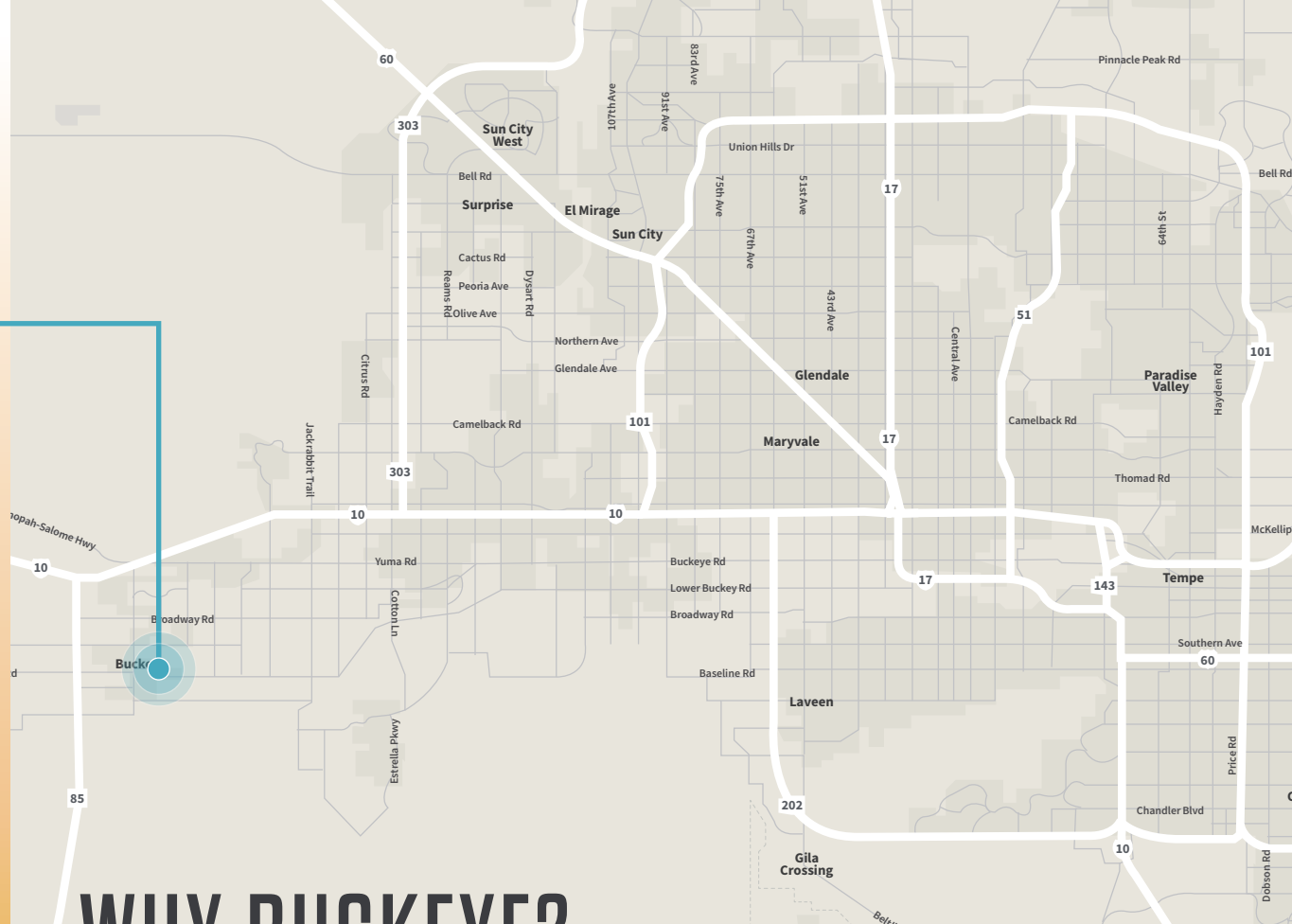


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WHY BUCKEYE?

- #1** fastest growing city in the U.S. (over the past decade)
- 1.45** million labor force within 45 minutes of Buckeye
- 89K** average household income
- #6** best place to live in the U.S.
- 11M** square feet of new commercial development in 2021
- 7** robust transportation network with access to 7 major interstates / highways
- 33** median age of Buckeye resident
- 92%** of Buckeye's skilled workforce commutes outside of Buckeye for work