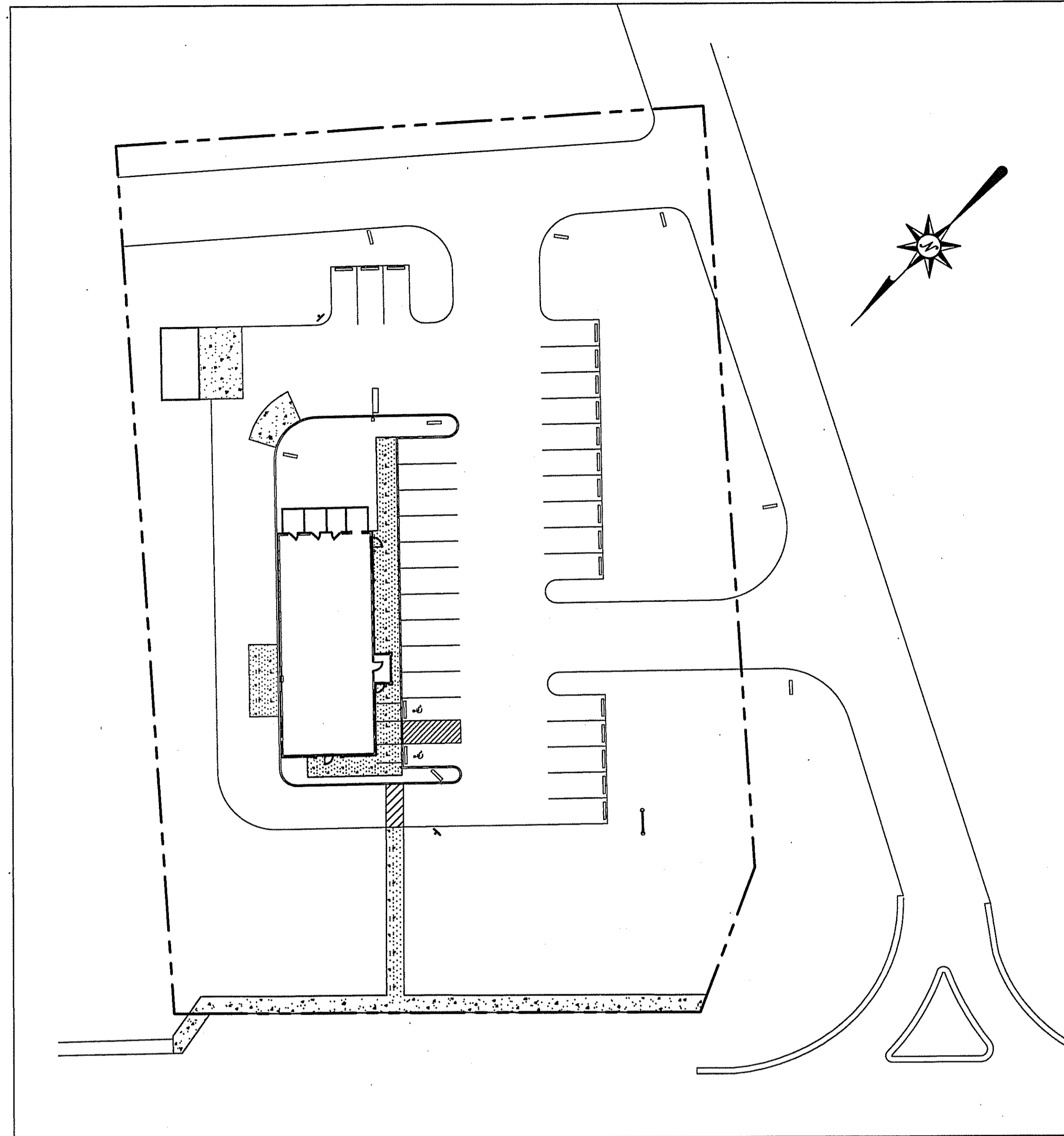


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF MIDDLETOWN PLUS DELAWARE DOT STANDARDS AND SPECS, IF APPLICABLE.
- ALL SIGNING, TRAFFIC CONTROL AND SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL MEET DELAWARE DOT STANDARDS.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWING:

| | |
|-----------------------------------|----------------|
| MISS UTILITY | 1-800-282-8555 |
| BELLATLANTIC | 302 761-6253 |
| AT&T | 302 738-7893 |
| EASTERN SHORE NATURAL GAS | 302 734-6797 |
| DELMARVA POWER | 302 454-4176 |
| TOWN OF MIDDLETOWN | 302 378-2711 |
| TELEMEDIA CABLE | 302 378-4423 |
| DELAWARE STATE HIGHWAY DEPARTMENT | 302 378-2721 |
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING OR PROPOSED UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER IS TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- FOR PAVING SECTION DETAIL, SEE DETAIL SHEET 6.
- ALL CONC. CURB AND GUTTER TO BE IN ACCORDANCE WITH THE TOWN OF MIDDLETOWN STANDARDS. (SEE DETAIL SHEET 6) LIMITS AS SHOWN ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS (FOR DETAILS OF RAMP AND SIGNS SEE DETAIL SHEET 6).
- WHERE DRAINAGE FLOWS FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- THE CONTRACTOR WILL CONSTRUCT ALL DEPRESSED CONC. CURB & GUTTER NOTED ON THE SITE PLAN TO BE FULLY DEPRESSED SO THAT THERE IS NOT A LIP.
- ALL DISTURBED AREAS SHALL BE ESTABLISHED WITH PERMANENT SEED AND MULCH.
- ALL MANHOLES ARE TO BE BITUMINOUS COATED.
- PROPOSED WATER TO HAVE A MINIMUM 4' COVER.
- WHEN CONNECTING SEWERS TO EXISTING SANITARY MANHOLES (SMH), CONTRACTOR SHALL SEE THAT ALL CONNECTIONS ARE SEALED AND WATER-TIGHT.
- ALL SANITARY SEWERS ARE TO BE PVC SDR-35 COMPATIBLE WITH ASTM D-3034.
- WHERE UTILITY PIPES ARE TO BE PLACED IN FILL:
 - PRIOR TO PLACEMENT OF COMPACTED FILL ON ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT ANY RAINE BOTTOMS OR SLOPES, UNSUITABLE SOILS SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
 - ACCEPTABLE COMPACTED FILL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO AT LEAST 92% OF THE MODIFIED PROCTOR TEST CONDUCTED BY AN INDEPENDENT LAB. SOILS REPORT SHALL BE SEALED BY A REGISTERED ENGINEER AND BE SUBMITTED TO THE TOWN OF MIDDLETOWN PRIOR TO PIPE INSTALLATION.
 - THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO ALLOW A SMOOTH TRANSITION BETWEEN VIRGIN AND FILL SOILS.
- CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS WITH HEAVY EQUIPMENT TRAVELING OVER UTILITIES IN SUBBASE CONDITION. (SEE NOTE #5).
- ALL CONSTRUCTION SHALL COMPLY WITH NORDIC CORPORATION AND THE TOWN OF MIDDLETOWN ZONING AND SUBDIVISION/LAND DEVELOPMENT ORDINANCES.
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF MIDDLETOWN REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- PRIOR TO START OF CONSTRUCTION, INFORM ALL AREA UTILITY COMPANIES OF PLANNED CONSTRUCTION.
- REFER TO OTHER PLANS AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IMMEDIATELY IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER AND SITE ENGINEER PRIOR TO BIDDING.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
- PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH DELAWARE DOT SPECIFICATIONS.
- PAVEMENT MARKING KEY:
4" SDYL 4" SOLID DOUBLE YELLOW LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL; WIDTH IS 9' CENTER TO CENTER, AND DEPTH IS 20' HATCHED AREAS SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. SEE CONSTRUCTION DETAIL SHEETS FOR PROPOSED STANDARD AND ACCESSIBLE PARKING STALL DETAILS. TRAFFIC ARROWS SHALL CONFORM TO DELAWARE DOT REQUIREMENTS. OTHER MARKINGS SHALL BE PAINTED AS NOTED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 5 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.



KFC

SCALE: 1"= 30'

PREPARED FOR:

NORDIC CORPORATION
C/O AARSAND & COMPANY
120 COCKEYSVILLE ROAD, SUITE 101
HUNT VALLEY, MD 21030
(410) 771-1880

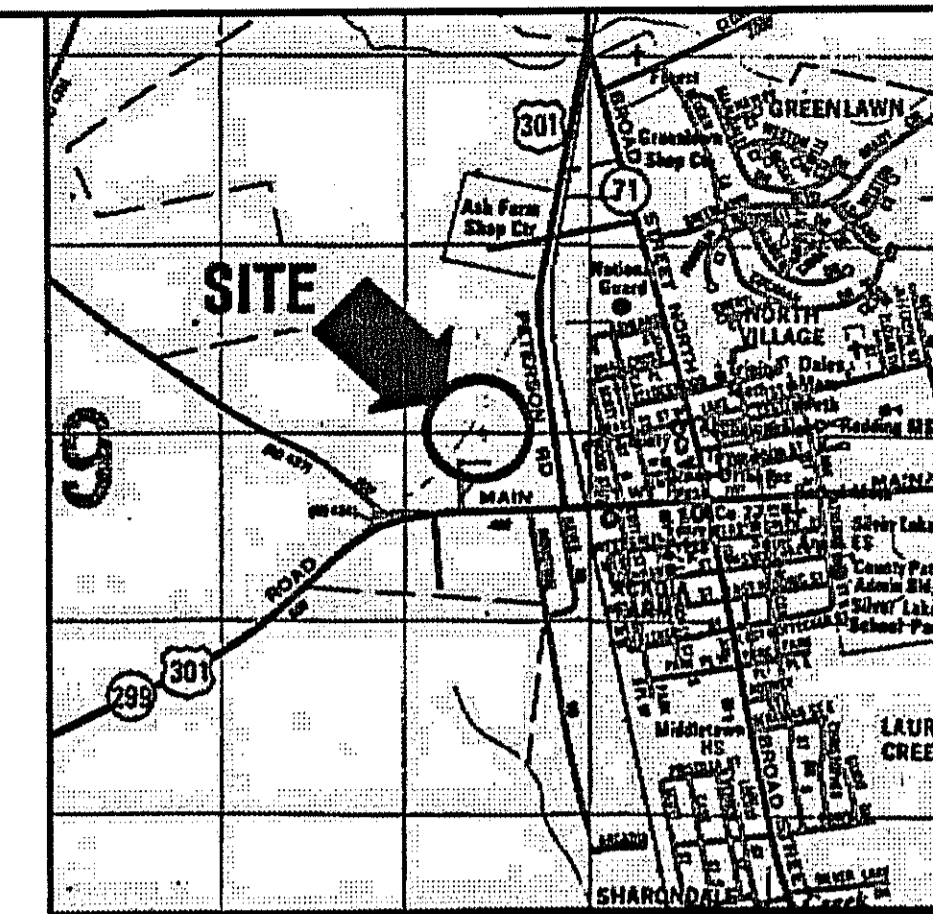
PREPARED BY:



BL COMPANIES

ENGINEERS/PLANNERS/SURVEYORS/LANDSCAPE ARCHITECTS

849 INTERNATIONAL DRIVE, SUITE 215
LINTHICUM, MARYLAND 21090
(410) 859-9100

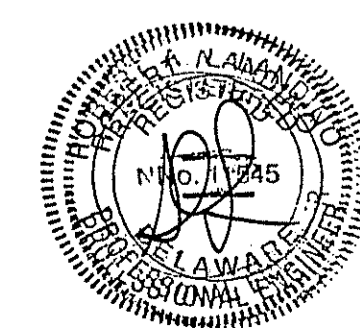


VICINITY MAP
NOT TO SCALE

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
- UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND INCLUDED SERVICES. WHEN THE UTILITIES ARE TO BE LEFT IN PLACE, THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATION AND BACKFILLING OPERATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- BLASTING SHALL NOT BE PERMITTED IN THE PROJECT AREA, UNLESS AUTHORIZED IN WRITING BY THE OWNER FROM THE TOWN OF MIDDLETOWN.
- UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
- THE SURVEY INFORMATION FOR THIS PROJECT HAS BEEN PROVIDED BY BL COMPANIES DATED MAY 2000.
- THE CONTRACTOR SHALL USE EXTREME CAUTION IN WORKING AROUND OVERHEAD HIGH-VOLTAGE ELECTRIC LINES AND SHALL MAINTAIN A MINIMUM OF 10 FEET BETWEEN CONSTRUCTION EQUIPMENT AND THE OVERHEAD ELECTRICAL LINES.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- SEE SHEET 3 FOR GRADING AND SITE UTILITY INFORMATION.
- SEE SHEET 5 FOR PROPOSED LANDSCAPING LOCATIONS.
- SEE SHEET 6 FOR CONSTRUCTION DETAILS.
- THE OWNER OF THIS TRACT IS:
NORDIC CORPORATION
1129 ASQUITH DRIVE
ARNOLD, MD 21012
(410) 647-0852
- THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TESTS TO BE DETERMINED BY THE OWNER AND SITE ENGINEER, IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR COST INCURRED DUE TO SCHEDULING PROBLEMS OR FOR REPEATED TESTING.

SHEET INDEX

| | |
|-----------|------------------------------------|
| SHEET # 1 | COVER SHEET |
| SHEET # 2 | RECORD MINOR LAND DEVELOPMENT PLAN |
| SHEET # 3 | LINES & GRADES PLAN |
| SHEET # 4 | SEDIMENT & EROSION CONTROL PLAN |
| SHEET # 5 | LANDSCAPE & LIGHTING PLAN |
| SHEET # 6 | DETAIL SHEET |
| SHEET # 7 | SIGNAGE SHEET |



BL
Companies

ARCHITECTURE
ENGINEERING
PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ENVIRONMENTAL SCIENCES
ANALYTICAL SERVICES

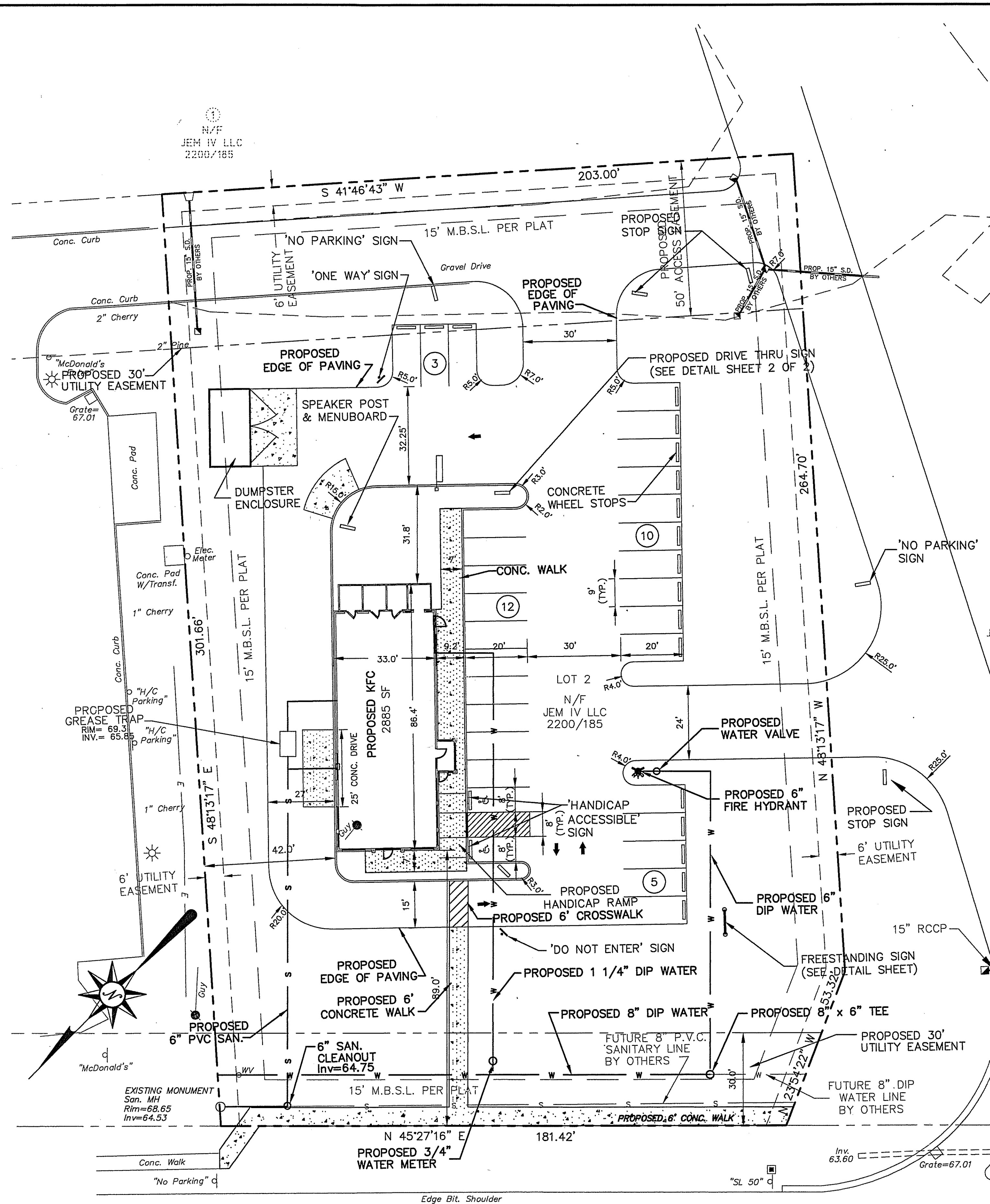
849 International Drive, Suite 215
Linthicum, MD 21090
(410) 859-9100
(410) 859-9588 Fax

COVER SHEET
KFC - US ROUTE NO. 301
ST. GEORGES HUNDRED - NEW CASTLE COUNTY
MIDDLETOWN, DELAWARE

| REVISIONS | Desc. | Date | PER MAYOR AND COUNCIL COMMENTS | KFC ONLY PER CLIENT |
|-----------|-------|---------|--------------------------------|---------------------|
| No. | | | | |
| 1 | | 5/23/01 | | |
| 2 | | 3/14/02 | | |

| | |
|-------------|--------------|
| Designed | ACF |
| Drawn | AJC |
| Checked | ACF |
| Approved | DH |
| Scale | AS NOTED |
| Project No. | 00B159 |
| Date | 6/19/00 |
| CAD File | CVB15901.dwg |

| | |
|-----------|---|
| Sheet No. | 1 |
|-----------|---|



U.S. ROUTE 301
(Public Street) (Var. R.O.W.)

| LEGEND | |
|--|---|
| Proposed Sewer | S |
| Proposed Water | W |
| Proposed Edge of Paving | |
| Proposed Curb and Gutter | |
| Proposed Fire Hydrant | |
| Proposed Concrete | |
| Minimum Building Setback Line (M.B.S.L.) | |

GENERAL NOTES:

1.) This plan references a survey prepared by: Control Point Associates, Inc.
1555 Bustard Road, Suite 50
Kulpsville, PA 19443
Eric Steinfeldt, PE #8704
Titled: Boundary & Topographical Survey
Dated: 8/9/96
File No.: CP96035

2.) Owner: Jem IV, LLC
P.O. BOX 3538
Gastonia, NC
(704) 867-4628
DB 2077, PG. 281
Parcel 298, Tax Map #5

3.) Applicant: Nordic Corporation
190 Lakeland Drive
Hunt Valley, MD 21030
(410) 771-1880

4.) Zoning Data: Delaware State Highway U.S. Route No. 301
Town of Middletown
New Castle County, DE.

Zoned: C-3 District Employment / Regional Retail

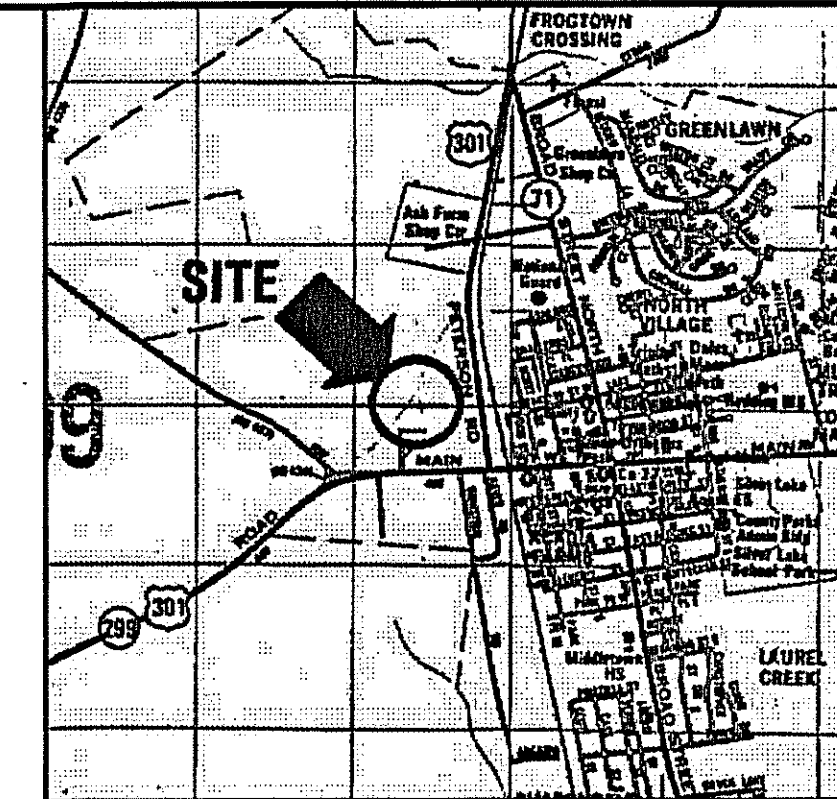
Proposed Use: Restaurant with Drive Thru

Propose of Plan: To receive all approvals & permits necessary to construct a KFC Restaurant with drive-thru.

| | REQUIRED | PROPOSED |
|-----------------------|--------------------|--|
| Min. Lot Area | 3,000 s.f. | 1.4236 Ac (Gross) 1.191 Ac (Net, Access Easement) |
| Min. Lot Width | 20.0 ft. | 181' |
| Max. Impervious Area | 65% * | 50.2% |
| Min. Building Setback | | |
| Front (along US 301) | 15' | 89' |
| Side | 0' | 42', 124' |
| Rear | 15' | 79.5' |
| Max. Building Height: | 50' (or 4 Stories) | 26' |

*Max. Lot Coverage = 80%; however, per the Hukill property Record Major Subdivision / Land Development Plan prepared by Clifton L. Bakhsh, Jr., Inc. of Middletown, Delaware in a plan dated 11/6/95, File No. MJ1097, filed in the office of the Recorder of Deeds for New Castle County in microfilm No. 12719, the impervious cover shall be limited to 65% for Lot 2 of the Hukill Land Development / Subdivision Plan. The Lot to be developed is known as Lot 2. Lot 2 must be shown to add less than or equal to 65% impervious coverage to prove compliance with the New Castle County Drainage Code & Delaware Sediment & Stormwater Regulations and the New Castle County Stormwater Management code. Stormwater Basins have been provided on Lots 1 & 6 to control the quality and quantity of stormwater run-off for the proposed improvements of this minor land development & the Hukill Major Land Development / Subdivision Plan future improvements. These basins will be designed and submitted for approval by Clinton L. Bakhsh, Jr., Inc.

- 5.) Parking Requirements:
1 Space / 3 Seating Accommodations x 64 Seats + 1 Space per every 2 employees on the largest shift x 14 employees.
Required = 29 Spaces
Provided = 30 Spaces (including 2 Van Accessible Handicap parking spaces)
- 6.) The property is located within Flood Hazard Zone X (Area determined to be outside the 500 year flood plain) per a map entitled "Firm, Flood Insurance Rate Map, New Castle Co. Delaware and Unincorporated Areas", Panel 305 of 450, Map Number 1003c0305 F, effective date April 17, 1996.
- 7.) No debris is to be buried on site.
- 8.) According to the Hukill Record Major Subdivision / Land Development Plan dated 11/6/95, this site was examined by Steve J. Baumgardner on December 12, 1994 and no wetlands were found to exist.
- 9.) Street lighting shall be provided and installed at the cost of the developer, Jem Development of Gastonia, NC.
- 10.) The 30' utility easement (recorded in microfilm 12719, DB 2078, Pg. 153) and the 50' access easement (recorded in microfilm 12719, DB 2078, Pg. 156) have been established per the Hukill Record Major Subdivision / Land Development Plan dated 11/6/95.
- 11.) All adjacent property is owned by the developer, Jem Development of Gastonia, NC, and is zoned as commercial land.



VICINITY MAP

NOT TO SCALE

12.) Utilities:

Water Supplies: Town of Middletown. Subject to the approval of the Delaware State Department of Natural Resources and Environmental Control, the Delaware Division of Public Health, and the Town of Middletown. Water shall be privately maintained.

Sanitary Sewer: Town of Middletown. Subject to the approval of the Delaware State Department of Natural Resources and Environmental Control, the Delaware Division of Public Health and the Town of Middletown. Sewer shall be privately maintained.

Storm Drainage: All on-site drainage facilities shall be privately maintained. Drainage facilities shall be in accordance with the New Castle County Drainage Code, Delaware Sediment and Stormwater Regulations, 1991 and the New Castle County Stormwater Management Code.

Electric: Town of Middletown. Subject to the Town's approval.

- 13.) All fire lanes, fire hydrants, fire department connections, sprinklers, standpipe connections and fire exits shall be marked and/or protected in accordance with the Delaware State Fire Regulations.
- 14.) All common facilities including, but not limited to paved areas, sidewalks, curbing, landscaping, open space, and/or drainage facilities shall be kept in good repair and maintained in a safe sanitary condition in accordance with the provisions of the Town of Middletown.
- 15.) The Applicant shall permit the developer, or his agents temporary trespass upon the purchaser's lot to complete or repair the various improvement elements (grading, infiltration trenches, etc.) shown on the approved final plan for the period from the purchase of his lot to eighteen (18) months from the date of acceptance of public improvements by the Town of Middletown.
- 16.) The Applicant shall permit town officials temporary trespass upon the purchaser's lot to inspect the various improvement elements shown on the approved final plan for the period from the purchase of his lot to eighteen (18) months from the date of acceptance of public improvements by the town of Middletown.
- 17.) All public utilities including, but not limited to, electric, gas and telephone shall be placed underground within the subdivision and land development. Such utilities shall be installed in strict accordance with the prevailing standards and practices of the utility or other company providing service, except where it is demonstrated to the satisfaction of the Town of Middletown that underground installations are not feasible because of physical conditions of the land.
- 18.) Water and sewer connections are subject to the approval of the Town of Middletown. The Contractor shall move the tap to the water main under inspection by Town of Middletown.
- 19.) The Town of Middletown shall provide a flow test for the nearest existing fire hydrant. The owner/contractor shall request by letter to the town of Middletown that the flow test be done.
- 20.) There are no existing trees to be preserved on site.
- 21.) Average sewage flows anticipated for a KFC/TB Building/Restaurant are approximately 1100 G.P.D. Average peak sewage flow is 1260 G.P.D. Average water use is 1800 G.P.D.
- 22.) Approval must be received from the Town of Middletown / New Castle County Health Department prior to issuance of the Certificate of Occupancy.
- 23.) All site improvements including landscaping, permanent site stabilization, and permanent stormwater management facilities shall be in place and approved prior to issuance of certificate of occupancy.
- 24.) Town of Middletown is to be notified 48 hours prior to the commencement of work. A pre construction meeting shall be scheduled by the owner/contractor. Call (302) 378-5670 to schedule.
- 25.) Elevations are based upon NAVD 1988 datum, Reference Benchmark 2-37 reset.
- 26.) Planning and Zoning approved the conditional use approval on June 15, 2000.

CERTIFICATION OF OWNERSHIP

I, _____ hereby certify that _____ is the owner of the property shown on this plan and that the subdivision plan thereof was made at its direction, that I acknowledge the same to be its act and plan and desire the same to be recorded as such according to law and in accordance with the Subdivision and Land Development Regulations of the Town of Middletown.

Owner _____

CERTIFICATION OF PLAN APPROVALS

Approved _____ Date _____
for Mayor and Council of the Town of Middletown

Recorded _____ in the office of the recorder of deeds in and for New Castle County, Microfilm Number _____

For maintenance declaration of open spaces, landscaping, and stormwater management facilities shown on this plan, see Deed of Restrictions, dated and of record in the office of the recorder of deeds in and for New Castle County, State of Delaware, Deed Record _____, Volume _____, Page _____.

CERTIFICATION OF ACCURACY

I, Michael Ray, hereby certify that I am a professional Land Surveyor in the State of Delaware and that the plan shown and described hereon represents a survey made by BL Companies and is true and correct to the accuracy required by accepted surveying standards and practices and by the Town of Middletown Subdivision Regulations to the extent that it describes the bearings and distances of subdivided lands, and that the existing monuments shown hereon actually exist and that their positions are accurately shown.

Professional Land Surveyor _____



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LAND SURVEYING
ENVIRONMENTAL SCIENCES
ANALYTICAL SERVICES

849 International Drive, Suite 215
Linthicum, MD 21090
(410) 859-9100
(410) 859-9958 Fax

MINOR LAND DEVELOPMENT PLAN

KFC/TACO BELL
US ROUTE NO. 301
MIDDLETOWN, DELAWARE

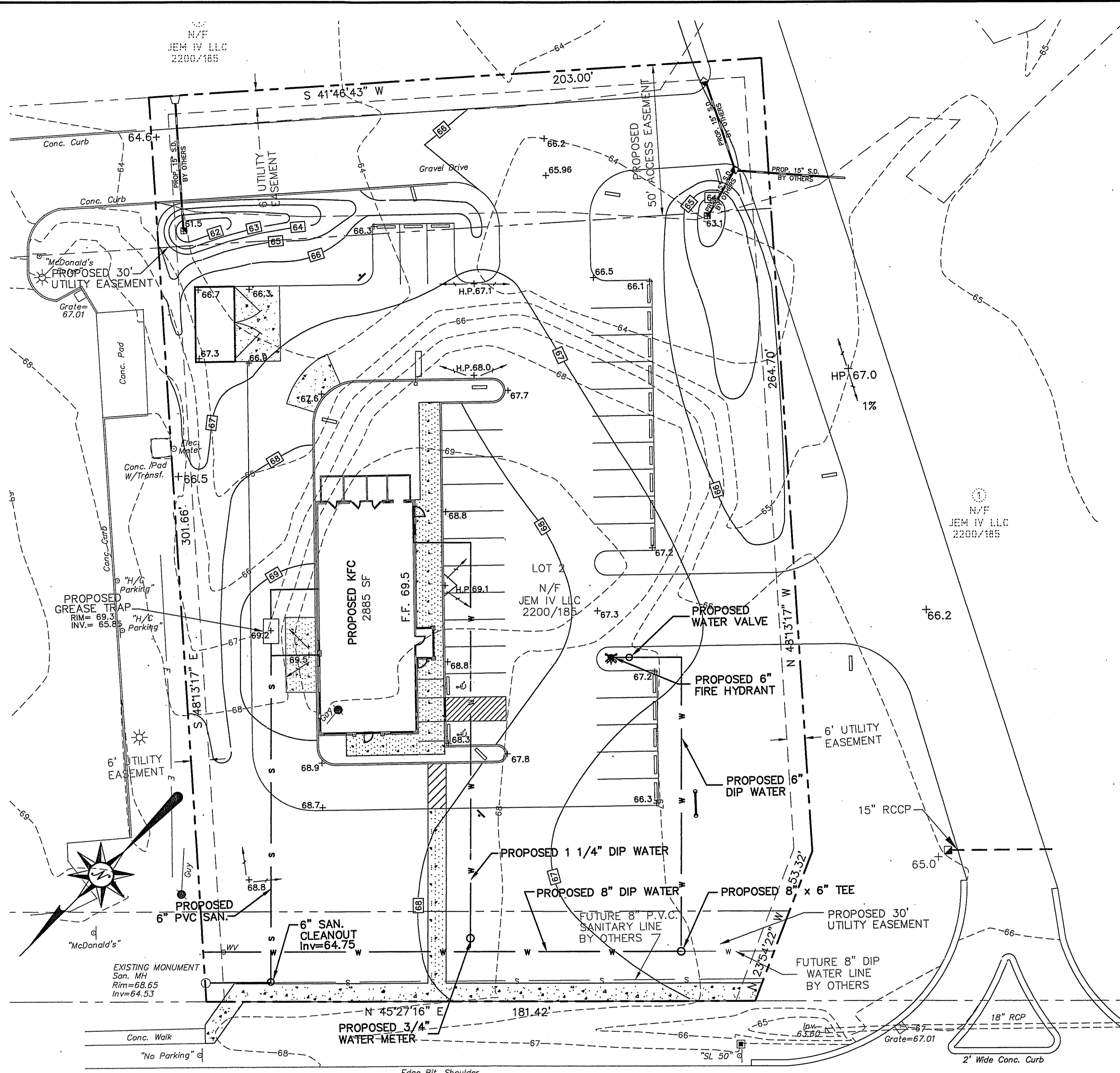
Desc. _____
Date _____
Comments _____
KFC ONLY PER CLIENT

REVISIONS
No. 1
Date 5/23/01
3/14/02

Designed ACF
Drawn A/C
Checked ACF
Approved DH
Scale 1"=20'
Project No. 008159
Date 05/15/00
CAD File MLD15902.DWG

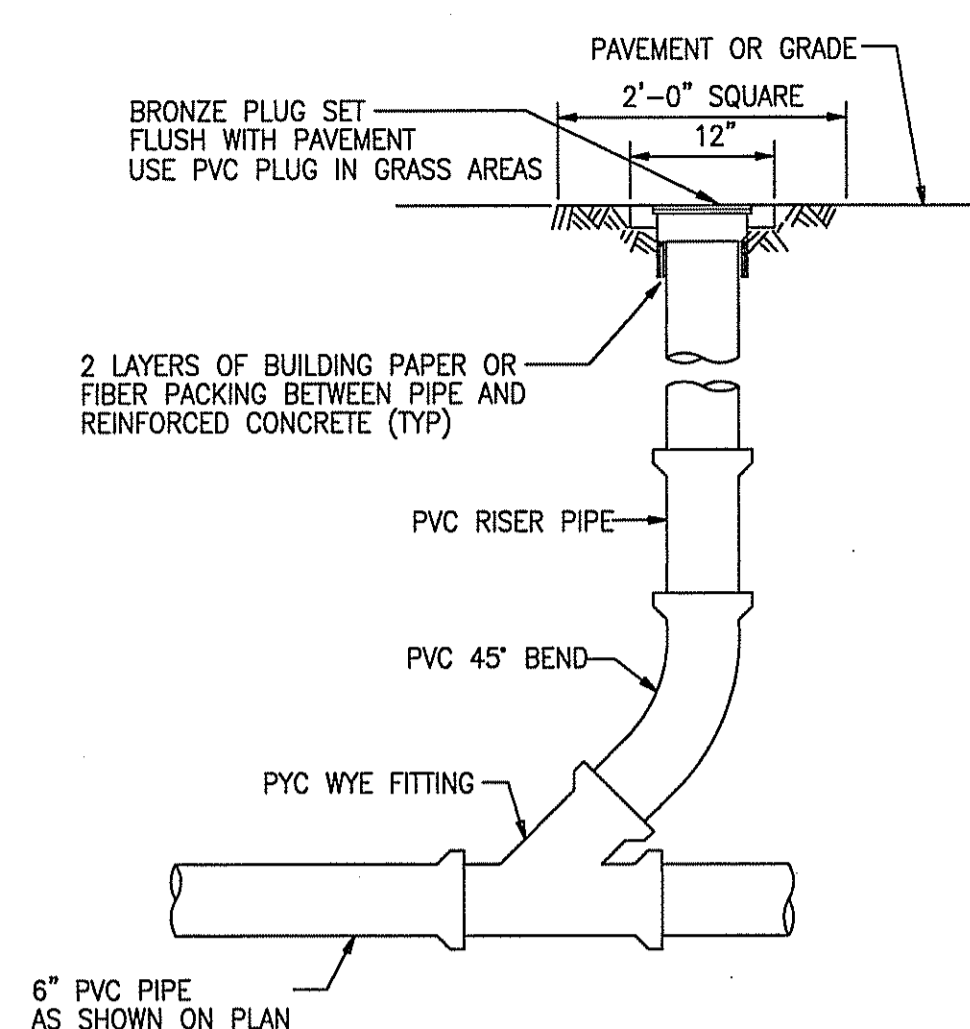
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LD-1

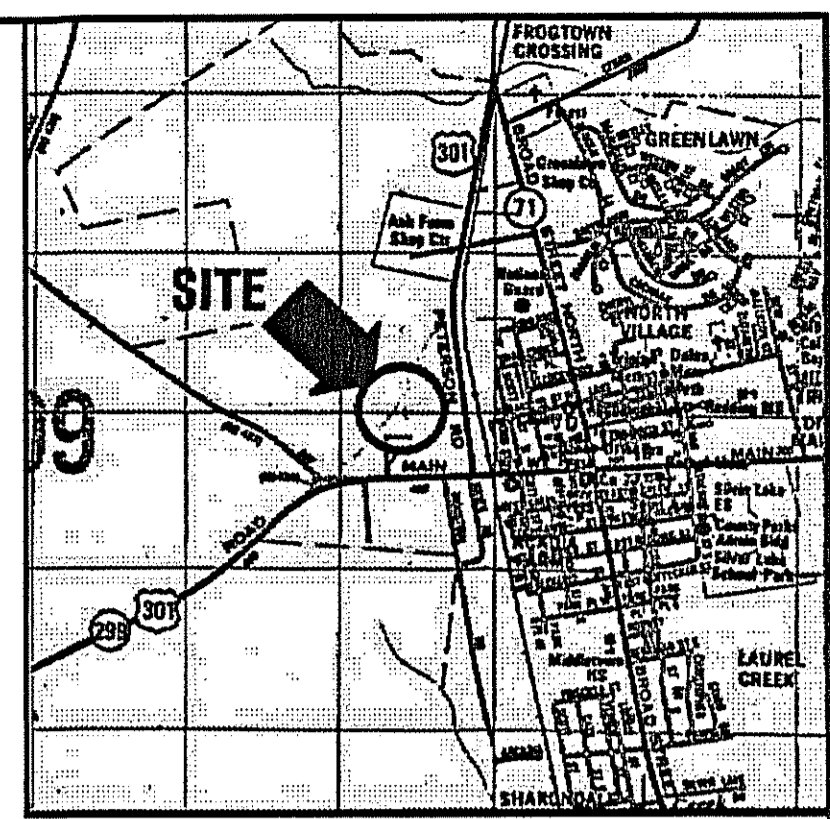


U.S. ROUTE 301
(Public Street) (Var. R.O.W.)

| LEGEND | |
|--------------------------|-------|
| Proposed Sewer | — S — |
| Proposed Water | — W — |
| Proposed Edge of Paving | — |
| Proposed Curb and Gutter | — |
| Proposed Fire Hydrant | ⊗ |
| Proposed Concrete | ▨ |
| Proposed Contour | — |
| Proposed Spot Elevation | +67.5 |
| Proposed Drainage Arrows | → |



CLEANOUT DETAIL
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

GRADING NOTES:

- Contractor is responsible for verification of existing topography and utility invert elevations prior to commencement of any construction. Contractor to ensure 0.75 % min. slope against all gutters to prevent puddling. Any discrepancies shall be provided to the engineer in writing immediately.
- Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. Sanitary sewer and all other utility services connection points shall be confirmed independently by the Contractor in field prior to the commencement of construction. All discrepancies shall be reported immediately in writing to the Engineer. Construction shall commence beginning at the lowest points. Crossings with existing underground installations shall be field verified by test pit prior to commencement of construction.
- The suitability of excavating material for use as backfill shall be determined by the Town Engineer.
- Subbase material for sidewalks, curb, asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- All work shall be performed in accordance with these plans and specifications and the requirements and standards of the Town of Middletown.
- Site grading shall be performed in accordance with these plans and specifications. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. test D-1557. Moisture content at time of placement shall not be exceed 2% above nor 3% below optimum. Contractor shall submit a compaction report prepared by a qualified, licensed Soils Engineer, certifying that the subbase within the areas to be paved has been compacted in accordance with these plans & specs.
- Water service materials shall be Copper type "K". Diameter shall be as noted on plans and shall be installed with 42" minimum cover or below frostline whichever is greater. Contractor's price for water service shall include all fees and appurtenances required by the utility to provide a complete working service. Middletown's frostline is 32". A minimum 18" vertical separation shall be provided between water lines and other utilities or the water line shall be concrete encased to 10' on either side of the utility which is transgressed. Water lines shall conform to design as per the states standard of Middletown Construction Inspection Manual.
- Final field conditions may not match Design Plans, General Contractor to verify. If the grades do not match, General Contractor should notify the Engineer immediately to modify grades as necessary.
- Contractor should refer to a Geotechnical Investigation by Whitstone Environmental Compliance Management, Inc. of Watchung, NJ, dated August 21, 1996. Construction debris were encountered in test borings and contractor should further investigate these areas to determine the full extent of debris to be removed. Note 10 is based upon Whitstone's report.
- Any imported material placed as structural backfill should consist of clean, relatively well graded sand or gravel with a maximum particle size of 3" and 5%-15% of material finer than a number 200 sieve. The material should be free of clay lumps, organics, and deleterious materials. All fill and backfill should be placed in a maximum 9" loose lifts and compacted to 95% of the maximum dry density within 3% of the optimum moisture content as determined by ASTM D-1557 (Modified Proctor).
- Electric service shall be provided to the site by the Town of Middletown. The location of this service extension is yet to be determined.
- Gas service shall be provided by Chesapeake Utilities and/or the developer.
- All site improvements including landscaping, permanent site stabilization and permanent stormwater management facilities shall be in place and approved prior to issuance of certification of occupancy.
- Elevations are based upon NAVD 1988 Datum, reference NGS Benchmark Z-37 Reset.
- Proposed sanitary sewer lateral shall maintain 42" cover. Design shall conform to 10 States Standards for Sewage Works & Middletown Construction Inspection manual.
- If the approved plan needs to be modified, additional Sediment & Stormwater control measures may be required as determined necessary by the Town of Middletown.
- Average sewage flows anticipated for a KFC Restaurant are approximately 1100 G.P.D. Average peak sewage flow is 1260 G.P.D. Average water use is 1800 G.P.D.
- The Contractor must comply with all standards as set forth in the Town of Middletown Manual of Construction Specifications & Details for Roads & Utilities.
- The depth of bury of the hydrant shall be adjusted so that there is an 18" clearance between the center of the steamer nozzle and finished grade.
- The fire hydrant shall be Waterous.
- Magnetic indicator tape must be installed over sewer & water laterals 12" below grade.

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LAND SURVEYING
ENVIRONMENTAL SCIENCES
ANALYTICAL SERVICES

849 International Drive, Suite 215
Linthicum, MD 21090
(410) 659-9100
(410) 659-9556 Fax

LINES AND GRADES PLAN

KFC - US ROUTE NO. 301

ST. GEORGES HUNDRED - NEW CASTLE COUNTY

MIDDLETOWN, DELAWARE

| REVISIONS | | No. | Date | PER MAYOR AND COUNCIL COMMENTS | KFC ONLY PER CLIENT |
|-----------|------|-----|---------|--------------------------------|---------------------|
| Desc. | Rev. | | | | |
| | | 1 | 5/30/01 | | |
| | | 2 | 3/14/02 | | |

Designed: EEL

Drawn: EEL

Checked: ACF

Approved: ACF

Scale: 1"=20'

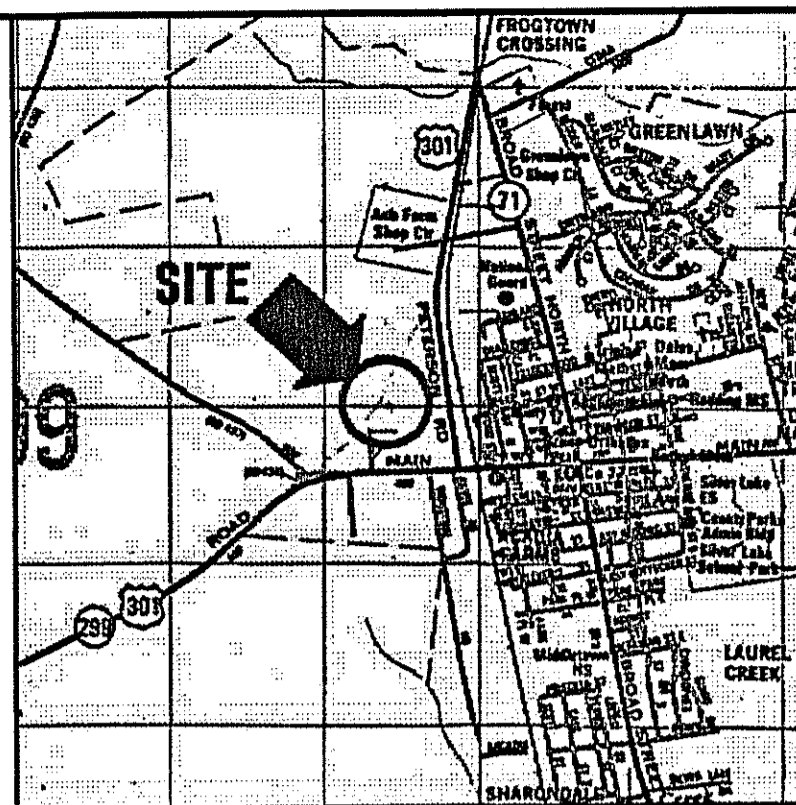
Project No: D08159

Date: 6/19/00

CAD File: LGB15901.dwg

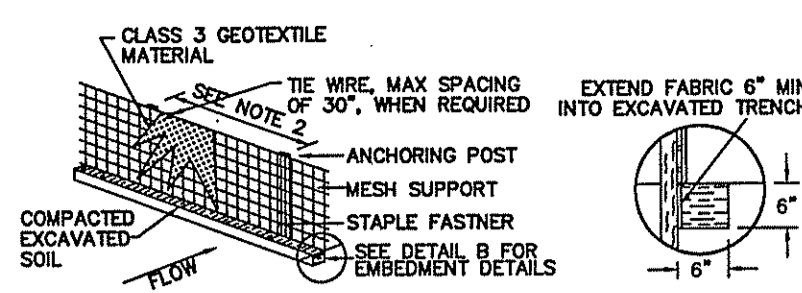
Sheet No.

3



VICINITY MAP

NOT TO SCALE



SILT FENCE

NOT TO SCALE

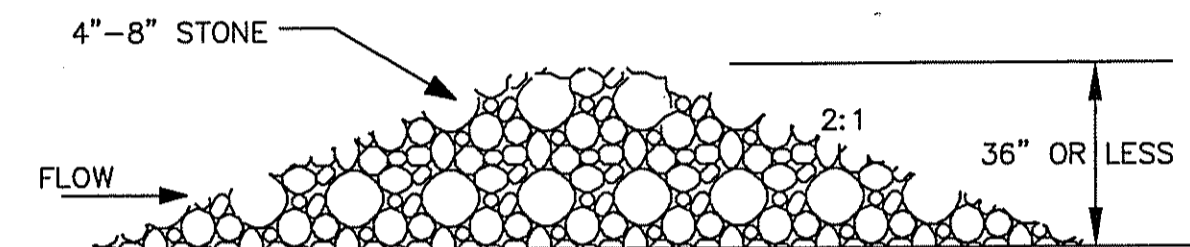
CONSTRUCTION SPECIFICATIONS

FENCE POSTS SHALL BE A MINIMUM OF 36" LONG, DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1-1/2" X 1-1/2" SQUARE (MINIMUM) CUT, OR 1-3/4" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POSTS WILL BE STANDARD T OR U SECTION WEIGHING NOT LESS THAN 1.00 POUND PER LF. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT 4" MAX. MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILES CLASS F:

| | | |
|------------------|--------------------------------------|----------------|
| TENSILE STRENGTH | 50 LBS./IN. (MIN) | TEST: MSMT 509 |
| TENSILE MODULUS | 20 LBS./IN. (MIN) | TEST: MSMT 509 |
| FLOW RATE | 0.3 GAL. FT ² /MIN. (MAX) | TEST: MSMT 322 |
| FILTERING EFF. | 75 % (MIN) | TEST: MSMT 322 |

WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVER LAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED 50% OF THE FABRIC HEIGHT.

STANDARD SYMBOL = —SF—



ROCK CHECK DAM DETAIL

N.T.S.

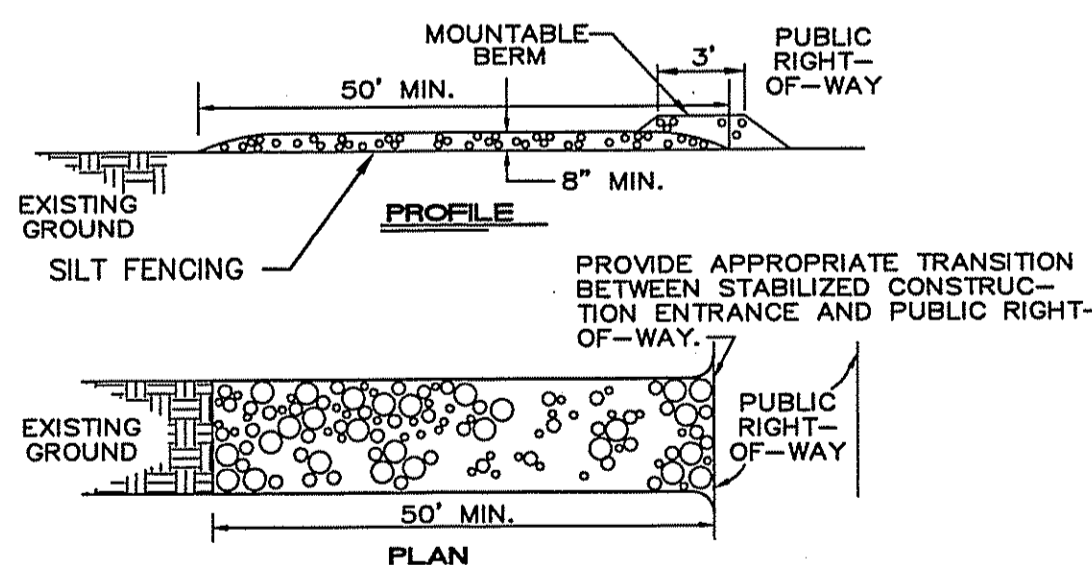
CONSTRUCTION SPECIFICATIONS

- SWALES AND DITCHES SHALL BE PREPARED IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS DESCRIBED IN THE STANDARDS AND SPECIFICATIONS FOR EARTH DIKE, TEMPORARY SWALE, PERIMETER DIKE/SWALE, OR DIVERSIONS.
- THE CHECK DAM SHALL BE CONSTRUCTED OF 4" TO 8" RIPRAP.
- THE TOP OF THE CHECK DAM SHALL BE CONSTRUCTED SO THAT THE CENTER IS APPROXIMATELY 6" LOWER THAN THE OUTER EDGES, FORMING A WEIR THAT THE WATER CAN FLOW ACROSS.
- THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER OF THE WEIR MUST NOT EXCEED THREE (3) FEET.
- REFERENCE IS HEREBY MADE TO THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPMENT.

SEDIMENT REMOVAL:
WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE CHECK DAMS. SEDIMENT SHOULD BE REMOVED FROM BEHIND THE CHECK DAMS WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE DAM.

MAINTENANCE:
CHECK DAMS SHOULD BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL HEIGHT OR BEFORE.

REMOVAL:
IN TEMPORARY SWALES AND CHANNELS, CHECK DAMS SHOULD BE REMOVED AND DITCH FILLED IN WHEN IT IS NO LONGER NEEDED. IN PERMANENT STRUCTURES, CHECK DAMS MAY BE REMOVED WHEN A PERMANENT LINING CAN BE INSTALLED. IN THE CASE OF GRASS-LINED DITCHES, CHECK DAMS MAY BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE SWALE OR CHANNEL. THE AREA BENEATH THE CHECK DAMS SHOULD BE SEED AND MULCHED IMMEDIATELY AFTER THEY ARE REMOVED.



STANDARD SYMBOL = SCE

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - CRUSHED AGGREGATE (2"-3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET
 - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE.
- MAINTENANCE -** THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY ACCUMULATED SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

GENERAL NOTES

- ALL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS.
- ALL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER WITH PERIODIC INSPECTIONS AND REPAIR IF NECESSARY DURING CONSTRUCTION. ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AFTER EACH RAINFALL AND REPAIRED IF NECESSARY. SEDIMENT TO BE REMOVED TO A SUITABLE DISPOSAL AREA AND STABILIZED WITH PERMANENT VEGETATIVE COVER.
- ALL DISTURBED AREAS SHALL BE STABILIZED BY GRASS, GRAVEL, PAVEMENT, CROWN VETCH, OR OTHER APPROVED MEANS AS SOON AS POSSIBLE UPON COMPLETION OF EXCAVATION.
- TOWN OF MIDDLETOWN RESERVES THE RIGHT TO ADD TO, DELETE, OR MODIFY ANY OR ALL SEDIMENT CONTROL MEASURES AS SHOWN HEREON AS NEEDED TO ESTABLISH PROPER SOIL STABILIZATION AND EROSION AND SEDIMENT CONTROL ANYTIME THROUGHOUT THE LIFE OF THE PROJECT.
- REFERENCE IS HEREBY MADE TO THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPMENT.
- ALL EROSION /SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK FOR DEVELOPMENT AS APPROVED BY THE TOWN OF MIDDLETOWN.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 DAYS OF DISTURBANCE.
- APPROVAL FROM SEDIMENT CONTROL INSPECTOR IS NEEDED TO REMOVE SEDIMENT CONTROL STRUCTURES.
- THE STATE SEDIMENT CONTROL INSPECTOR SHALL HAVE THE RIGHT TO ADD, DELETE, OR MODIFY CERTAIN SEDIMENT CONTROL PRACTICES OR REQUIRE THE OWNER TO SUBMIT A REVISED PLAN TO THE TOWN OF MIDDLETOWN.
- ALL SOIL STOCKPILES SHALL BE TEMPORARILY SEED AND SILT FENCE PLACE AROUND THE BASE. THE STOCKPILES SHALL BE PLACED WITHIN THE LIMITS OF DISTURBED AREAS.
- ANY TEMPORARY STRUCTURES SHALL BE REMOVED WHEN THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.

SEQUENCE OF CONSTRUCTION

- A REQUIRED PRE-CONSTRUCTION MEETING SHALL BE HELD.
- OBTAIN ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF MIDDLETOWN SEDIMENT CONTROL INSPECTOR AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- PLACE SILT BARRIER FENCING AT ALL LOCATIONS SHOWN ON THE PLAN AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AND PROPOSED ROCK CHECK DAMS.
- EXCAVATE AND STOCKPILE TOPSOIL WHERE SHOWN ON THE PLAN. PLACE SILT FENCE ON DOWN SLOPE SIDE OF PILE.
- INSTALL ALL SITE UTILITIES (WATER, SEWER, ELECTRIC, ETC.) AS SHOWN ON THE LINES AND GRADES PLAN.
- CONSTRUCT NEW BUILDING.
- CONSTRUCT CURBING, ACCESS DRIVES AND PARKING AREAS WITH COARSE AGGREGATE SUBBASE.
- CONSTRUCT ALL OTHER MISCELLANEOUS SITE ITEMS.
- PAVE ALL ACCESS DRIVES AND PARKING AREAS.
- PERFORM ALL SITE FINAL GRADING AS INDICATED ON THE GRADING PLAN. PERFORM PERMANENT SEEDING AND LANDSCAPING. APPLY TEMPORARY SEEDING TO AREAS WHERE PERMANENT VEGETATIVE COVER CANNOT IMMEDIATELY BE ESTABLISHED.
- WHEN ALL AREAS HAVE BEEN PERMANENTLY STABILIZED, CONTACT THE SEDIMENT CONTROL INSPECTOR PRIOR TO THE PLANNED REMOVAL OF ANY SEDIMENTATION CONTROL MEASURES.

SEEDING NOTES

NOTE

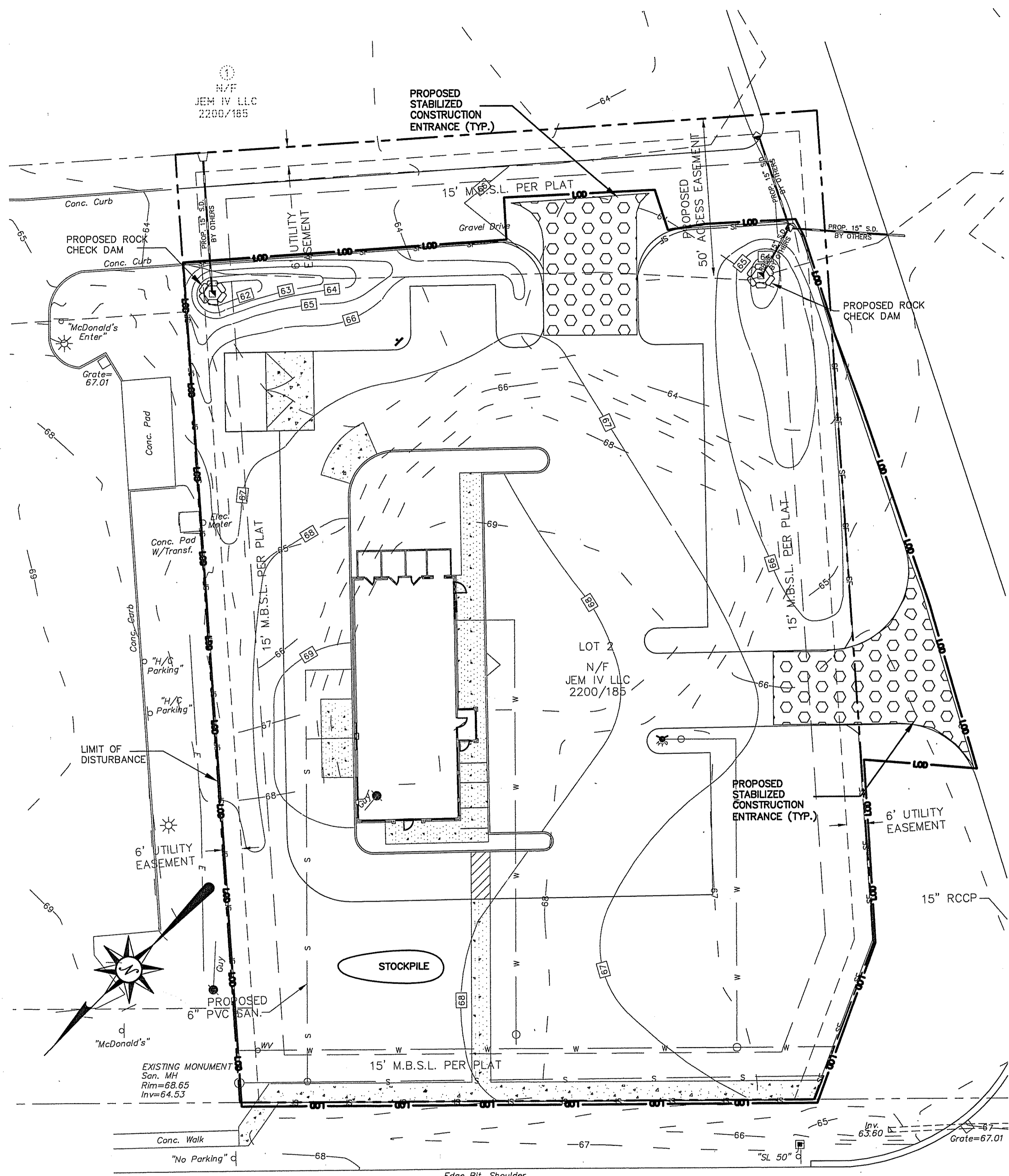
PERMANENT SEEDING MIXTURE
SEED: KY 31 FESCUE 60 LBS. PER ACRE
FERTILIZER: 10-10-10 1,000 LBS. PER ACRE
MULCH: 1.5 TONS STRAW PER ACRE
ASPHALT: SS-1 OR EQUIVALENT 150 GAL. PER ACRE (20 LBS./ACRE CROWN VETCH WILL BE ADDED TO ABOVE SEEDING MIXTURE TO STABILIZE CRITICAL AREAS)
LIME: TWO TONS DOLOMITIC LIMESTONE PER ACRE

TEMPORARY SEEDING MIXTURE
SEED: BALBOA RYE 150 LBS. PER ACRE
MULCH: 1.5 TONS STRAW PER ACRE
ASPHALT: SS-1 OR EQUIVALENT 150 GAL. PER ACRE

SEED DATES
MARCH 15 - MAY 15
AUGUST 15 - OCTOBER 15
ALL AREAS SHALL BE PERMANENTLY SEED AND MULCHED WITHIN ONE (1) WEEK OF WEEK OF REACHING FINAL GRADE. IF IN SEEDING SEASON, OTHERWISE TEMPORARY SEEDING REQUIREMENTS SHALL BE MET. ALL AREAS SEED WITH A TEMPORARY MIXTURE WILL RECEIVE A PERMANENT SEED MIXTURE DURING THE FIRST GROWING SEASON FOLLOWING THE FINISHED GRADING. AREAS WITH PERMANENT SLOPES OF 2:1 OR GREATER SHALL BE STABILIZED USING CROWN VETCH, AS PER THE REQUIREMENTS OF STANDARD AND SPECIFICATIONS FOR CRITICAL AREAS STABILIZATION (WITH GROUND COVERS, VINES, VINES, SHRUBS, AND TREES).

SOIL TYPES

NB - NESHAMINY-TALLEYVILLE-URBAN LAND COMPLEX, 0 TO 8 PERCENT, MEDIUM DENSE CLAY



U.S. ROUTE 301

(Public Street) (Var. R.O.W.)

LEGEND

- SF— SILT FENCE
- LOD— LIMIT OF DISTURBANCE
- 68— PROPOSED GRADE
- 67— EXISTING GRADE
- W— PROPOSED 1 1/4' WATER
- S— PROPOSED 6" SANITARY

OWNER'S CERTIFICATION

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN.

OWNER _____ DATE _____

SEDIMENT/EROSION CONTROL PLAN

KFC - US ROUTE NO. 301
ST. GEORGES HUNDRED - NEW CASTLE COUNTY
MIDDLETOWN, DELAWARE

Dec. 5/20/01
Comments: KFC ONLY PER CLIENT

Revisions: 1

Date: 5/20/01

3/14/02

No. 1

2

Designed: EEL

Drawn: EEL

Checked: ACF

Approved: ACF

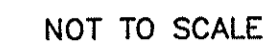
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Project No. 008159

Date: 6/19/00

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THE LANDSCAPE PLAN IS FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE LAYOUT PLAN, LIGHTING PLAN, GRADING PLAN AND UTILITIES PLAN FOR ALL INFORMATION.

2. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS, TREES, AND SHRUBS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF INSTALLATION. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE RESPONSIBILITIES SUCH AS CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING JOINTS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VITALITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE ONE-YEAR GUARANTEE PERIOD.

3. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCORDING TO THE SUPPLY NURSERY TO THE LOCAL AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.

4. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. PRIOR TO PLANTING THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS. THE OWNER OR LANDSCAPE ARCHITECT SHALL APPROVE THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL.

5. ALL SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3" ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". SHRUBS SHALL BE MULCH SHOWN SHALL BE SPREAD MATERIAL SHALL BE ACCORDING TO THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL AND PERENNIAL FLOWER BEDS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. GROUND COVER AREAS SHALL NOT HAVE FABRIC.

6. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE CONTRACTOR. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING OF THE INDIVIDUAL PLANTS SHALL BE COMPLETED THE SAME DAY IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAILS IN THE LANDSCAPE DETAIL SHEET FOR PLANTING DETAILS.

7. COORDINATE PLANT MATERIAL WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND UTILITY FOR STORM, SANITARY AND WATER LINES. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONFLICTS WITH UNDERGROUND AND SHALL REPAIR OR REPLACE ANY DAMAGE AT CONTRACTOR'S EXPENSE.

8. LANDSCAPE PLANTING PITS MUST BE FREE DRAINAGE, PAVING, COMPACTED SUBGRADE, AND BLENDED ROCK SHALL BE REMOVED FROM WITHIN LANDS TO BE LANDSCAPED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITHIN LANDS WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN LANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.

9. PLANTING SOIL MIXTURE:
2 PARTS PEAT MOSS
5 PARTS TOPSOIL
HYDROCORR EQUIVALENT - "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR
APPROVED EQUIVALENT - PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS.
FERTILIZER/LIME APPLICATION AS RECOMMENDED BY SOIL ANALYSIS

10. TREES, AND SHRUBS:
TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TREES AND SHRUBS SCHEDULE OF THE PROJECT. THEY SHALL BE TYPE OF THEIR SPECIES OR VARIETY, WITH NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSEST PESTS, EGGS OR OTHER DAMAGE. TREES SHALL HAVE WELL DEVELOPED ROOT SYSTEMS. ALL TREES SHALL HAVE STRAIGHT SINGLE TRUNKS WITH THEIR MAIN BRANCHES INTACT UNLESS OTHERWISE STATED. THE OWNER OR LANDSCAPE ARCHITECT SHALL ONLY PERMIT SUBSTITUTIONS UPON WRITTEN APPROVAL. THEIR SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED ON THE DRAWINGS SHALL BE USED IN ALL AREAS INDICATED AS LAWN AND ANY DISTURBED AREAS NOT OTHERWISE DEVELOPED.

11. ANNUALS, PERENNIALS, AND SHRUBS:
ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF PLANTING. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULED VISIT TO THE NURSERY SOURCE AND APPROVE THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE IS REQUIRED FOR ALL PLANT MATERIALS.

12. SAMPLING AND TESTING SHALL BE DONE IN ACCORDANCE WITH THE STATE SEED LAW AND WITH THE RULES AND REGULATIONS FOR TESTING SEEDS ADOPTED BY THE ASSOCIATION OF OFFICIAL SEED ANALYSTS. SEEDING SHALL BE DONE AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15, UNLESS OTHERWISE APPROVED BY THE OWNER.

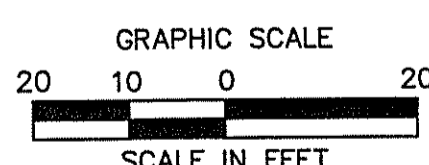
A. LAWN SEEDING MIXTURE, 4.50 LBS./1,000 S.F.
10% KENTUCKY BLUE GRASS (BLEND OF 3 IMPROVED HYBRID VARIETIES)
20% PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRID VARIETIES)
20% FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRID VARIETIES)
50% ARE USED IN ALL AREAS INDICATED AS LAWN AND ANY DISTURBED AREAS NOT OTHERWISE DEVELOPED.

B. LAWN MAINTENANCE SEEDING MIXTURE: 4.50 LBS./1,000 S.F.
10% REDTOP
40% RED FESCUES (CREEPING OR CHEWINGS)
10% BLUEGRASS (TWOGRASS)
10% RED CANARY GRASS
10% FINE LEAF OR CREEPING FESCUE
20% PERENNIAL RYEGRASS
15% KENTUCKY BLUEGRASS

13. ALL SLOPES GREATER THAN 3:1 RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.

14. TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4". CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION SERVICE TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.

15. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEED WITH THE LAWN SEEDING MIXTURE.



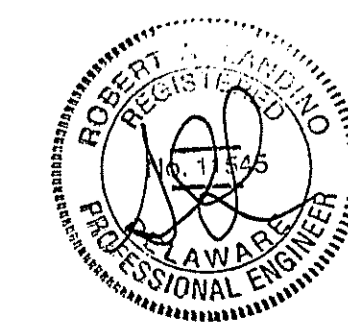
MANUFACTURER: LIGHTOLIER
9108 Guilford RD. Suite C
Columbia, Maryland 21046
Ph: (301) 470-2717
Fax: (301) 470-2728

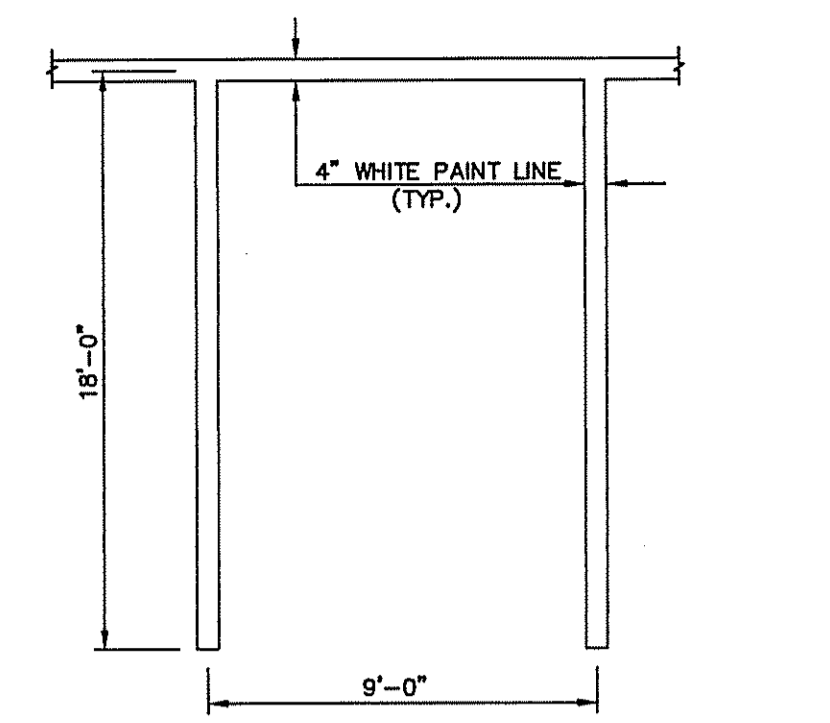
| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE | COMMENTS |
|------------------------|----------|--|----------------------------|----------|-------------|--------------------------|
| MAJOR TREES | | | | | | |
| AR | 6 | Acer Rubrum 'Red Sunset' | Red Sunset Red Maple | B&B | 2-2.5" CAL. | min. 6' branch height |
| QP | 1 | Quercus palustris | Pin Oak | B&B | 2-2.5" CAL. | min. 6' branch height |
| MINOR TREES | | | | | | |
| CC | 2 | Cercis canadensis | Red Bud | B&B | 1.75" CAL. | heavy |
| EVERGREEN TREES | | | | | | |
| PS | 5 | Pinus strobus | Eastern White Pine | B&B | 6' ht. | dense |
| SHRUBS | | | | | | |
| EA | 18 | Euonymus alatus 'compacta' | Burning Bush Euonymus | B&B | 24-30" | 4' o/c |
| JC | 17 | Juniperus chinensis Sargentii 'Viridis' | Sargent Juniper | #3 cont. | 18-24" | 4' o/c |
| SP | 6 | Spiraea x bumalda | Anthony Waterer Spiraea | cont. | 18-24" | 4' o/c |
| TX | 9 | Taxus x media 'Lawson' | Everlow Yew | B&B | 18-24" | 4' o/c |

A Wide-Lite #XLM-400-3-S (24' Mounting, 400W MH)
Pole Lyte Poles #101-4011-24

Average FC = 5.5
Minimum FC = 2.0
Maximum FC = 14.9

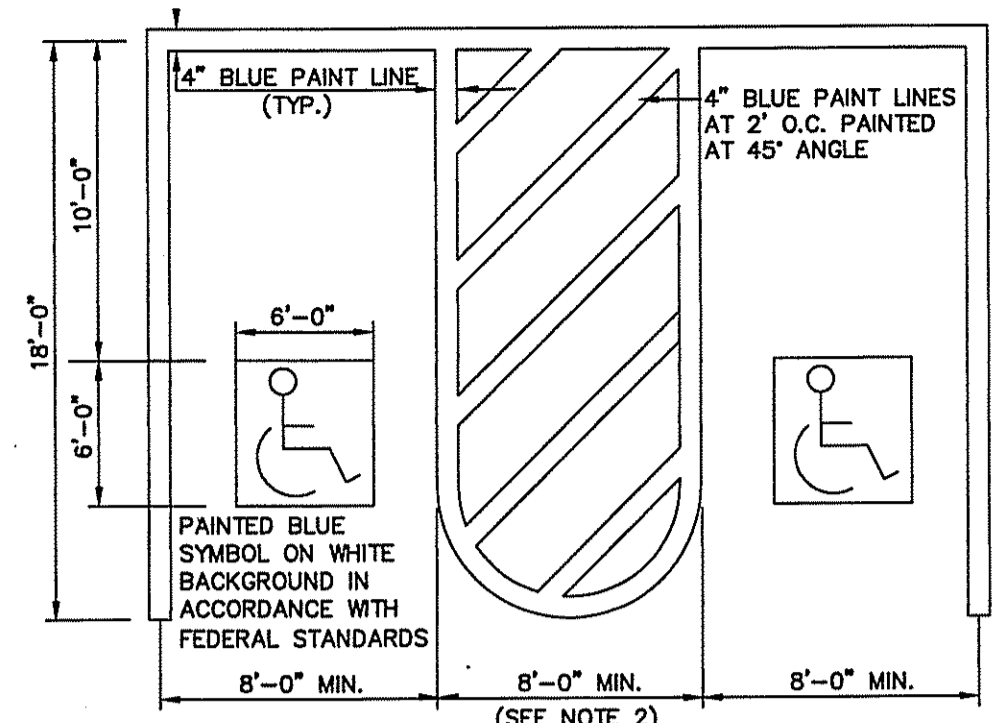
400w Metal Halide=36,000 Lumens





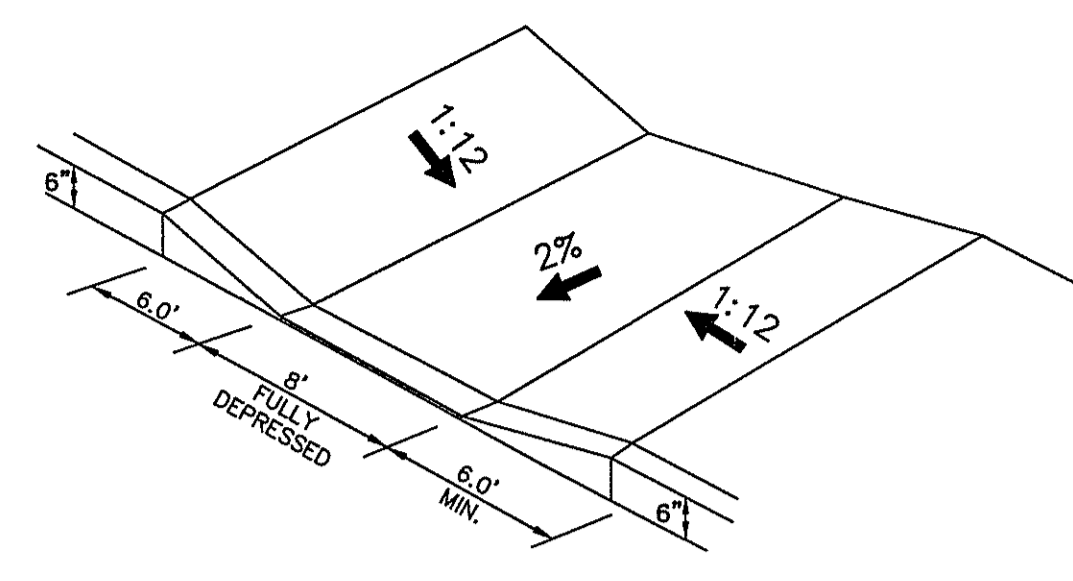
NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



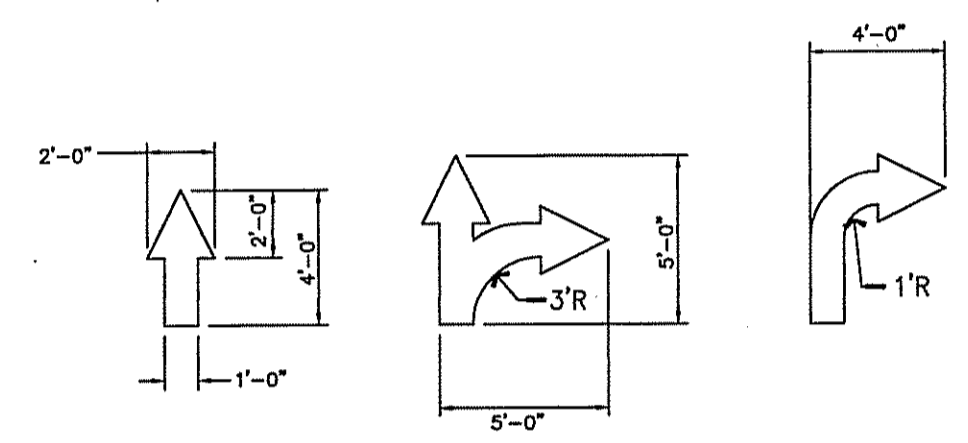
NOTE:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
2. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

TYPICAL ACCESSIBLE PARKING SPACE DETAIL
NOT TO SCALE

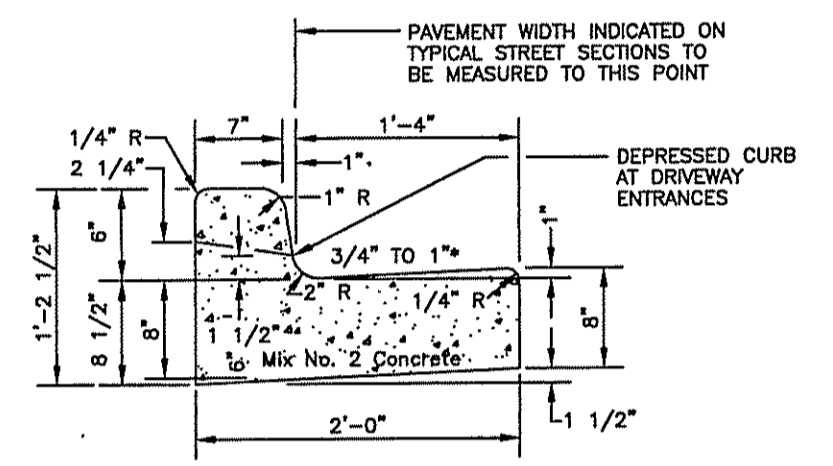


ISOMETRIC
NOTES:
1. ALL TRANSITIONS ARE TO BE TROWELED SMOOTH - NO SHARP EDGES
2. SEE SITE LAYOUT PLAN FOR RAMP LOCATIONS.
3. RAMP CONSTRUCTION PER GENERAL CONTRACTOR.
4. SEE GENERAL NOTE #

HANDICAP RAMP DETAIL ALONG BUILDING
NOT TO SCALE

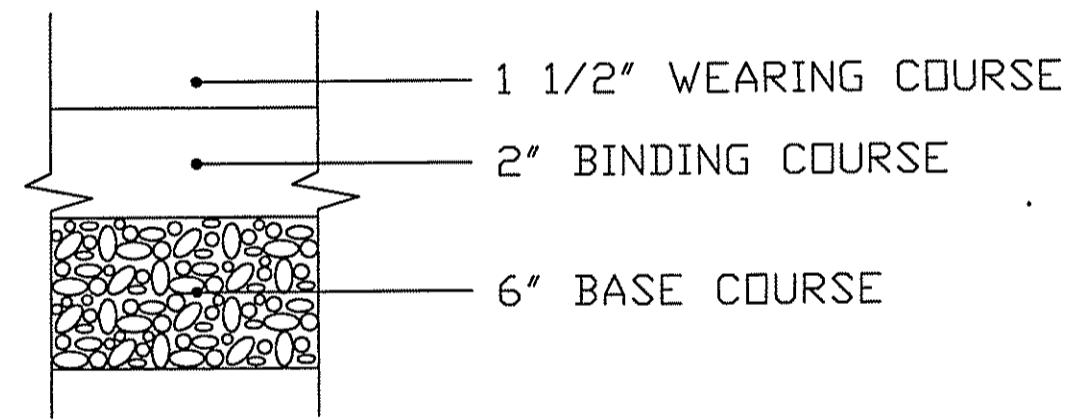


PAINTED TRAFFIC ARROWS
NOT TO SCALE

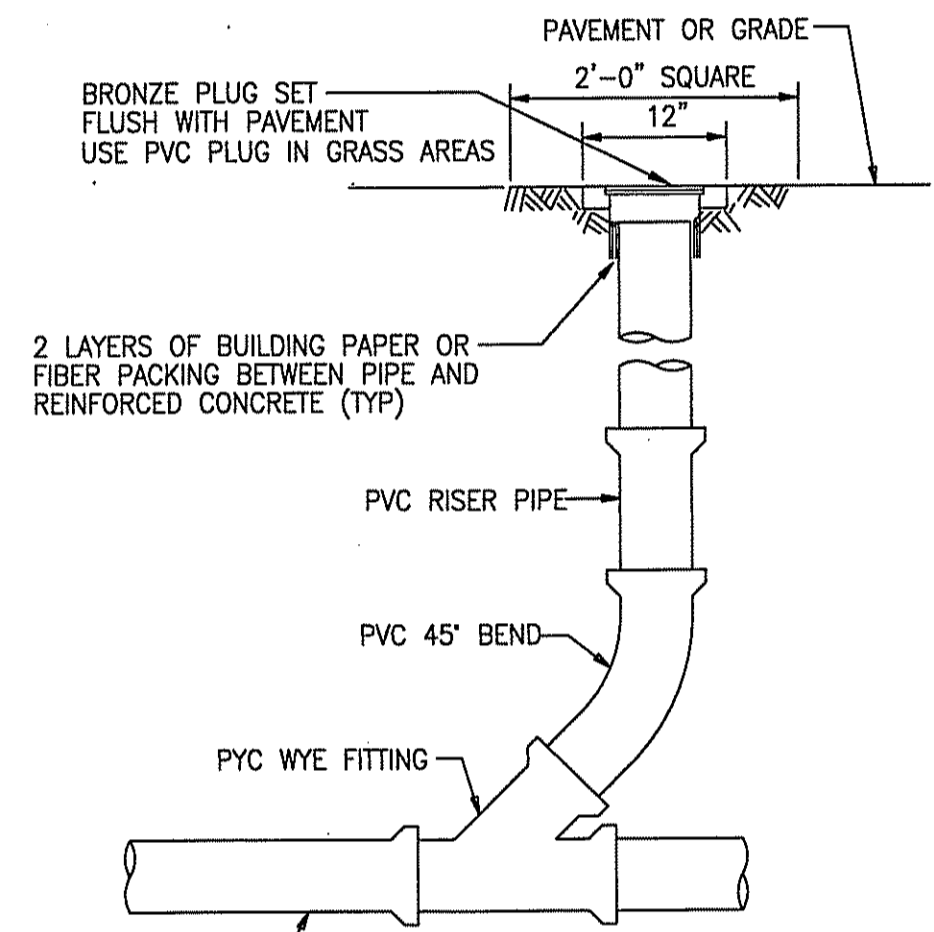


* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

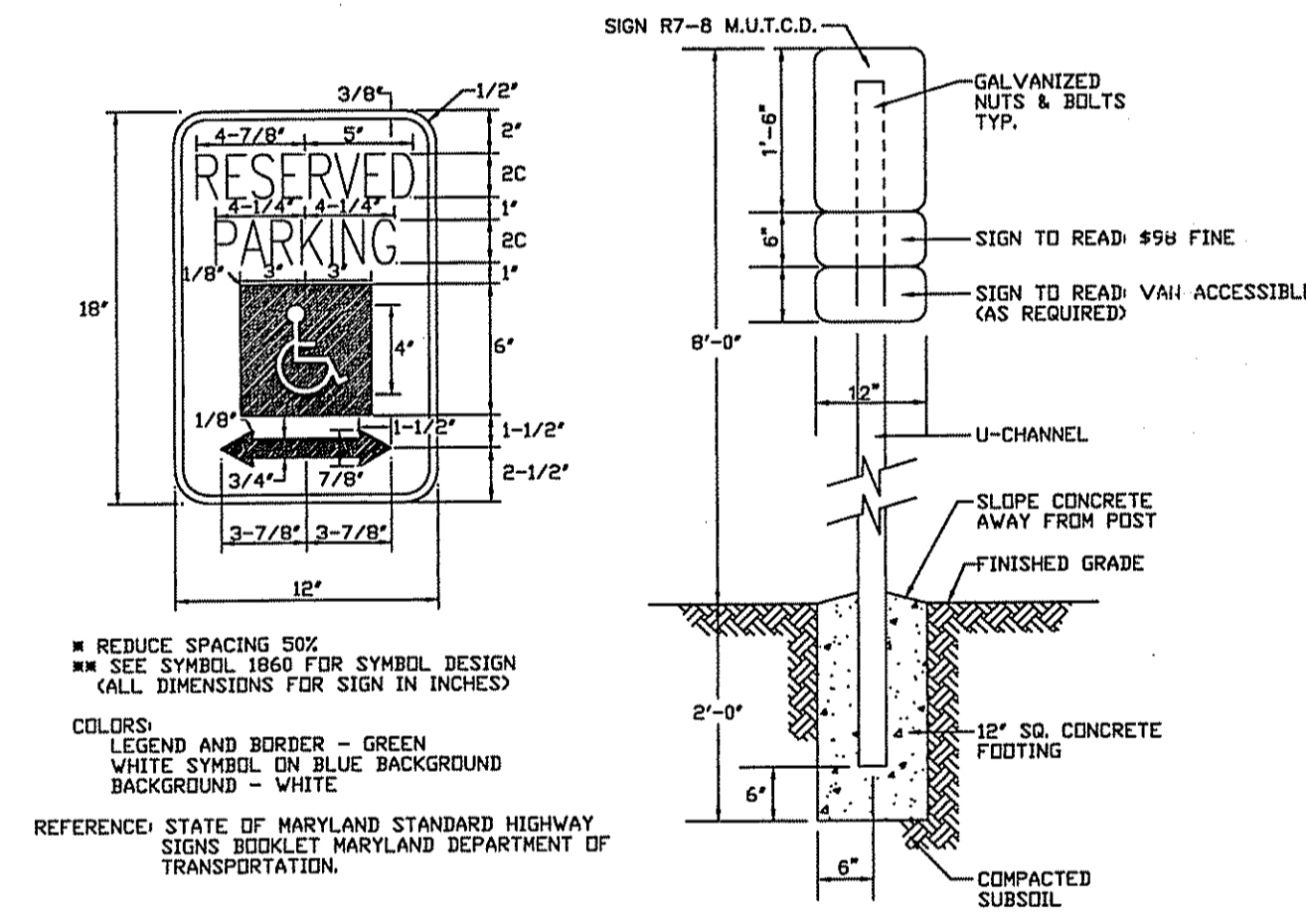
STANDARD COMBINATION CURB AND GUTTER
NOT TO SCALE



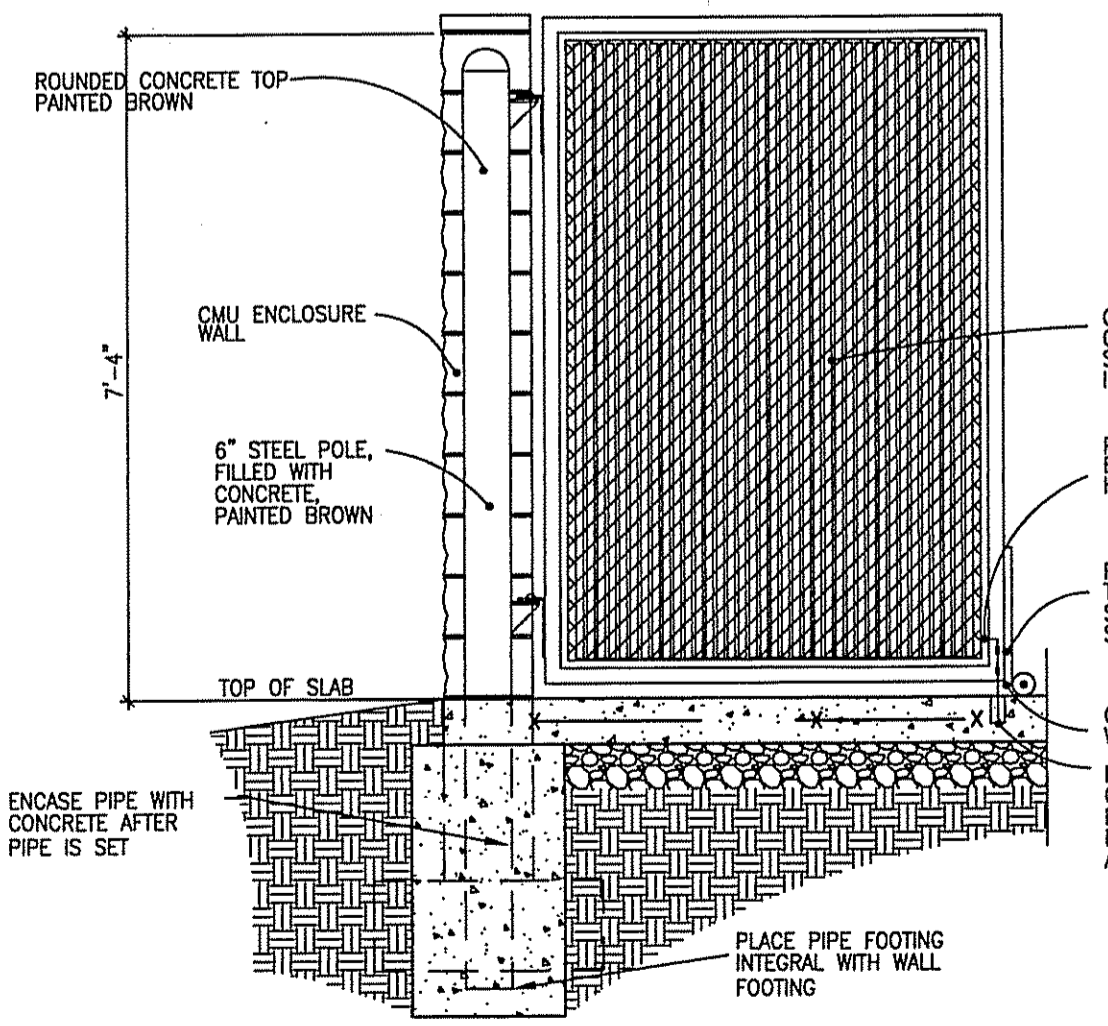
PAVEMENT SECTION
NOT TO SCALE



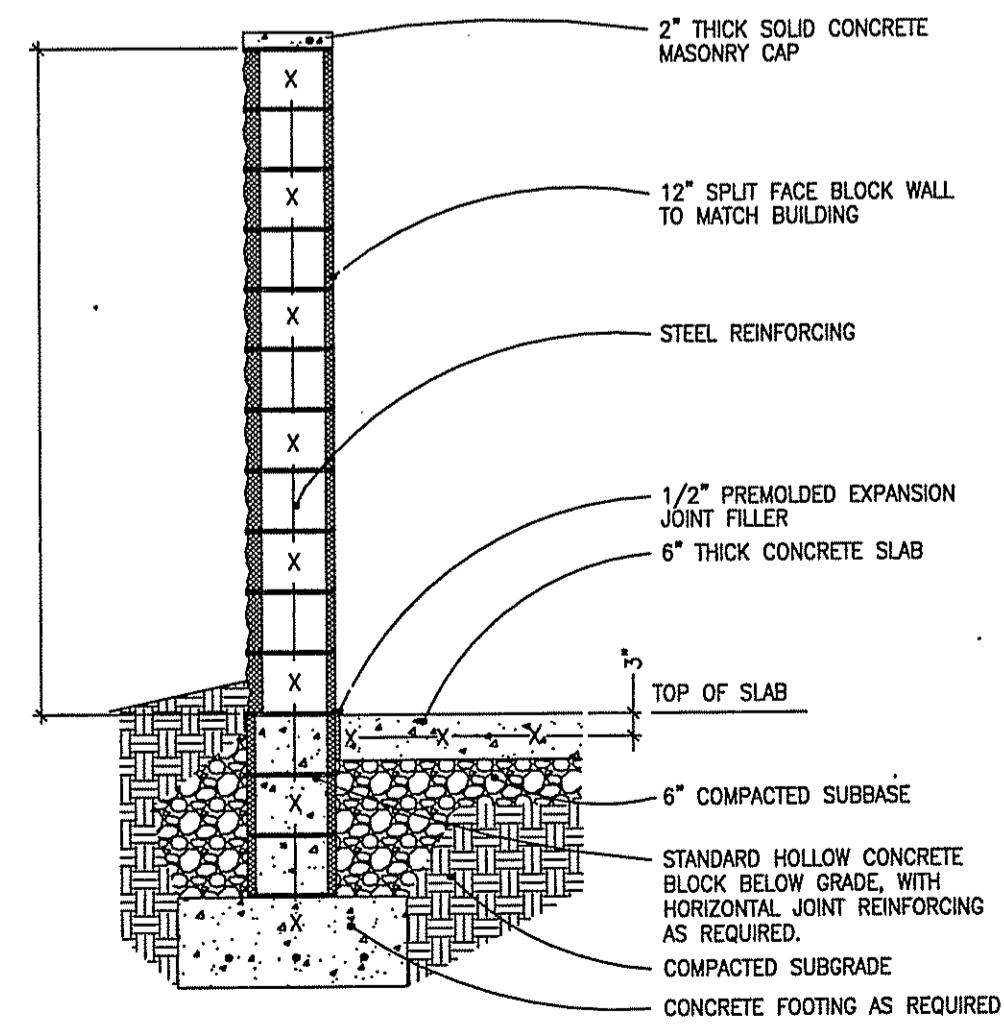
CLEANOUT DETAIL
NOT TO SCALE



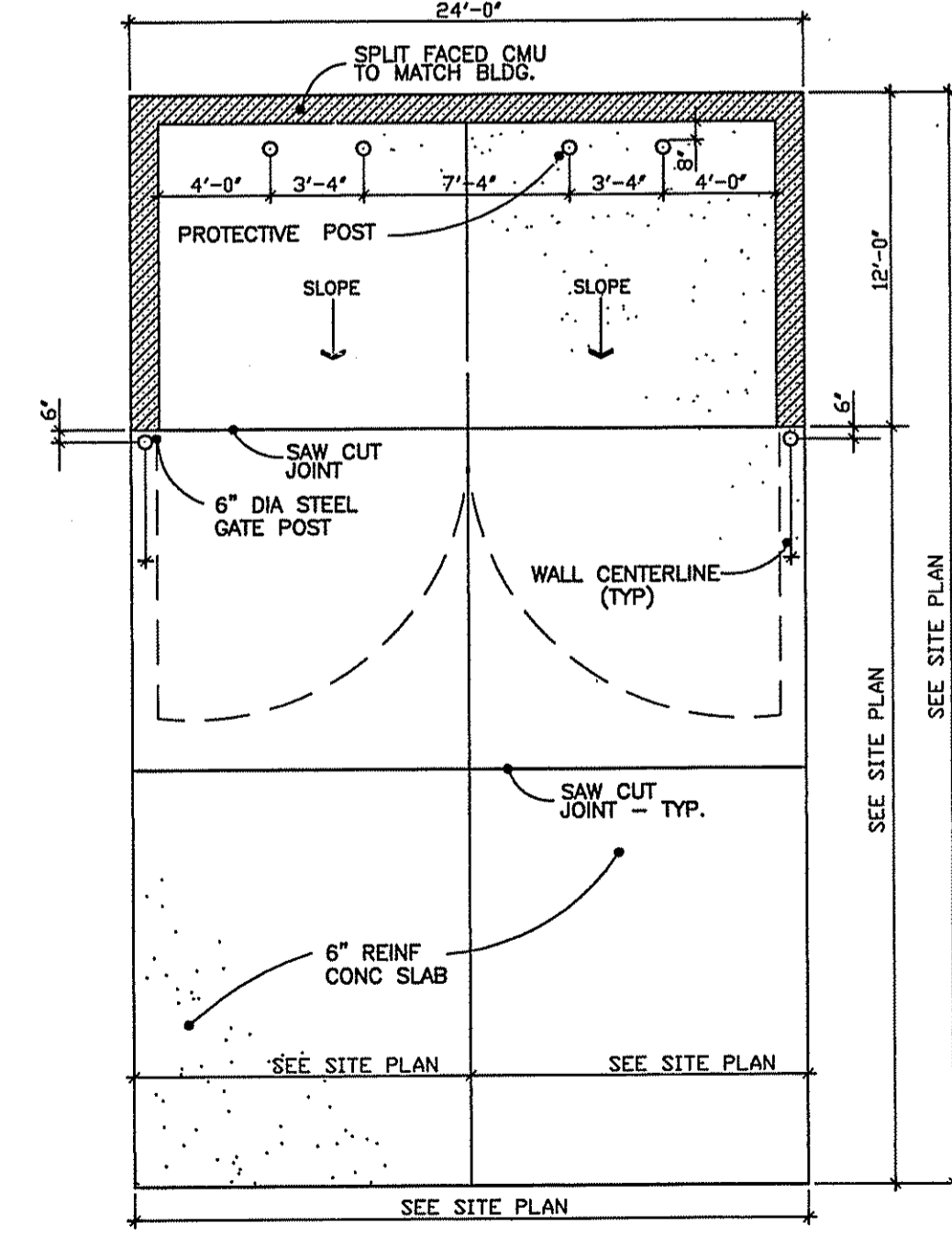
HANDICAP SIGN
NOT TO SCALE



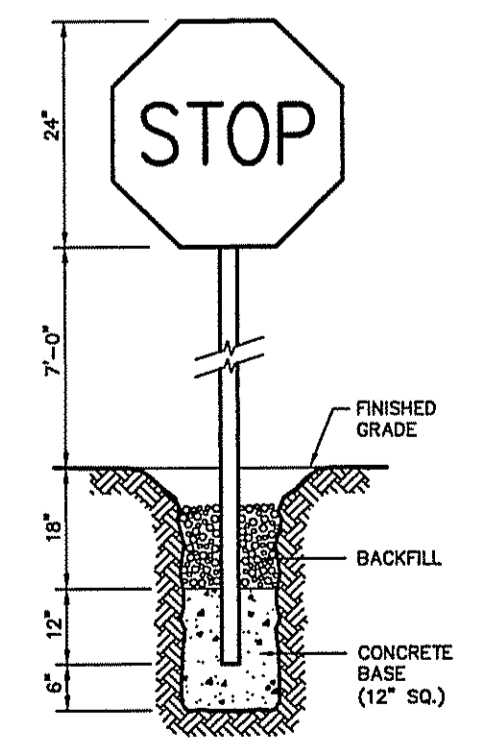
TRASH ENCLOSURE GATE
NOT TO SCALE



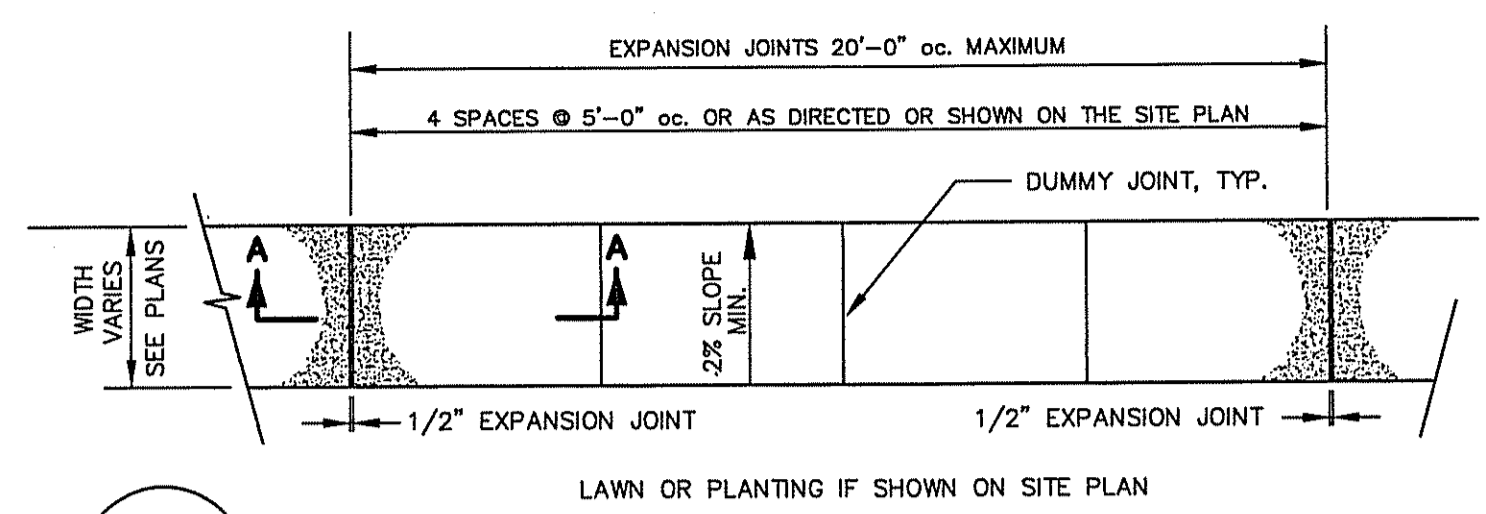
TRASH ENCLOSURE SECTION
NOT TO SCALE



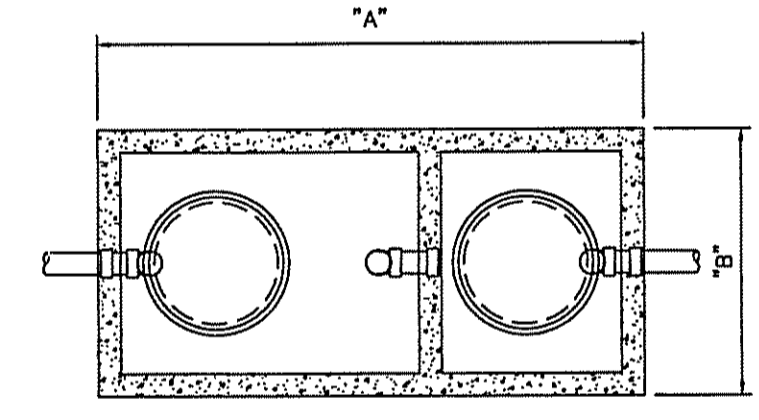
TRASH ENCLOSURE PLAN
NOT TO SCALE



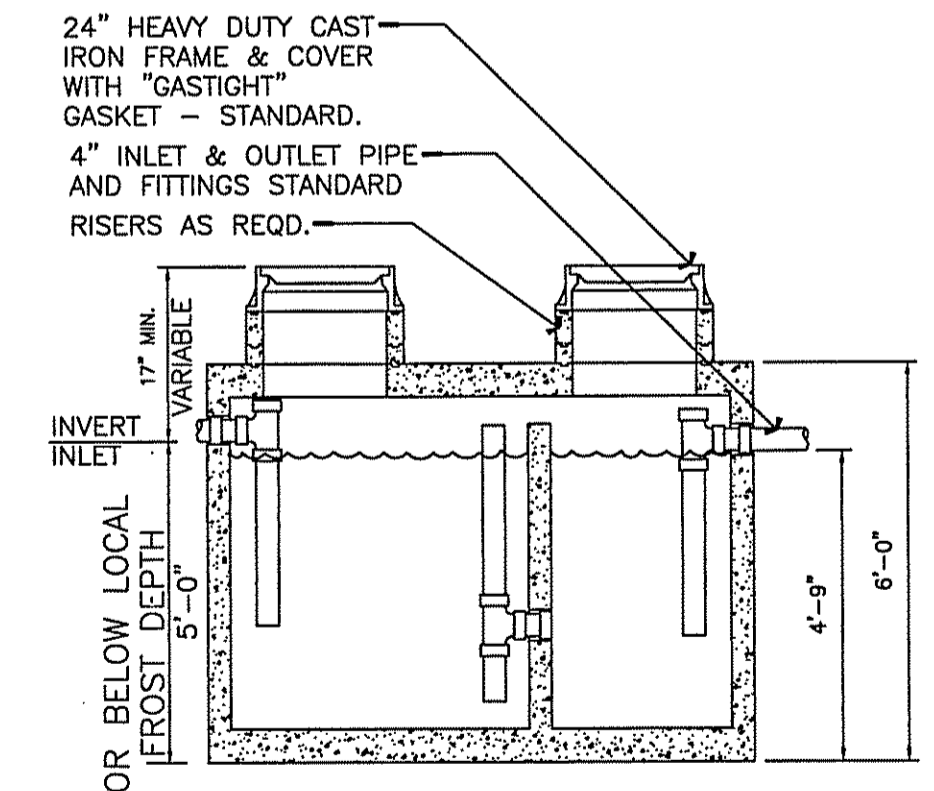
STOP SIGN
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NOT TO SCALE



TOP VIEW

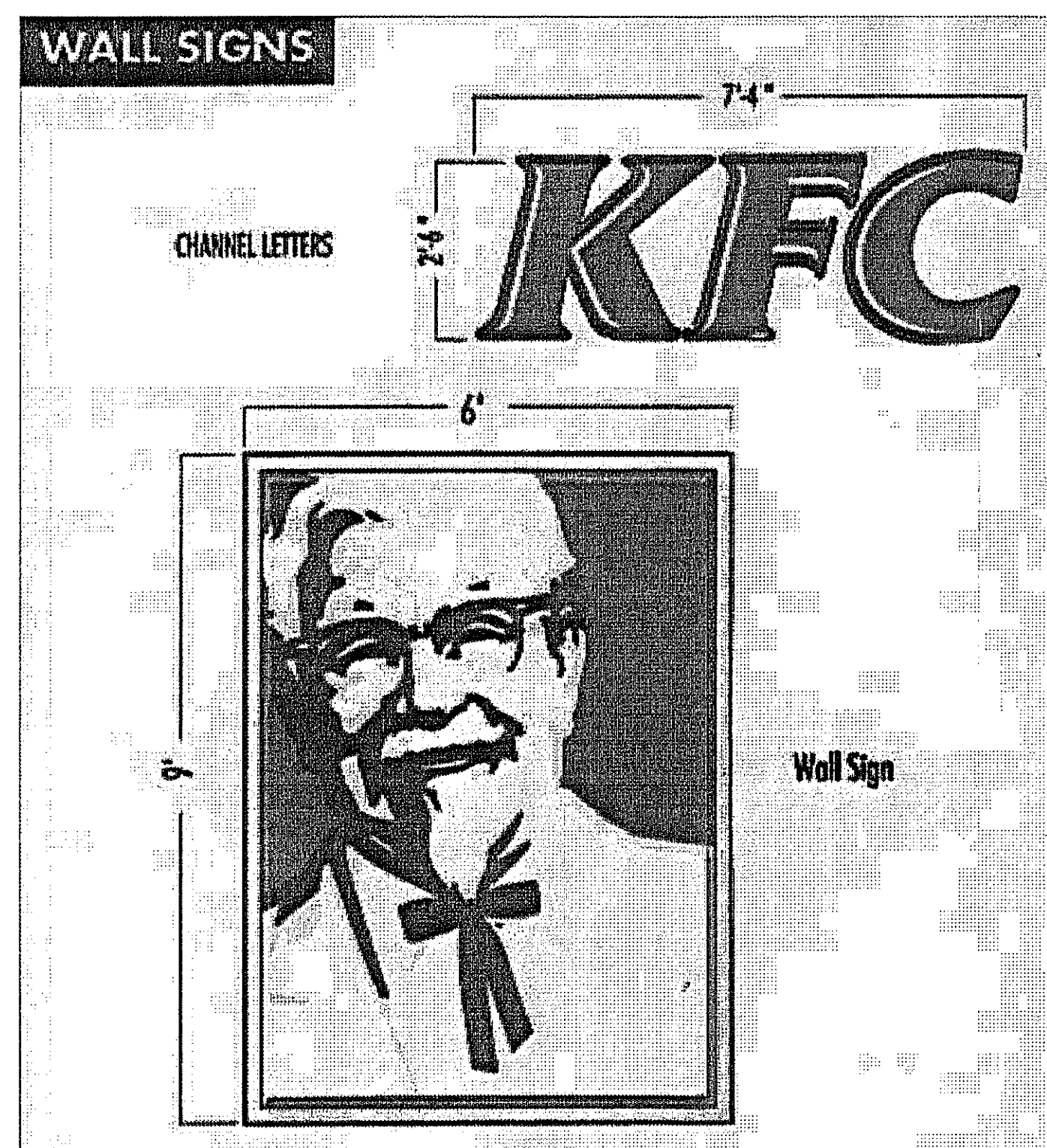


SECTION

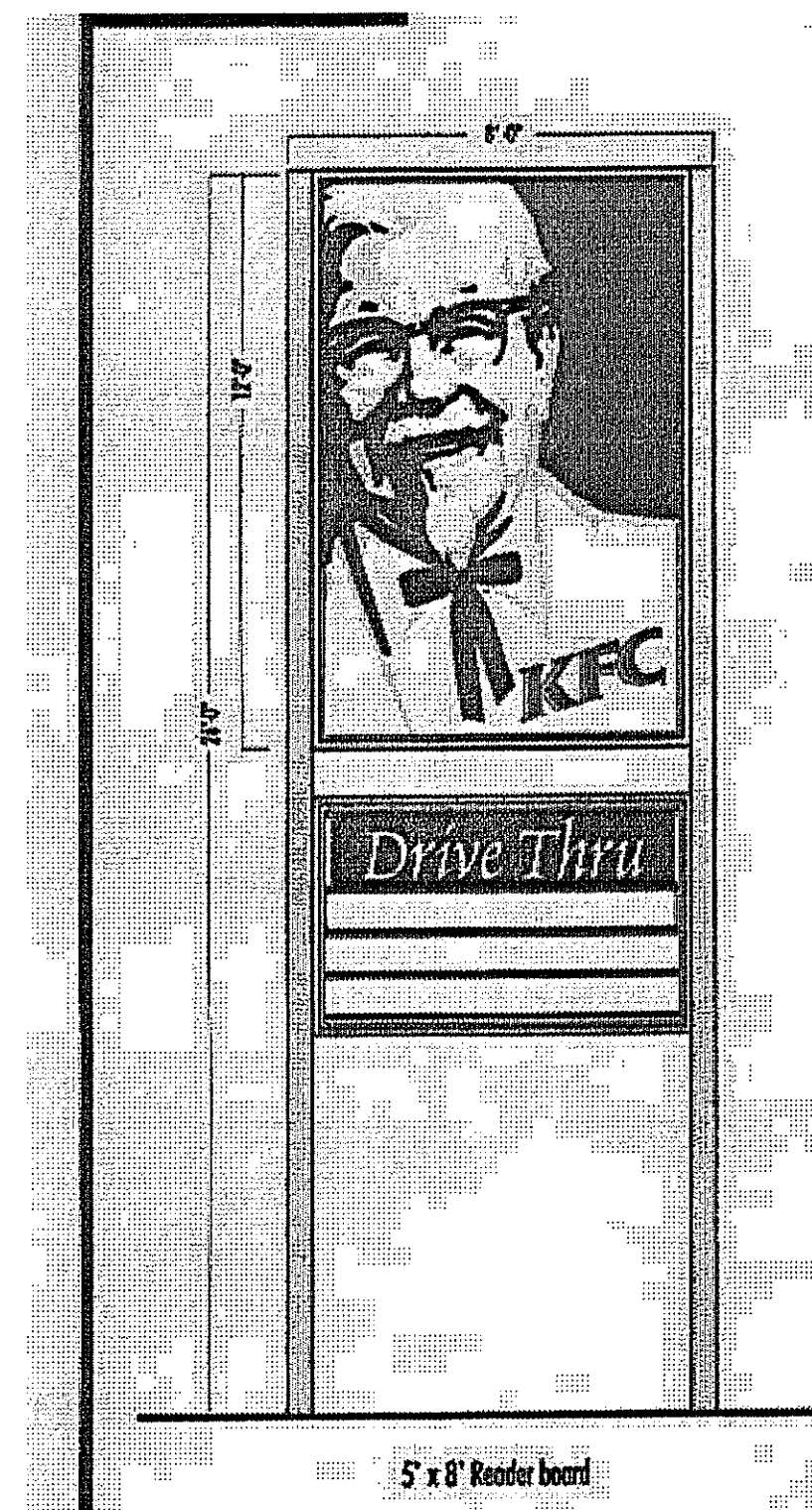
| G.T. SIZE | DIM. "A" | DIM. "B" |
|-------------|----------|----------|
| 500 GALLON | 8'-2" | 4'-2" |
| 750 GALLON | 8'-1" | 4'-0" |
| 1000 GALLON | 8'-2" | 5'-1" |
| 1200 GALLON | 8'-6" | 5'-9" |

1000 GAL. GREASE TRAP
NOT TO SCALE

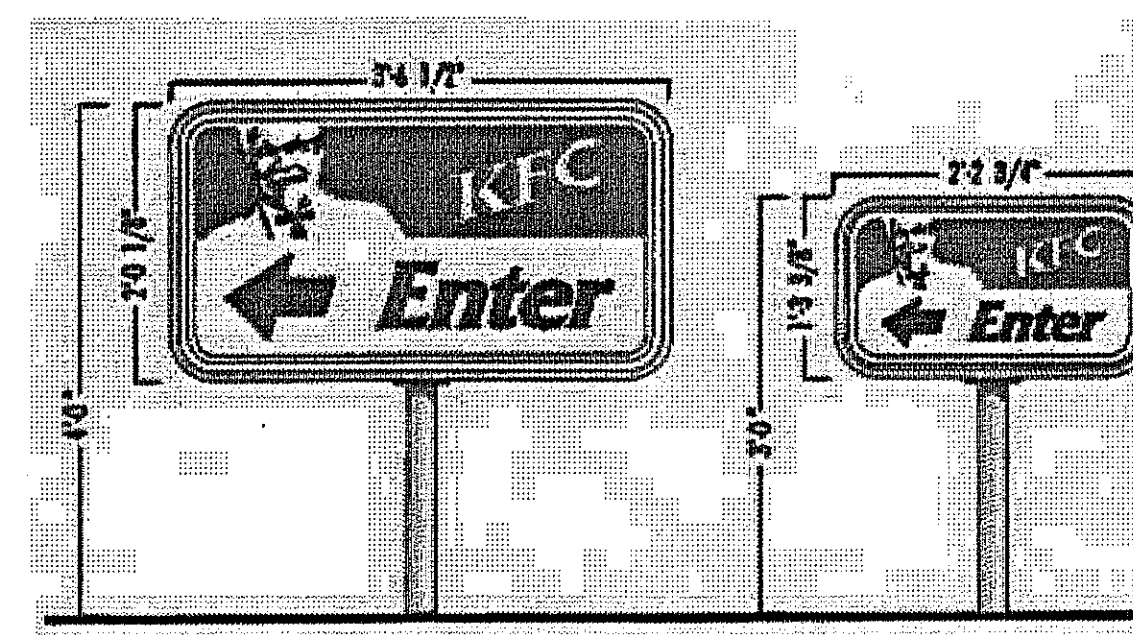




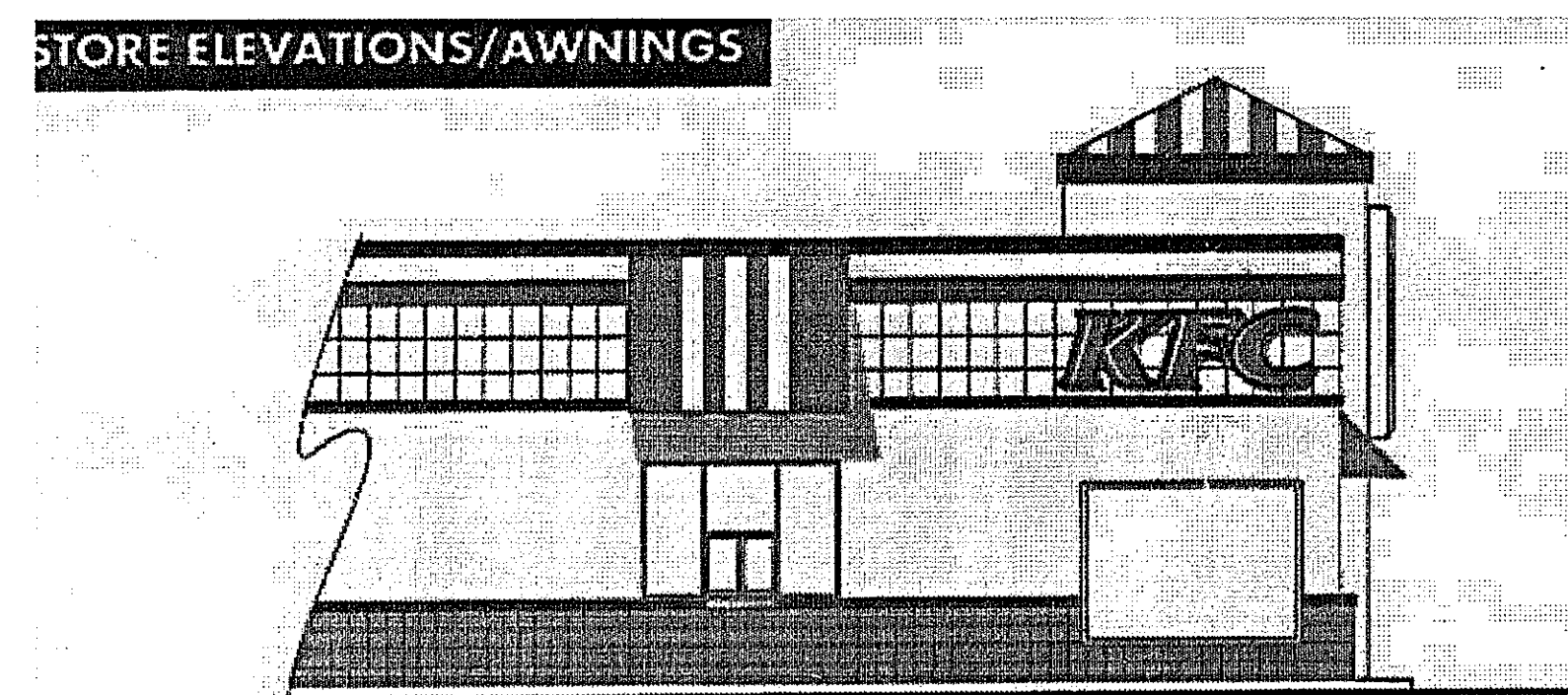
WALL SIGNS
NOT TO SCALE



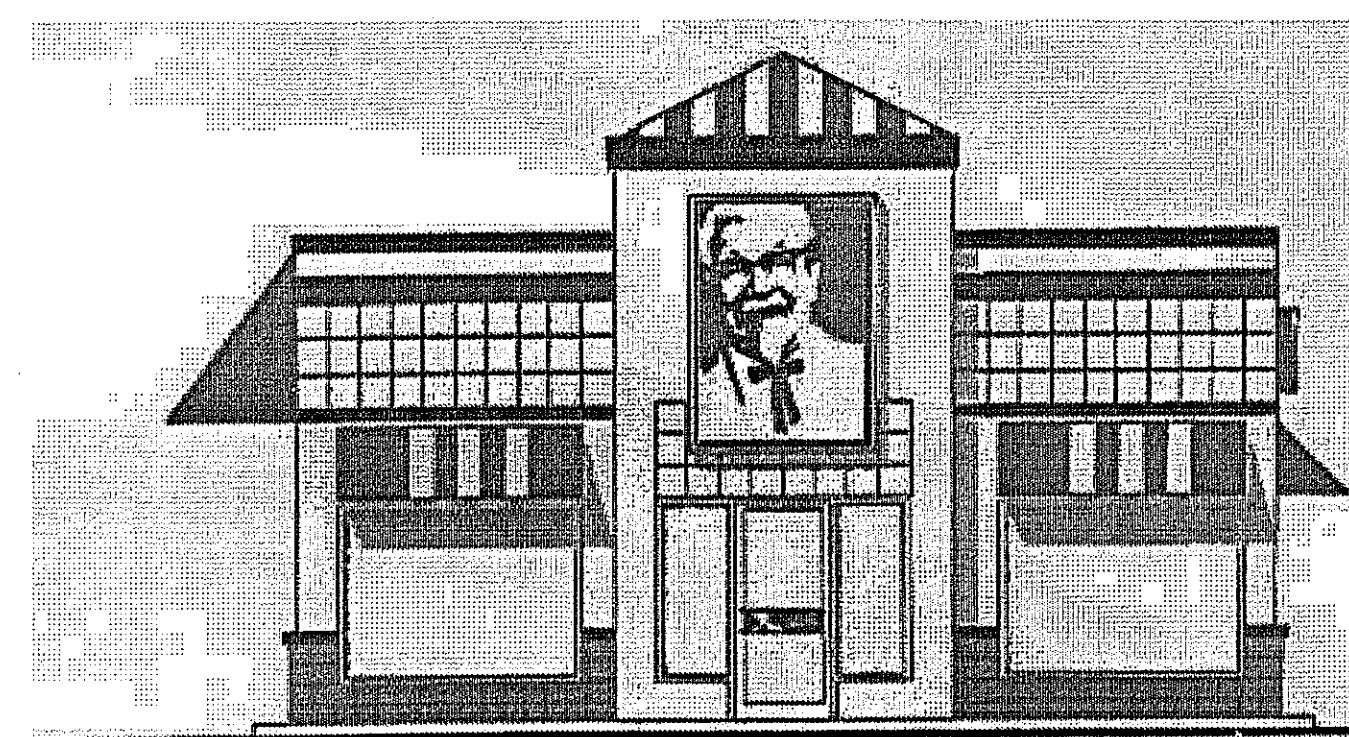
PROPOSED
FREESTANDING
SIGN
NOT TO SCALE



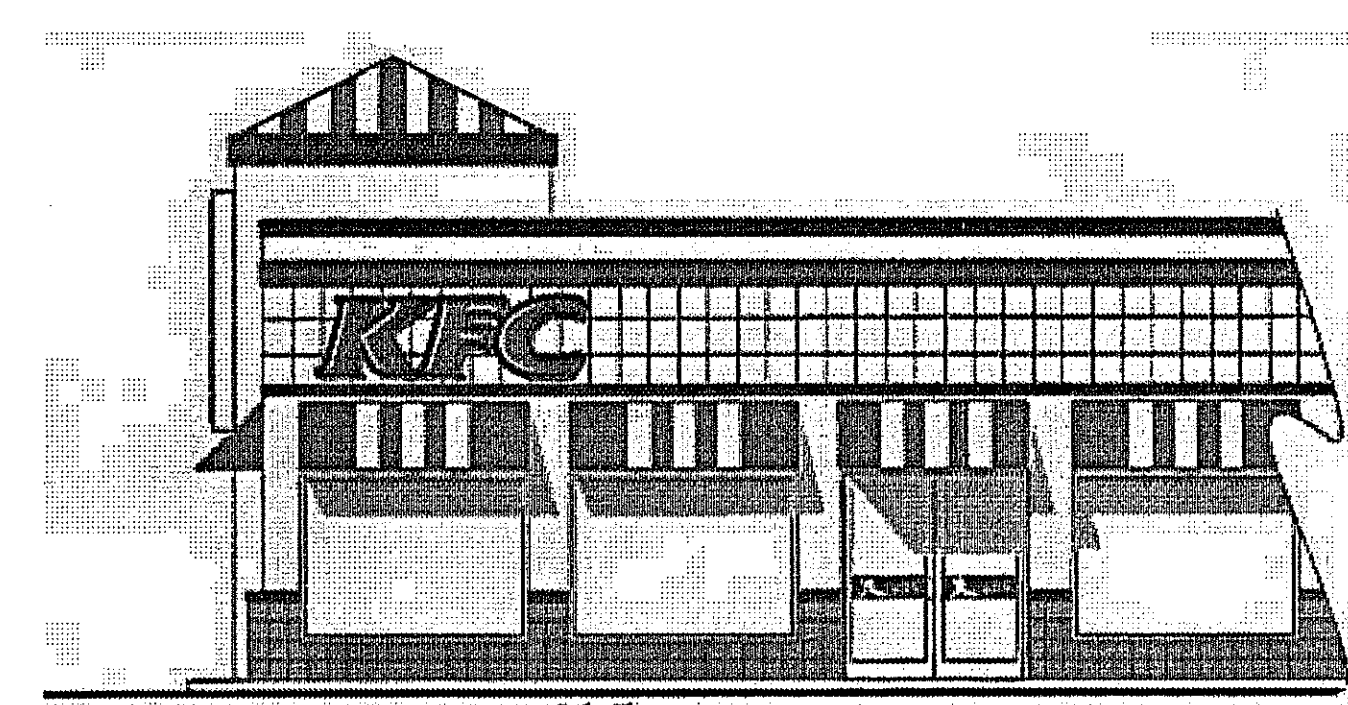
DIRECTIONAL SIGNAGE
NOT TO SCALE



DRIVE THRU ELEVATION
NOT TO SCALE



FRONT ELEVATION
NOT TO SCALE



SIDE ELEVATION
NOT TO SCALE

NOTE:

TEMP SALES BANNERS WILL BE USED FOR
SPECIAL PROMOTIONS. 2 SIGNS AT 150 SQ. FT.



SIGNAGE DETAILS

KFC - US ROUTE NO. 301
ST. GEORGES HUNDRED - NEW CASTLE COUNTY
MIDDLETOWN, DELAWARE

Desc.
KFC ONLY PER CLIENT

REVISIONS
Date
3/12/02
No.
1

Designed
Drawn
Checked
Approved
Scale
Project No.
Date
CAD File

ACF
AUC
ACF
DH
NOT TO SCALE
008159
6/19/00
DNB15902.dwg

Sheet No.