

GENERAL NOTES

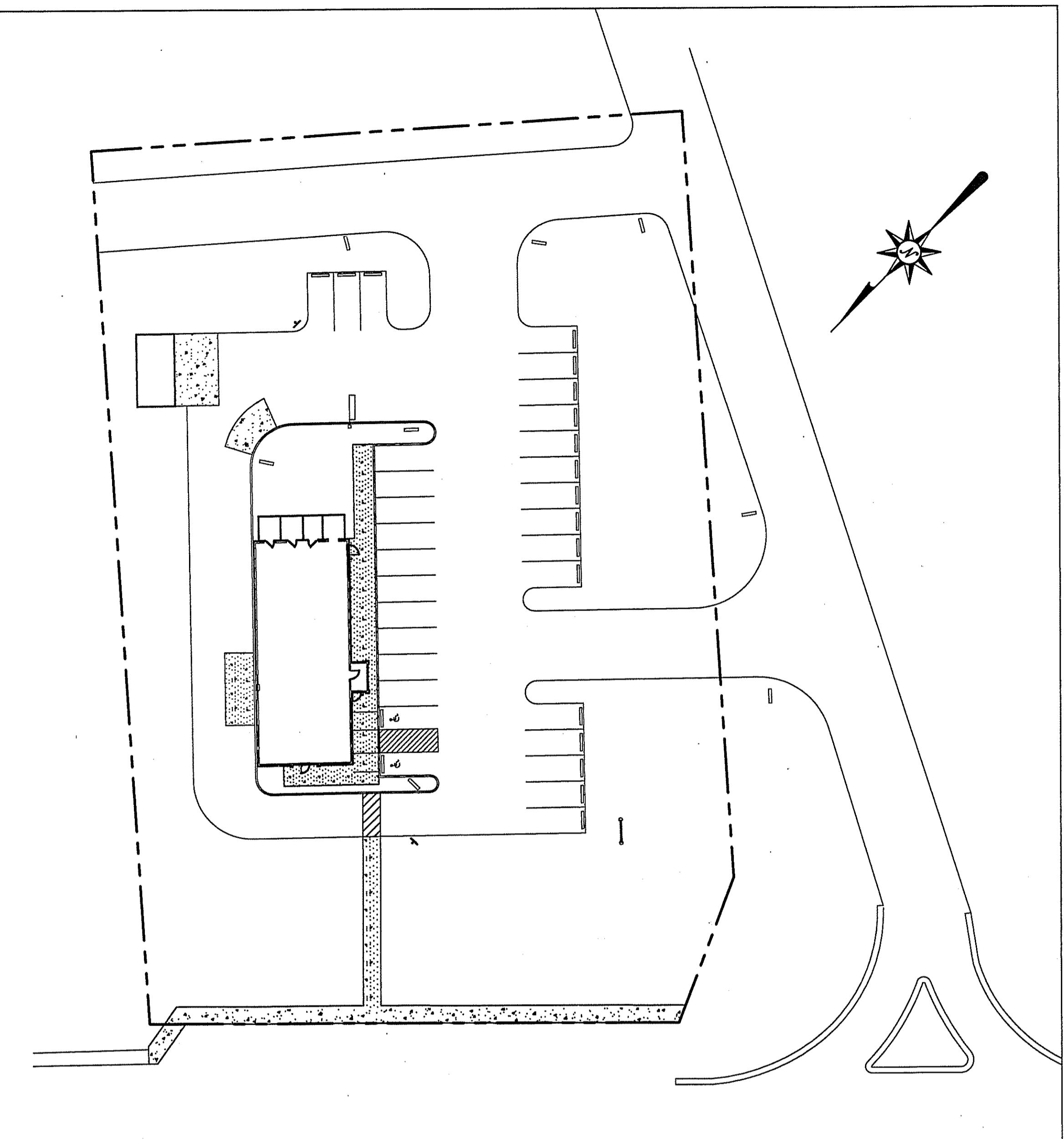
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF MIDDLETOWN PLUS DELAWARE DOT STANDARDS AND SPECS, IF APPLICABLE.
- ALL SIGNING, TRAFFIC CONTROL AND SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL MEET DELAWARE DOT STANDARDS.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWING:

MISS UTILITY	1-800-282-8555
BELLATLANTIC	302 761-6253
AT&T	302 738-7893
EASTERN SHORE NATURAL GAS	302 734-6797
DELMARVA POWER	302 454-4176
TOWN OF MIDDLETOWN	302 378-2711
TELEMEDIA CABLE	302 378-4423
DELAWARE STATE HIGHWAY DEPARTMENT	302 378-2721

- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING OR PROPOSED UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER IS TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- FOR PAVING SECTION DETAIL, SEE DETAIL SHEET 6.
- ALL CONC. CURB AND GUTTER TO BE IN ACCORDANCE WITH THE TOWN OF MIDDLETOWN STANDARDS. (SEE DETAIL SHEET 6) LIMITS AS SHOWN ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS (FOR DETAILS OF RAMP AND SIGNS SEE DETAIL SHEET 6).
- WHERE DRAINAGE FLOWS FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- THE CONTRACTOR WILL CONSTRUCT ALL DEPRESSED CONC. CURB & GUTTER NOTED ON THE SITE PLAN TO BE FULLY DEPRESSED SO THAT THERE IS NOT A LIP.
- ALL DISTURBED AREAS SHALL BE ESTABLISHED WITH PERMANENT SEED AND MULCH.
- ALL MANHOLES ARE TO BE BITUMINOUS COATED.
- PROPOSED WATER TO HAVE A MINIMUM 4' COVER.
- WHEN CONNECTING SEWERS TO EXISTING SANITARY MANHOLES (SMH), CONTRACTOR SHALL SEE THAT ALL CONNECTIONS ARE SEALED AND WATER-TIGHT.
- ALL SANITARY SEWERS ARE TO BE PVC SDR-35 COMPATIBLE WITH ASTM D-3034.
- WHERE UTILITY PIPES ARE TO BE PLACED IN FILL:

 - PRIOR TO PLACEMENT OF COMPAKTED FILL ON ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT ANY RAVINE BOTTOMS OR SLOPES, UNSUITABLE SOILS SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
 - ACCEPTABLE COMPAKTED FILL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPAKTED TO AT LEAST 92% OF THE MODIFIED PROCTOR TEST CONDUCTED BY AN INDEPENDENT LAB. SOILS REPORT SHALL BE SEALED BY A REGISTERED ENGINEER AND BE SUBMITTED TO THE TOWN OF MIDDLETOWN PRIOR TO PIPE INSTALLATION.
 - THE COMPAKTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO ALLOW A SMOOTH TRANSITION BETWEEN VIRGIN AND FILL SOILS.

- CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS WITH HEAVY EQUIPMENT TRAVELING OVER UTILITIES IN SUBBASE CONDITION. (SEE NOTE #5).
- ALL CONSTRUCTION SHALL COMPLY WITH NORDIC CORPORATION AND THE TOWN OF MIDDLETOWN ZONING AND SUBDIVISION/LAND DEVELOPMENT ORDINANCES.
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF MIDDLETOWN REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- PRIOR TO START OF CONSTRUCTION, INFORM ALL AREA UTILITY COMPANIES OF PLANNED CONSTRUCTION.
- REFER TO OTHER PLANS AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IMMEDIATELY IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER AND SITE ENGINEER PRIOR TO BIDDING.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
- PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH DELAWARE DOT SPECIFICATIONS.
- PAVEMENT MARKING KEY:
4" SDY: 4" SOLID DOUBLE YELLOW LINE
4" SYL: 4" SOLID YELLOW LINE
4" SWL: 4" SOLID WHITE LINE
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL; WIDTH IS 9' CENTER TO CENTER, AND DEPTH IS 20' HATCHED AREAS SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE. 2' ON CENTER HATCHING SYMBOLS AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. SEE CONSTRUCTION DETAIL SHEETS FOR PROPOSED STANDARD AND ACCESSIBLE PARKING STALL DETAILS. TRAFFIC ARROWS SHALL CONFORM TO DELAWARE DOT REQUIREMENTS. OTHER MARKINGS SHALL BE PAINTED AS NOTED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 5 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.



KFC

SCALE: 1" = 30'

PREPARED FOR:

NORDIC CORPORATION
C/O AARSAND & COMPANY
120 COCKEYSVILLE ROAD, SUITE 101
HUNT VALLEY, MD 21030
(410) 771-1880

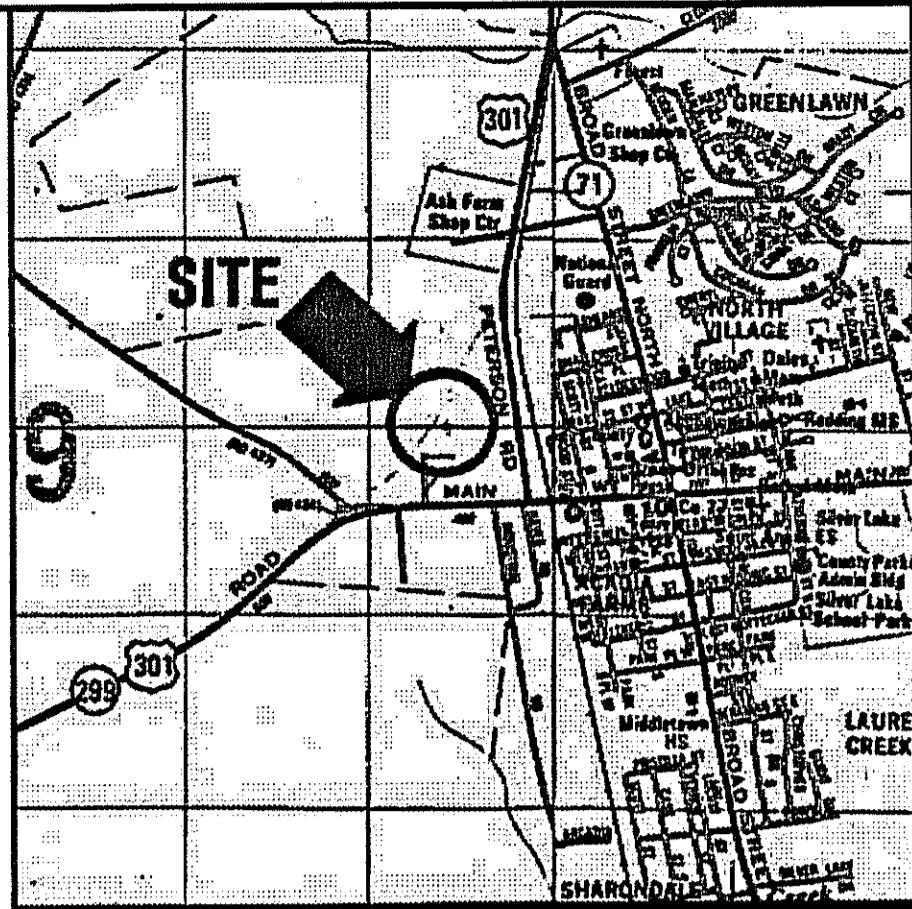
PREPARED BY:



BL COMPANIES

ENGINEERS/PLANNERS/SURVEYORS/LANDSCAPE ARCHITECTS

849 INTERNATIONAL DRIVE, SUITE 215
 LINTHICUM, MARYLAND 21090
 (410) 859-9100



VICINITY MAP
NOT TO SCALE

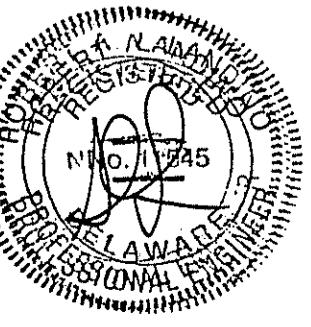
COVER SHEET

KFC - US ROUTE NO. 301
 ST. GEORGES HUNDRED - NEW CASTLE COUNTY
 MIDDLETOWN, DELAWARE

REVISION	Desc.	Date	Comments
1	PER MAYOR AND COUNCIL	5/23/01	KFC ONLY PER CLIENT
2		3/14/02	

SHEET INDEX

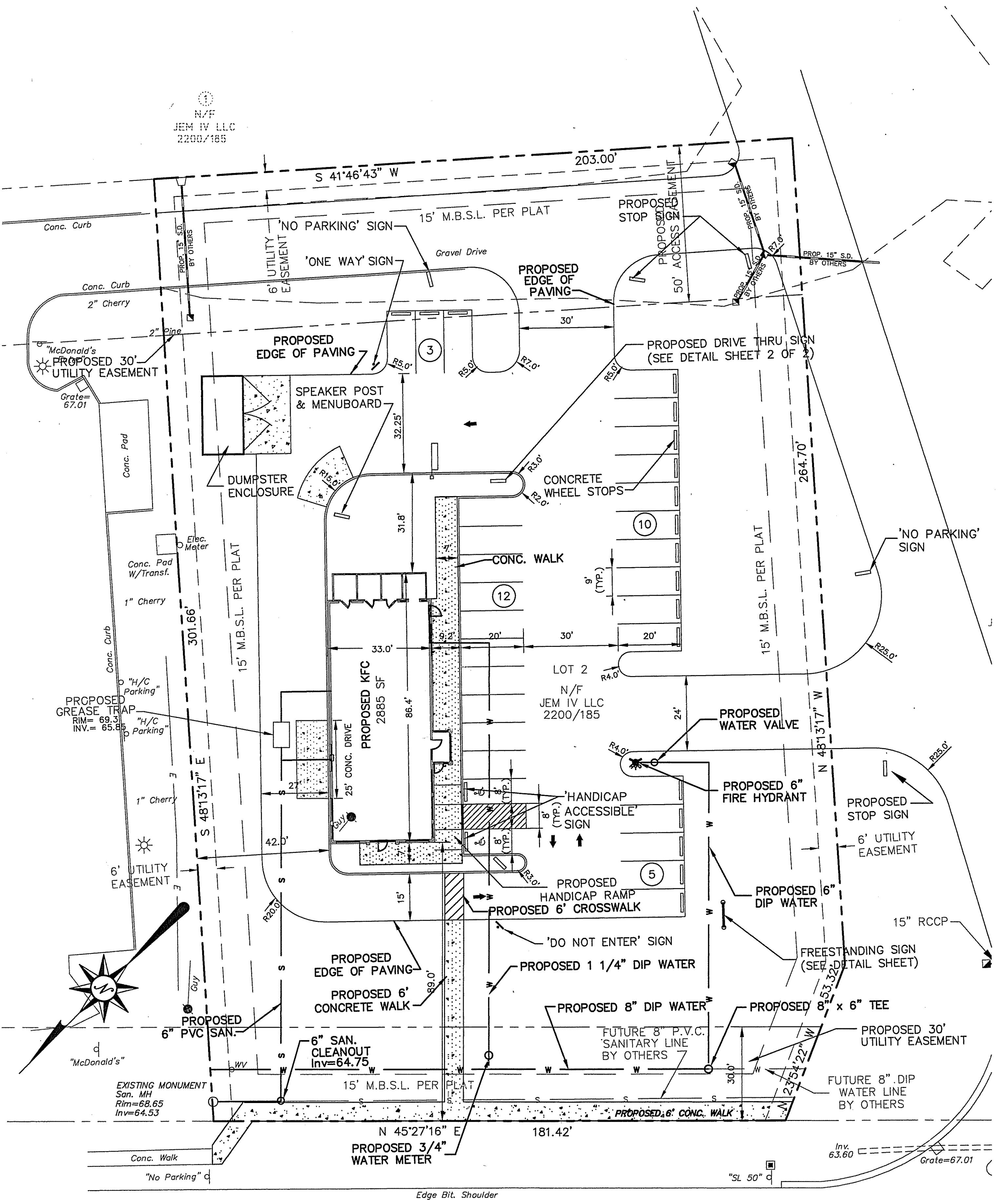
SHEET # 1	COVER SHEET
SHEET # 2	RECORD MINOR LAND DEVELOPMENT PLAN
SHEET # 3	LINES & GRADES PLAN
SHEET # 4	SEDIMENT & EROSION CONTROL PLAN
SHEET # 5	LANDSCAPE & LIGHTING PLAN
SHEET # 6	DETAIL SHEET
SHEET # 7	SIGNAGE SHEET



Ref. #: XCB15902, XCB15902

MINOR LAND DEVELOPMENT PLAN

KFC/TACO BELL
US ROUTE NO. 301
MIDDLETOWN, DELAWARE



U.S. ROUTE 301 (Public Street) (Var. R.O.W.)

LEGEND	
Proposed Sewer	S
Proposed Water	W
Proposed Edge of Paving	
Proposed Curb and Gutter	
Proposed Fire Hydrant	HYD
Proposed Concrete	CONC
Minimum Building Setback Line (M.B.S.L.)	—

GENERAL NOTES:

1.) This plan references a survey prepared by: Control Point Associates, Inc.
1555 Bustard Road, Suite 50
Kulpsville, PA 19443
Eric Steinfeldt, PE #8704
Titled: Boundary & Topographical Survey
Dated: 8/9/96
File No.: CP96035

2.) Owner: Jem IV, LLC
P.O. BOX 3538
Gastonia, NC
(704) 867-4628
DB 2077, PG. 281
Parcel 298, Tax Map #5

3.) Applicant: Nordic Corporation
190 Lakefront Drive
Hunt Valley, MD 21030
(410) 771-1880

4.) Zoning Data: Delaware State Highway U.S. Route No. 301

Town of Middletown

New Castle County, DE.

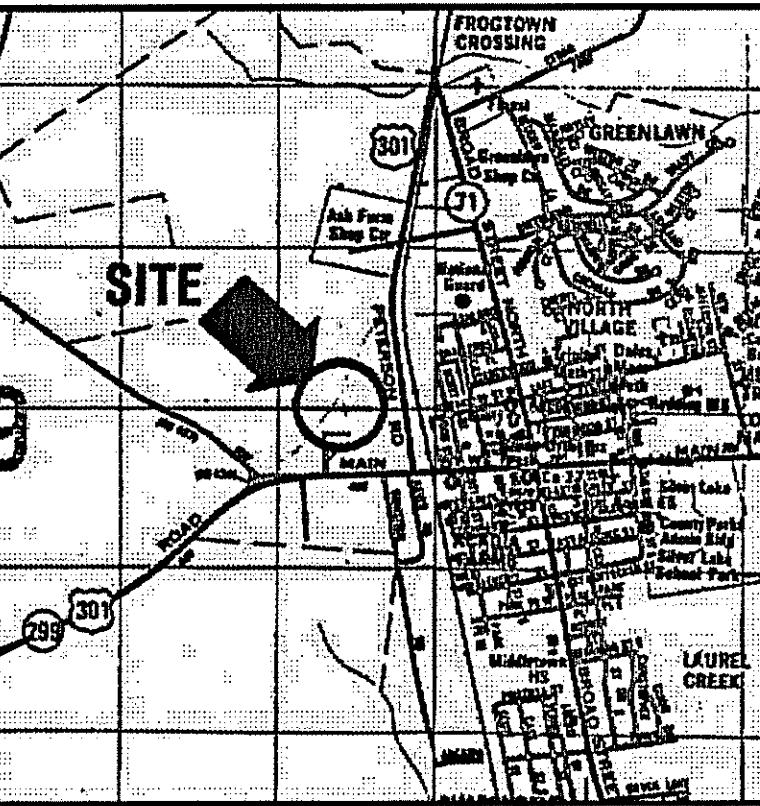
Zoned: C-3 District Employment / Regional Retail
Proposed Use: Restaurant with Drive Thru
Propose of Plan: To receive all approvals & permits necessary to construct a KFC Restaurant with drive-thru.

REQUIRED	PROPOSED
Min. Lot Area	3,000 s.f. 1.4236 Ac (Gross) 1.191 Ac (Net, Access Easement)
Min. Lot Width	20.0 ft. 18'
Max. Impervious Area	65% * 50.2%
Min. Building Setback	Front(along US 301) 15' 89' Side 0' 42', 124' Rear 15' 79.5'
Max. Building Height:	50' (or 4 Stories) 26'

*Max. Lot Coverage = 80% however, per the Hukill property Record Major Subdivision / Land Development Plan prepared by Clinton L. Bakhsh, Jr. Inc. of Middletown, Delaware in a plan dated 11/6/95, File No. MU11097, filed in the office of the Recorder of Deeds for New Castle County in microfilm No. 12719, the impervious cover shall be limited to 65% for Lot 2 of the Hukill Land Development / Subdivision Plan. The Lot to be developed is known as Lot 2. Lot 2 must be shown to add less than or equal to 65% impervious coverage to prove compliance with the New Castle County Drainage Code & Delaware Sediment & Stormwater Regulations and the New Castle County Stormwater Management code. Stormwater Basins have been provided on Lots 1 & 6 to control the quality and quantity of stormwater run-off for the proposed improvements of this minor land development & the Hukill Major Land Development / Subdivision Plan future improvements. These basins will be designed and submitted for approval by Clinton L. Bakhsh, Jr., Inc.

5.) Parking Requirements:

- 1 Space / 3 Seating Accommodations x 64 Seats + 1 Space per every 2 employees on the largest shift x 14 employees.
Required = 29 Spaces
Provided = 30 Spaces (including 2 Van Accessible Handicap parking spaces)
- 6.) The property is located within Flood Hazard Zone X (Area determined to be outside the 500 year flood plain) per a map entitled "Firm, Flood Insurance Rate Map, New Castle Co. Delaware and Unincorporated Areas", Panel 305 or 450, Map Number 1003c0305 F, effective date April 17, 1996.
- 7.) No debris is to be buried on site.
- 8.) According to the Hukill Record Major Subdivision / Land Development Plan dated 11/6/95, this site was examined by Steve J. Baumgardner on December 12, 1994 and no wetlands were found to exist.
- 9.) Street lighting shall be provided and installed at the cost of the developer, Jem Development of Gastonia, NC.
- 10.) The 30' utility easement (recorded in microfilm 12719, DB 2078, Pg. 153) and the 50' access easement (recorded in microfilm 12719, DB 2078, Pg. 156) have been established per the Hukill Record Major Subdivision / Land Development Plan dated 11/6/95.
- 11.) All adjacent property is owned by the developer, Jem Development of Gastonia, NC, and is zoned as commercial land.



VICINITY MAP
NOT TO SCALE

12.) Utilities:

Water Supplies: Town of Middletown. Subject to the approval of the Delaware State Department of Natural Resources and Environmental Control, the Delaware Division of Public Health, and the Town of Middletown. Water shall be privately maintained.

Sanitary Sewer: Town of Middletown. Subject to the approval of the Delaware State Department of Natural Resources and Environmental Control, the Delaware Division of Public Health and the Town of Middletown. Sewer shall be privately maintained.

Storm Drainage: All on-site drainage facilities shall be privately maintained. Drainage facilities shall be in accordance with the New Castle County Drainage Code, Delaware Sediment and Stormwater Regulations, 1991 and the New Castle County Stormwater Management Code.

Electric: Town of Middletown. Subject to the Town's approval.

- 13.) All fire lanes, fire hydrants, fire department connections, sprinklers, standpipe connections and fire exits shall be marked and/or protected in accordance with the Delaware State Fire Regulations.
- 14.) All common facilities including, but not limited to paved areas, sidewalks, curbing, landscaping, open space, and/or drainage facilities shall be kept in good repair and maintained in a safe sanitary condition in accordance with the provisions of the Town of Middletown.
- 15.) The Applicant shall permit the developer, or his agents temporary trespass upon the purchaser's lot to complete or repair the various improvement elements (grading, infiltration trenches, etc.) shown on the approved final plan for the period from the purchase of his lot to eighteen (18) months from the date of acceptance of public improvements by the Town of Middletown.
- 16.) The Applicant shall permit town officials temporary trespass upon the purchaser's lot to inspect the various improvement elements shown on the approved final plan for the period from the purchase of his lot to eighteen (18) months from the date of acceptance of public improvements by the town of Middletown.
- 17.) All public utilities including, but not limited to, electric, gas and telephone shall be placed underground within the subdivision and land development. Such utilities shall be installed in strict accordance with the prevailing standards and practices of the utility or other company providing service, except where it is demonstrated to the satisfaction of the Town of Middletown that underground installations are not feasible because of physical conditions of the land.
- 18.) Water and sewer connections are subject to the approval of the Town of Middletown. The Contractor shall move the tap to the water main under inspection by Town of Middletown.
- 19.) The Town of Middletown shall provide a flow test for the nearest existing fire hydrant. The owner/contractor shall request by letter to the town of Middletown that the flow test be done.
- 20.) There are no existing trees to be preserved on site.
- 21.) Average sewage flows anticipated for a KFC/TB Building/Restaurant are approximately 1100 G.P.D. Average peak sewage flow is 1260 G.P.D. Average water use is 1800 G.P.D.
- 22.) Approval must be received from the Town of Middletown / New Castle County Health Department prior to issuance of the Certificate of Occupancy.
- 23.) All site improvements including landscaping, permanent site stabilization, and permanent stormwater management facilities shall be in place and approved prior to issuance of certificate of occupancy.
- 24.) Town of Middletown is to be notified 48 hours prior to the commencement of work. A pre construction meeting shall be scheduled by the owner/contractor. Call (302) 378-5670 to schedule.
- 25.) Elevations are based upon NAVD 1988 datum, Reference Benchmark 2-37 reset.
- 26.) Planning and Zoning approved the conditional use approval on June 15, 2000.

CERTIFICATION OF OWNERSHIP:

I, hereby certify that _____ is the owner of the property shown on this plan and that the subdivision plan thereon was made at its direction, that I acknowledge the same to be its act and plan and desire the same to be recorded as such according to law and in accordance with the Subdivision and Land Development Regulations of the Town of Middletown.

Owner



CERTIFICATION OF ACCURACY:

I, Michael Ray, hereby certify that I am a professional Land Surveyor in the State of Delaware and that the plan shown and described herein represents a survey made by BL Companies and is true and correct to the accuracy required by accepted surveying standards and practices and by the Town of Middletown Subdivision Regulations to the extent that it describes the bearings and distances of subdivided lands, and that the existing monuments shown herein actually exist and that their positions are accurately shown.

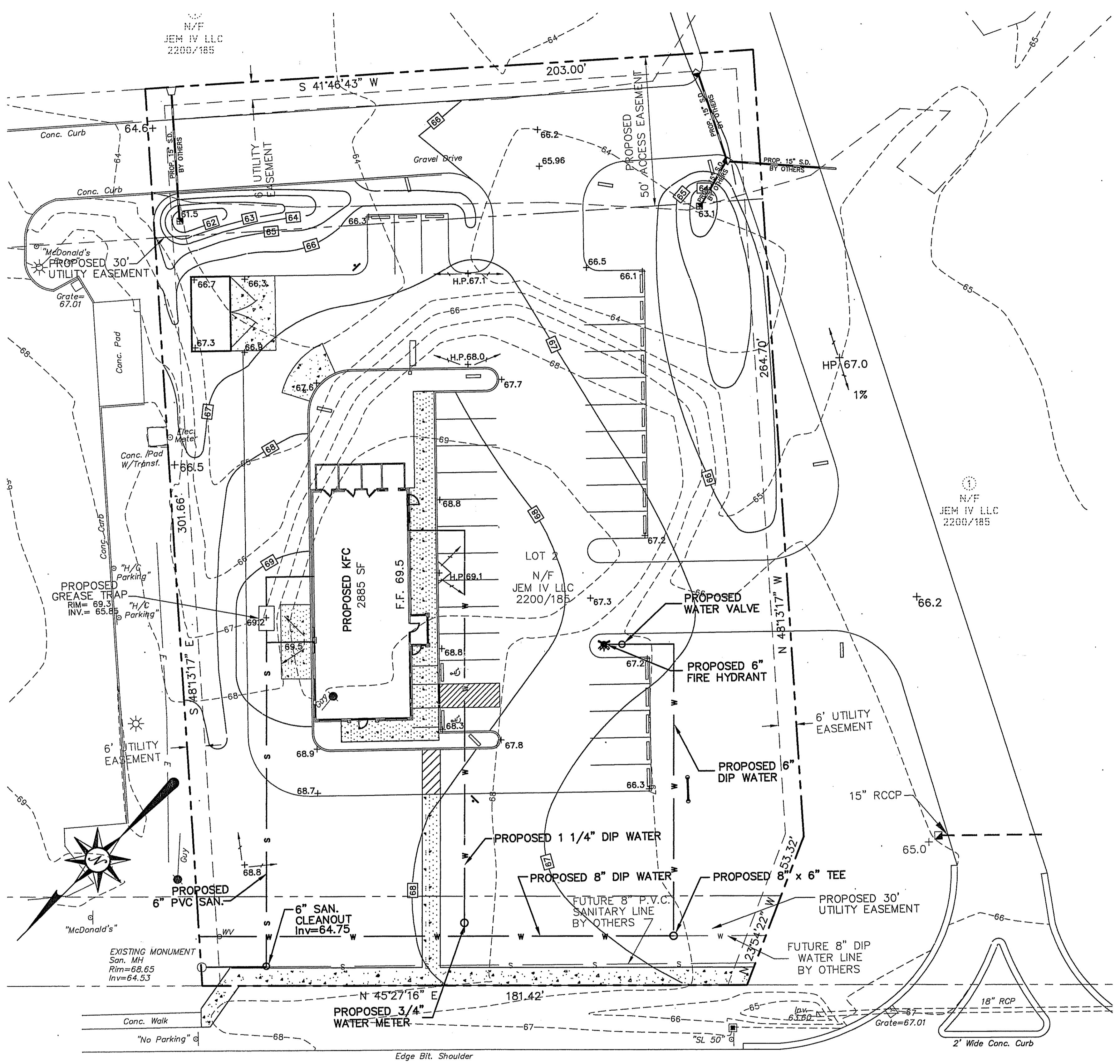
Professional Land Surveyor

REVISIONS	Date	5/23/01
No.	1	5/4/02
Designed	ACF	
Drawn	AJC	
Checked	ACF	
Approved	DH	
Scale	1"=20'	
Project No.	DOB159	
Date	05/15/00	
CAD File	MLD15902.DWG	
Sheet No.	1	

Ref. No. MLD15902 Revision

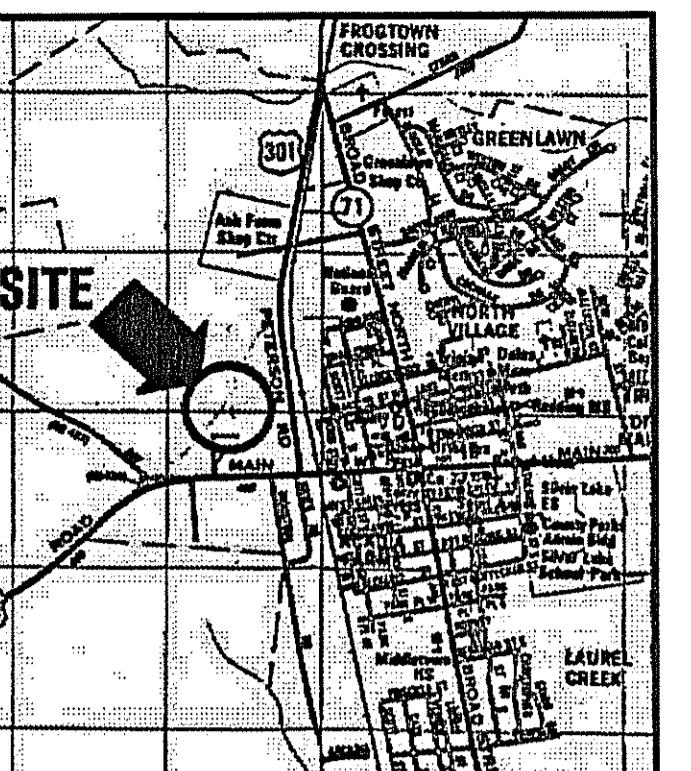
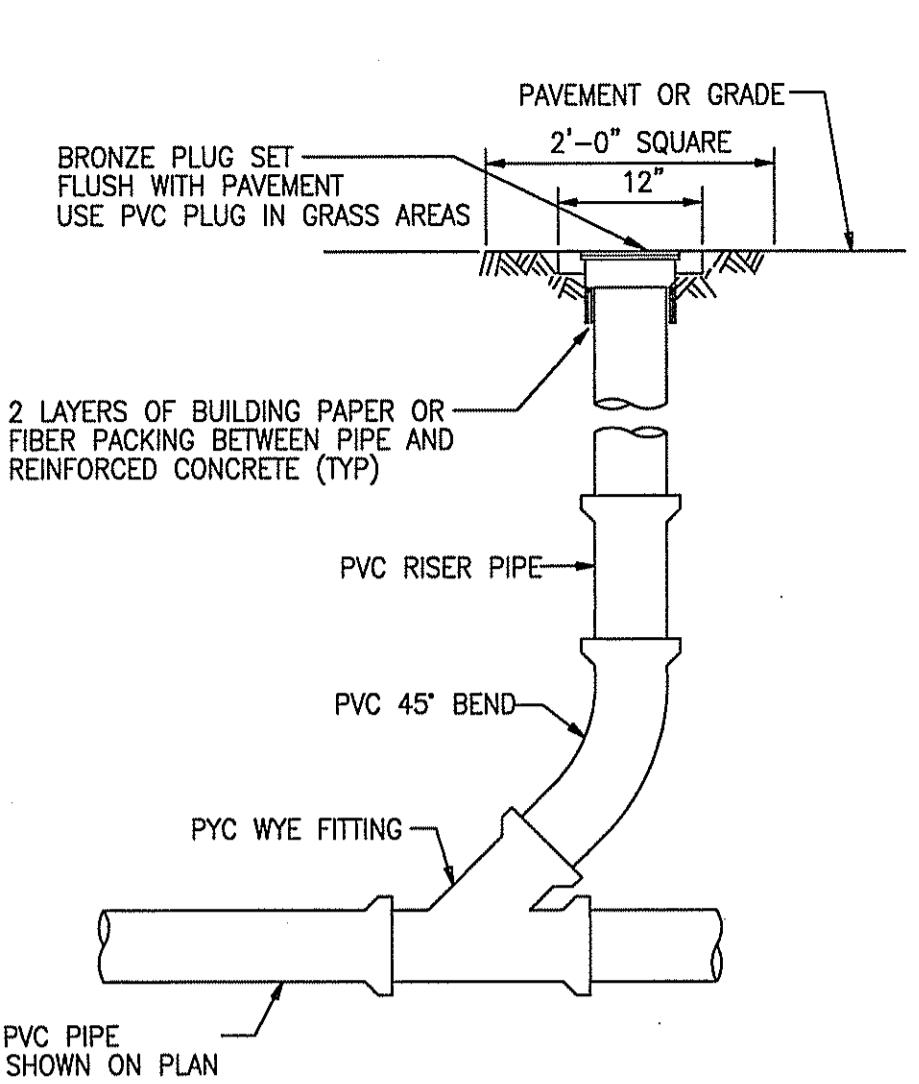
LD-1

1 OF 2



U.S. ROUTE 301
(Public Street) (Var. R.O.W.)

LEGEND	
Proposed Sewer	S
Proposed Water	W
Proposed Edge of Paving	
Proposed Curb and Gutter	
Proposed Fire Hydrant	Hydrant
Proposed Concrete	Concrete
Proposed Contour	
Proposed Spot Elevation	+67.5
Proposed Drainage Arrows	Arrow



VICINITY MAP
NOT TO SCALE

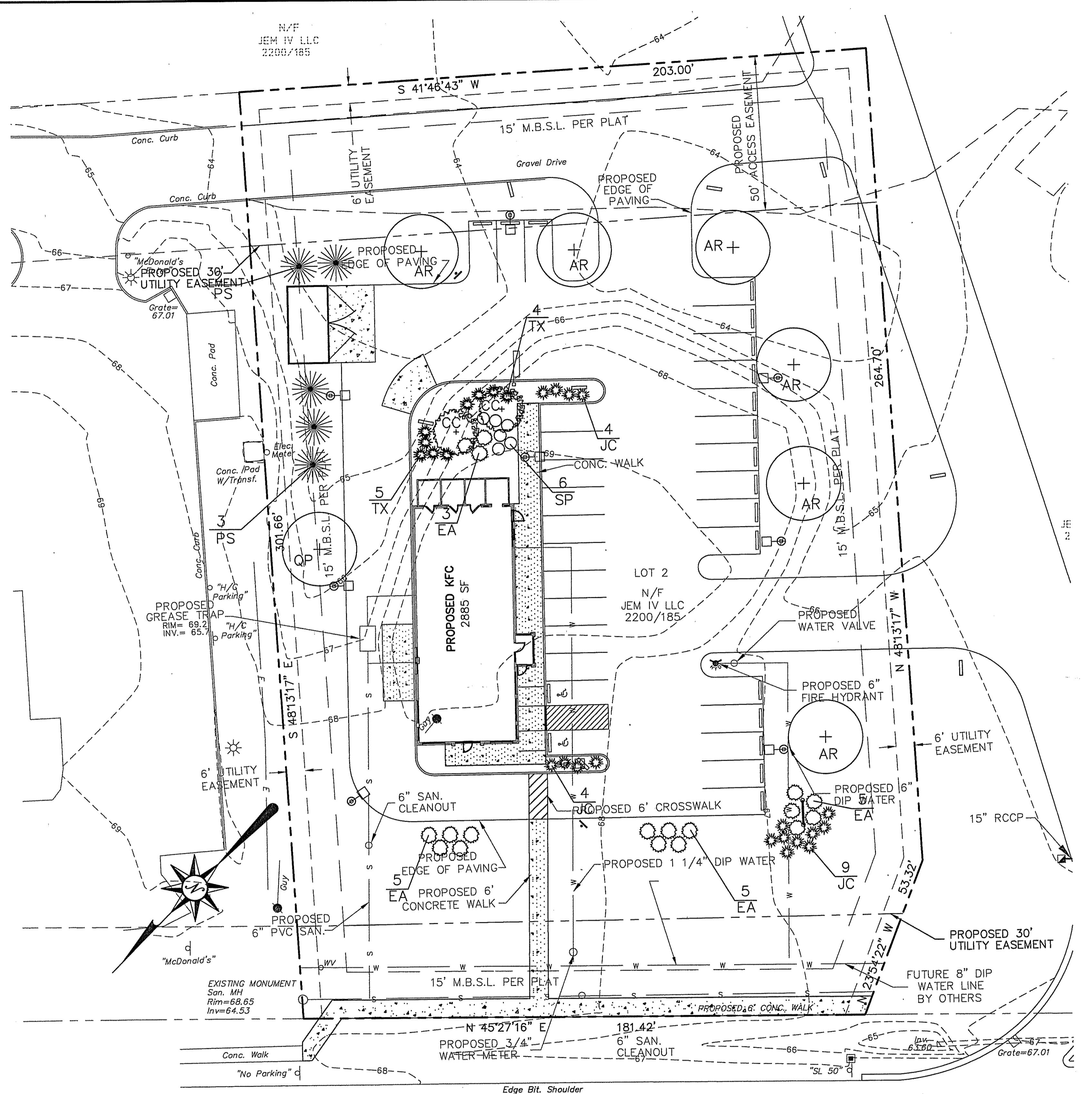
CLEANOUT DETAIL

NOT TO SCALE

GRADING NOTES:

- 1.) Contractor is responsible for verification of existing topography and utility invert elevations prior to commencement of any construction. Contractor to ensure 0.75 % min. slope against all gutters to prevent puddling. Any discrepancies shall be provided to the engineer in writing immediately.
- 2.) Location of all existing and proposed services are approximate and must be confirmed independently with local utility companies prior to commencement of any construction or excavation. Sanitary sewer and all other utility services connection points shall be confirmed independently by the Contractor in field prior to the commencement of construction. All discrepancies shall be reported immediately in writing to the Engineer. Construction shall commence beginning at the lowest points. Crossings with existing underground installations shall be field verified by test pit prior to commencement of construction.
- 3.) The suitability of excavating material for use as backfill shall be determined by the Town Engineer.
- 4.) Subbase material for sidewalks, curb, asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- 5.) All work shall be performed in accordance with these plans and specifications and the requirements and standards of the Town of Middletown.
- 6.) Site grading shall be performed in accordance with these plans and specifications. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. test D-1557. Moisture content at time of placement shall not be exceed 2% above nor 3% below optimum. Contractor shall submit a compaction report prepared by a qualified, licensed Soils Engineer, certifying that the subbase within the areas to be paved has been compacted in accordance with these plans & specs.
- 7.) Water service materials shall be Copper type "K". Diameter shall be as noted on plans and shall be installed with 42" minimum cover or below frostline whichever is greater. Contractor's price for water service shall include all fees and appurtenances required by the utility to provide a complete working service. Middletown's frostline is 32". A minimum 18" vertical separation shall be provided between water lines and other utilities or the water line shall be concrete encased to 10' on either side of the utility which is transgressed. Water lines shall conform to design as per the states standard of Middletown Construction Inspection Manual.
- 8.) Final field conditions may not match Design Plans, General Contractor to verify. If the grades do not match, General Contractor should notify the Engineer immediately to modify grades as necessary.
- 9.) Contractor should refer to a Geotechnical Investigation by Whitstone Environmental Compliance Management, Inc. of Watchung, NJ, dated August 21, 1996. Construction debris were encountered in test borings and contractor should further investigate these areas to determine the full extent of debris to be removed. Note 10 is based upon Whitstone's report.
- 10.) Any imported material placed as structural backfill should consist of clean, relatively well graded sand or gravel with a maximum particle size of 3" and 5%-15% of material finer than a number 200 sieve. The material should be free of clay lumps, organics, and deleterious materials. All fill and backfill should be placed in a maximum 9" loose lifts and compacted to 95% of the maximum dry density within 3% of the optimum moisture content as determined by ASTM D-1557 (Modified Proctor).
- 11.) Electric service shall be provided to the site by the Town of Middletown. The location of this service extension is yet to be determined.
- 12.) Gas service shall be provided by Chesapeake Utilities and/or the developer.
- 13.) All site improvements including landscaping, permanent site stabilization and permanent stormwater management facilities shall be in place and approved prior to issuance of certification of occupancy.
- 14.) Elevations are based upon NAVD 1988 Datum, reference NGS Benchmark Z-37 Reset.
- 15.) Proposed sanitary sewer lateral shall maintain 42" cover. Design shall conform to 10 States Standards for Sewage Works & Middletown Construction Inspection manual.
- 16.) If the approved plan needs to be modified, additional Sediment & Stormwater control measures may be required as determined necessary by the Town of Middletown.
- 17.) Average sewage flows anticipated for a KFC Restaurant are approximately 1100 G.P.D. Average peak sewage flow is 1260 G.P.D. Average water use is 1800 G.P.D.
- 18.) The Contractor must comply with all standards as set forth in the Town of Middletown Manual of Construction Specifications & Details for Roads & Utilities.
- 19.) The depth of bury of the hydrant shall be adjusted so that there is an 18" clearance between the center of the steamer nozzle and finished grade.
- 20.) The fire hydrant shall be Waterous.
- 21.) Magnetic indicator tape must be installed over sewer & water laterals 12" below grade.

LANDSCAPE AND LIGHTING PLAN
KFC - US ROUTE NO. 301
ST. GEORGES HUNDRED - NEW CASTLE COUNTY
MIDDLETOWN, DELAWARE



N/F
JEM IV LLC
2200/185

S 41°46'43" W 203.00'

15' M.B.S.L. PER PLAT

PROPOSED ACCESS EASEMENT

PROPOSED EDGE OF PAVING

AR +

AR

PROPOSED 30' UTILITY EASEMENT

PS

Conc. Curb

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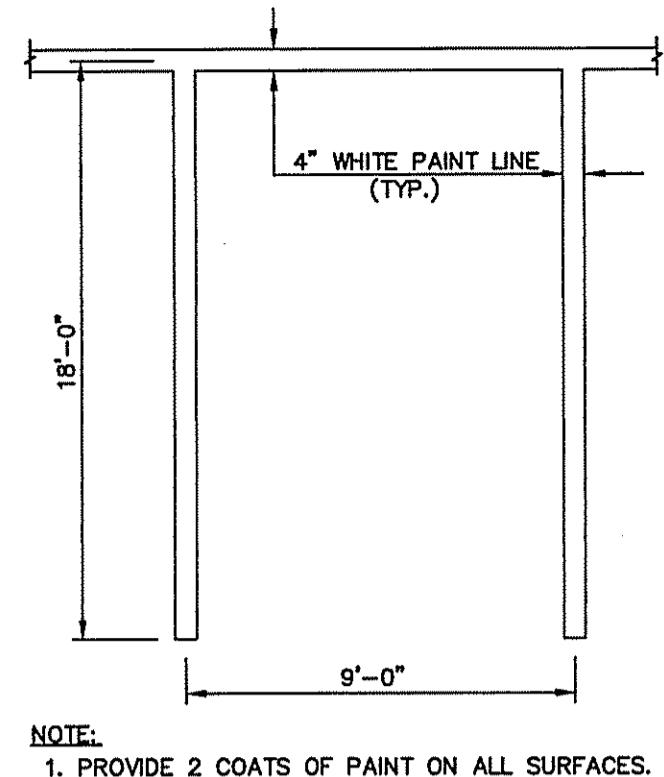
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REVISIONS	No.	Date	Desc.
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	2	3/12/02	KFC ONLY PER CLIENT

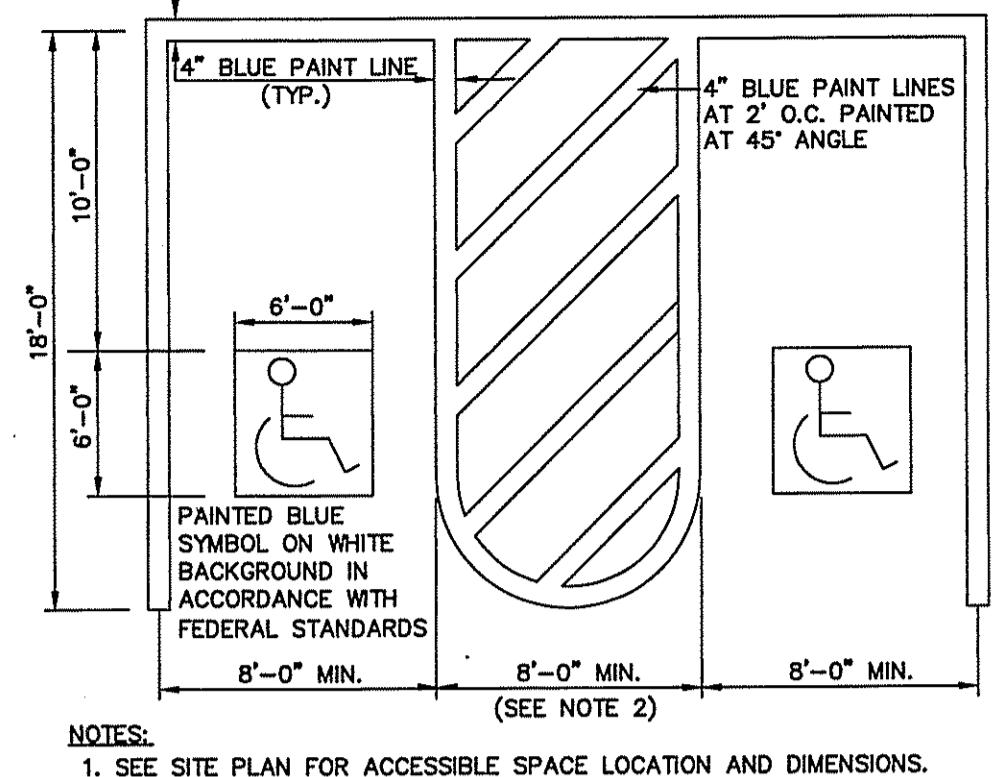
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Approved DH
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Date 6/19/00
CAD File DNB15901.dwg

Sheet No. 0

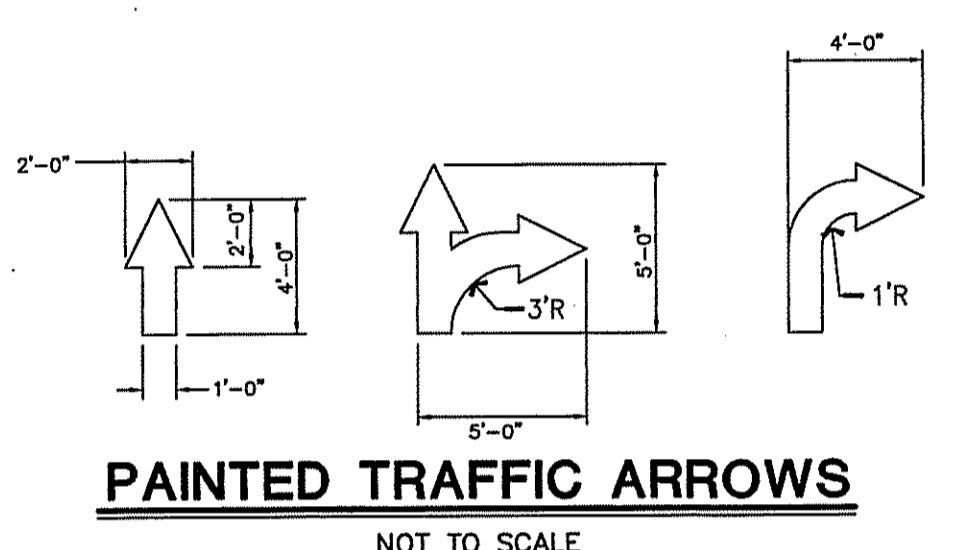
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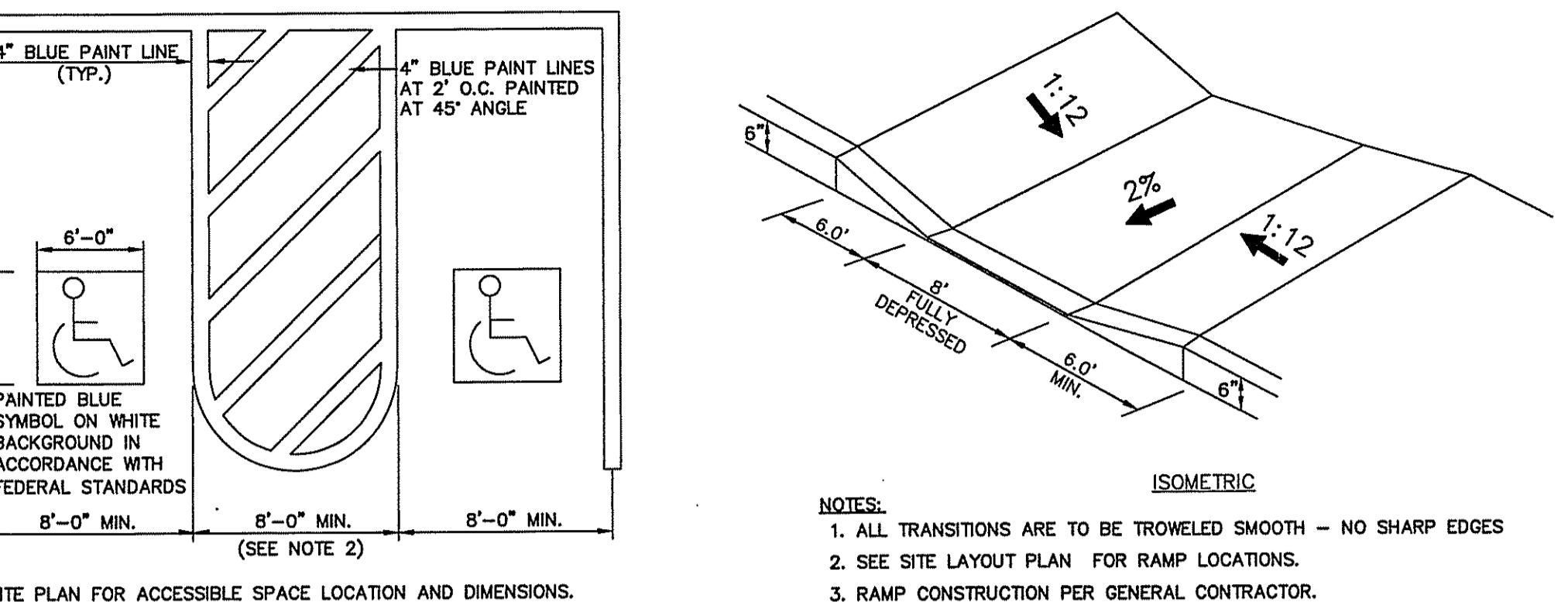
TYPICAL PARKING SPACE DETAIL
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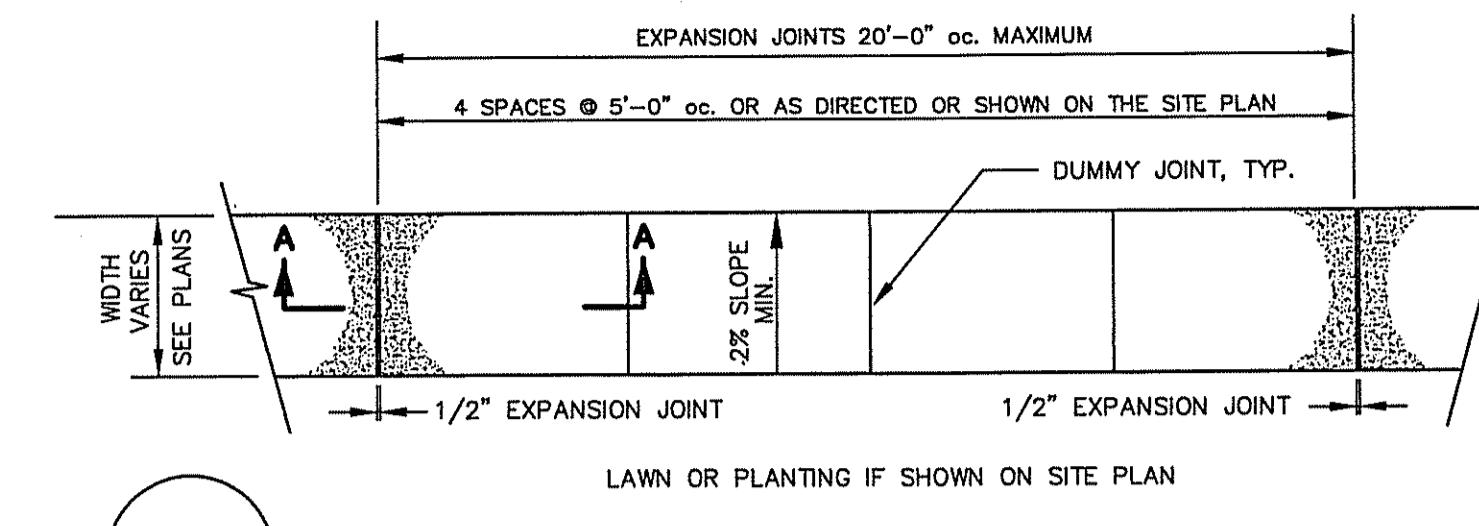
TYPICAL ACCESSIBLE PARKING SPACE DETAIL
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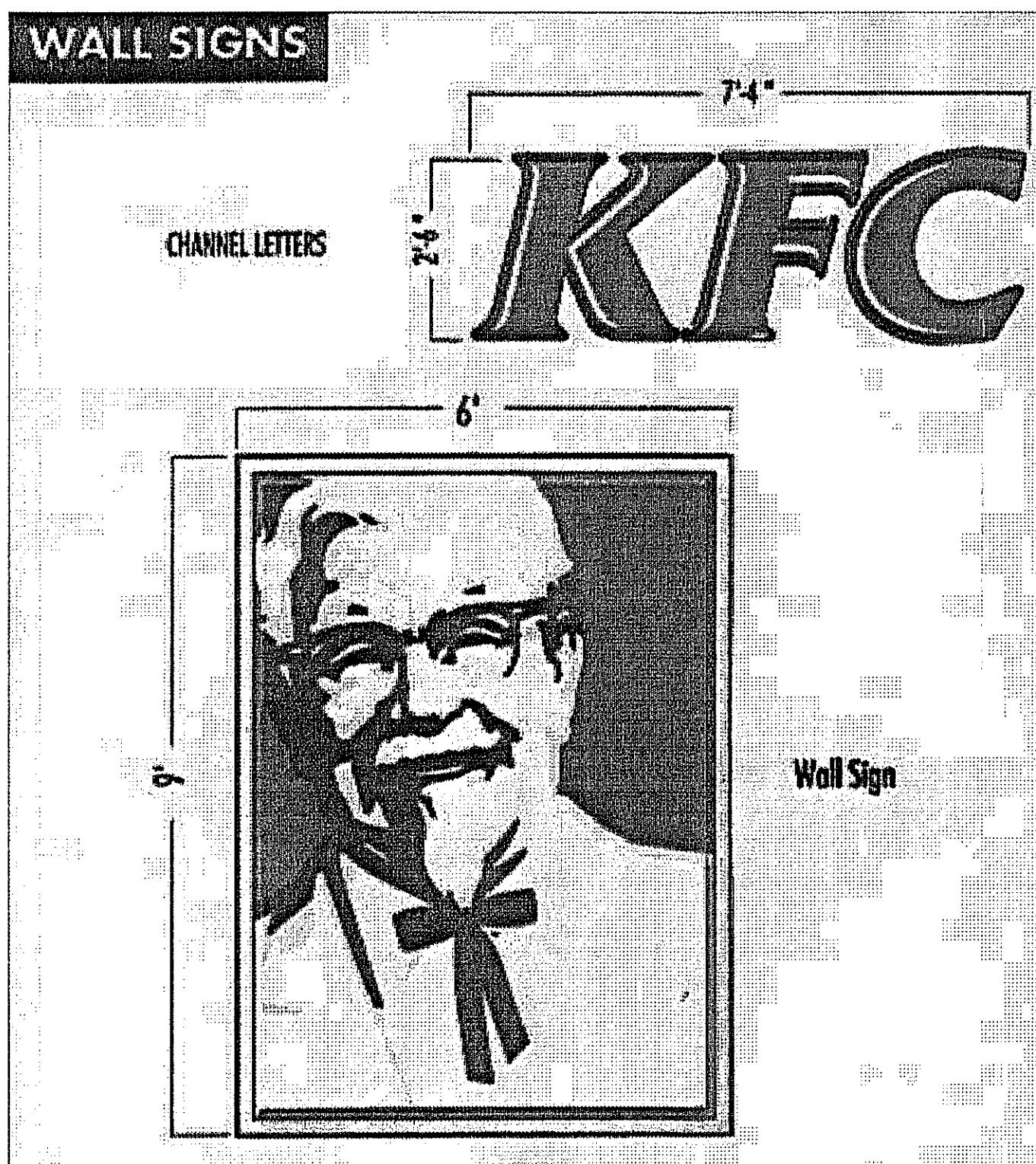


PAINTED TRAFFIC ARROWS
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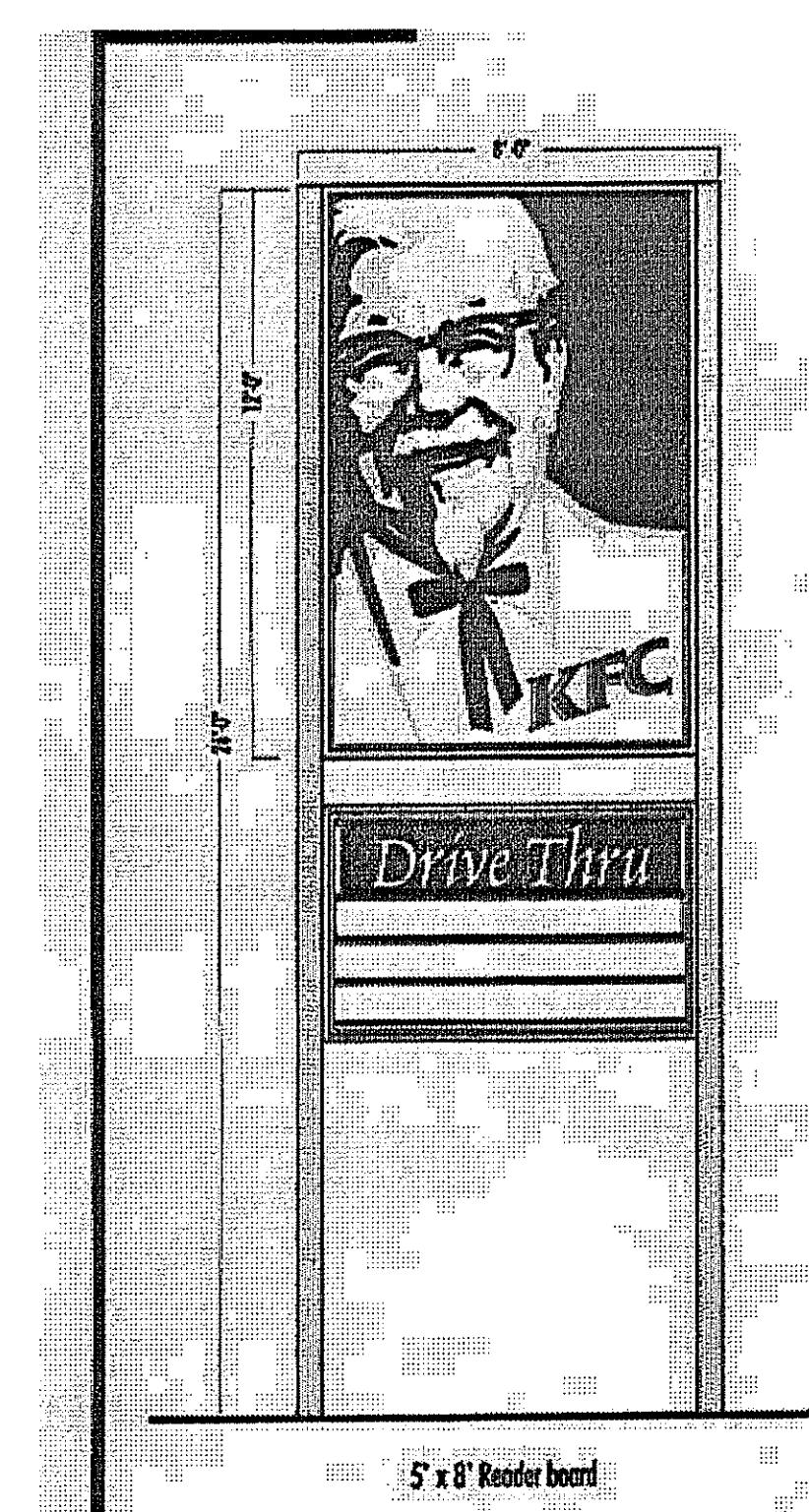
HANDICAP RAMP DETAIL ALONG BUILDING
NOT TO SCALE





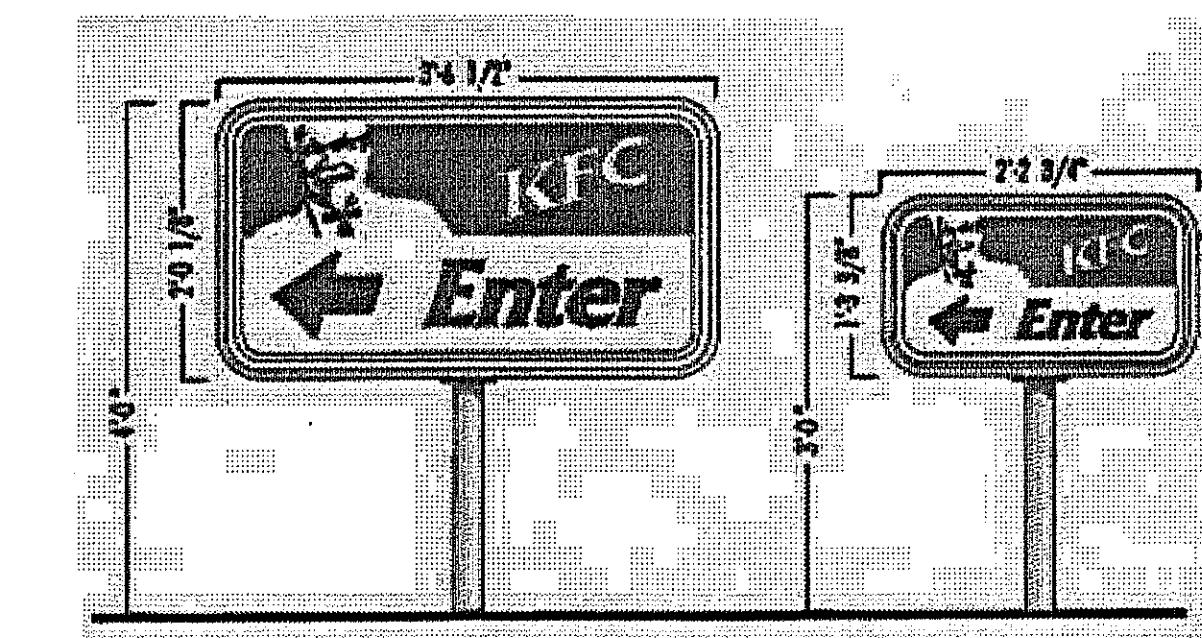
WALL SIGNS

NOT TO SCALE



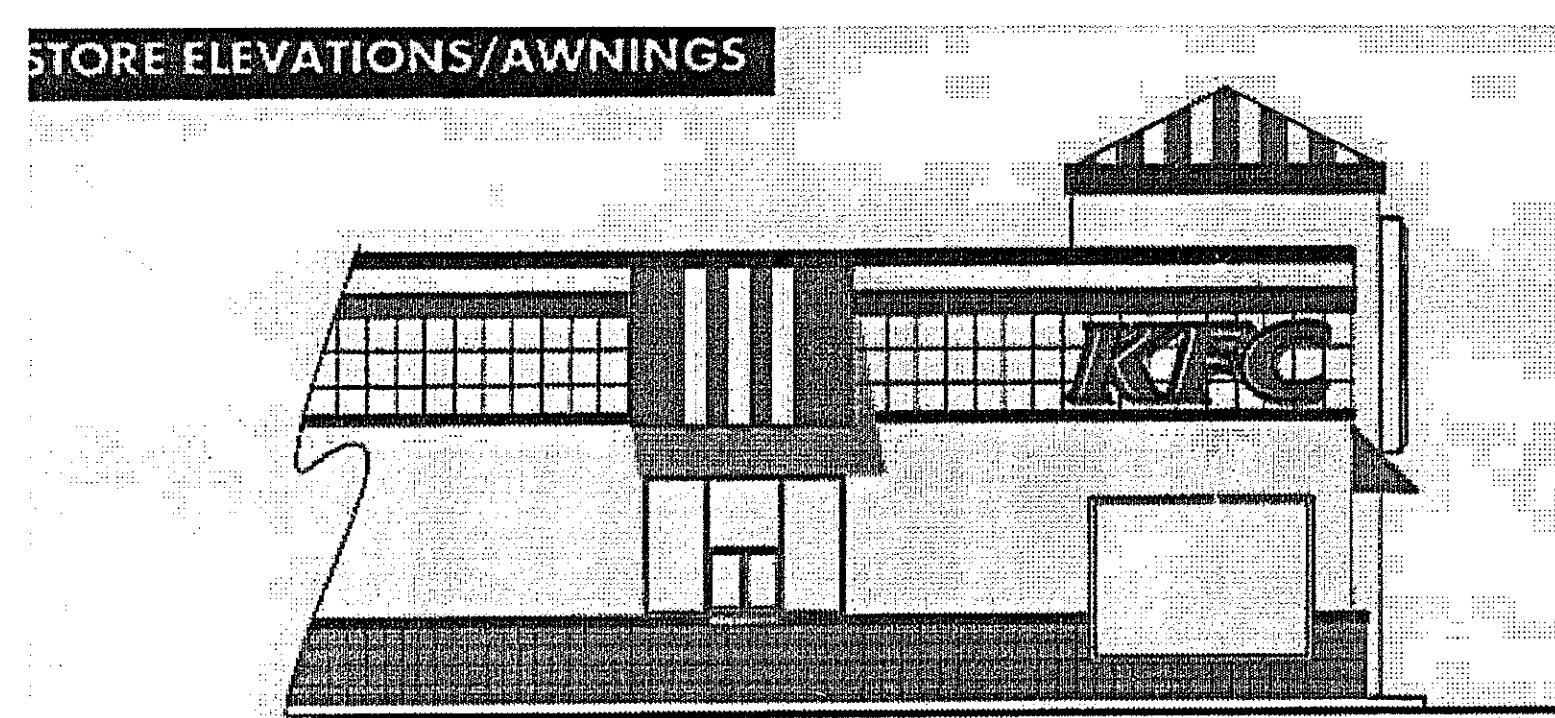
**PROPOSED
FREESTANDING
SIGN**

NOT TO SCALE



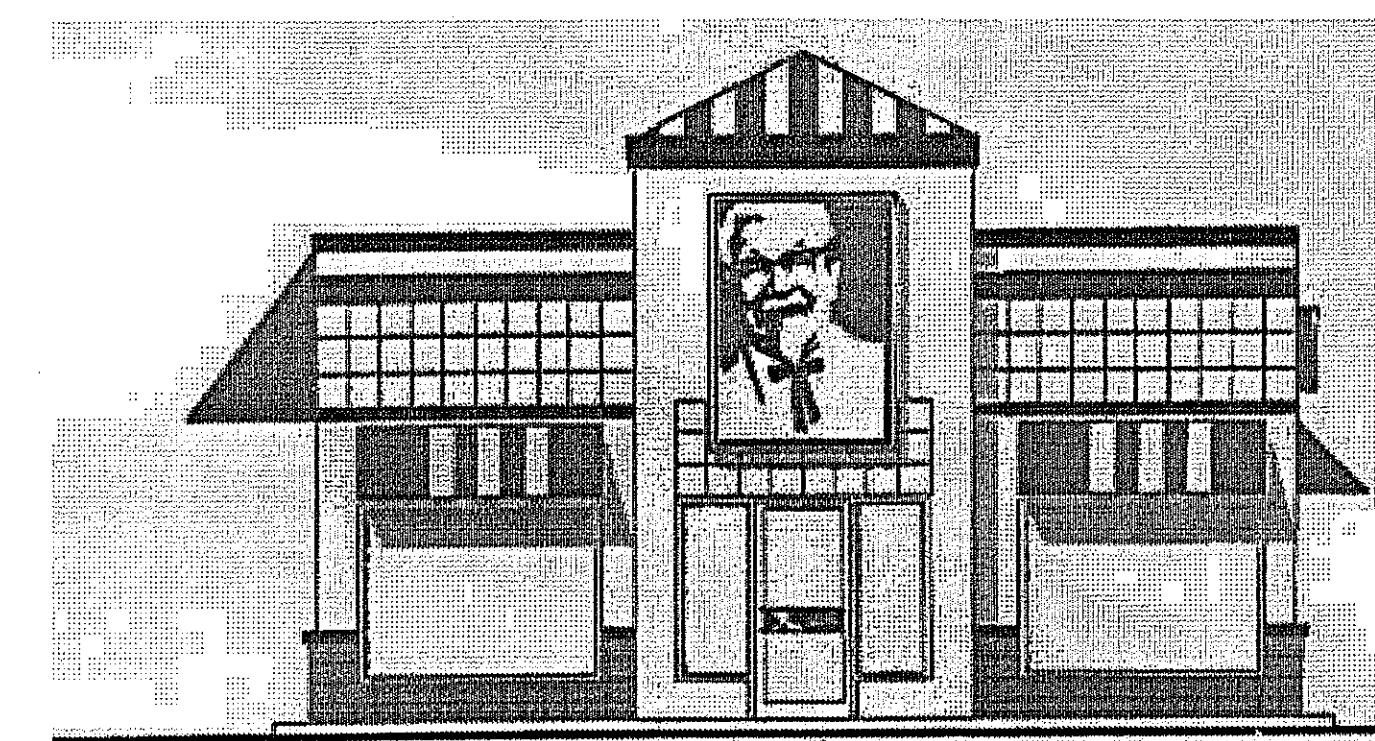
DIRECTIONAL SIGNAGE

NOT TO SCALE



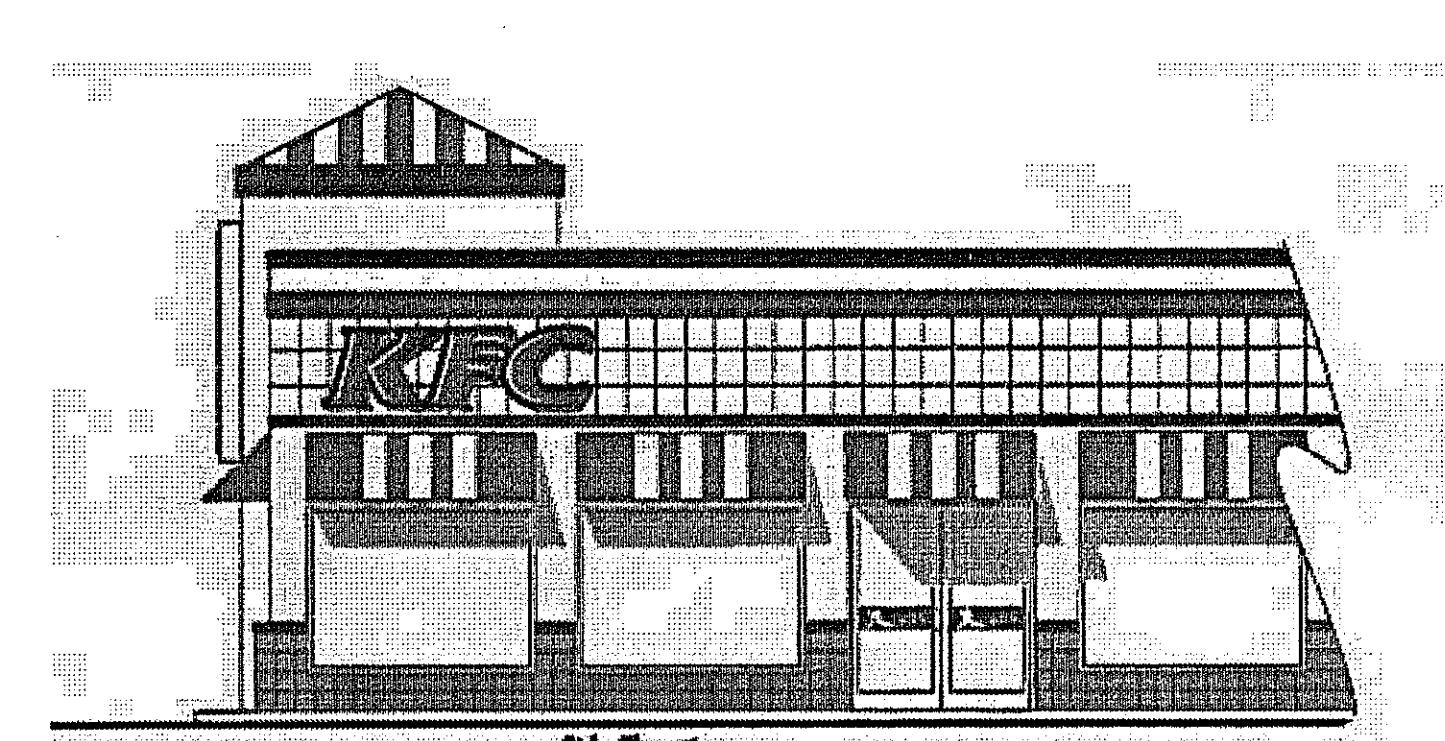
DRIVE THRU ELEVATION

NOT TO SCALE



FRONT ELEVATION

NOT TO SCALE

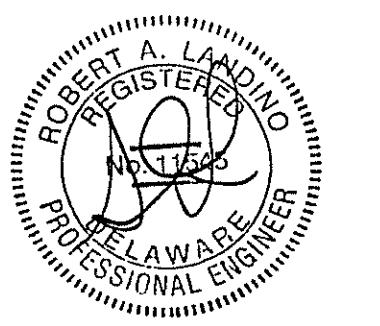


SIDE ELEVATION

NOT TO SCALE

NOTE:

TEMP SALES BANNERS WILL BE USED FOR
SPECIAL PROMOTIONS. 2 SIGNS AT 150 SQ. FT.



REVISIONS
No. Date Desc.
1 3/12/02 KFC ONLY PER CLIENT

Designed ACF
Drawn AJC
Checked ACF
Approved DH
Scale NOT TO SCALE
Project No. 008159
Date 6/19/00
CAD File DNB15902.dwg

Sheet No.