

Downtown

Manhattan

New York City

[61broadwaynyc.com](http://61broadwaynyc.com)

RXR

# 61 BROADWAY

# BUILDING HEALTH

# PRACTICES

## ABUNDANT HYGIENE SUPPLIES AND REPLENISHMENT

A dedicated RXR Care Station located in the building lobby will provide face masks, gloves and hand sanitizer.

## INCREASED CLEANING IN ALL COMMON AREAS

Property cleaning teams will be performing more frequent cleaning adhering to stricter cleaning protocols as well as routine deep cleanings.

## ON-SITE SAFETY & WELLNESS CONCIERGE

Introducing a wellness concierge team powered by both on-site staff (RXO) and digital tools to support temperature scanning and other customer service needs. This team will be dedicated to ensure protocols and behavior changes are adhered to.

## INDUSTRY LEADING SAFETY TECHNOLOGIES AND TOOLS

Powered by RxWell™, a suite of digital tools including the RxWell™ app, that will provide people with information about wellness initiatives and news in the building, ensure safe and simple access with a wellness questionnaire, and reduce congestion through work rotations and access to building data.

## CLEAR SOCIAL DISTANCE MARKERS

Lobbies and elevators will have markers to instruct people where to stand to help maintain social distancing.

## ENTRY AND EGRESS PROCEDURES

Directional signage in building lobbies will guide people and help maintain social distancing. Non-invasive thermal scanners will be present to take temperatures. Face masks will be required in all common spaces including building lobbies and elevator banks in tenant spaces.

## ROUTINE COMMUNICATIONS

Powered by RxWell™, people will receive real time notifications on cleaning completions, building safety and wellness updates.

## TENANT SPACE RE-PLANNING SERVICES

A comprehensive platform powered by a dedicated team of RXR Design and Construction professionals to facilitate tenant space needs during this time, including supplies, furniture, storage and layout considerations conducive to a healthy and safe work environment.

## INCREASED FILTRATION AND AIR CIRCULATION

MERV-13 air filters provide 95% removal efficiency of bacteria and virus carriers and fresh air exchanges exceed industry standards.



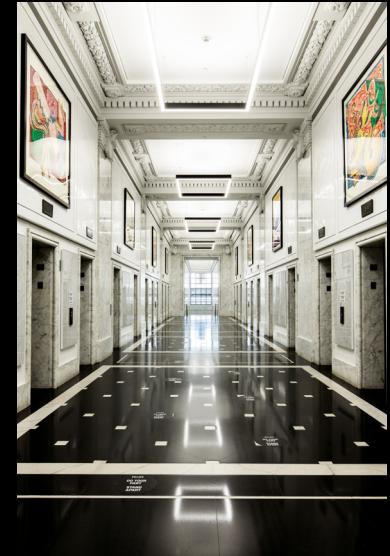
# IT'S NOT SOMETHING FOR EVERYONE

61 Broadway has earned its stripes. It was built solid with infrastructure that works for anything you can throw at it and does what it says it will. It's got something for everyone, and that's just being honest and direct. No fluff necessary.



# CONCRETE

In the heart of Downtown Manhattan, south of Tribeca and one block west of the NYSE.  
Access to 1, 2, 3, 4, 5, R, J, Z lines, WTC Transportation Hub and Fulton Center.



# JUNGLE JUNGLE

Views of the Hudson River, NY Harbor and Downtown, plus Midtown and WTC from the top floors. Completion of multi million dollar capital program including elevators, HVAC, sprinkler systems, bathrooms, common corridors, new lobby refinements and recent upgrades.



# FACTS

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All about first impressions.  
Lobby refinements and upgrades recently completed.

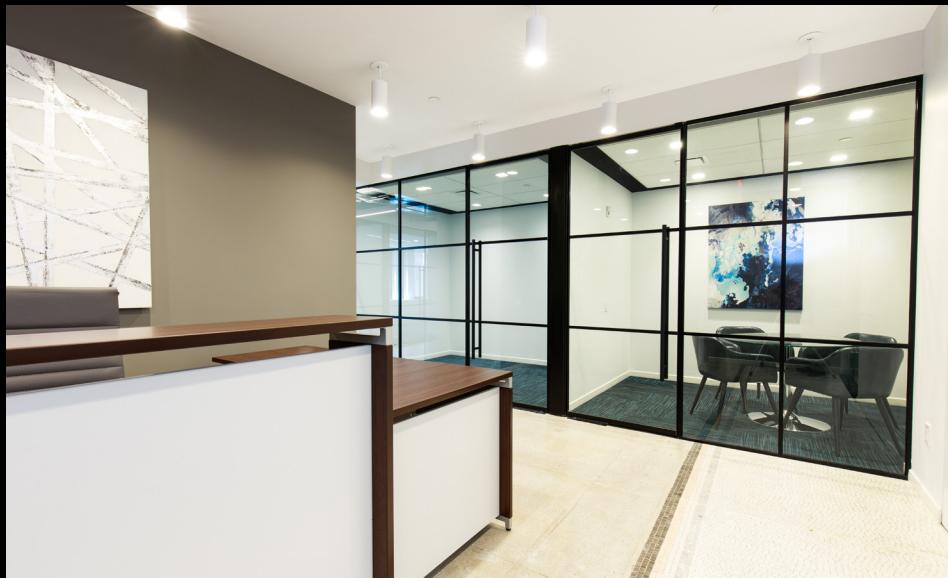
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Blank canvas conducive to a variety  
of designs to suit your needs. Anything you want  
is on the agenda. Built for getting it done.



Views of the city.



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# PREBUILTS

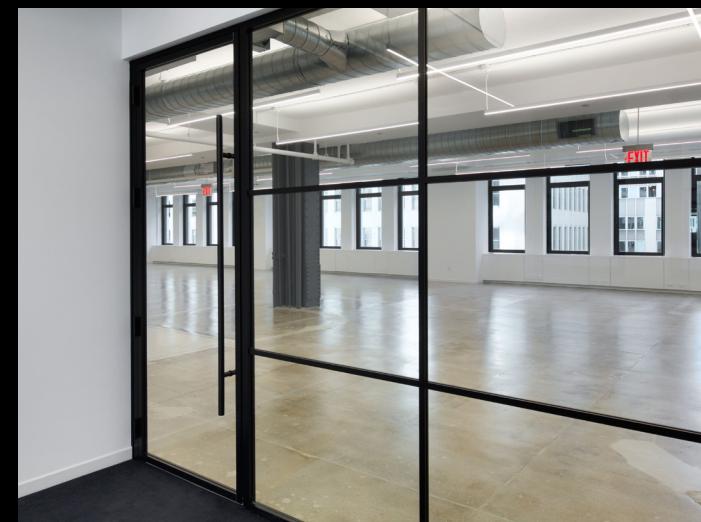
**SLEEK, URBAN, MODERN  
PREBUILT OFFICE LOFTS**

**RANGING FROM 3,071 RSF  
TO 11,508 RSF**

- Generous ceiling heights
- Great volume and efficiency to the space
- Efficient perimeter, slim convection units and column depth, benefiting efficiency

## DESIGN FEATURES INCLUDE:

- Attractive, understated urban palette including cool Calcestruzzo neutrals and sleek contrasting elements
- Contemporary office wall system featuring floor-to-ceiling glass, black trim and mullions
- Finished and open ceiling plan conducive to transitional usage and FF&E
- High-end pantry featuring Bosch appliances
- Smooth-grind polished concrete floors with Tartufo color finishing
- Streamlined linear lighting plan to accommodate various furniture layouts in open areas



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# POINTS OF INTEREST

## RESTAURANTS & BARS

- 1. Blue Smoke
- 2. Eataly
- 3. Pier A
- 4. Pasanella & Sons
- 5. Fresh Salt
- 6. Hudson Eats
- 7. Schilling
- 8. SUteiShi
- 9. Milk Bar
- 10. The Fulton
- 11. Acqua
- 12. Dead Rabbit
- 13. Vintry
- 14. Dubliner
- 15. Malibu Farms
- 16. Harry's NYC
- 17. The Capital Grille
- 18. Crown Shy
- 19. Five for Coffee
- 20. Harry's Italian

## SOUTH STREET SEAPORT

- 38. IPIC Theaters at Fulton Market
- 39. Garden Bar - Fulton Street

## CULTURAL DESTINATIONS

- 40. One World Observatory
- 41. Wall Street Bull
- 42. New York Stock Exchange
- 43. Trinity Church

## DESTINATION RETAIL

- 21. Hermès
- 22. Tiffany & Co.
- 23. Theory
- 24. Bonobos
- 25. Urban Outfitters
- 26. Whole Foods
- 27. Amazon Go at 1 Liberty
- 28. Brookfield Place
- 29. Cole Haan
- 30. Lululemon
- 31. L'occitane
- 32. Madewell
- 33. Westfield World Trade Center
  - Bose
  - Under Armour
  - Apple
  - Sephora

## PARKS & WELLNESS

- 34. Battery Park
- 35. East Side Running Path
- 36. Bowling Green Park
- 37. Life Time Fitness

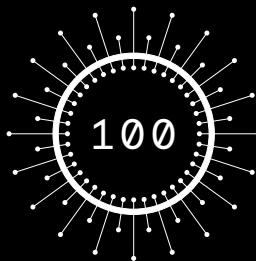


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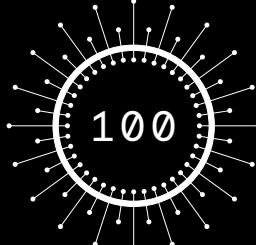
# TRANSPORTATION

Downtown Manhattan has it all. Walk, bike or take the MTA and get well connected.

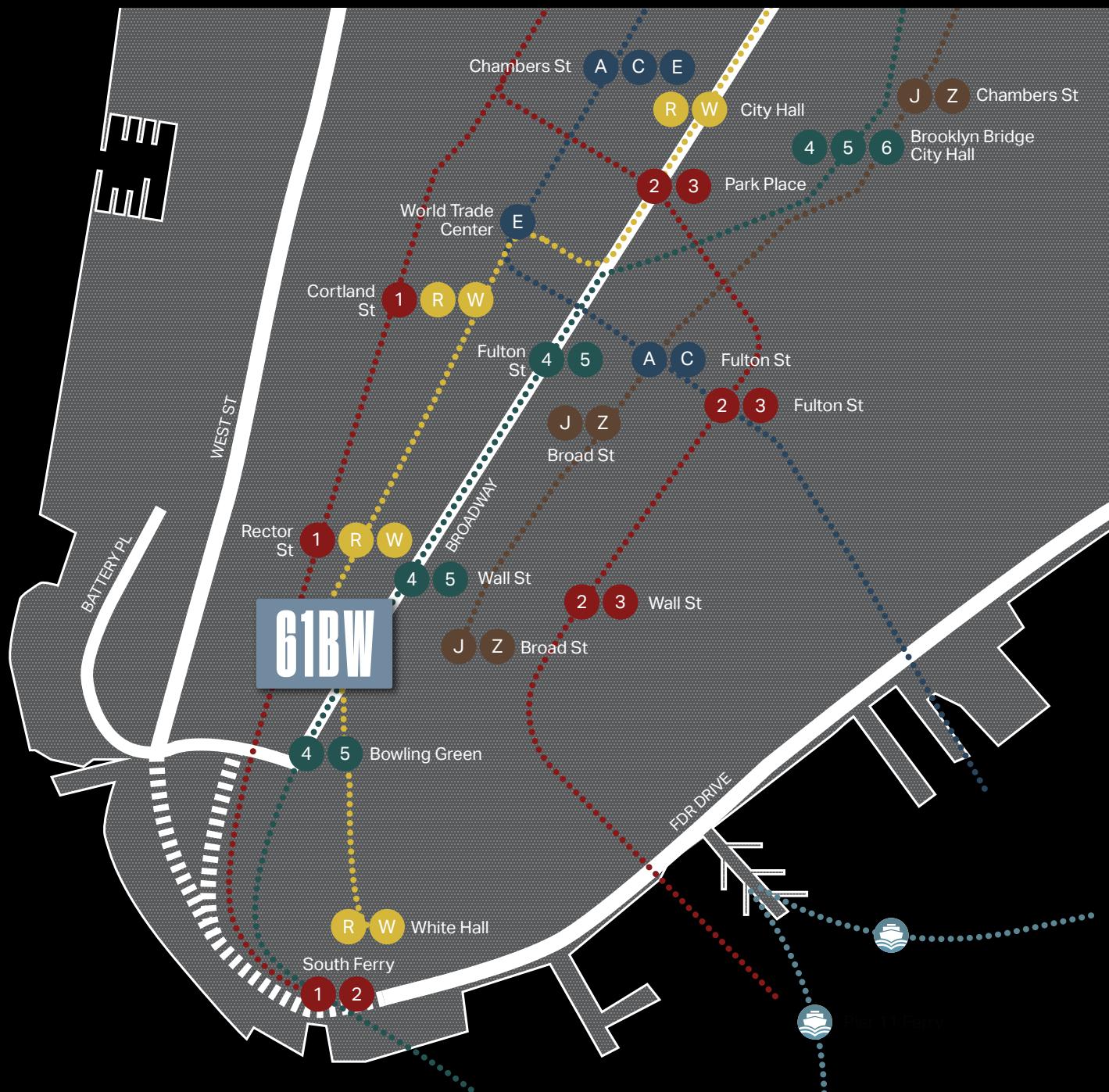
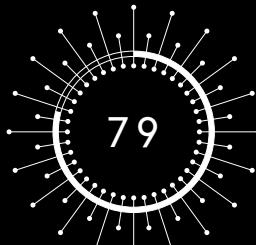
## WALK SCORE



## TRANSIT SCORE



## BIKE SCORE



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# 61 BROADWAY

## BUILDING SPECIFICATIONS

### BUILDING INFO

ENTRANCE	ARCHITECT	HVAC	ELEVATORS
Tenants and guests enter via the main entrance on Broadway or through entrance on Trinity.	Frances Kimble	Two DX water-cooled condensing units equipped with fresh air intake on each floor	16 Passenger (2,500 lbs) 1 Freight Serving floors 2-32
CONSTRUCTED	1916		
NUMBER OF FLOORS	LOBBY RENOVATED	AIR FILTRATION	GENERAL
34	2019	MERV-13 air filters within base building	Bicycle storage for 24 bikes
RENTABLE AREA	STRUCTURAL SYSTEM	HVAC equipment	
797,818 sf	Poured Concrete with Structural Steel Frame	Condenser Water	
TYPICAL FLOOR SIZE	WINDOW DIMENSIONS	Available for supplemental cooling	
Flexible floor sizes approximately 24,000 sf	3.5' Wide X 7.25' High	ELECTRICITY	
	3,200 New Operable Thermopane Windows	Up to 6 watts per square foot	

### SECURITY AND SAFETY

SECURITY
24 Hours Per Day/7 Days Per Week
Building Access through mobile phone app for tenants and guests
Digital Key Card Access

Control and CCTV at all Entry Points
Point Monitoring Access

### TELECOMMUNICATIONS AND FIBER

TELECOM/DATA/FIBER
AT&T, Time Warner Cable, Verizon, Cogent, RCN
TV
Spectrum

### SUSTAINABILITY CREDENTIALS



61BROADWAYNYC.COM

# WE'RE STILL WE'RE ON + HERE

FLEXIBLE FLOOR PLATES SUITABLE FOR STANDARD BUSINESS  
USE OR A MODERN COLLABORATIVE APPROACH

RECENT CAPITAL IMPROVEMENTS INCLUDE UPGRADED ELEVATORS,  
SPRINKLER SYSTEMS, HVAC, BATHROOMS, AND COMMON CORRIDORS

SWEEPING VIEWS OF THE HUDSON RIVER, NEW YORK HARBOR,  
AND DOWNTOWN SKYLINE; UNENCUMBERED VIEWS OF MIDTOWN  
AND WTC FROM TOP FLOORS

24/7 BUILDING ACCESS

HANDS-ON PROPERTY MANAGEMENT

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