

61

Downtown

1

Manhattan

61

New York City

W

61broadwaynyc.com

RXR

61 BROADWAY

BUILDING HEALTH PRACTICES

ABUNDANT HYGIENE SUPPLIES AND REPLENISHMENT

A dedicated RXR Care Station located in the building lobby will provide face masks, gloves and hand sanitizer.

INCREASED CLEANING IN ALL COMMON AREAS

Property cleaning teams will be performing more frequent cleaning adhering to stricter cleaning protocols as well as routine deep cleanings.

ON-SITE SAFETY & WELLNESS CONCIERGE

Introducing a wellness concierge team powered by both on-site staff (RXO) and digital tools to support temperature scanning and other customer service needs. This team will be dedicated to ensure protocols and behavior changes are adhered to.

INDUSTRY LEADING SAFETY TECHNOLOGIES AND TOOLS

Powered by RxWell™, a suite of digital tools including the RxWell™ app, that will provide people with information about wellness initiatives and news in the building, ensure safe and simple access with a wellness questionnaire, and reduce congestion through work rotations and access to building data.

CLEAR SOCIAL DISTANCE MARKERS

Lobbies and elevators will have markers to instruct people where to stand to help maintain social distancing.

ENTRY AND EGRESS PROCEDURES

Directional signage in building lobbies will guide people and help maintain social distancing. Non-invasive thermal scanners will be present to take temperatures. Face masks will be required in all common spaces including building lobbies and elevator banks in tenant spaces.

ROUTINE COMMUNICATIONS

Powered by RxWell™, people will receive real time notifications on cleaning completions, building safety and wellness updates.

TENANT SPACE RE-PLANNING SERVICES

A comprehensive platform powered by a dedicated team of RXR Design and Construction professionals to facilitate tenant space needs during this time, including supplies, furniture, storage and layout considerations conducive to a healthy and safe work environment.

INCREASED FILTRATION AND AIR CIRCULATION

MERV-13 air filters provide 95% removal efficiency of bacteria and virus carriers and fresh air exchanges exceed industry standards.

~~IT'S NOT~~ SOMETHING FOR EVERYONE

61 Broadway has earned its stripes. It was built solid with infrastructure that works for anything you can throw at it and does what it says it will. It's got something for everyone, and that's just being honest and direct. No fluff necessary.



CONCRETE

In the heart of Downtown Manhattan, south of Tribeca and one block west of the NYSE. Access to 1, 2, 3, 4, 5, R, J, Z lines, WTC Transportation Hub and Fulton Center.



JUNGLE

Views of the Hudson River, NY Harbor and Downtown, plus Midtown and WTC from the top floors. Completion of multi million dollar capital program including elevators, HVAC, sprinkler systems, bathrooms, common corridors, new lobby refinements and recent upgrades.



FACTS

RXR





All about first impressions.
Lobby refinements and upgrades recently completed.

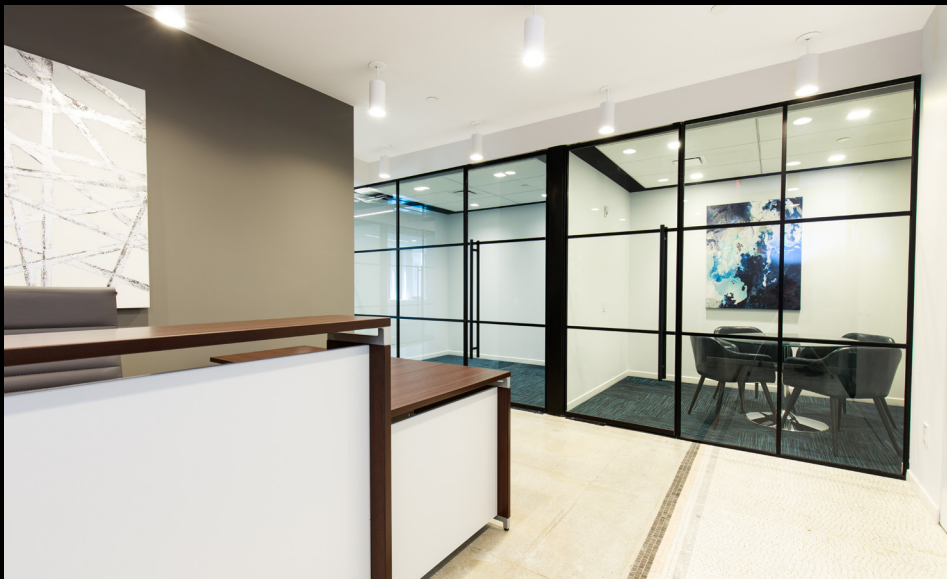
RXR



Blank canvas conducive to a variety
of designs to suit your needs. Anything you want
is on the agenda. Built for getting it done.



Views of the city.



PREBUILTS

SLEEK, URBAN, MODERN PREBUILT OFFICE LOFTS

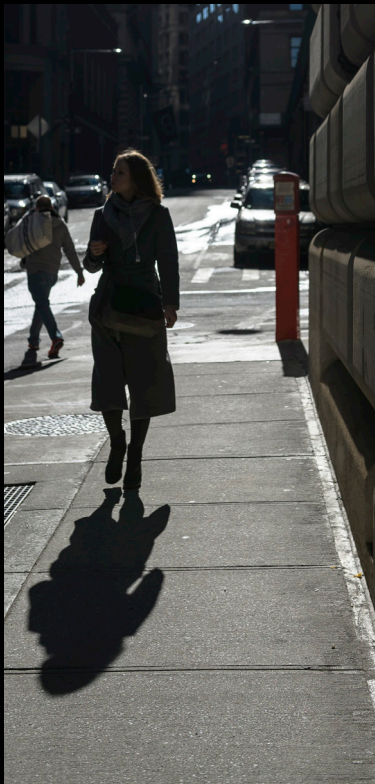
RANGING FROM 3,071 RSF TO 11,508 RSF

- Generous ceiling heights
- Great volume and efficiency to the space
- Efficient perimeter, slim convection units and column depth, benefiting efficiency

DESIGN FEATURES INCLUDE:

- Attractive, understated urban palette including cool Calcestruzzo neutrals and sleek contrasting elements
- Contemporary office wall system featuring floor-to-ceiling glass, black trim and mullions
- Finished and open ceiling plan conducive to transitional usage and FF&E
- High-end pantry featuring Bosch appliances
- Smooth-grind polished concrete floors with Tartufo color finishing
- Streamlined linear lighting plan to accommodate various furniture layouts in open areas





POINTS OF INTEREST

RESTAURANTS & BARS

1. Blue Smoke
2. Eataly
3. Pier A
4. Pasanella & Sons
5. Fresh Salt
6. Hudson Eats
7. Schilling
8. SuteiShi
9. Milk Bar
10. The Fulton
11. Acqua
12. Dead Rabbit
13. Vintry
14. Dubliner
15. Malibu Farms
16. Harry's NYC
17. The Capital Grille
18. Crown Shy
19. Five for Coffee
20. Harry's Italian

DESTINATION RETAIL

21. Hermès
22. Tiffany & Co.
23. Theory
24. Bonobos
25. Urban Outfitters
26. Whole Foods
27. Amazon Go at 1 Liberty
28. Brookfield Place
29. Cole Hann
30. Lululemon
31. L'occitane
32. Madewell
33. Westfield World Trade Center
 - Bose
 - Under Armour
 - Apple
 - Sephora

PARKS & WELLNESS

34. Battery Park
35. East Side Running Path
36. Bowling Green Park
37. Life Time Fitness

SOUTH STREET SEAPORT

38. IPIC Theaters at Fulton Market
39. Garden Bar - Fulton Street

CULTURAL DESTINATIONS

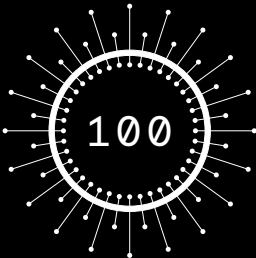
40. One World Observatory
41. Wall Street Bull
42. New York Stock Exchange
43. Trinity Church



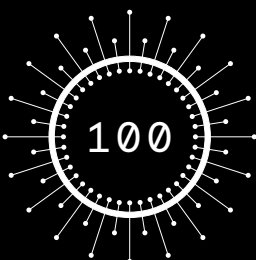
TRANSPORTATION

Downtown Manhattan has it all. Walk, bike or take the MTA and get well connected.

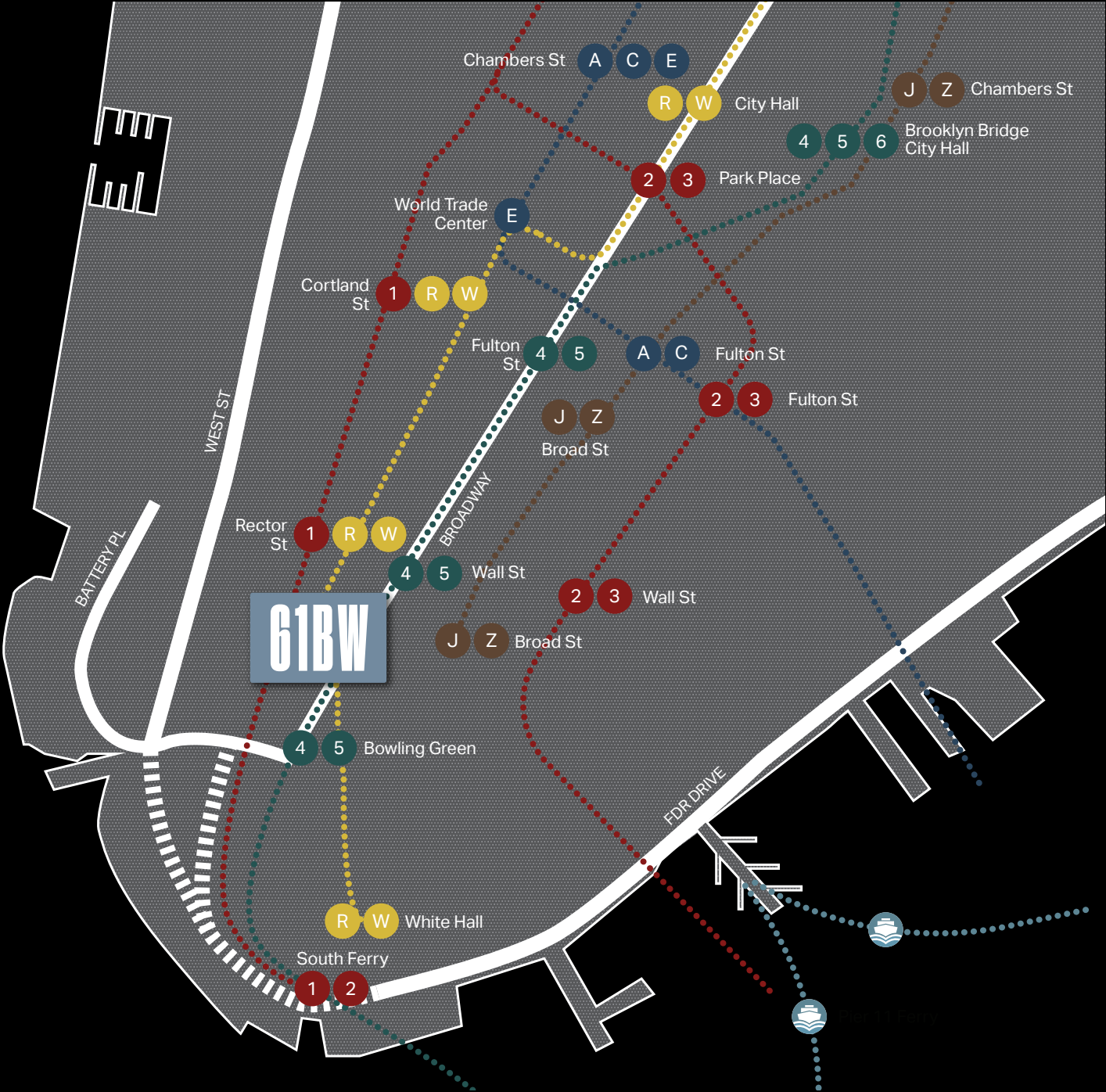
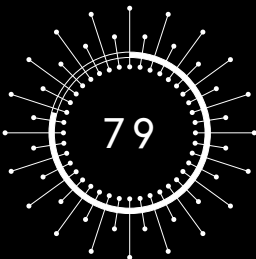
WALK SCORE



TRANSIT SCORE



BIKE SCORE



61 BROADWAY

BUILDING SPECIFICATIONS

BUILDING INFO

ENTRANCE

Tenants and guests enter via the main entrance on Broadway or through entrance on Trinity.

ARCHITECT

Frances Kimble

CONSTRUCTED

1916

NUMBER OF FLOORS

34

LOBBY RENOVATED

2019

RENTABLE AREA

797,818 sf

STRUCTURAL SYSTEM

Poured Concrete with Structural Steel Frame

TYPICAL FLOOR SIZE

Flexible floor sizes approximately 24,000 sf

WINDOW DIMENSIONS

3.5' Wide X 7.25' High

3,200 New Operable

Thermopane Windows

HVAC

Two DX water-cooled condensing units equipped with fresh air intake on each floor

AIR FILTRATION

MERV-13 air filters within base building HVAC equipment Condenser Water Available for supplemental cooling

ELECTRICITY

Up to 6 watts per square foot

ELEVATORS

16 Passenger (2,500 lbs)

1 Freight Serving floors 2-32

GENERAL

Bicycle storage for 24 bikes

SECURITY AND SAFETY

SECURITY

24 Hours Per Day/7 Days Per Week

New Class-E System

Fully Sprinklered

Building Access through mobile phone app for tenants and guests Digital Key Card Access

Sanitizing stations in all entry points

Control and CCTV at all Entry Points Point Monitoring Access

TELECOMMUNICATIONS AND FIBER

TELECOM/DATA/FIBER

AT&T, Time Warner Cable, Verizon, Cogent, RCN

TV

Spectrum

SUSTAINABILITY CREDENTIALS



RXR

Newmark
Knight Frank

61BROADWAYNYC.COM

WE'RE STILL WERE STILL HERE

**FLEXIBLE FLOOR PLATES SUITABLE FOR STANDARD BUSINESS
USE OR A MODERN COLLABORATIVE APPROACH**

**RECENT CAPITAL IMPROVEMENTS INCLUDE UPGRADED ELEVATORS,
SPRINKLER SYSTEMS, HVAC, BATHROOMS, AND COMMON CORRIDORS**

**SWEEPING VIEWS OF THE HUDSON RIVER, NEW YORK HARBOR,
AND DOWNTOWN SKYLINE; UNENCUMBERED VIEWS OF MIDTOWN
AND WTC FROM TOP FLOORS**

24/7 BUILDING ACCESS

HANDS-ON PROPERTY MANAGEMENT

RXR

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