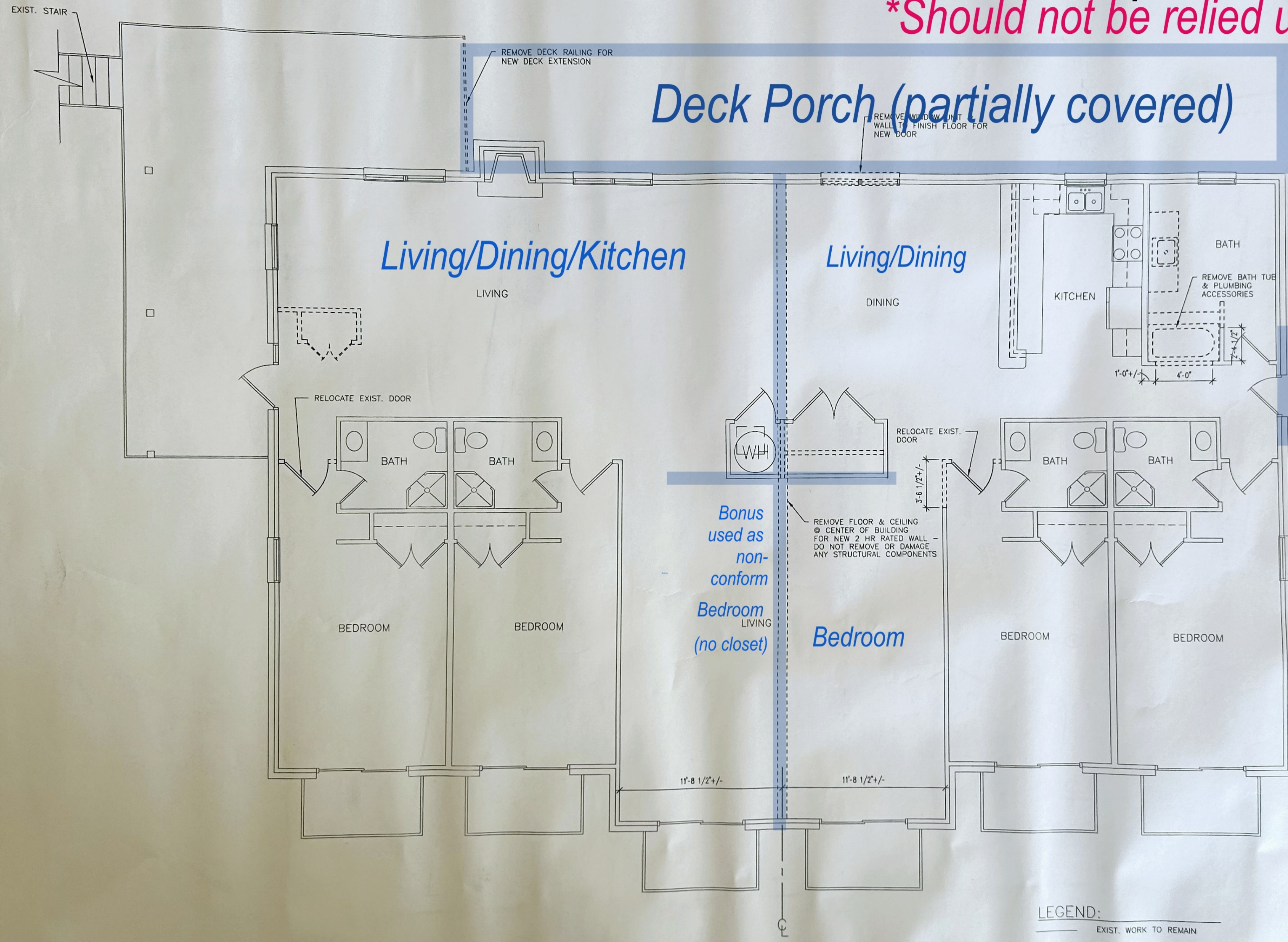


Original Blueprints Layout with current layout overlay.* For Conceptual Purposes only. *Should not be relied upon as accurate.



VICINITY MAP

NOT TO SCALE

GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR REQUIRED PERMITS AND INSPECTIONS.
- IF CONFLICTS ARE DISCOVERED WITHIN THE DOCUMENTS, CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL FOLLOW OSHA REQUIREMENTS FOR SITE/BUILDING CONSTRUCTION SAFETY. DIMENSIONS INDICATED ARE TO FACES OF STUDS.
- CONTRACTOR SHALL PROVIDE PROTECTION OF EXISTING PROPERTY & CONTENTS WITHIN LIMITS OF CONSTRUCTION & EGRESS PATH OUT OF BUILDING FROM LIMITS OF CONSTRUCTION. CONTRACTOR SHALL REPAIR/REPLACE ITEMS DISTURBED BY DEMOLITION & CONSTRUCTION TO THE OWNER'S SATISFACTION.
- PATCHING OF FINISHES DISTURBED BY CONSTRUCTION SHALL BE CONTINUOUS FROM FLOOR TO CEILING & FROM OFFSET TO OFFSET.
- CONTRACTOR SHALL COORDINATE STORAGE OF MATERIALS & EQUIPMENT WITH THE OWNER.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL LIGHT FIXTURES, POWER & SYSTEMS OUTLETS WITH THE OWNER.
- CONTRACTOR SHALL COORDINATE ALL UTILITIES WITH THE OWNER.
- CONTRACTOR MUST NOTIFY ARCHITECT PRIOR TO MOVING OR MANIPULATING ANY PORTIONS OF THE EXISTING BUILDING STRUCTURE.

LEGEND:

	EXIST. WORK TO REMAIN
	EXIST. WORK TO BE REMOVED
	EXIST. DOOR TO REMAIN
	EXIST. DOOR TO BE REMOVED

DEMO. FLOOR PLAN
SCALE: 1/4" = 1'-0"

Buyer to verify all independently.

Historic Doc for Conceptualization Purposes Only. Buyer should verify all info independently.

GENERAL NOTES

DIRECTED DOWN AND AWAY FROM ADJOINING

FEET WIDE BY 18 FEET DEEP UNLESS

S.

ABLE BY CONNECTION AND SUBJECT TO
FORE CONSTRUCTION APPROVAL.

TE WITH MSD AND OBTAIN SEPARATE SANITARY
CONNECTIONS. CONNECTION FEES WILL BE DUE
PROVAL.

ALLY METERED FOR GAS AND ELECTRIC
LOCATED ON THE BACK OR END OF BUILDING.

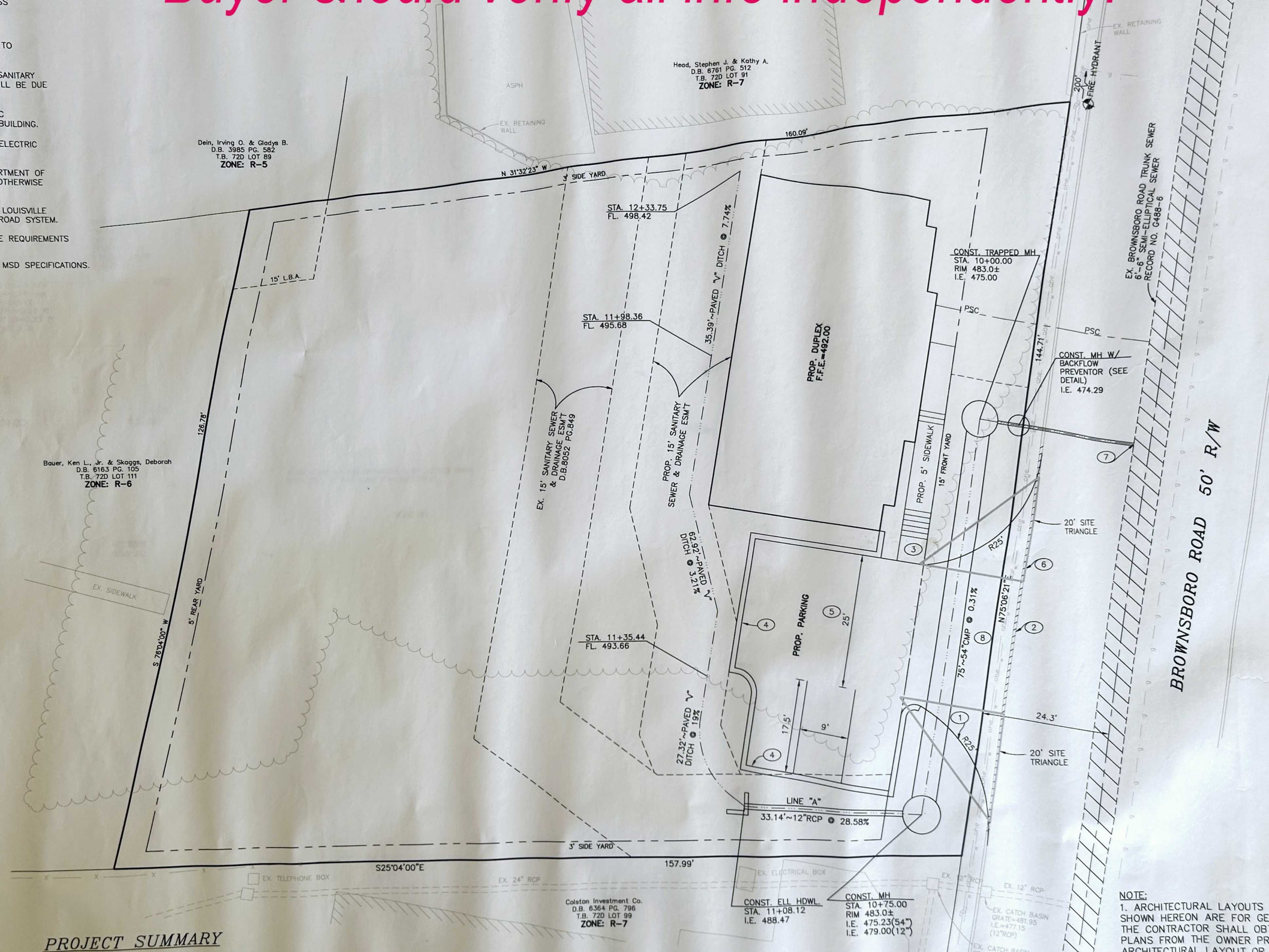
E PROVIDED ON THE SAME POLE AS ELECTRIC

N ACCORDANCE WITH KENTUCKY DEPARTMENT OF
SPECIFICATIONS LATEST EDITION UNLESS OTHERWISE

MIT MUST BE ISSUED BY THE CITY OF LOUISVILLE
AFFECTING THE CITY OF LOUISVILLE'S ROAD SYSTEM.

E INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS
UNITY FIRE SAFETY PROGRAM.

BE REINFORCED CONCRETE PIPE PER MSD SPECIFICATIONS.



PROJECT SUMMARY

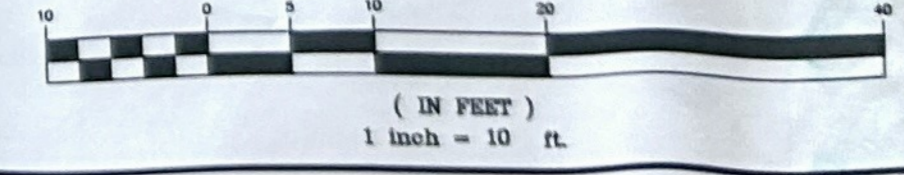
EXISTING ZONE	R-6
EXISTING USE	VACANT
FORM DISTRICT	TRADITIONAL NEIGHBORHOOD
PROPOSED USE	MULTI-FAMILY RESIDENTIAL DUPLEX
SITE AREA	0.48 AC. (20,925 SQ. FT.)
TOTAL BUILDING (SQ. FT.)	2,278 SQ. FT.
NUMBER OF UNITS	2
GROSS DENSITY	4.17 UNITS/AC.
MAX. BUILDING HEIGHT	45 FT.
PARKING REQUIRED (1 SP./D.U.)	2 SPACES
PARKING PROVIDED	3 SPACES
EXISTING IMPERVIOUS SURFACE	0 SQ. FT.
PROPOSED IMPERVIOUS SURFACE	4,538 SQ. FT.

BOUNDARY INFORMATION SHOWN HEREON WAS DERIVED FROM A MINOR SUBDIVISION PLAT D.B. 6131 PG. 927 PREPARED BY PRECISE LAND COMPANY DATED 9/23/91 STAMPED BY MARK E. GARBER PLS #2975

THE REFERENCE MERIDIAN WAS TAKEN FROM D.B. 5311 P. 251 AND TAKEN ALONG HOLLYWOOD TERRACE. THE METHOD OF SURVEY WAS RANDOM TRAVERSE.

- NOTE:**
1. ARCHITECTURAL LAYOUTS AND/OR DIMENSIONS SHOWN HEREON ARE FOR GENERAL DESIGN PURPOSES. THE CONTRACTOR SHALL OBTAIN ARCHITECTURAL PLANS FROM THE OWNER PRIOR TO PERFORMING ANY ARCHITECTURAL LAYOUT OR CONSTRUCTION.
 2. THE PROPOSED SIDEWALK, STAIRS & RETAINING WALL SHALL BE DESIGNED WITH THE ARCHITECTURAL LAYOUT. (BY OTHERS)

GRAPHIC SCALE

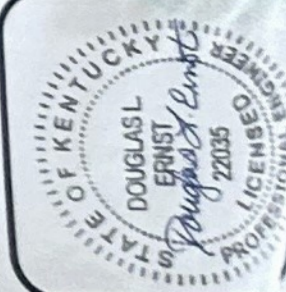


DAILY & ASSOCIATES, ENGINEERS, INC.
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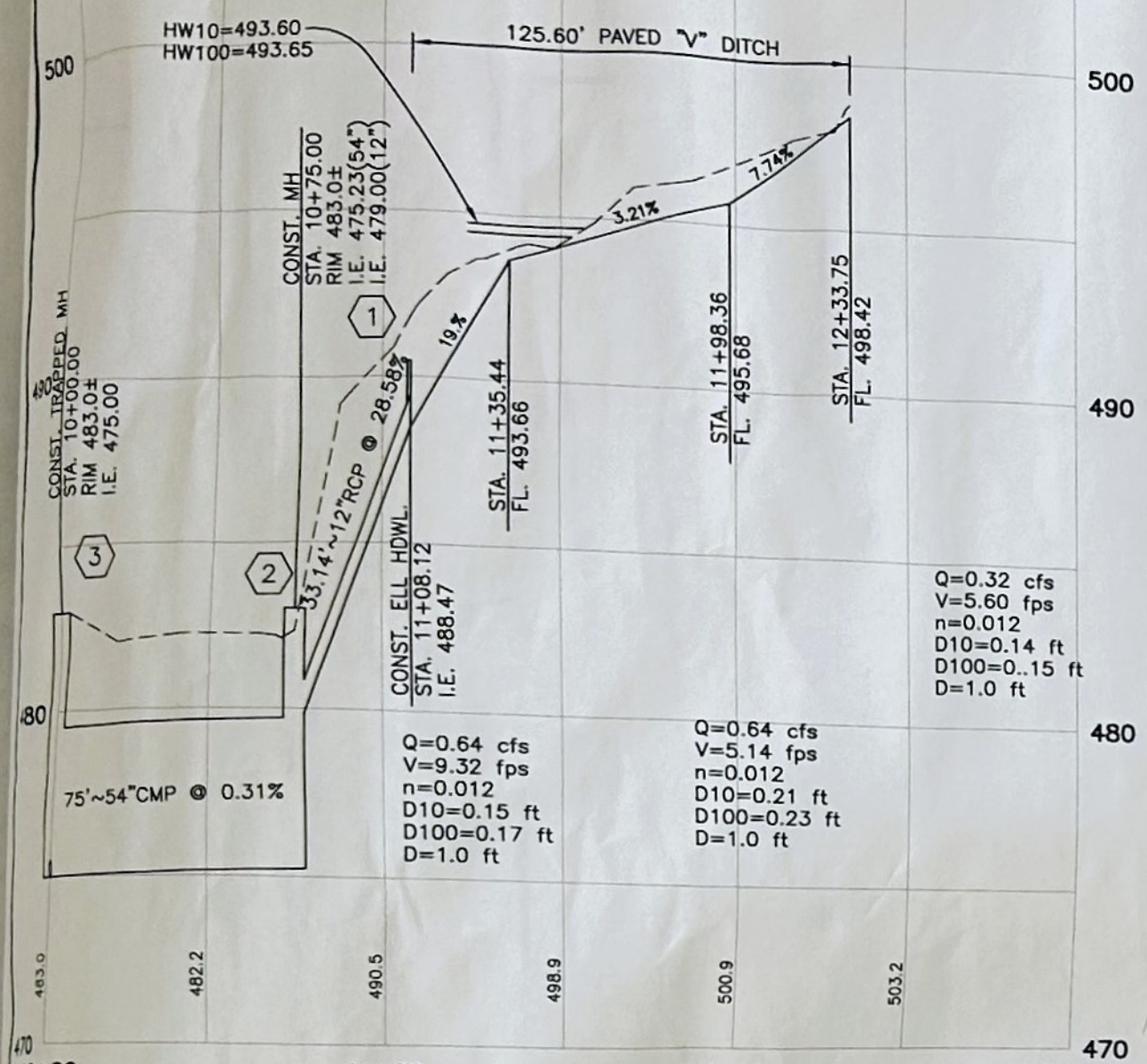
DATE	REVISIONS
3/19/2003	
DRAWN BY: W.D.V.	
CHECKED BY: D.L.L.	
SCALE: 1"=10' (HORZ)	
SCALE: N/A (VERT)	

SITE LAYOUT PLAN
BROWNSBORO APARTMENTS
2726 BROWNSBORO ROAD
LOUISVILLE, KY



JOB NUMB	6701.0
SHEET	3
OF	5

Historic Doc. For Conceptualization Purposes Only.



LINE "A"
 HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'

- CONSTRUCTION SEQUENCING/PHASING**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE
 2. INSTALL SILT FENCING
 3. AVOID CLEARING AND DISTURBING STEEP SLOPES ABOVE DITCH LINE "A" ANY MORE THAN NECESSARY.
 4. CONSTRUCT SANITARY SEWERS, DRAINAGE & ROADWAYS WITH APPROPRIATE STORM WATER BMP'S.
 5. ONCE PROJECT SITE IS STABILIZED STORM WATER BMP'S WILL BE REMOVED, CONTOURS WILL BE RESTORED TO FINAL GRADES AND DISTURBED AREAS WILL BE PERMANENTLY SEEDED.
 6. REMOVE STABILIZED CONSTRUCTION ENTRANCE AND COMPLETE INSTALLATION OF PAVEMENT AT ENTRANCE.

- STORM WATER BMP MAINTENANCE SCHEDULE**
1. SILT FENCING AND OTHER BMP'S SHALL BE INSPECTED ON A WEEKLY BASIS. ALL DAMAGED OR DISTURBED BMP'S SHALL BE IMMEDIATELY REPAIRED TO AN OPERATIONAL CONDITION.
 2. ANY MAJOR SILT SPILLS ESCAPING THE CONSTRUCTION SITE SHALL IMMEDIATELY BE REPORTED TO MSD AND THE ENGINEER SO REMEDIATION MEASURES CAN BE IMPLEMENTED.
 3. COPIES OF ALL BMP INSPECTION REPORTS SHALL BE MAINTAINED ON-SITE AND MADE AVAILABLE FOR REVIEW BY THE ENGINEER OR MSD INSPECTOR.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY MSD'S PRIVATE DEVELOPMENT REVIEW OFFICE. EPSC BMP'S SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

Bauer, Ken L., Jr. & Skaggs, Deborah
 D.B. 6163 PG. 105
 T.B. 720 LOT 111
 ZONE: R-6

OFFSITE
 0.33 AC

AVOID CLEARING AND DISTURBING STEEP SLOPES ABOVE DITCH LINE "A" ANY MORE THAN NECESSARY.

0.28 AC

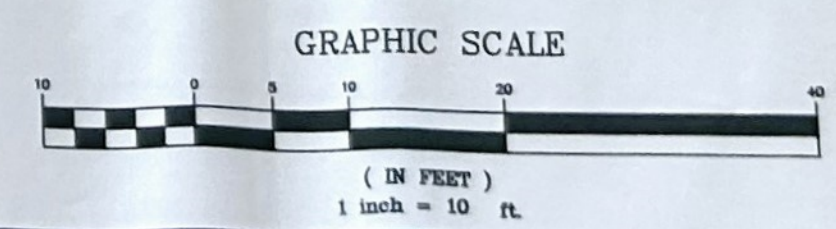
Buyer should verify all info independently.

DRAINAGE TABLE
 n=0.012

LINE	FROM	TO	RUNOFF				INVERTS				ENTRY TIME 10 MINS.							
			INCREMENT ACRES	SUM OF ACRES	INTENSITY INS./HR.	"C" Q	LENGTH OF PIPE	SIZE INS.	SLOPE %	FALL IN FEET	H.W. IN FEET	UP STREAM	DOWN STREAM	CAPACITY c.f.s.	VELOCITY f.p.s.	SECTION MINS.	SUM MINS.	
A	1	2	0.56	0.56	5.35	0.32	0.96	33.14	12	28.58	9.47	0.6	488.47	479.00	6.53	5.95	0.09	10.09
A	2	3	0.13	0.69	5.35	0.48	1.77	75.00	54	0.30	0.23	-	475.23	475.00	-	-	-	-

NOTE: 54" RCP TO BE USED FOR DETENTION.

* USE 6,500 PSI CONCRETE.



- SF- = REINFORCED SILT FENCE
- # = DRAINAGE NODE
- = DRAINAGE FLOW
- ⊠ = TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- ◆ = STONE BAG CHECK DAM

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 Louisville, Kentucky 40220



REVISIONS

NO.	DATE	BY	DESCRIPTION
1	3/19/2003	W.D.V.	
2			
3			

DATE: 3/19/2003
 DRAWN BY: W.D.V.
 CHECKED BY: D.L.E.

COMPOSITE DRAINAGE & EPSC PLAN