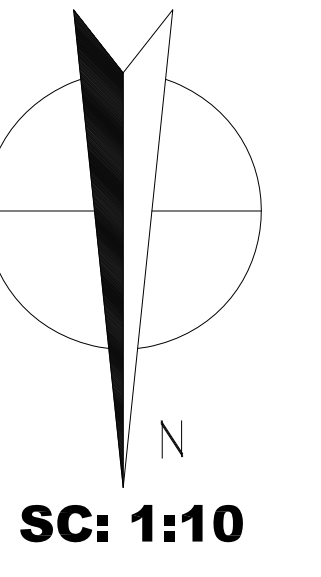


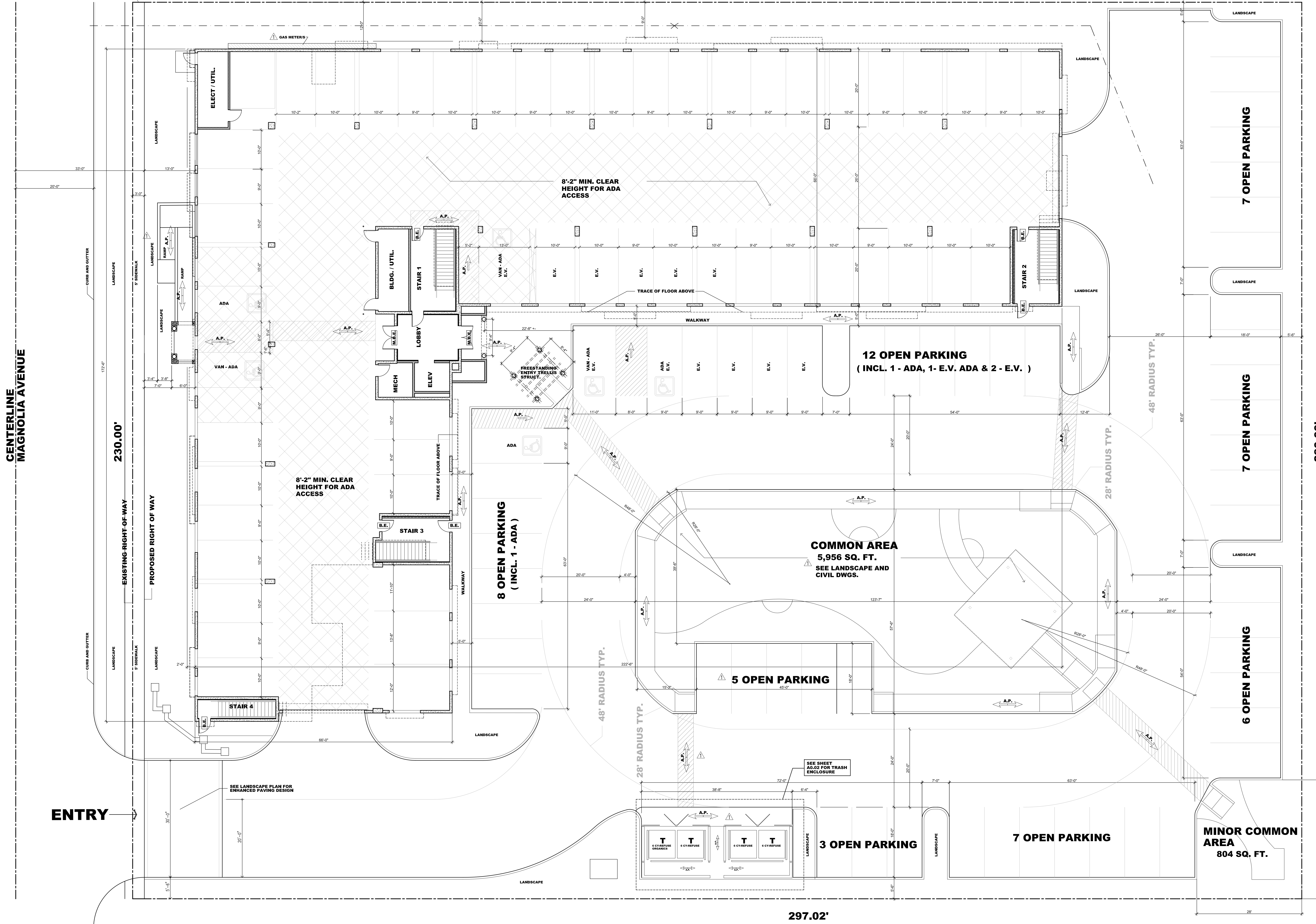
CENTERLINE
MAGNOLIA AVENUE

3.00'
DEDICATION

297.02'



SC: 1:10

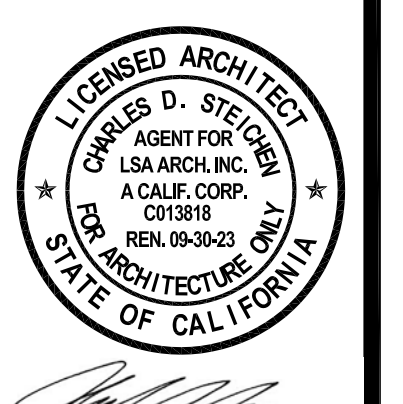


ARCHITECTURAL PLOT PLAN

SCALE 1:10

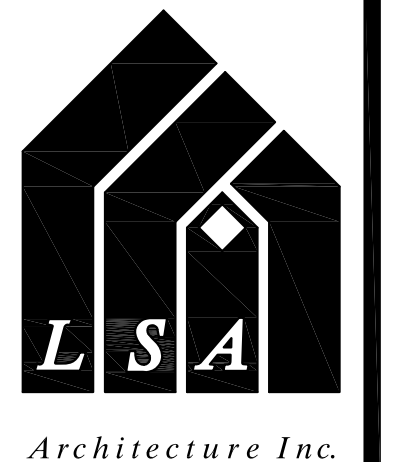
- ACCESSIBLE PATH OF TRAVEL
SEE CIVIL SHEETS 3 THRU 7 AND 11, 12.
- BUILDING ENTRANCE / EXIT
- BUILDING ENTRANCE / EXIT

MAGNOLIA APARTMENTS
890 S. MAGNOLIA AVE.
ONTARIO, CA



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ARCHITECTURAL PLOT PLAN



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Anaheim, CA 92807
(949) 873-5255

Job No. LSA-0421

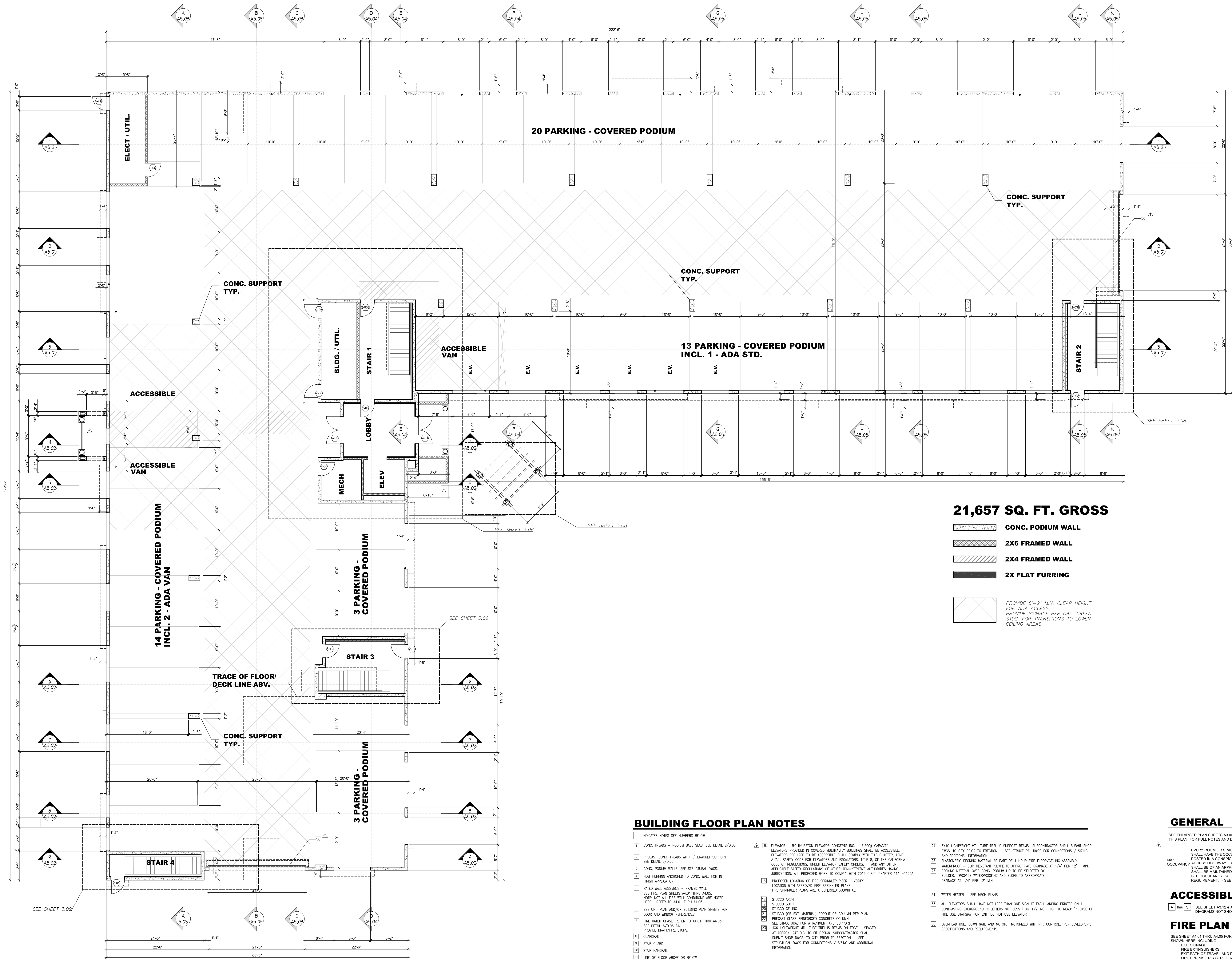
Revisions:

Drawn:
Date:



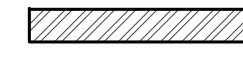


Sheet

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21,657 SQ. FT. GROSS

-  **CONC. PODIUM WALL**
-  **2X6 FRAMED WALL**
-  **2X4 FRAMED WALL**
-  **2X FLAT FURRING**
-  **PROVIDE 8'-2" MIN. CLEAR HEIGHT FOR ADA ACCESS. PROVIDE SIGNAGE PER CAL. GREEN STDS. FOR TRANSITIONS TO LOWER CEILING AREAS**

BUILDING FLOOR PLAN NOTES

- 1 INDICATES NOTES SEE NUMBERS BELOW
- 2 CONC. THROUS - PODIUM BASE SLAB. SEE DETAIL 2/0.03
- 3 PRECAST CONC. THROUS WITH '1' BRACKET SUPPORT SEE DETAIL 2/0.03
- 4 CONC. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 5 FLAT FURRING ANCHORED TO CONC. WALL FOR INT. FINISH APPLICATION
- 6 RATED WALL ASSEMBLY - FRAMED WALL. SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 7 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 8 FIRE RATED DWG. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/0.06 S.M. PROVIDE DRAFT/FIRE STOPS
- 9 SHOWER
- 10 STAR GUARD
- 11 STAR HANGBAR
- 12 LINE OF FLOOR ABOVE OR BELOW
- 13 ELEVATOR - BY THORNTON ELEVATOR CONCEPTS INC. - 3,000 LB CAPACITY. ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A - 1124A
- 14 PROPOSED LOCATION OF FIRE SPRINKLER RISER - VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL
- 15 STUCCO ARCH STUCCO SOFFIT STUCCO CEILING STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN PRECAST CLAS. REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT
- 16 4x4 LIGHTFOOT WFL. TUBE TRUSS BEAMS ON EDGE - SPACED AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / USING AND ADDITIONAL INFORMATION
- 17 6x10 LIGHTFOOT WFL. TUBE TRUSS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / USING AND ADDITIONAL INFORMATION
- 18 CUSTOMER FINISHING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY - WATERPROOF - SLIP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN. BEADING MATERIAL OVER CONC. PODIUM TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.
- 19 WATER HEATER - SEE MECH PLANS
- 20 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2" HIGH TO READ: "IN CASE OF FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR"
- 21 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH REF. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS

GENERAL

- SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOWNWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED DESIGN PER PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11

ACCESSIBLE NOTES

- A [] [] SEE SHEET A3.12 A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

- SEE SHEET A3.01 THRU A3.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING:
 - EXIT SIGNAGE
 - FIRE EXTINGUISHERS
 - EXIT PATH OF TRAVEL AND DISTANCE
 - FIRE SPRINKLER RISER LOCATION AND NOTES

FIRST FLOOR - PODIUM LEVEL PARKING SCALE: 1/8"=1'-0"

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MAGNOLIA APARTMENTS
890 S. MAGNOLIA AVE.
ONTARIO, CA

FIRST FLOOR
PODIUM LEVEL

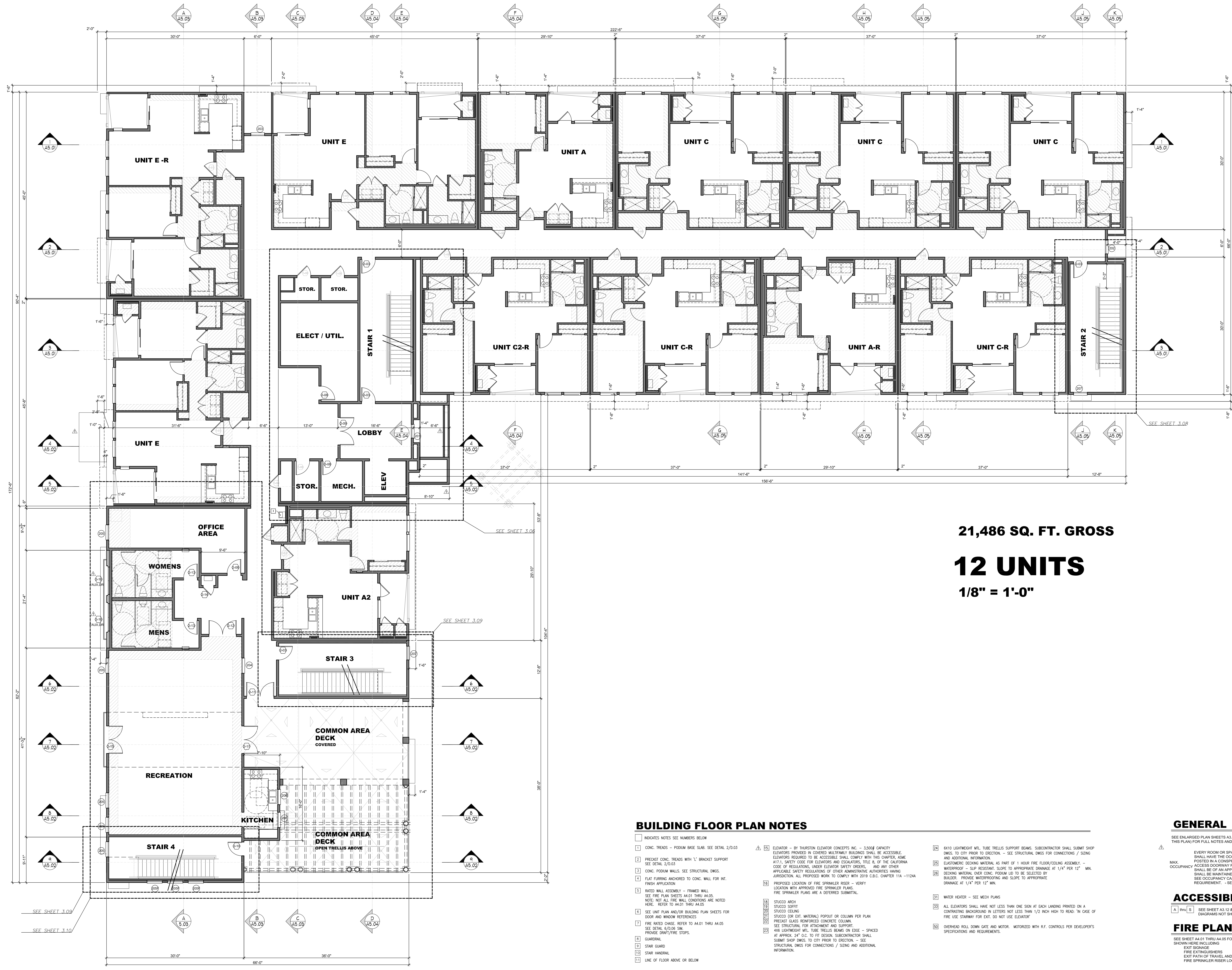
LICENSED ARCHITECT
 CHARLES D. STEIGER
 AGENT FOR
 LSA ARCH INC.
 A CALIF. CORP.
 01818
 15000
 LSA ARCHITECTURE INC.
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 ARCHITECT
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 Anaheim, CA 92807
 (949) 873-5255

Job No. LSA-0421
 Revisions:

Drawn:
 Date:
 Sheet
A3.01



21,486 SQ. FT. GROSS

12 UNITS

1/8" = 1'-0"

SECOND FLOOR LEVEL

SCALE: 1/8"=1'-0"

BUILDING FLOOR PLAN NOTES

- INDEXES NOTES SEE NUMBERS BELOW
- 1 CONG. THREADS - PODIUM BASE SLAB. SEE DETAIL 2/0.03
- 2 PRECAST CONG. THREADS WITH "1" BRACKET SUPPORT SEE DETAIL 2/0.03
- 3 CONG. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 4 FLAT FLOORING ANCHORED TO CONG. WALL FOR INT. FINISH APPLICATION
- 5 RATED WALL ASSEMBLY - FRAMED WALL. SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 6 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 7 FIRE RATED DWG. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/0.06 S.M. PROVIDE DRAFT/FIRE STOPS
- 8 GUARDRAIL
- 9 STAR GUARD
- 10 STAR HANDRAIL
- 11 LINE OF FLOOR ABOVE OR BELOW
- 12 ELEVATOR - BY THORNTON ELEVATOR CONCEPTS INC. - 3,000 LB CAPACITY. ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A - 1124A
- 13 PROPOSED LOCATION OF FIRE SPRINKLER RISER - VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.
- 14 STUCCO ARCH
- 15 STUCCO SOFFIT
- 16 STUCCO CEILING
- 17 STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN. PRECAST CLASS 5000/5500 CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT
- 18 400 LIGHTFOOT W/L TUBE TRUSS BEAMS ON EDGE - SPACED AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL INFORMATION.
- 19 610 LIGHTFOOT W/L TUBE TRUSS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL INFORMATION.
- 20 CUSTOMER FINISHING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY. - WATERPROOF - SLIP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN. BEARING MATERIAL OVER CONG. PODIUM LD TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.
- 21 WATER HEATER - SEE MECH PLANS
- 22 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2" HIGH TO READ: "IN CASE OF FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR"
- 23 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH REF. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOWNWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED DESIGN PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11.

ACCESSIBLE NOTES

SEE SHEET A3.12 A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

SEE SHEET A3.01 THRU A3.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING:

- EXIT SIGNAGE
- FIRE EXTINGUISHERS
- EXIT PATH OF TRAVEL AND DISTANCE
- FIRE SPRINKLER RISER LOCATION AND NOTES

MAGNOLIA APARTMENTS
890 S. MAGNOLIA AVE.
ONTARIO, CA



STAMP NOT VALID UNLESS SIGNED BY ARCHITECT IN BLOCK ABOVE

SECOND FLOOR LEVEL



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Suite G-213
Anaheim, CA 92807
(949) 873-5255

Job No. LSA-0421

Revisions:

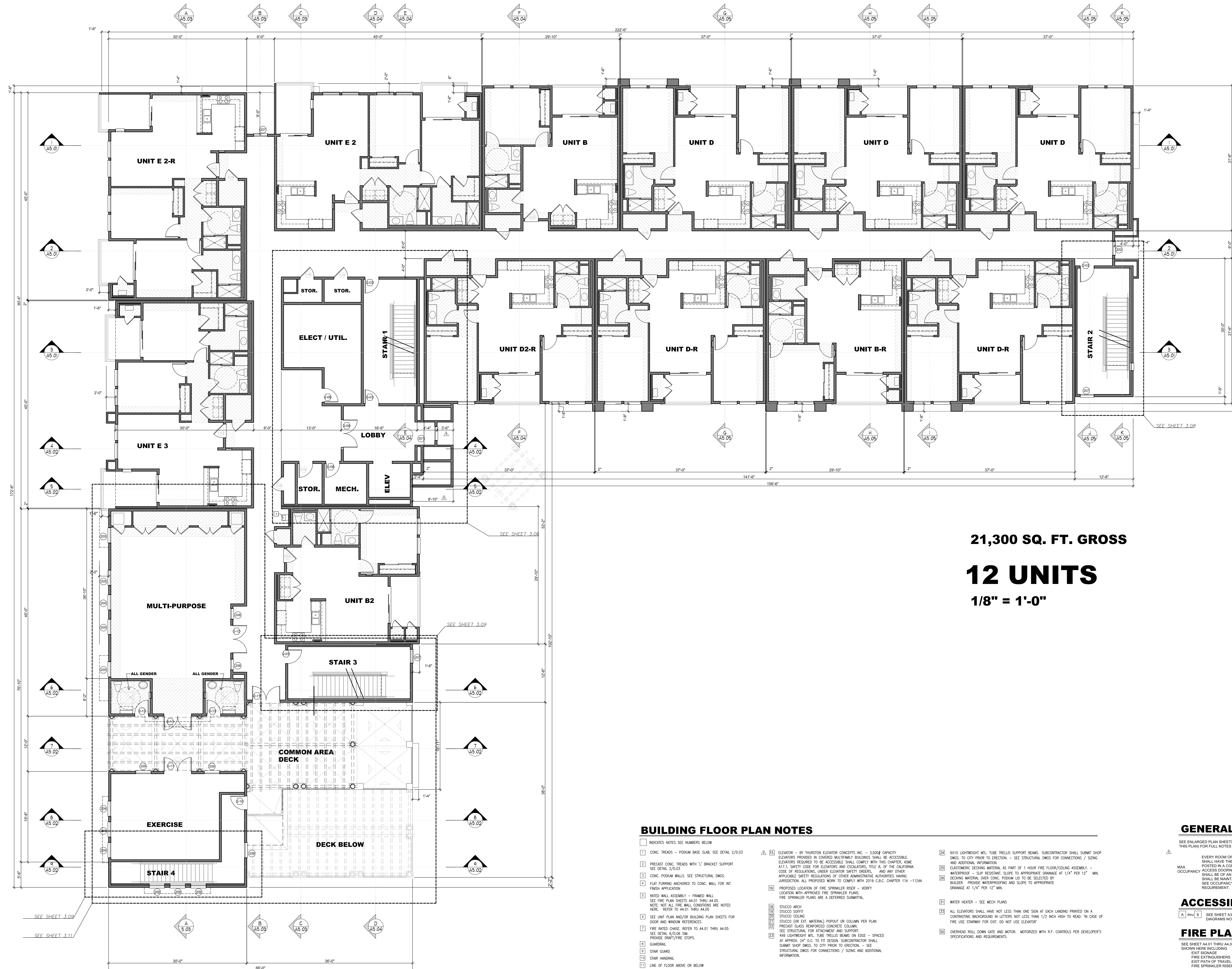
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A3.02

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THIRD FLOOR LEVEL

SCALE: 1/8" = 1'-0"

BUILDING FLOOR PLAN NOTES

- 1 CONG. THROTS - PODIUM BASE SLAB. SEE DETAIL 2/0.03
- 2 PRECAST CONG. THROTS WITH "I" BRACKET SUPPORT SEE DETAIL 2/0.03
- 3 CONG. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 4 FLAT FLOORING ANCHORED TO CONG. WALL FOR INT. FINISH APPLICATION
- 5 RATED WALL ASSEMBLY - FRAMED WALL. SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 6 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 7 FIRE RATED DWG. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/0.06 S.M.
- 8 PROMISE DRAFT/FIRE STOPS
- 9 SHOWERBATH
- 10 STAR GUARD
- 11 STAR HANGBAR
- 12 LINE OF FLOOR ABOVE OR BELOW
- 13 ELEVATOR - BY THORNTON ELEVATOR CONCEPTS INC. - 3,200 LB CAPACITY ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THIS CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A - 1124A
- 14 PROPOSED LOCATION OF FIRE SPRINKLER RISER - VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.
- 15 STUCCO ARCH
- 16 STUCCO SOFFIT
- 17 STUCCO CEILING
- 18 STUCCO (OR EXT. MATERIAL) POPOUT OR COLLUM PER PLAN
- 19 PRECAST CLASS RIBBED CONCRETE COLUMN
- 20 SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT
- 21 4x6 LIGHTWOOD W/ TUBE TRUSS BEAMS ON EDGE - SPACED AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL INFORMATION.
- 22 6x10 LIGHTWOOD W/ TUBE TRUSS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL INFORMATION.
- 23 CUSTOMER FINISHING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY.
- 24 WATERPROOF - SLP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.
- 25 BEADING MATERIAL OVER CONG. PODIUM LD TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.
- 26 WATER HEATER - SEE MECH PLANS
- 27 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2" HIGH TO READ: "IN CASE OF FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR"
- 28 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH REF. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

21,300 SQ. FT. GROSS

12 UNITS

1/8" = 1'-0"

GENERAL

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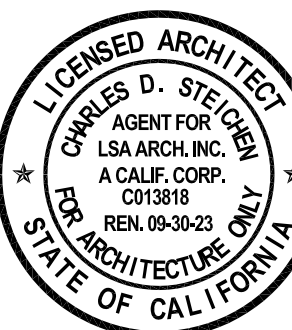
ACCESSIBLE NOTES

SEE SHEET A3.12 A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

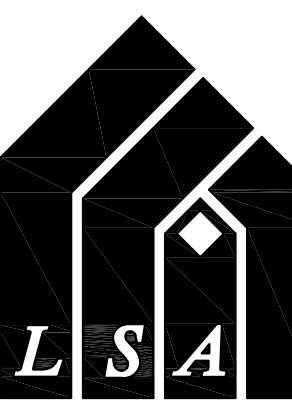
SEE SHEET A3.11 THRU A3.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING:
 EXIT SIGNAGE
 FIRE EXTINGUISHERS
 EXIT PATH OF TRAVEL AND DISTANCE
 FIRE SPRINKLER RISER LOCATION AND NOTES

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890 S. MAGNOLIA AVE.
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THIRD FLOOR LEVEL



Architecture Inc.

5753 E. Santa Ana Canyon Road
 Anaheim, CA 92807
 (949) 873-5255

Job No. LSA-0421

Revisions:

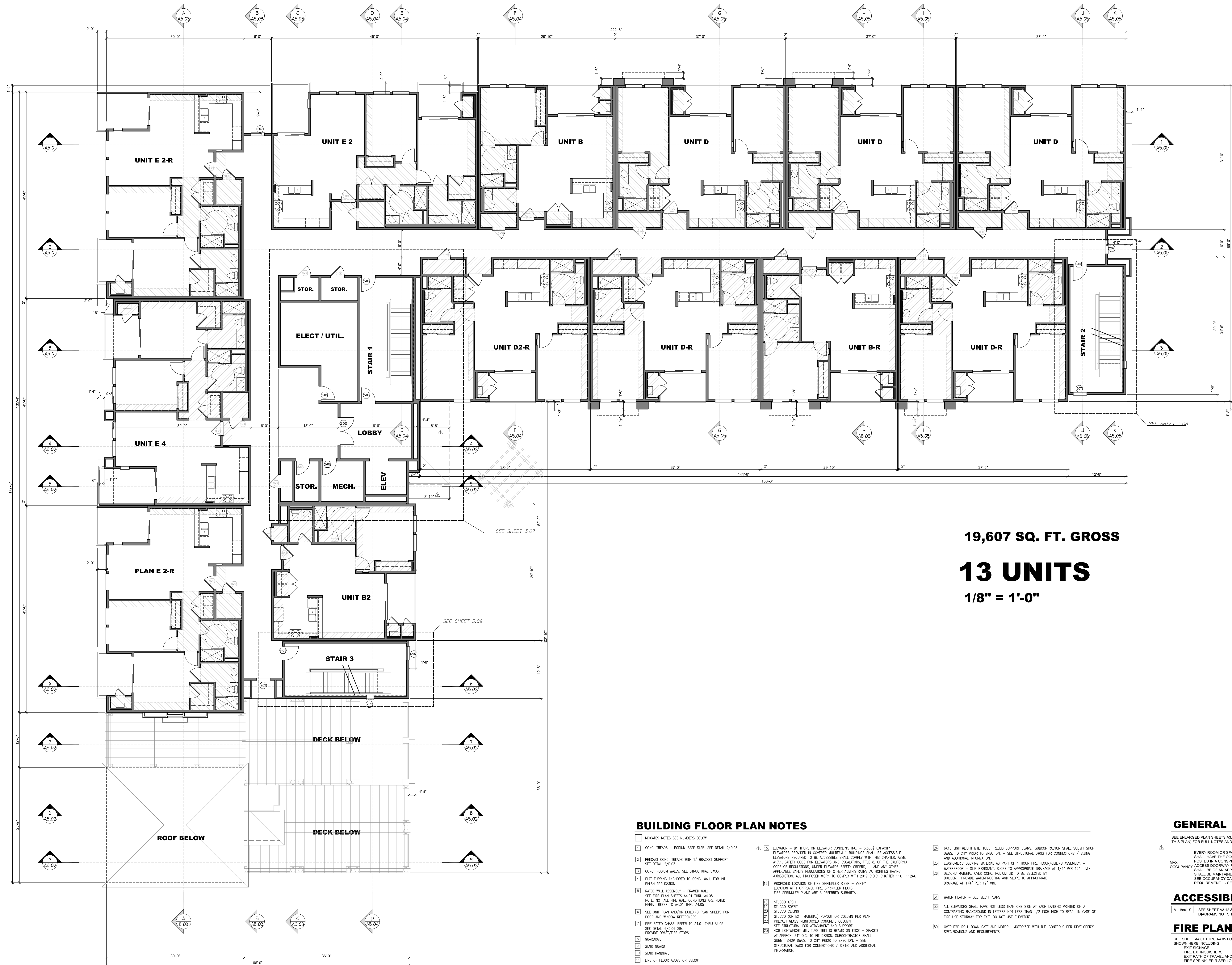
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19,607 SQ. FT. GROSS

13 UNITS

1/8" = 1'-0"

FOURTH FLOOR LEVEL

SCALE: 1/8" = 1'-0"

BUILDING FLOOR PLAN NOTES

- 1. INDICATES NOTES SEE NUMBERS BELOW
- 2. CONC. THREADS - PODIUM BASE SLAB. SEE DETAIL 2/0.03
- 3. PRECAST CONC. THREADS WITH "1" BRACKET SUPPORT SEE DETAIL 2/0.03
- 4. CONC. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 5. FLAT FLOORING ANCHORED TO CONC. WALL FOR INT. FINISH APPLICATION
- 6. RATED WALL ASSEMBLY - FRAMED WALL. SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 7. SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 8. FIRE RATED DWG. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/0.06 S.M.
- 9. PROVIDE DRAFT/FIRE STOPS
- 10. GUARDRAIL
- 11. STAIR GUARD
- 12. STAIR HANDRAIL
- 13. LINE OF FLOOR ABOVE OR BELOW
- 14. ELEVATOR - BY THORNTON ELEVATOR CONCEPTS INC. - 3,000 LB CAPACITY. ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A - 1124A
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- 17. STUCCO SOFFIT
- 18. STUCCO CEILING
- 19. STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN
- 20. PRECAST CLAS. REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT
- 21. 4X4 LIGHTWOOD W/ TUBE TRUSS BEAMS ON EDGE - SPACED AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / USING AND ADDITIONAL INFORMATION.
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- 27. OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH REF. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

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ACCESSIBLE NOTES

- 1. SEE SHEET A3.12 & A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

- 1. SEE SHEET A4.01 THRU A4.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING:
 - EXIT SIGNAGE
 - FIRE EXTINGUISHERS
 - EXIT PATH OF TRAVEL AND DISTANCE
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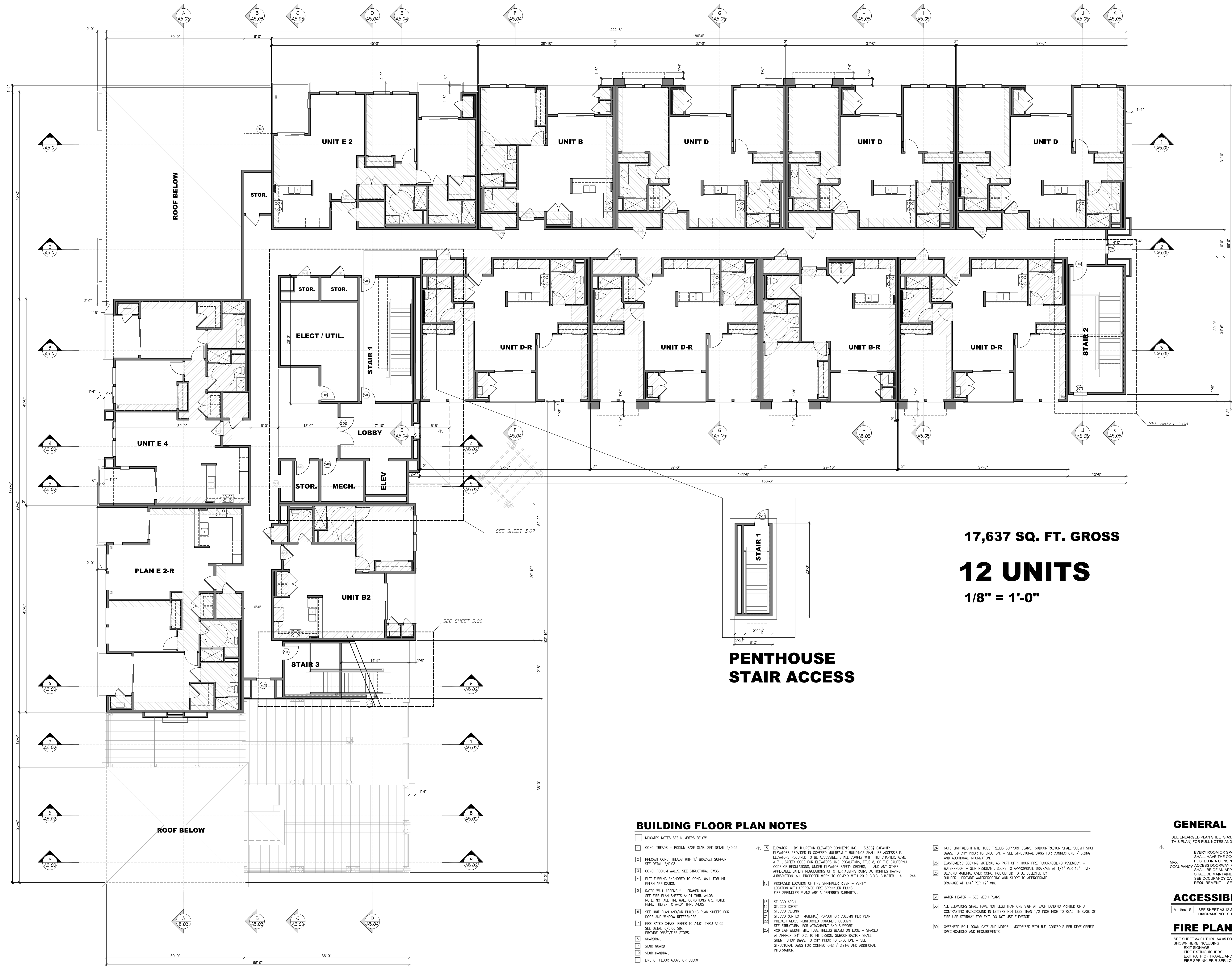
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ONTARIO, CA

FOURTH FLOOR LEVEL

Job No. LSA-0421
 Revisions:

Drawn: _____
 Date: _____
 Sheet

A3.04



17,637 SQ. FT. GROSS

12 UNITS

1/8" = 1'-0"

**PENTHOUSE
STAIR ACCESS**

BUILDING FLOOR PLAN NOTES

- 1. CONG. THREADS - PODIUM BASE SLAB. SEE DETAIL 2/0.03
- 2. PRECAST CONG. THREADS WITH "1" BRACKET SUPPORT. SEE DETAIL 2/0.03
- 3. CONG. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 4. FLAT FLOORING ANCHORED TO CONG. WALL FOR INT. FINISH APPLICATION
- 5. RATED WALL ASSEMBLY - FRAMED WALL. SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 6. SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 7. FIRE RATED DWG. REFER TO A4.01 THRU A4.05. SEE DETAIL 6/0.06 S.M.
- 8. PROVIDE DRAFT/FIRE STOPS.
- 9. STAIR GUARDRAIL.
- 10. STAIR GUARD.
- 11. STAIR HANDRAIL.
- 12. LINE OF FLOOR ABOVE OR BELOW
- 13. ELEVATOR - BY THORNTON ELEVATOR CONCEPTS INC. - 3,000 LB CAPACITY. ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A - 1124A
- 14. PROPOSED LOCATION OF FIRE SPRINKLER RISER - VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.
- 15. STUCCO ARCH
- 16. STUCCO SOFFIT
- 17. STUCCO CEILING
- 18. STUCCO (OR EXT. MATERIAL) POPOUT OR COLLUM PER PLAN
- 19. PRECAST CLASS REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT
- 20. 4x4 LIGHTBRIGHT WFL TUBE TRUSS BEAMS ON EDGE - SPACED AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / USING AND ADDITIONAL INFORMATION.
- 21. 6x10 LIGHTBRIGHT WFL TUBE TRUSS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. - SEE STRUCTURAL DWGS FOR CONNECTIONS / USING AND ADDITIONAL INFORMATION.
- 22. CUSTOMER FINISHING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY. - WATERPROOF - SLP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.
- 23. BEADING MATERIAL OVER CONG. PODIUM LD TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.
- 24. WATER HEATER - SEE MECH PLANS
- 25. ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2" HIGH TO READ: "IN CASE OF FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR"
- 26. OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH REF. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED DESIGN PER PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11.

ACCESSIBLE NOTES

SEE SHEET A3.12 A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

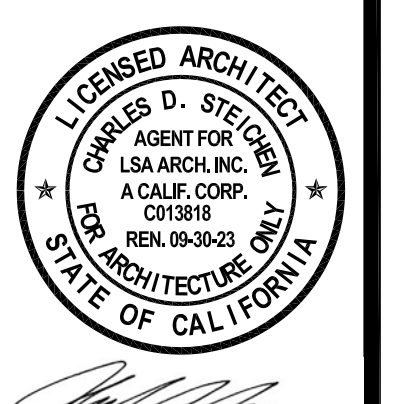
SEE SHEET A4.01 THRU A4.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING:

- EXIT SIGNAGE
- FIRE EXTINGUISHERS
- EXIT PATH OF TRAVEL AND DISTANCE
- FIRE SPRINKLER RISER LOCATION AND NOTES

FIFTH FLOOR LEVEL

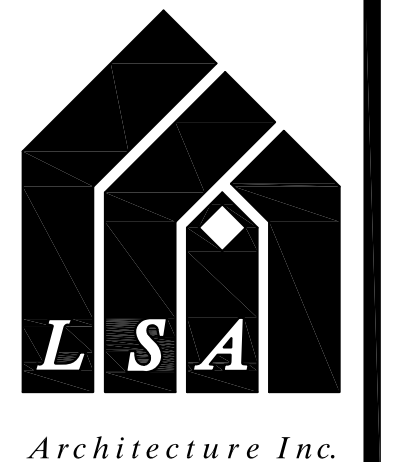
SCALE: 1/8" = 1'-0"

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FIFTH FLOOR LEVEL



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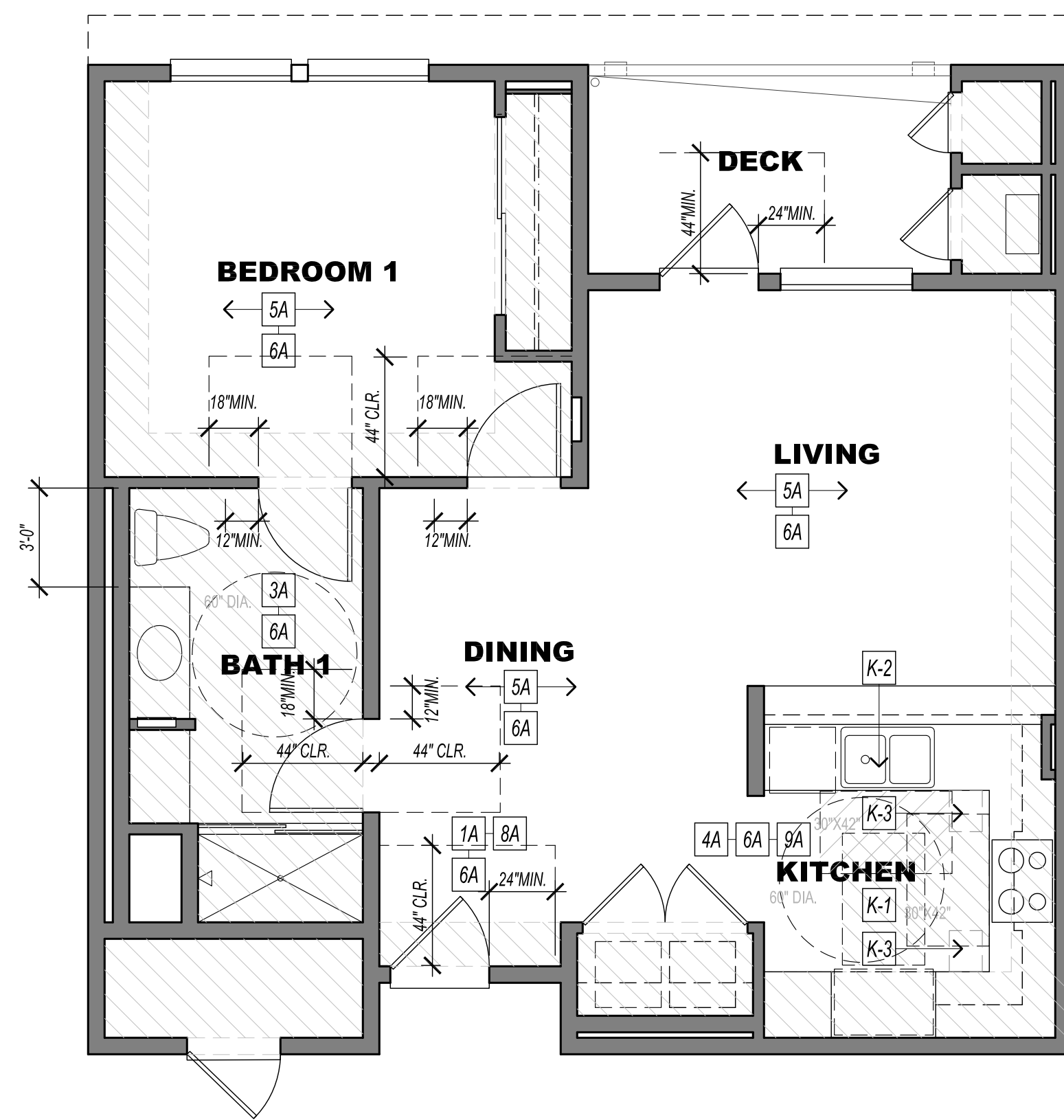
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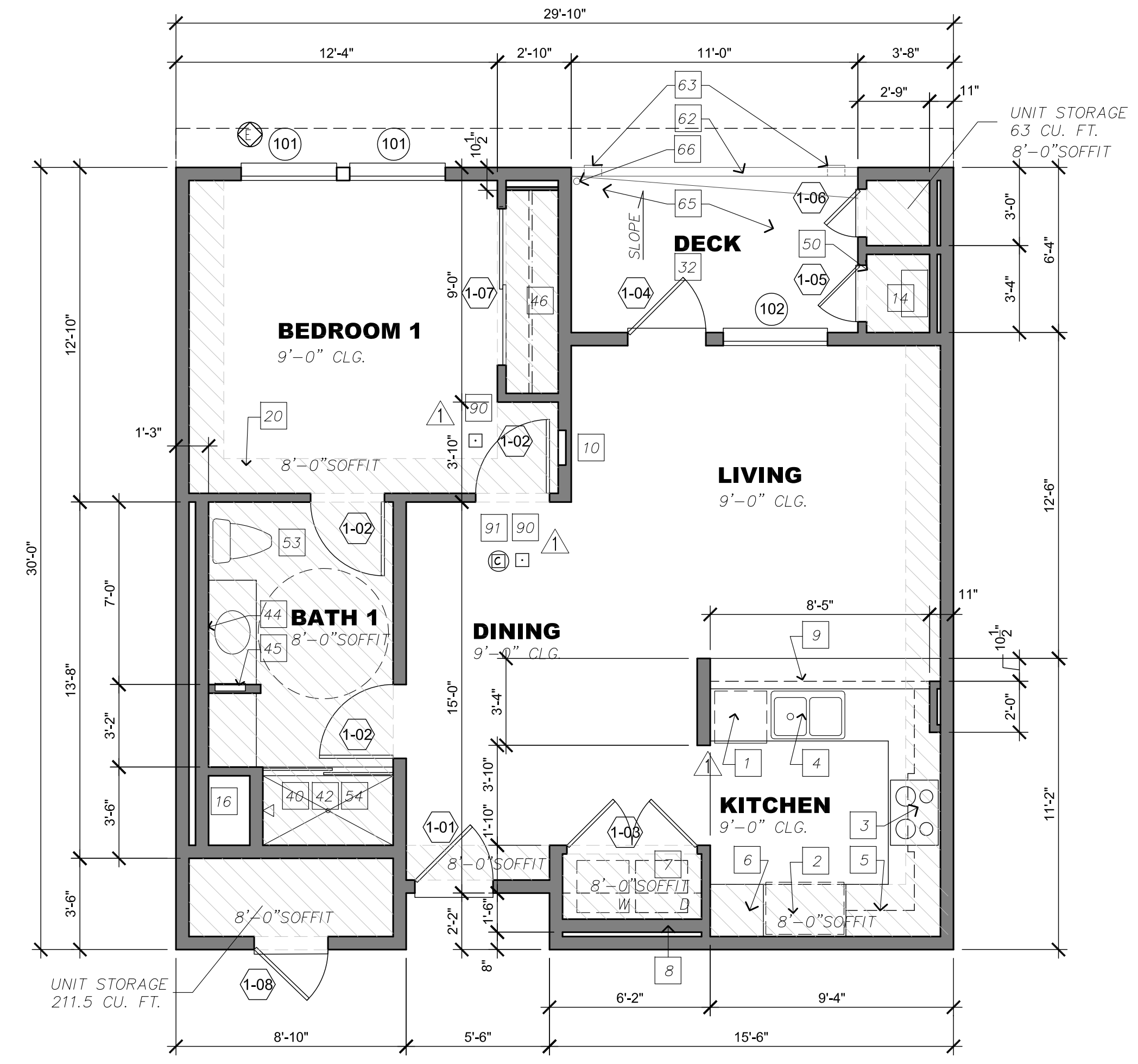
UNIT A - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

- KX ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07
- K-1 PROVIDE A CLEAR FLOOR SPACE - SEE 4A / A1.07
- K-2 PROVIDE REMOVABLE CABINETS - SEE 4A / A1.07
- K-3 PROVIDE BRAGDBOARDS - SEE 4A / A1.07

ACCESSIBLE NOTES

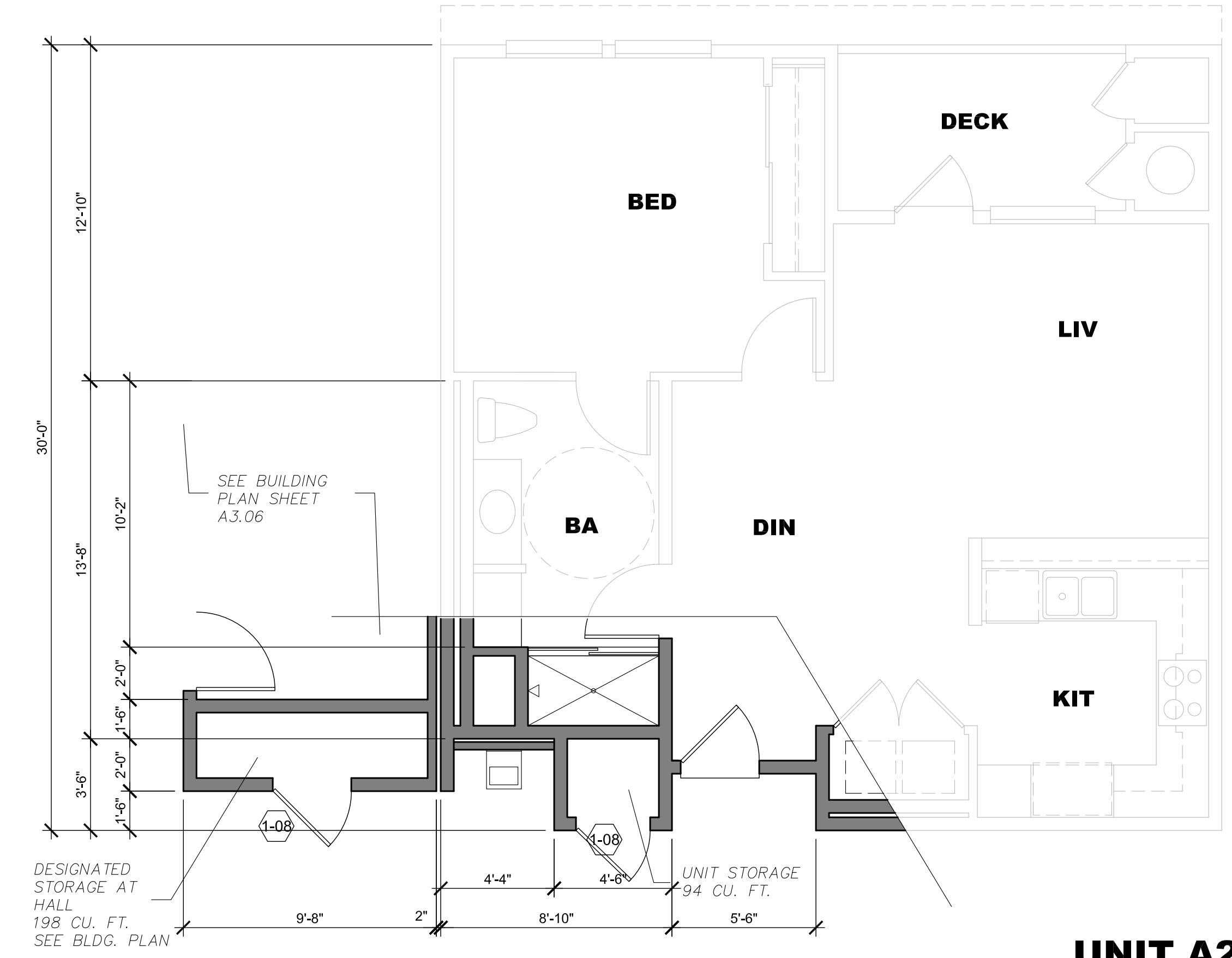
- SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE
- PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESIGNED AT 3A (A-2 BATH/TUB; B-2 WATER CLOSET; E-4 SHOWER) / A1.07
- ALSO SEE DIAGRAM 3A.1.09 FOR GRAPHIC REPRESENTATION



FLOOR PLAN NOTES UNIT A

- SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE.
- UNIT A: 1 BED. / 1 BATH
- TOTAL PER SITE = 2

SQ. FTG. / UNIT 789 SQ. FT. (INCL. 211.5 CU. FT. STORAGE)
 DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE)
 TOTAL STORAGE PROVIDED = 274.5 CU. FT.
 OPEN DECK = 66 SQ. FT.



UNIT A2

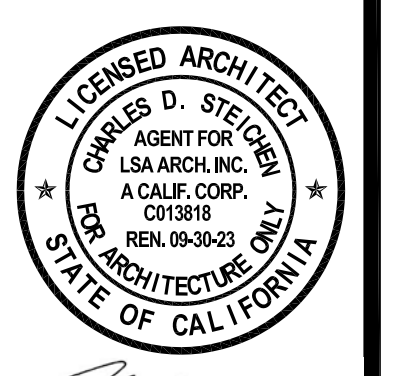
UNIT A2: 1 BED. / 1 BATH
 TOTAL PER SITE = 1

SQ. FTG. / UNIT 789 SQ. FT. (INCL. 94 CU. FT. STORAGE)
 DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE)
 DESIGNATED STORAGE AT HALL (198 CU. FT.)
 TOTAL STORAGE PROVIDED = 355 CU. FT.
 OPEN DECK = 66 SQ. FT.

UNIT A TYPE

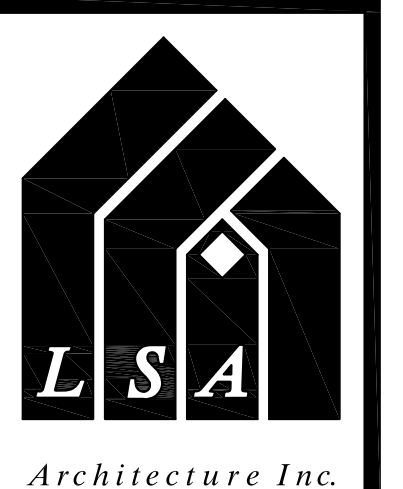
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**UNIT PLANS
 A, A2**



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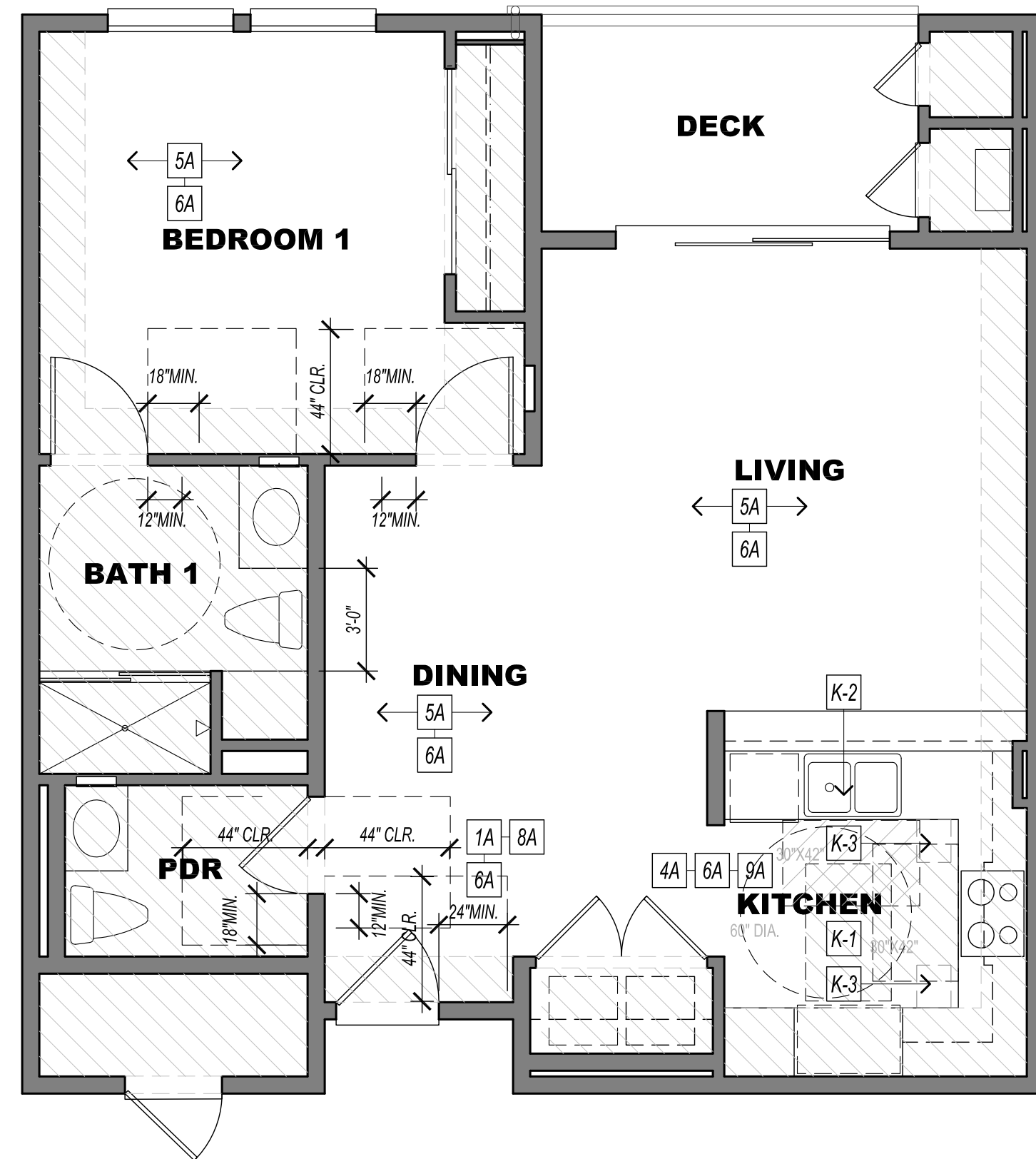
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UNIT B - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

K-1 ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07

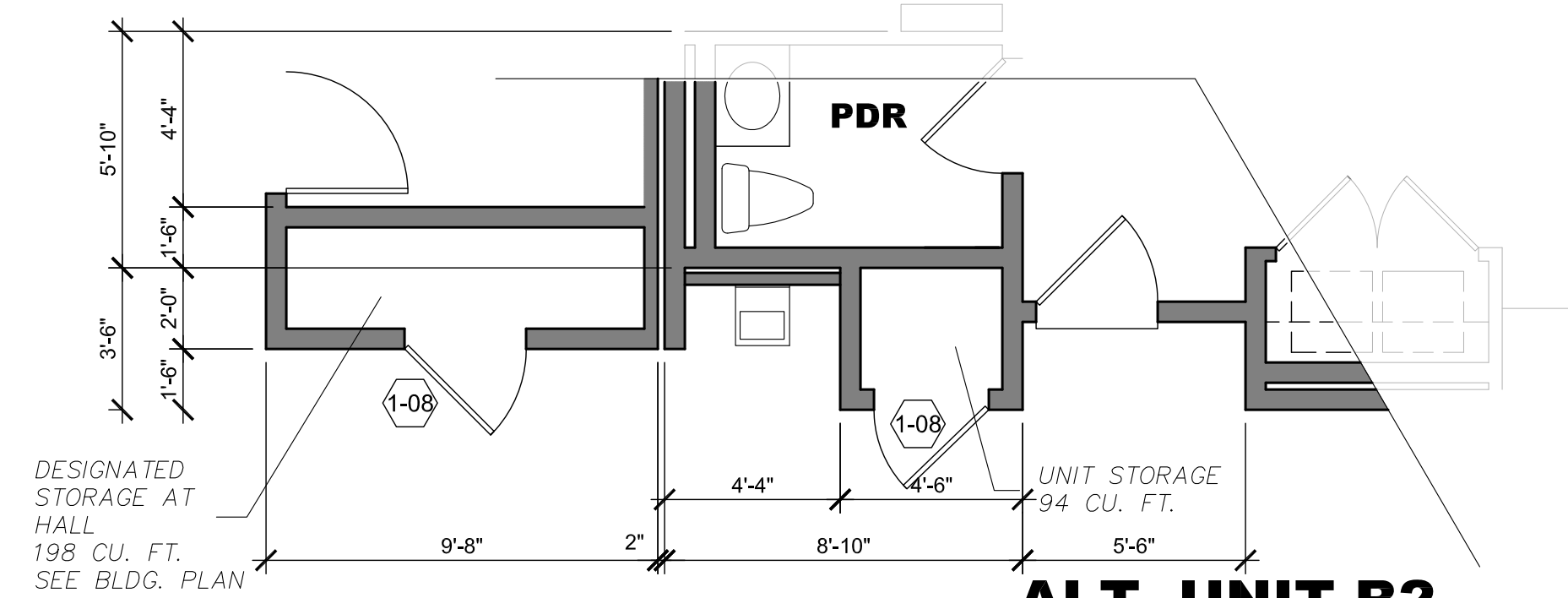
- K-1. PROVIDE A CLEAR FLOOR SPACE - SEE 4A / A1.07
- K-2. PROVIDE REMOVABLE CABINETS - SEE 4A / A1.07
- K-3. PROVIDE BREADBOARDS - SEE 4A / A1.07

ACCESSIBLE NOTES

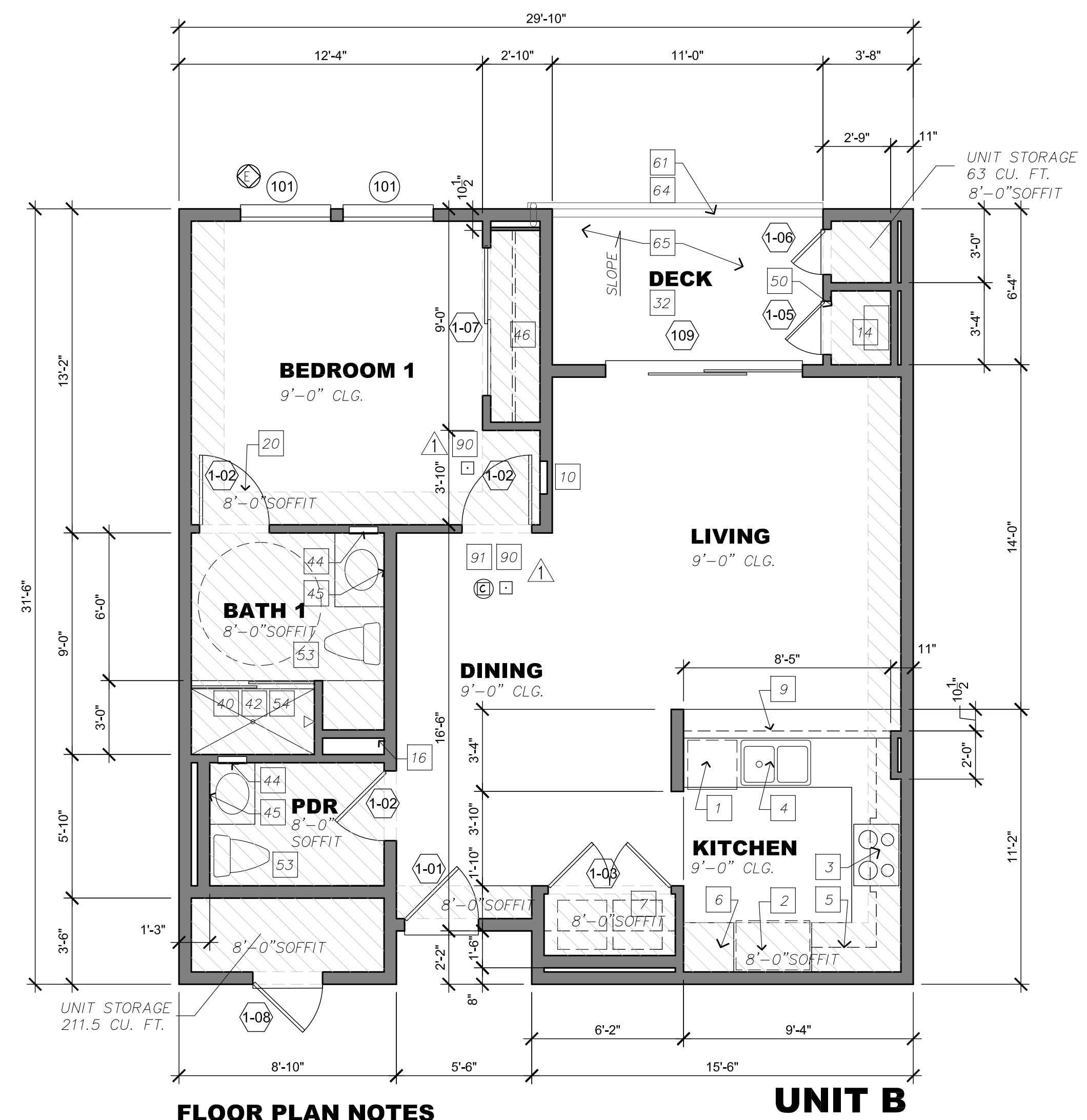
SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 5A (A.2-BATH/TUB), B.2-WATER CLOSET & SHOWERS / A1.07

ALSO SEE DIAGRAM 3A1.09 FOR GRAPHIC REPRESENTATION



**ALT. UNIT B2
3RD FLOOR ONLY**

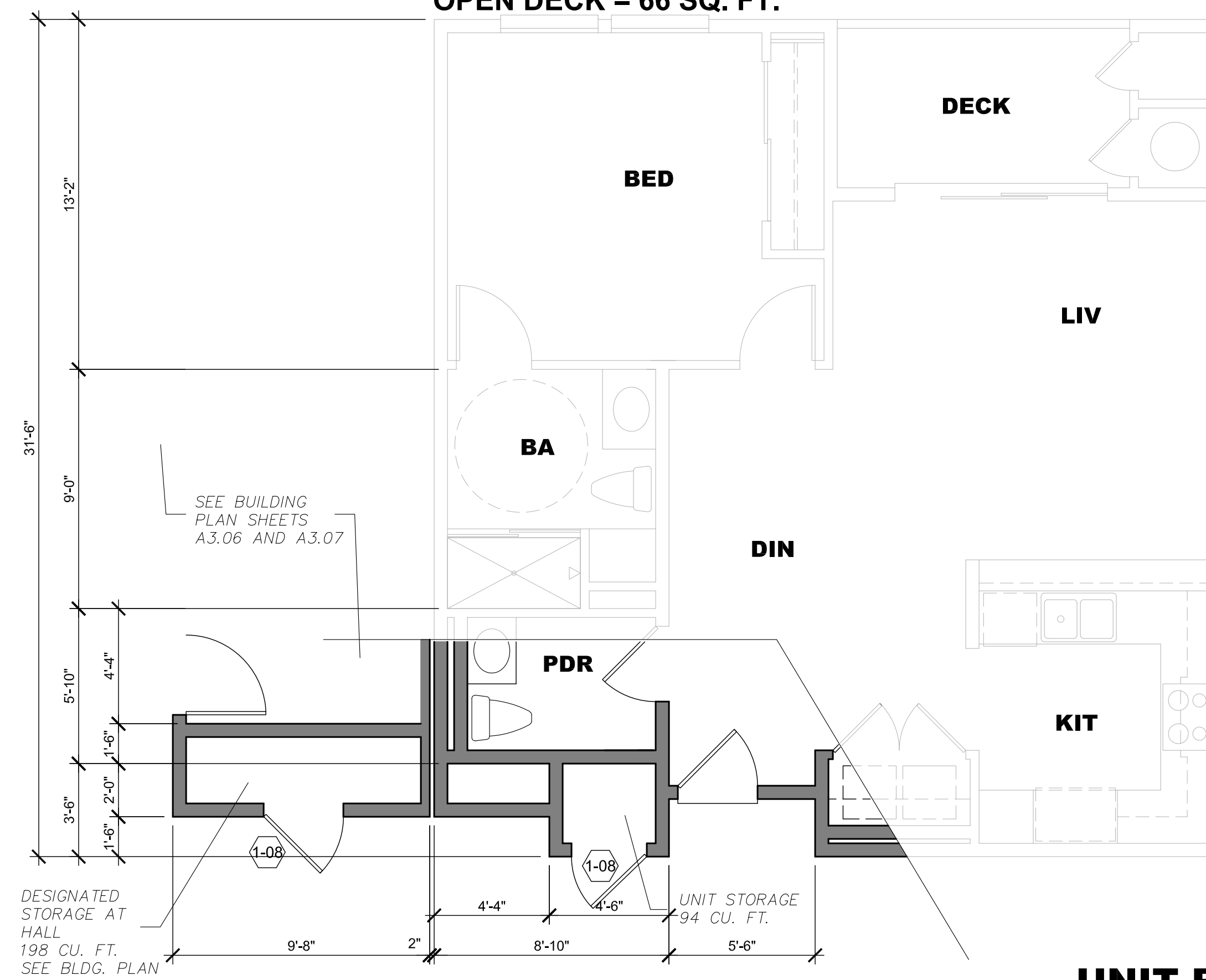


FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE.

**UNIT B: 1 BED. / 1 BATH
TOTAL PER SITE = 6**

**SQ. FTG. / UNIT 834 SQ. FT. (INCL. 211.5 CU. FT. STORAGE)
DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 274.5 CU. FT.
OPEN DECK = 66 SQ. FT.**



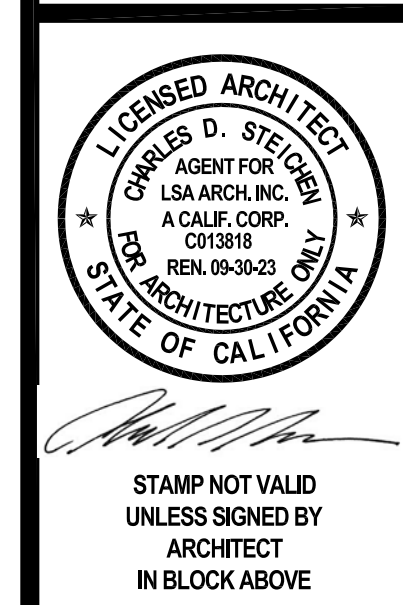
**UNIT B2
FLOOR 4 - 5**

**UNIT B2: 1 BED. / 1 BATH
TOTAL PER SITE = 3**

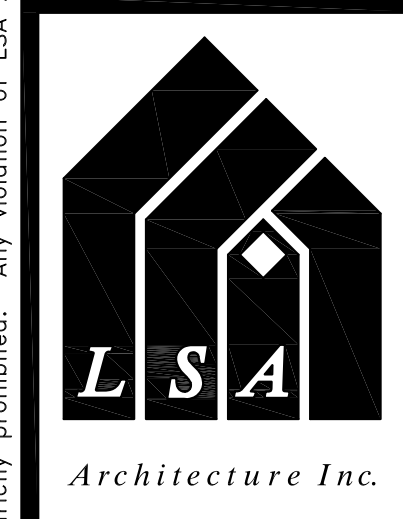
**SQ. FTG. / UNIT 834 SQ. FT. (INCL. 211.5 CU. FT. STORAGE)
DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 274.5 CU. FT.
OPEN DECK = 66 SQ. FT.**

**UNIT B
TYPE**

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**UNIT PLANS
B, B2**



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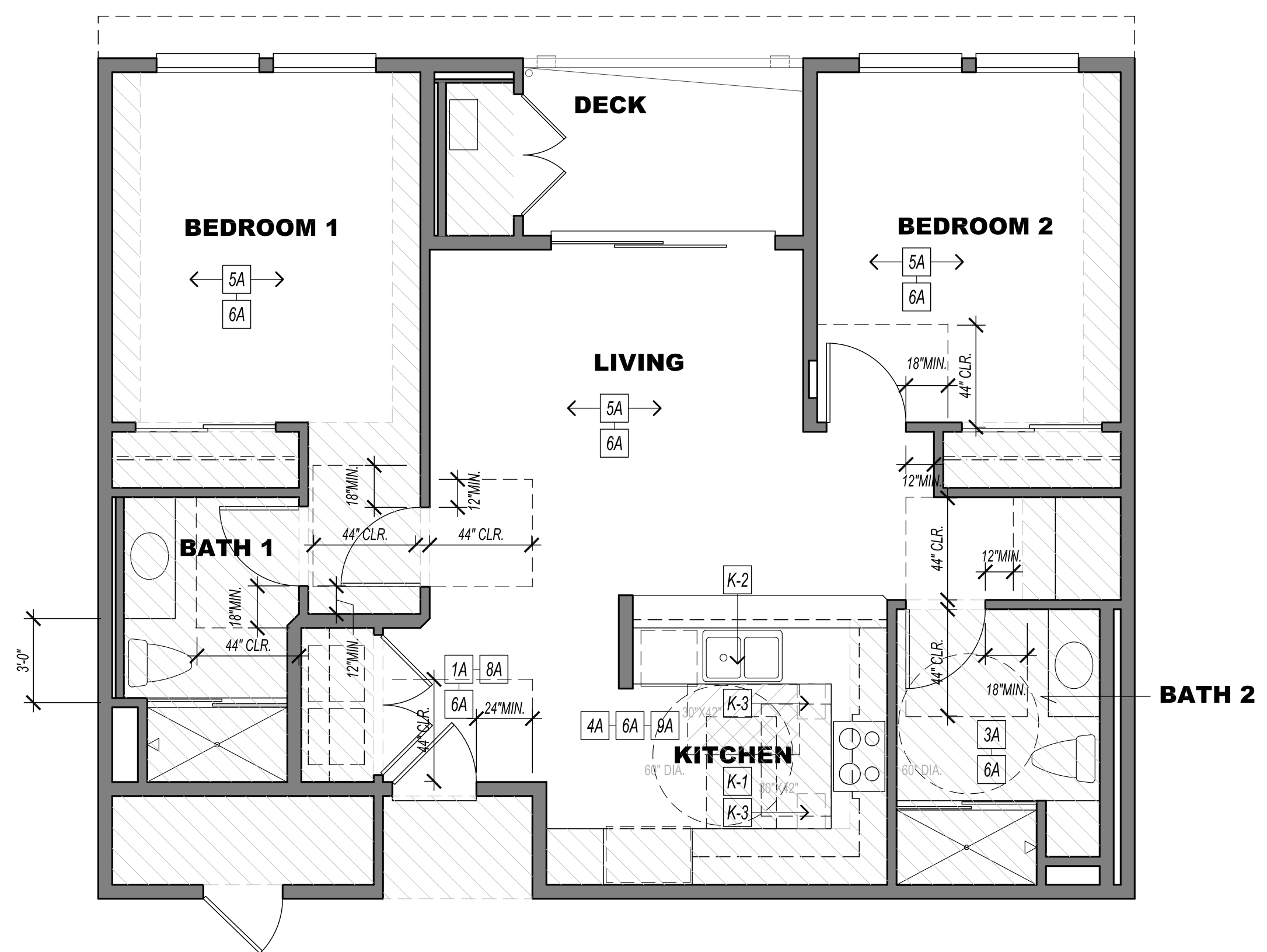
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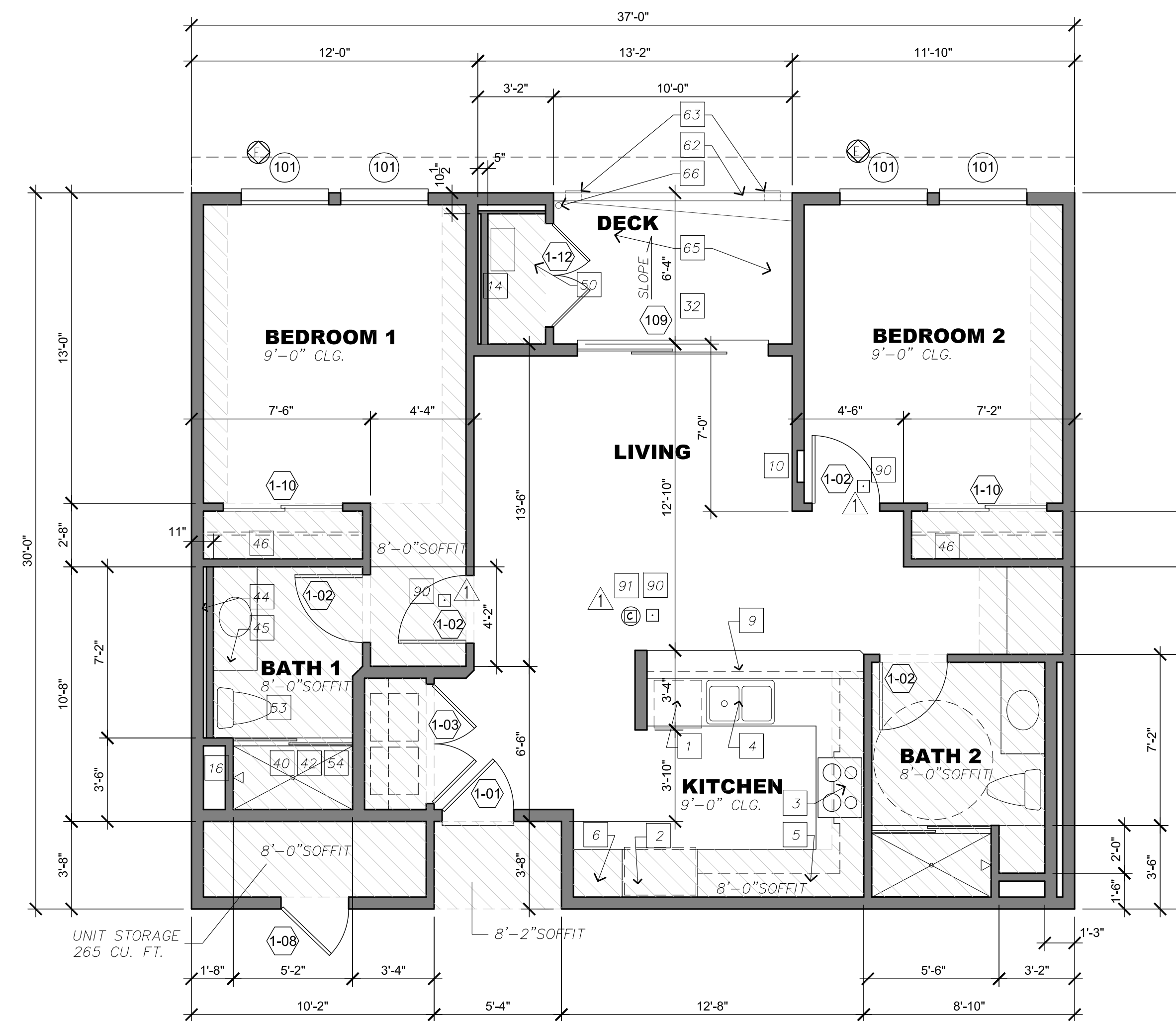
UNIT C - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

KX ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07.
 K1 PROVIDE A CLEAR FLOOR SPACE - SEE 4A / A1.07
 K2 PROVIDE REMOVABLE CABINETS - SEE 4A / A1.07
 K3 PROVIDE BREADBOARDS - SEE 4A / A1.07

ACCESSIBLE NOTES

SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE.
 PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT BA (A)-2-BATH/TUB, B-2-WATER CLOSET, E-SHOWER / A1.07
 ALSO SEE DIAGRAM 3A1.09 FOR GRAPHIC REPRESENTATION

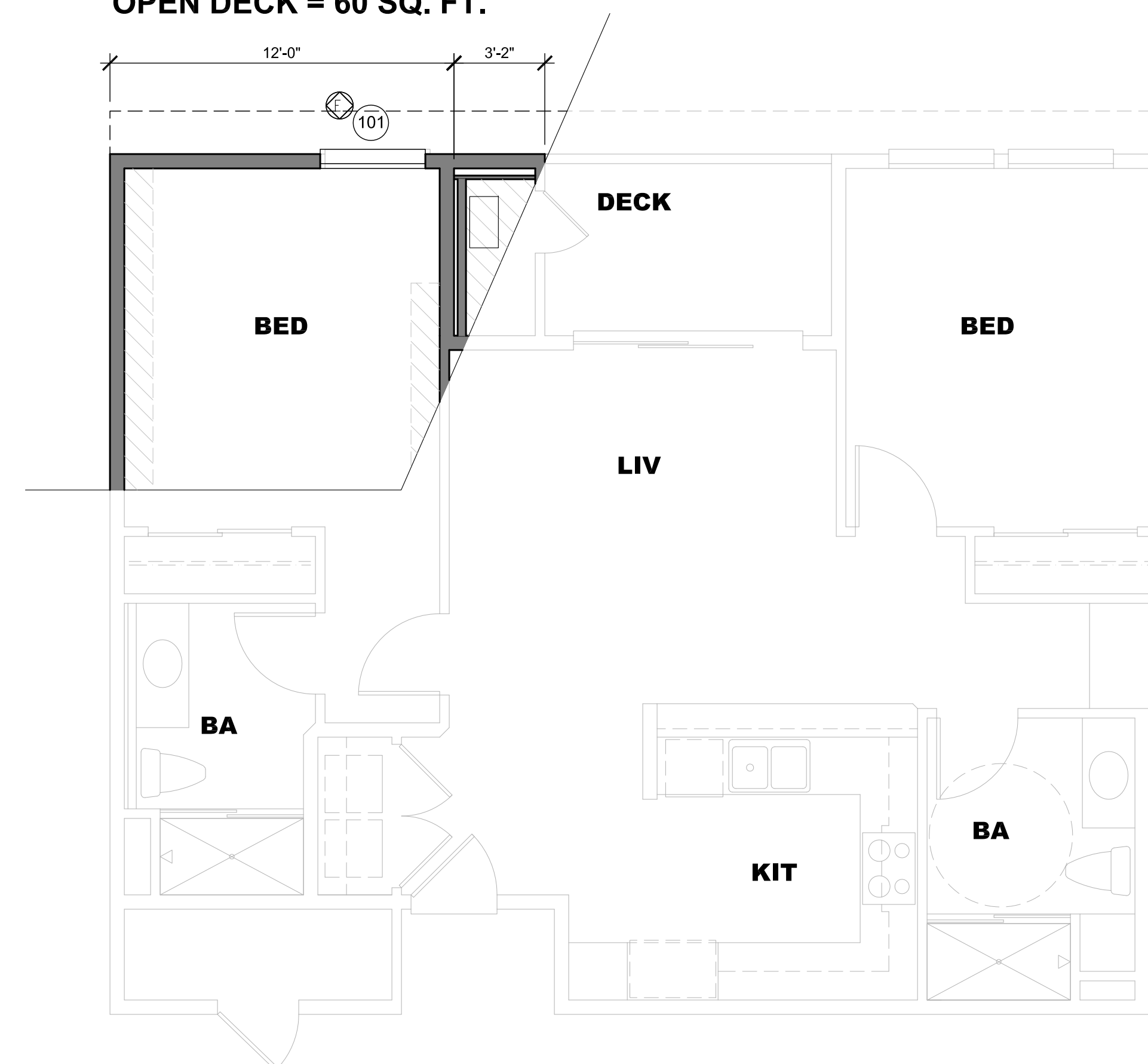


FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE

UNIT C: 2 BED. / 2 BATH
TOTAL PER SITE = 5

SQ. FTG. / UNIT 1,007 SQ. FT. (INCL. 265 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 265 CU. FT.
DECK 83 SQ. FT.
OPEN DECK = 60 SQ. FT.



UNIT C2: 2 BED. / 2 BATH
TOTAL PER SITE = 1

SQ. FTG. / UNIT 1,007 SQ. FT. (INCL. 265 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 265 CU. FT.
DECK 83 SQ. FT.
OPEN DECK = 60 SQ. FT.

UNIT C TYPE

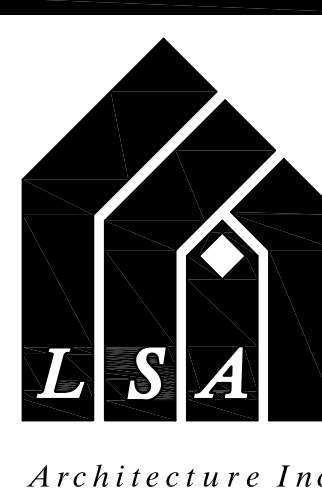
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UNIT PLANS
C, C2



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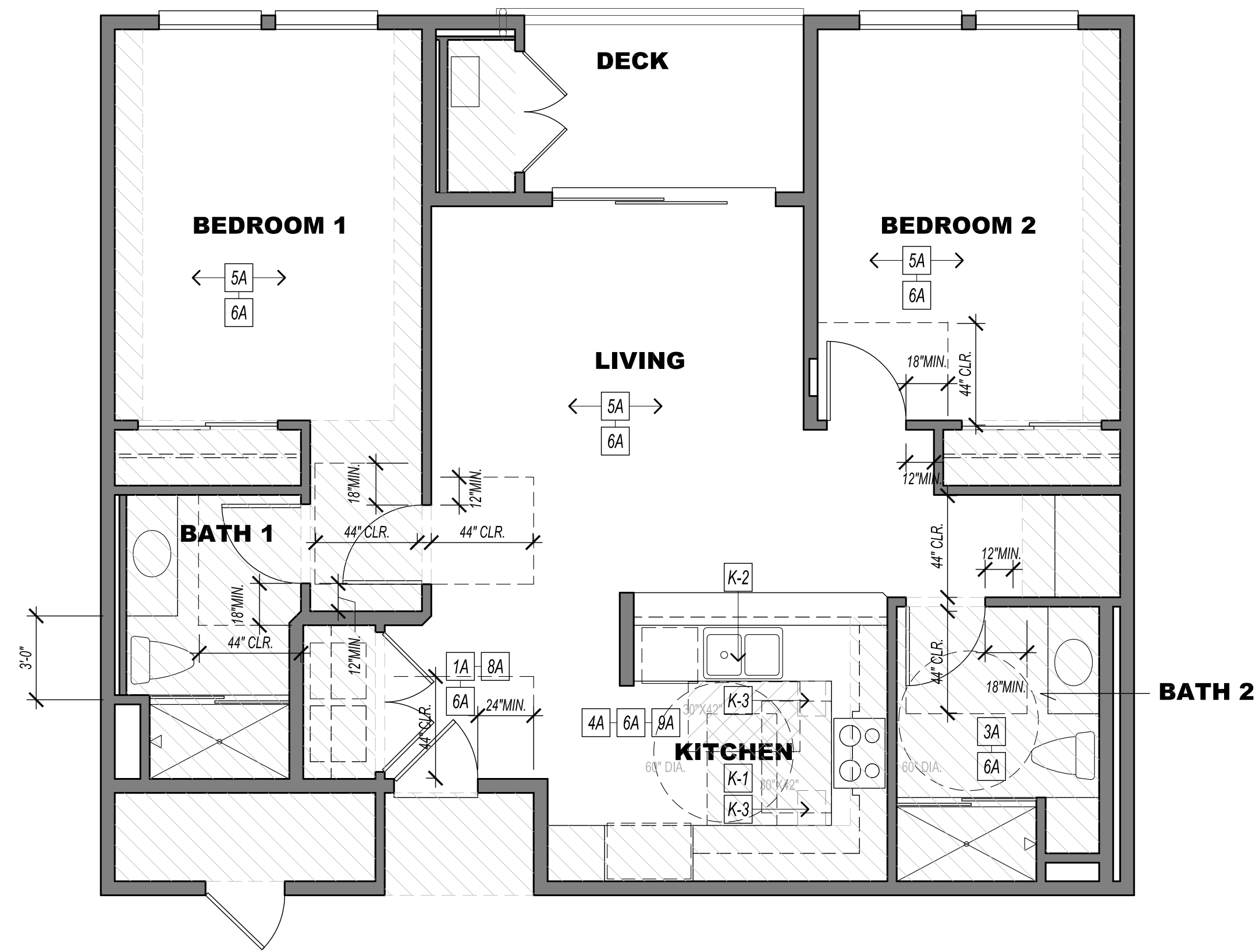
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UNIT D - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

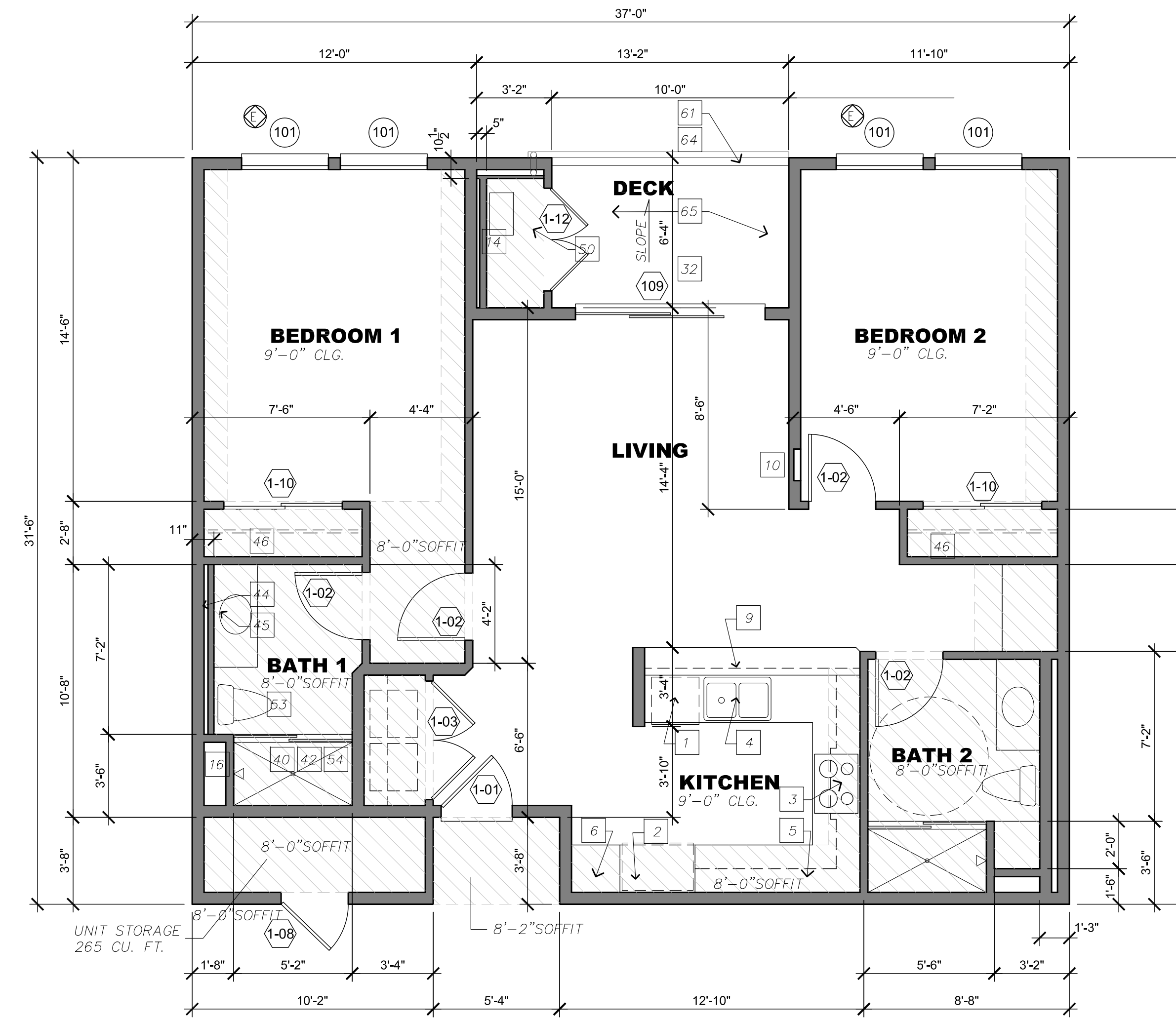
XX ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07

K1 PROVIDE A CLEAR FLOOR SPACE - SEE 4A / A1.07
 K2 PROVIDE REMOVABLE CABINETS - SEE 4A / A1.07
 K3 PROVIDE BREADBOARDS - SEE 4A / A1.07

ACCESSIBLE NOTES

SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 3A (A.2 BATH TUB, B.2 WATER CLOSET E.4 SHOWER) / A1.07
 ALSO SEE DIAGRAM 3A1.09 FOR GRAPHIC REPRESENTATION

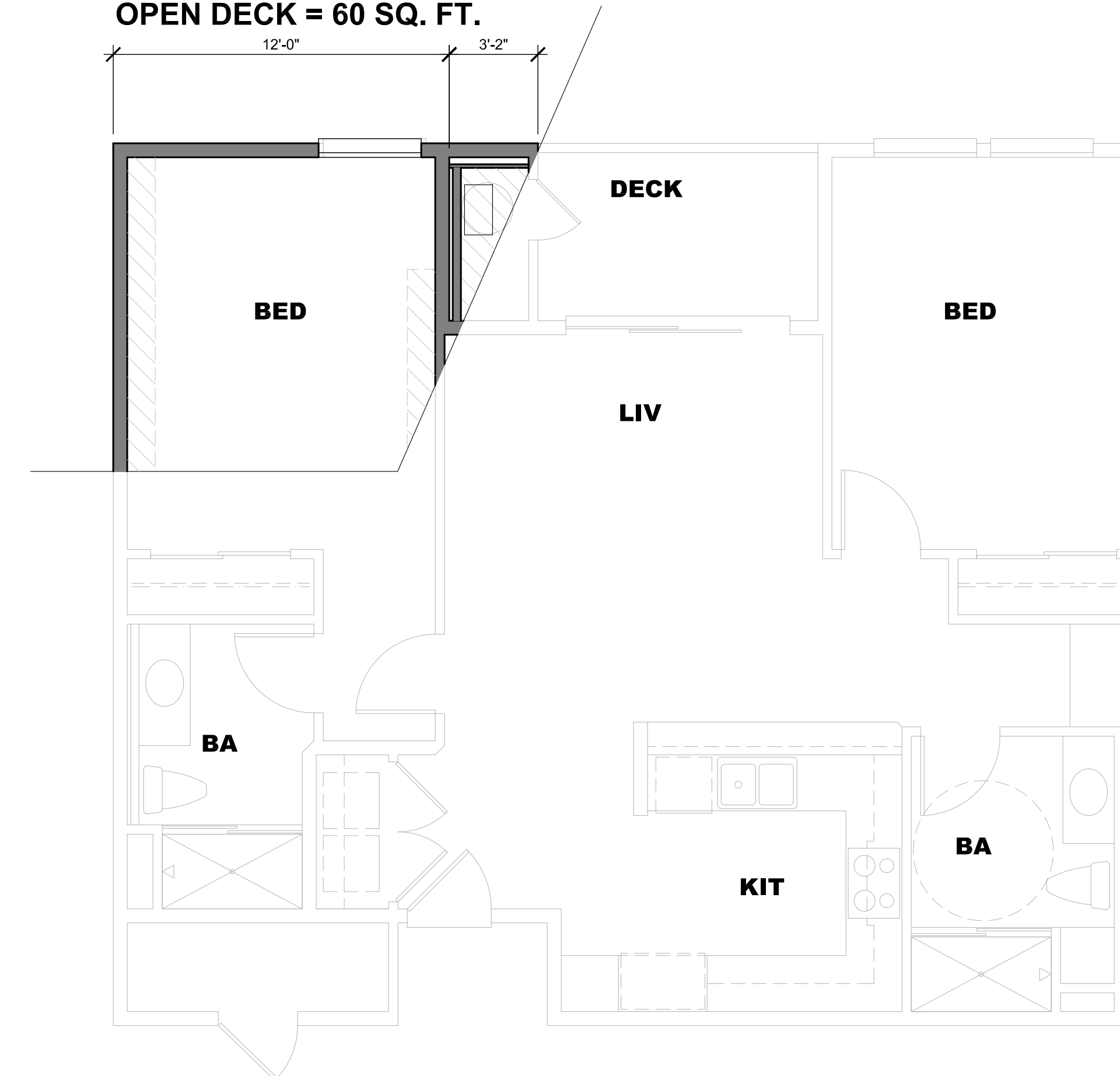


FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE.

UNIT D: 2 BED. / 2 BATH
TOTAL PER SITE = 16

SQ. FTG. / UNIT 1,062 SQ. FT. (INCL. 265 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 265 CU. FT.
DECK 83 SQ. FT.
OPEN DECK = 60 SQ. FT.

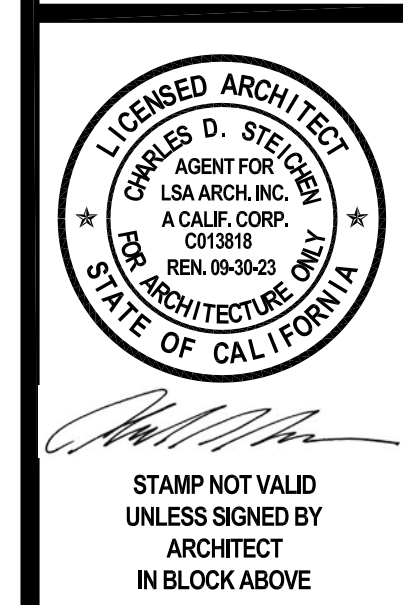


UNIT D2: 2 BED. / 2 BATH
TOTAL PER SITE = 2

SQ. FTG. / UNIT 1,062 SQ. FT. (INCL. 265 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 265 CU. FT.
DECK 83 SQ. FT.
OPEN DECK = 60 SQ. FT.

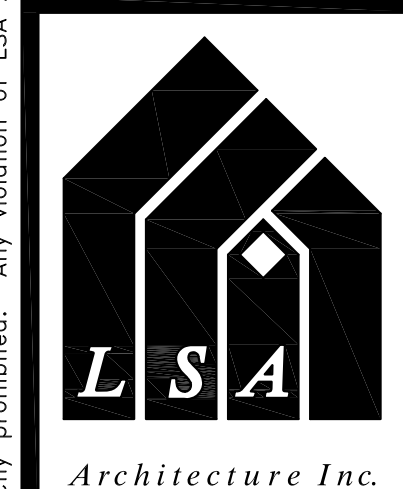
UNIT D TYPE

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D, D2



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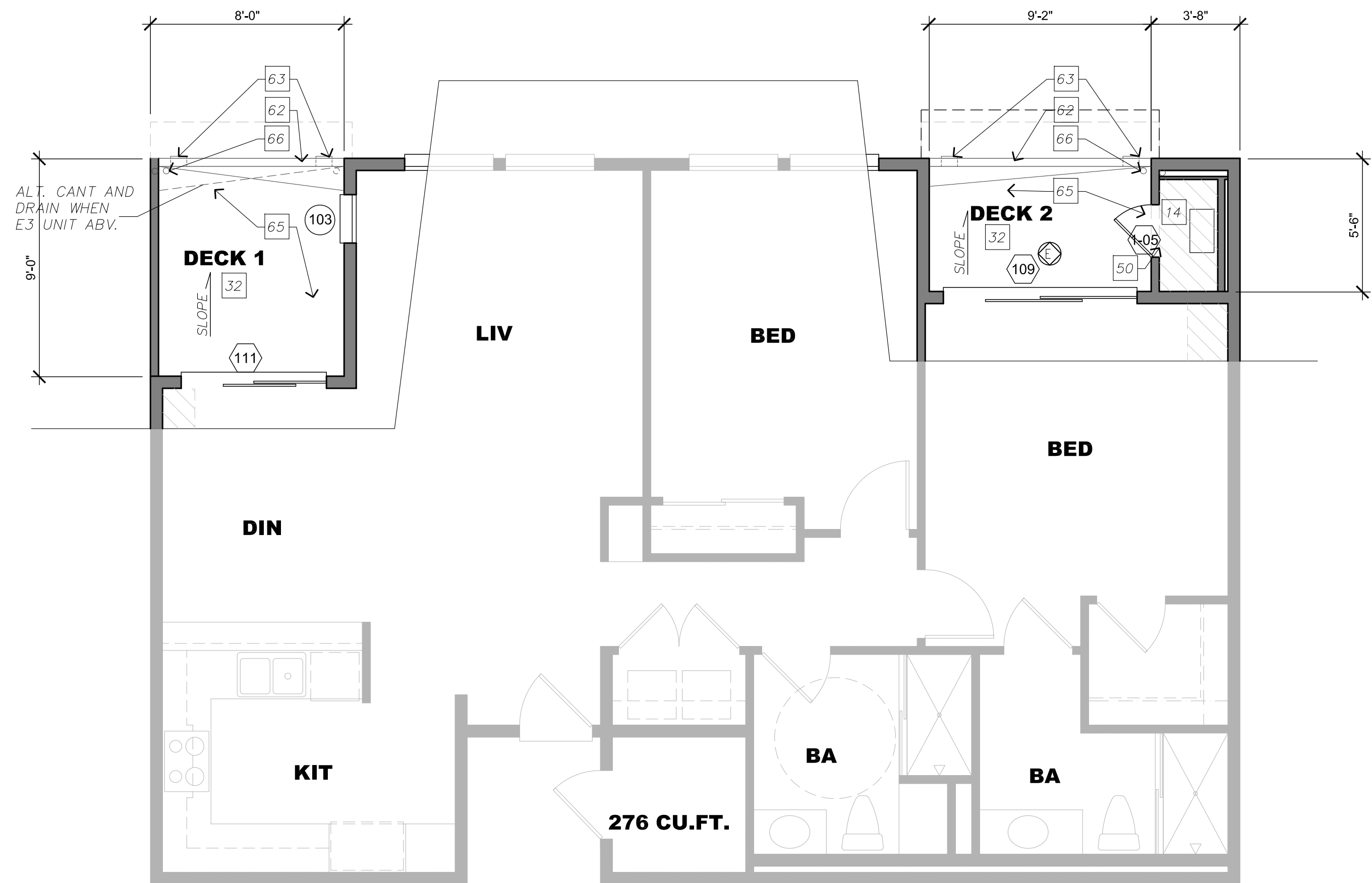
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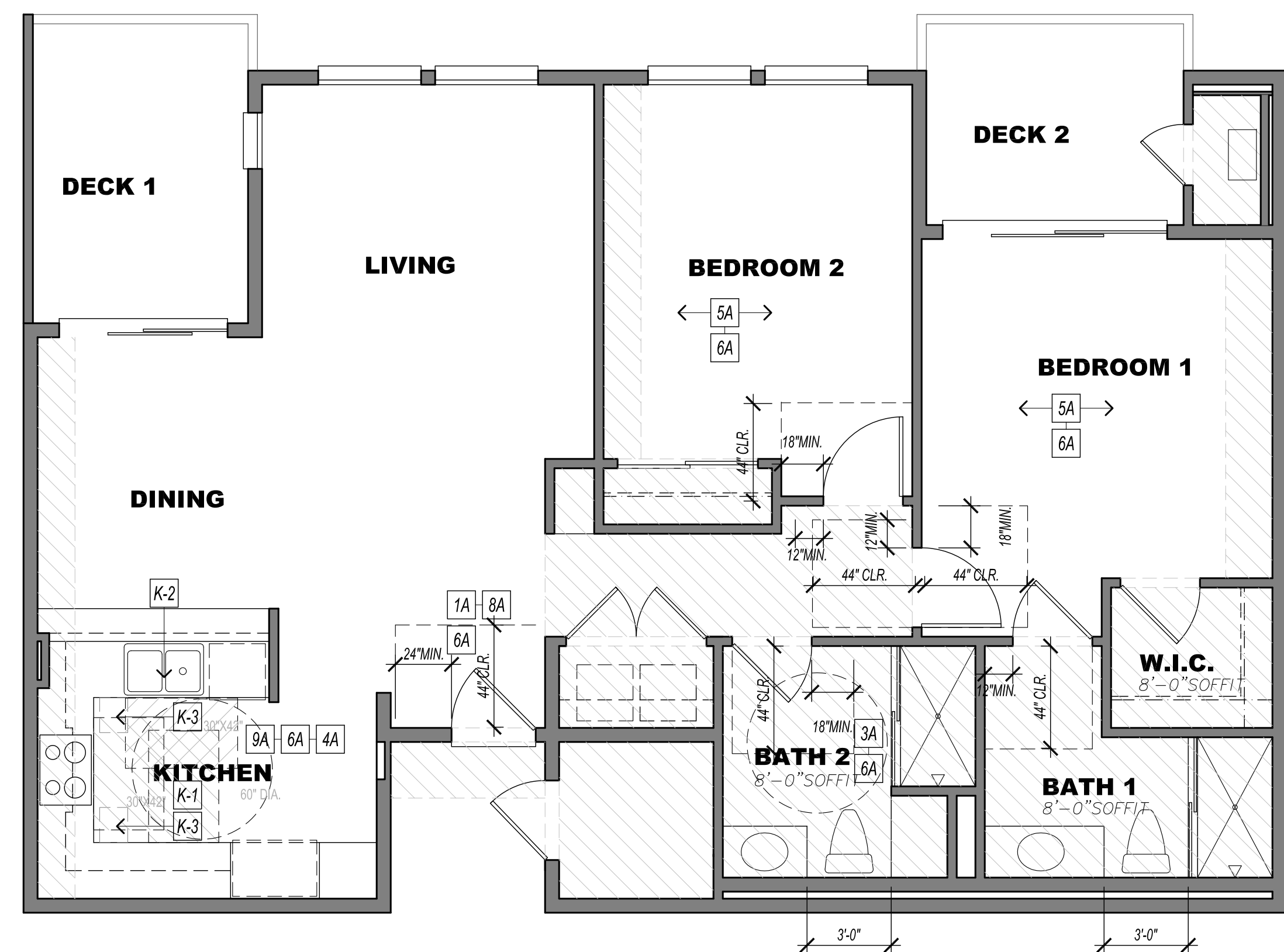


NOTE: SAME DIMENSIONS AS UNIT E2 - ONLY THE DECKS (1 AND 2) ARE REDUCED IN SIZE

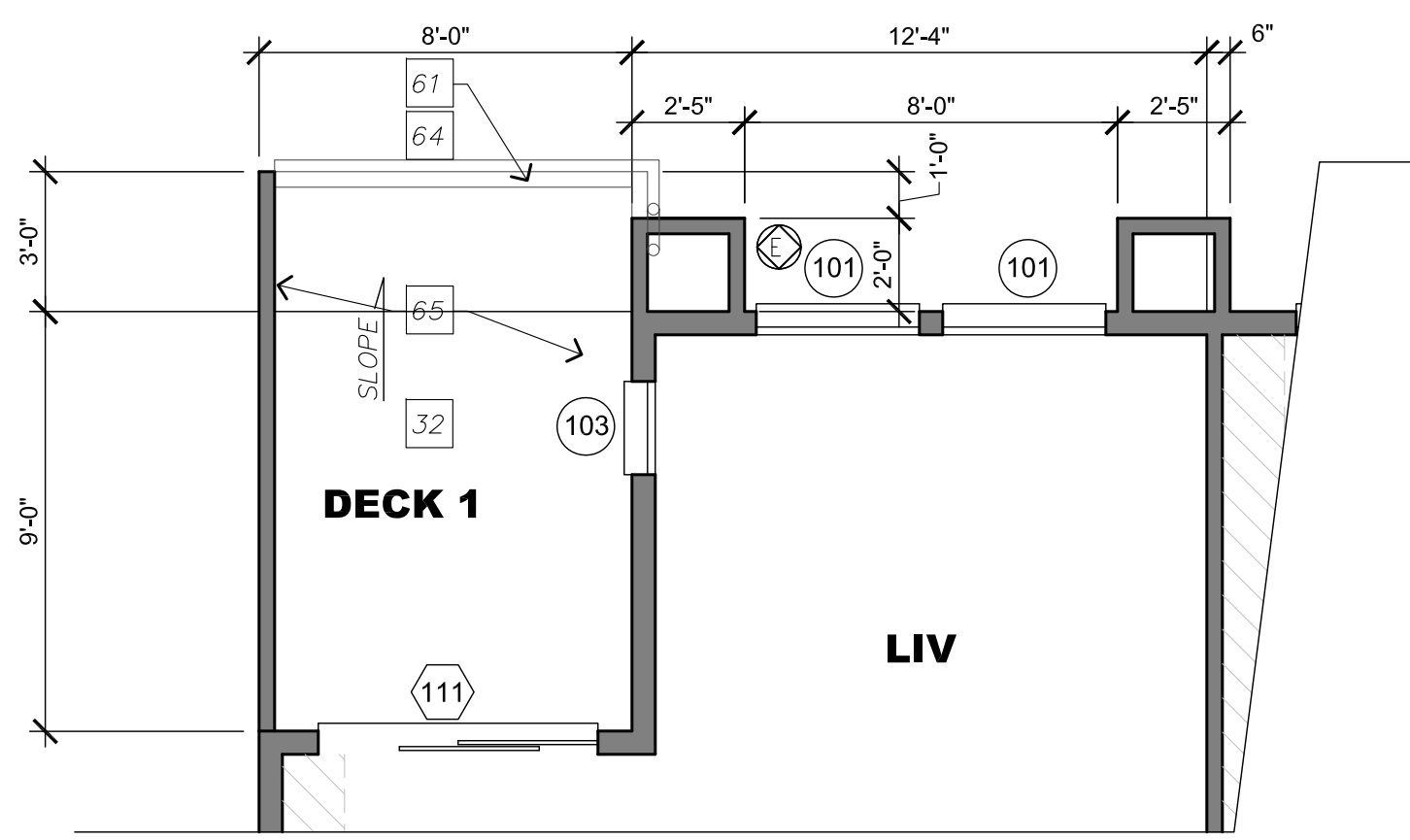
UNIT E

UNIT E: 2 BED. / 2 BATH
TOTAL PER SITE = 3

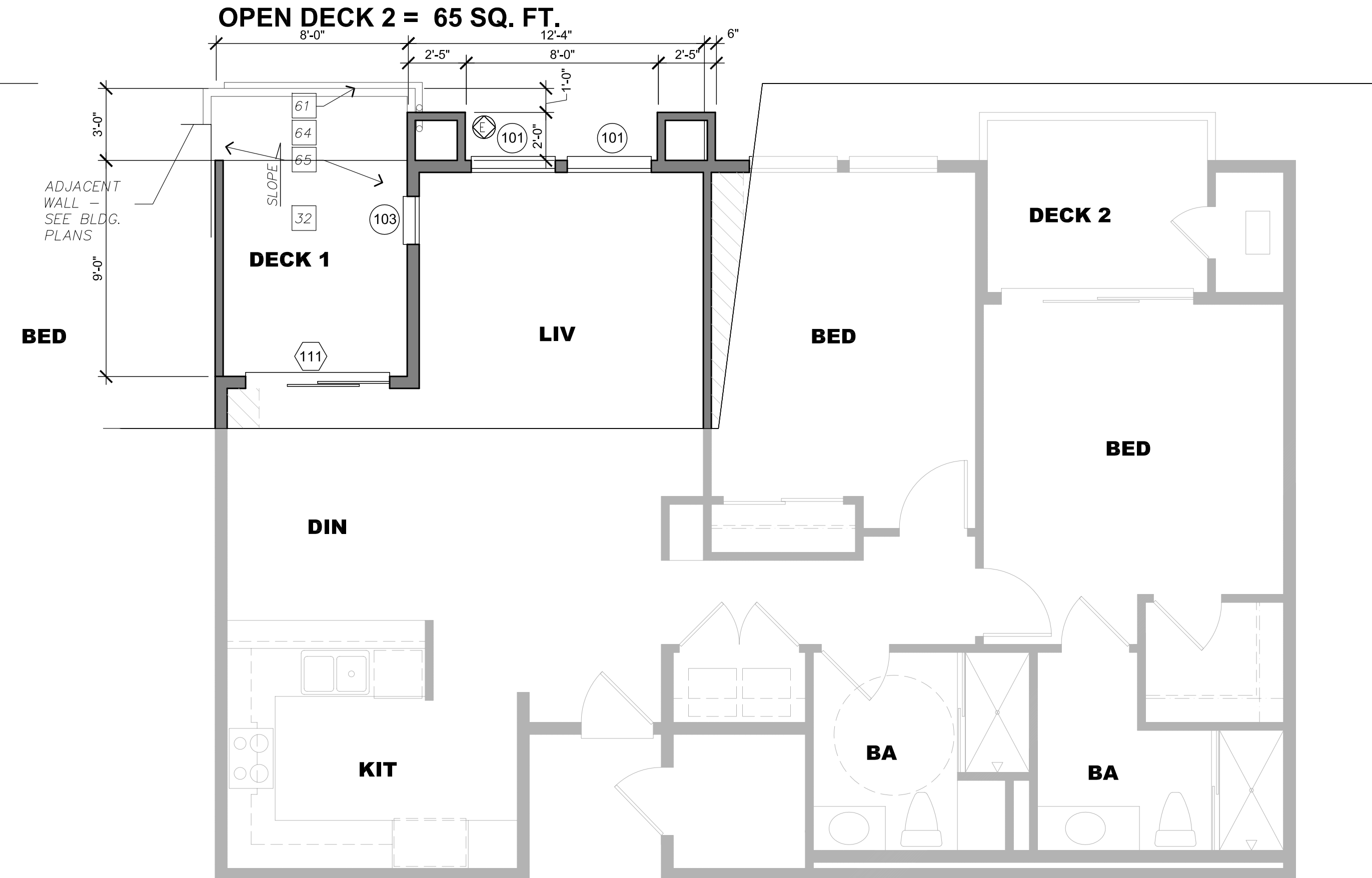
SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 276 CU. FT.
DECK 1 72 SQ. FT.
OPEN DECK 1 = 66 SQ. FT.
DECK 2 70 SQ. FT.
OPEN DECK 2 = 47 SQ. FT.



UNIT E 4



ADJACENT WALL - SEE BLDG. PLANS

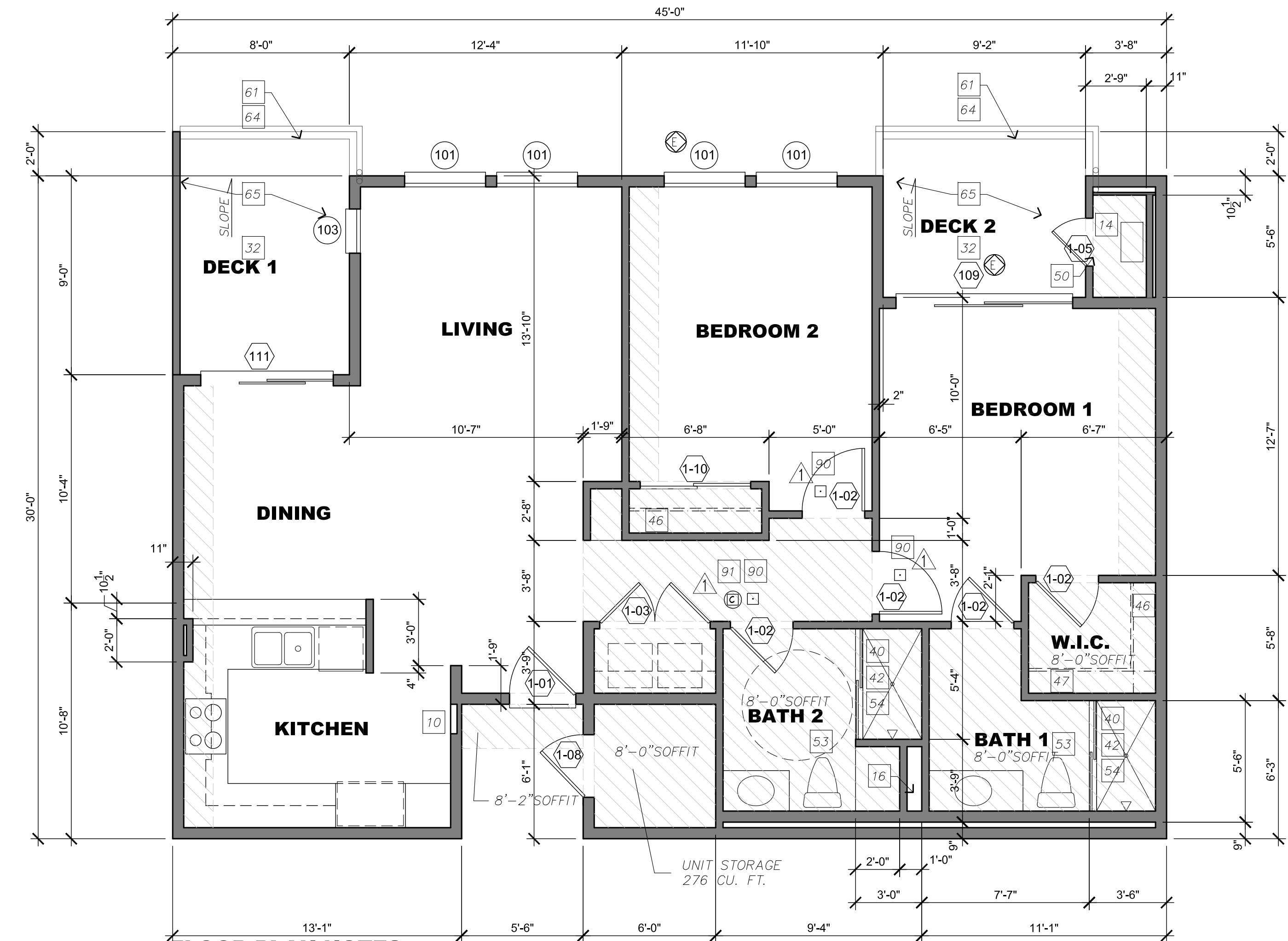


UNIT E 3

NOTE: SAME DIMENSIONS AS UNIT E1 - ONLY THE DECK (1) IS INCREASED IN SIZE

UNIT E3: 2 BED. / 2 BATH
TOTAL PER SITE = 3

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 276 CU. FT.
DECK 1 96 SQ. FT.
OPEN DECK 1 = 89 SQ. FT.
DECK 2 90 SQ. FT.
OPEN DECK 2 = 65 SQ. FT.



FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE

UNIT E2: 2 BED. / 2 BATH
TOTAL PER SITE = 7

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 276 CU. FT.
DECK 1 88 SQ. FT.
OPEN DECK 1 = 82 SQ. FT.
DECK 2 90 SQ. FT.
OPEN DECK 2 = 65 SQ. FT.

UNIT E - ACCESSIBLE REQUIREMENTS ACCESSIBLE KITCHEN

K-K ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES #4 & #6. SEE SHEET A1.07

- K-1. PROVIDE A CLEAR FLOOR SPACE - SEE 4A / A1.07
- K-2. PROVIDE REMOVABLE CABINETS - SEE 4A / A1.07
- K-3. PROVIDE BREADBOARDS - SEE 4A / A1.07

ACCESSIBLE NOTES

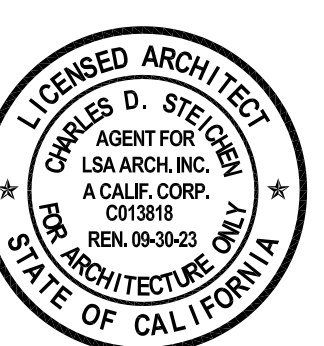
SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 3A (A.2 BATH TUB, B.2 WATER CLOSET E.4 SHOWER) / A1.07

ALSO SEE DIAGRAM 3/A.08 FOR GRAPHIC REPRESENTATION

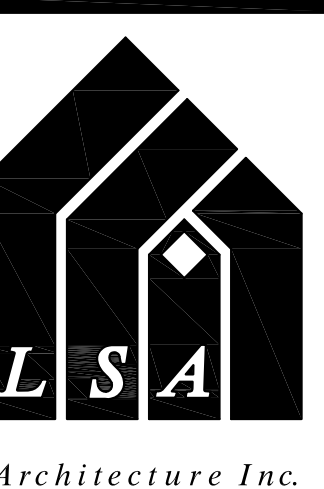
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