ONE (1) MULTI UNIT APARTMENT BUILDING OVER PODIUM STRUCTURE PARKING (SEE BUILDING DATA / THIS SHEET)

SITE CONSTRUCTION: **UNDER SEPARATE PERMIT**

NOTE: THIS PROJECT IS PRIVATELY FUNDED AND NOT CONSTRUCTED FOR, OR ON BEHALF OF A PUBLIC ENTITY, OR CONSTRUCTED AS PART OF A PUBLIC ENTITY'S PROGRAM TO PROVIDE HOUSING PURSUANT TO U.S. CODE OF FEDERAL **REGULATIONS. 28 CFR. PART 35. SECTION 35 AND IS THEREFORE NOT SUBJECT** TO PUBLIC HOUSING CODE REQUIREMENTS UNDER THE C.B.C..

PROJECT DATA:

ZONING: R2

APPLICABLE CODE: 2019 CALIFORNA BUILDING CODE **2019 CALIFORNIA ELECTRICAL CODE** 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA ENEGY CODE

TYPE OF CONSTRUCTION: R2 / VA AND S2 / TYPE I FIRE SPRINKLERED

OCCUPANCY: R2 / S2

GROSS LOT SIZE: 1.58 AC

TOTAL UNITS: 49

DENSITY: 49 / 1.58 AC = 31.01 / AC

UNIT A: 1 BED. / 1 BATH TOTAL PER SITE = 2

SQ. FTG. / UNIT 789 SQ. FT. (INCL. 211.5 CU. FT. STORAGE) DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 274.5 CU. FT.** OPEN DECK = 66 SQ. FT.

UNIT A2: 1 BED. / 1 BATH TOTAL PER SITE = 1

SQ. FTG. / UNIT 789 SQ. FT. (INCL. 94 CU. FT. STORAGE) DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE) **DESIGNATED STORAGE AT HALL (198 CU. FT.) TOTAL STORAGE PROVIDED = 355 CU. FT.** OPEN DECK = 66 SQ. FT.

UNIT B: 1 BED. / 1.5 BATH **TOTAL PER SITE = 6**

SQ. FTG. / UNIT 834 SQ. FT. (INCL. 211.5 CU. FT. STORAGE) DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 274.5 CU. FT.**

UNIT B2: 1 BED. / 1.5 BATH TOTAL PER SITE = 3

OPEN DECK = 66 SQ. FT.

SQ. FTG. / UNIT 834 SQ. FT. (INCL. 211.5 CU. FT. STORAGE) DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 274.5 CU. FT.** OPEN DECK = 66 SQ. FT.

UNIT C: 2 BED. / 2 BATH **TOTAL PER SITE = 5**

SQ. FTG. / UNIT 1.007 SQ. FT. (INCL. 265 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 265 CU. FT.** DECK 83 SQ. FT. OPEN DECK = 60 SQ. FT.

UNIT C2: 2 BED. / 2 BATH **TOTAL PER SITE = 1**

SQ. FTG. / UNIT 1.007 SQ. FT. (INCL. 265 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 265 CU. FT.** DECK 83 SQ. FT. OPEN DECK = 60 SQ. FT.

UNIT D: 2 BED. / 2 BATH **TOTAL PER SITE = 16**

SQ. FTG. / UNIT 1,062 SQ. FT. (INCL. 265 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 265 CU. FT.** DECK 83 SQ. FT. OPEN DECK = 60 SQ. FT.

UNIT D2: 2 BED. / 2 BATH TOTAL PER SITE = 2

SQ. FTG. / UNIT 1,062 SQ. FT. (INCL. 265 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 265 CU. FT.** DECK 83 SQ. FT. OPEN DECK = 60 SQ. FT.

UNIT E: 2 BED. / 2 BATH TOTAL PER SITE = 3

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 276 CU. FT.** DECK 1 72 SQ. FT. OPEN DECK 1 = 66 SQ. FT. DECK 2 70 SQ. FT.

UNIT E2: 2 BED. / 2 BATH TOTAL PER SITE = 7

OPEN DECK 2 = 47 SQ. FT.

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 276 CU. FT.** DECK 1 88 SQ. FT. OPEN DECK 1 = 82 SQ. FT.DECK 2 90 SQ. FT. OPEN DECK 2 = 65 SQ. FT.

UNIT E3: 2 BED. / 2 BATH TOTAL PER SITE = 3

SQ. FTG. / UNIT 1.173 SQ. FT. (INCL. 276 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 276 CU. FT.** DECK 1 96 SQ. FT. OPEN DECK 1 = 89 SQ. FT. DECK 2 90 SQ. FT. **OPEN DECK 2 = 65 SQ. FT.**

MAGNOLIA APARTMENTS

890 S. MAGNOLIA AVE., ONTARIO, CA

⚠ PLANNING DEPARTMENT FILE NO - PDE V19-031 BUILDING DEPARTMENT JOB NO - ONT22-0067

DEVELOPER

P.J. MALTOS

OPEN SPACE REQUIREMENT ANALYSIS:

COMMON AREA REQUIRED = 250 SQ. FT. / UNIT

RECREATION COMMON AREAS / KITCHEN

DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE)

DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE)

X 49 UNITS

= 12,663 SQ. FT.

= 12,250 SQ. FT. REQUIRED

COMMON AREA:

EXTERIOR -

COURT AREA

/1\ TOTAL PROVIDED

PRIVATE AREA:

COMMON AREA PROVIDED

MINOR COMMON AREA

2ND FLOOR

3RD FLOOR

2ND FLOOR

3RD FLOOR

OPEN DECK = 66 SQ. FT.

OPEN DECK = 66 SQ. FT.

OPEN DECK = 60 SQ. FT.

OPEN DECK = 60 SQ. FT.

DECK 83 SQ. FT.

DECK 83 SQ. FT.

DECK 1 72 SQ. FT.

DECK 2 70 SQ. FT.

DECK 1 88 SQ. FT.

DECK 2 90 SQ. FT.

DECK 1 96 SQ. FT.

DECK 2 90 SQ. FT.

PARKING ANALYSIS

1 PER 4 UNITS

49 UNITS / 4

TOTAL (107.25)

PROVIDED:

55 - OPEN

53 COVERED - PODIUM

95 TOTAL 'ASSIGNED'

13 TOTAL 'UNASSIGNED'

ELECTRIC VEHICLE PARKING

INCL. 2 VAN ADA - PODIUM

INCL. 1 STD. ADA - PODIUM

INCL. 1 VAN ADA / E.V. - OPEN

108 PARKING PROVIDED

PROVIDED: 1 STD. ADA

53 PODIUM (COVERED) X .02 = 1.1 ACCESSIBLE REQUIRED

PROVIDED: 3 - 2 VAN ADA AND 1 STD. ADA

42 OPEN PARKING X .02 = .84 ACCESSIBLE REQUIRED

13 OPEN PARKING X .05 = .65 ACCESSIBLE REQUIRED

PROVIDED: 2 - 1 VAN ADA AND 1 STD. ADA

95 ASSIGNED SPACES X .10 = 9.5 = 10 REQUIRED

13 OPEN SPACES X .10 = 1.3 = 2 REQUIRED

INCL. 2 STD. ADA - OPEN

ACCESSIBLE PARKING ANALYSIS:

12 - 1 BEDROOM UNITS X 1.75 PARKING/UNIT =

37 - 2 BEDROOM UNITS X 2.0 PARKING/UNIT =

74.00

12.25

108 PARKING REQUIRED

OPEN DECK 1 = 66 SQ. FT.

OPEN DECK 2 = 47 SQ. FT.

OPEN DECK 1 = 82 SQ. FT.

OPEN DECK 2 = 65 SQ. FT.

OPEN DECK 1 = 89 SQ. FT.

OPEN DECK 2 = 65 SQ. FT.

DECK TOP RECREATION AREA

BUILDING CODE DATA: CONDOMINIUM BUILDING 49 CONDOMINIUM UNITS 5 STORIES (4 STORIES R2 OVER 1 STORY S2) S2 - TYPE I B CONSTRUCTION /// R2 - TYPE VA CONSTRUCTION **BUILDING SQ. FTG.**

FIRST FLOOR - PODIUM STRUCTURE PARKING 21.657 GROSS S.F. SECOND FLOOR - RESIDENTIAL UNITS / COMMON AREA 21,486 GROSS S.F. THIRD FLOOR - RESIDENTIAL UNITS / COMMON AREA 21,300 GROSS S.F. FOURTH FLOOR - RESIDENTIAL UNITS 19,607 GROSS S.F. FIFTH FLOOR - RESIDENTIAL UNITS 17,637 GROSS S.F.

BUILDING TOTAL -101,687 GROSS S.F.

CODE ANALYSIS: BUILDING HEIGHT:

> OCCUPANCY R2 - ALLOWABLE BUILDING HEIGHT 4 STORIES (CBC TABLE 504.4) CONSTRUCTION OF R2 OVER TYPE I (SINGLE STORY) PARKING WITH GRADE ENTRANCE THE NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE SUCH

ACTUAL NUMBER OF STORIES PROPOSED = 5 STORIES 4 STORIES R2 OVER 1 STORY S2 (AS DESCRIBED ABOVE)

BUILDING HEIGHT = 87' (SEE EXT. ELEVATION SHEETS A6.01 AND A6.02)

R2 -ALLOWABLE AREA - 36,000 S.F. / FLOOR (CBC TABLE 506.2) AREA INCREASE (CBC 506.3.2 - FRONTAGE) I, = (F/P -0.25) W/30

 $I_{\star} = (563/786 - 0.25) 30/30 = .466$ $A_a = (38,000 + (12,000 \times .466) = 41,592 S.F.$ R2 - ALLOWABLE AREA PER FLOOR = 41,592 S.F.

S2 -ALLOWABLE AREA - 237,000 S.F. / FLOOR (CBC TABLE 506.2) **AREA INCREASE (CBC 506.3.2 - FRONTAGE)** $A_a = (A_t + (NS \times I_r))$

> $I_{\star} = (563/786 - 0.25) 30/30 = .466$ $A_a = (237,000 + (79,000 \times .466) = 273,814 \text{ S.F.}$ S2 - ALLOWABLE AREA PER FLOOR = 273,814 S.F.

A3 -ALLOWABLE AREA - 34,500 S.F. / FLOOR (CBC TABLE 506.2) **AREA INCREASE (CBC 506.3.2 - FRONTAGE)**

 $A_a = (A_1 + (NS \times I_r))$ L = (563/786 - 0.25) 30/30 = .466A_a = (34,500 + (11,500 X .466) = 39,859 S.F. A3 - ALLOWABLE AREA PER FLOOR = 40.092 S.F. $\angle 1$

S2 FIRST FLOOR - 21,657 GROSS S.F./273,814 = .079 R2 SECOND FLOOR -18,479 GROSS S.F./41,592 = .444 /1\3,007 GROSS S.F./39,859 = .075 A3 SECOND FLOOR -

R2 THIRD FLOOR - 18.404 GROSS S.F./41.592 = .442 A3 THIRD FLOOR /1\2,896 GROSS S.F./39,859 = .072

R2 FOURTH FLOOR -19,607 GROSS S.F./41,592 = .471 R2 FIFTH FLOOR • 17,637 GROSS S.F./41,592 = .424 **TOTAL = 2.00**

FIRE CONSTRUCTION DATA:

EXTERIOR WALLS 1-HOUR RATED 1-HOUR RATED **UNIT TO UNIT PARTYWALLS** 1-HOUR RATED **CORRIDOR WALLS OCCUPANCY SEPARATION WALLS** 1-HOUR RATED UNIT TO DIFFERENT UNIT FLOOR/CLG. 1-HOUR RATED

UNIT ROOF / CLG. (CLASS A ROOFING) 1-HOUR RATED NTERIOR BEARING WALLS **SUPPORTING 1-HOUR RATED** CONSTRUCTION 1-HOUR RATED NTERIOR BEARING WALLS NTERIOR NON BEARING WALLS **NON-RATED**

S2 - TYPE I **EXTERIOR WALLS**

2-HOUR RATED **CLG. TO R2 FLOOR ABOVE** 2-HOUR RATED **ELEVATOR SHAFT WALLS** 2-HOUR RATED STAIRWELL WALLS 2-HOUR RATED

1-HOUR RATED **ELEVATOR SHAFT WALLS** 2-HOUR RATED

OCCUPANT LOAD CALC #1 OCCUPANT LOAD: 2019 CBC - TABLE 1004.5 OCCUPANT LOAD CALC #2 MULTI-PURPOSE: 1,085 GROSS S.F. 1,045 NET S.F. /7 OCC. / S.F. = 149 OCC. EXERCIBE: 508 GROSS 8.F. /50 OCC. / 8.F. = 11 OCC.

OCCUPANT LOAD - TABLE 1004,5

OCC. LOAD (200 GROSS) = 109

OCC. LOAD (200 GROSS) = 93

OCC. LOAD SEE CALC. #1 = 249

OCC. LOAD (200 GROSS) = 92

OCC. LOAD SEE CALC #2 = 310

OCC. LOAD (200 GROSS) = 98

OCC. LOAD (200 GROSS) = 88

TRASH ANALYSIS: REQUIRED: 49 UNITS / 4 = 12.25 12.25 X 1.5 **= 18.38 CU. YDS. REQUIRED** PROVIDED: 4 X 6 CU. YD. BINS = 24 CU. YDS. PROVIDED

TENANT IMPROVEMENT PERMIT APPLICATIONS WITH PROJECT VALUATION OF \$100,000,00 OR MORE TO PREPARE A CONSTRUCTION AND DEMOLITION RECYCLING PLAN (CDRP). FORM CDRP MUST BE FILLED OUT AND SUBMITTED TO THE ONTARIO MUNICIPAL UTILITIES COMPANY - SOLID WASTE DEPARTMENT FOR APPROVAL. CALL 909-395-2664 FOR FURTHER INFORMATION AND ASSISTANCE.

PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN **ACCORDANCE WITH 2019 CFC SECTION 906**

FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 - NFPA 13 PLANS SHALL BE SUBMITTED TO AND APPROVED BY ONTARIO FIRE DEPARTMENT UNDER SEPARATE DEFERRED SUBMITTAL.

A MANUAL FIRE ALARM SYSTEM PER C.B.C. 907.2.9.1 IS REQUIRED PLANS SHALL BE SUBMITTED TO AND APPROVED BY ONTARIO FIRE DEPARTMENT UNDER SEPARATE DEFERRED SUBMITTAL

A CLASS I STANDPIPE SYSTEM IS REQUIRED PLANS SHALL BE SUBMITTED TO AND APPROVED BY ONTARIO FIRE DEPARTMENT UNDER SEPARATE DEFERRED SUBMITTAL

UNDERGROUND PRIVATE FIRE LINES FEEDING THE ON SITE FIRE HYDRANTS. AND FIRE SPRINKLER SYSTEMS IS REQUIRED PLANS SHALL BE SUBMITTED TO AND APPROVED BY ONTARIO FIRE DEPARTMENT UNDER SEPARATE DEFERRED SUBMITTAL

SECTION 907.5 THAT WILL AUTOMATICALLY ACTIVATE

FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH C.B.C. SECTION 903.3.1 FOR BUILDING 1 - PROVIDE NFPA 13 SPRINKLER SYSTEM PER

- PROVIDE OCCUPANT NOTIFICATION APPLIANCES THAT WILL **AUTOMATICALLY ACTIVATE THROUGHOUT THE NOTIFICATION ZONES UPON SPRINKLER WATERFLOW C.B.C. SECTION 907.2..9**

IF THERE ARE ANY HAZARDOUS MATERIALS PRESENT IN **EXCESS OF THE MAXIMUM ALLOWABLE QUANTITIES PER** CONTROL AREA, THE APPLICANT SHALL COMPLETE A COPY OF THE ONTARIO FIRE DEPARTMENTS HAZARDOUS MATERIALS INFORMATION FORM AND RETURN IT TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INTRODUCING ANY SUCH

STRUCTURAL AND OTHER CONSULTANTS DRAWINGS INCLUDED IN THIS PACKAGE ACCOMPANY THE ARCHITECTURAL DRAWINGS FOR LOCATIONAL CONVENIENCE ONLY.THE ARCHITECT ASSUMES NO LIABILITY FOR THE CORRECTNESS OF **CLIENT/CONSULTANT DRAWINGS.**

THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA PLUMBING CODE **2019 CALIFORNIA FIRE CODE**

PROJECT CONSULTANTS:

DEVELOPER:

ARCHITECT:

SOILS ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER:

MECHANICAL ENGINEER:

ELECTRICAL ENGINEER:

BUILDING DEPARTMENT

PLUMBING ENGINEER:

REVIEW OR APPROVE PLANS FOR ADA COMPLIANCE.

CITY OF ONTARIO REQUIRES ALL NEW BUILDINGS. AND DEMOLITION / RENOVATION /

A FIRE ALARM SYSTEM

PROVIDE OCCUPANT NOTIFICATION APPLIANCES PER CBC THROUGHOUT THE NOTIFICATION ZONE UPON SPRINKLER

C.B.C. SECTION 903.3.1.1.

MATERIALS INTO THE BUILDING.

2019 CALIFORNIA MECHANICAL CODE

C.B.C. CHAPTER 11A FOR DISABLED ACCESS COMPLIANCE FOR

STAR, ELEV. EXIT AND IDENTIFICATION SIGNAGE STAIR 3 AND 4 ENLARGEMENT FLOORS 1-5 ACCESSIBLE SIGNAGE AND EMERGENCY POWER NOTES A3.10 RECREATION ENLARGEMENT FLOOR 2 RECREATION ENLARGMENTT FLOOR 3 CAL GREEN RESIDENTIAL MANDATORY BUILDING ACCESSIBLE NOTES BUILDING ACCESSIBLE DIAGRAMS CAL GREEN RESIDENTIAL MANDATORY TOILET ROOM INTERIOR WALL ELEVATIONS DOOR AND WINDOW SCHEDULES SECOND FLOOR BUILDING FIRE PLAN A4.02 PLANNING DEPARTMENT CONDITIONS OF THIRD FLOOR BUILDING FIRE PLAN FOURTH FLOOR BUILDING FIRE PLAN ENGINEERING DEPARTMENT CONDITIONS OF A4.05 FIFTH FLOOR BUILDING FIRE PLAN EXT. ELEV. OPENINGS BASED ON FIRE ARCHITECTURAL SITE BUILDING SECTIONS 1, 2, 3 BUILDING SECTIONS 4, 5, 6, 7, 8 A0.02 TRASH ENCLOSURE PLAN/ELEVATION BUILDING SECTIONS A. B. C BUILDING SECTIONS D, E, F A5.05 BUILDING SECTIONS G, H, I, J, K UNIT PLAN B, B2 UNIT PLAN C, C2 EXTERIOR ELEVATION — EAST UNIT PLAN D. D2 (MAGNOLIA ST.) AND SOUTH UNIT PLAN E, E2, E3 A6.02 EXTERIOR ELEVATION — WEST AND NORTH FLOOR PLAN NOTES UNIT ACCESSIBLE FLOOR PLAN NOTES BUILDING ROOF PLAN UNIT ACCESSIBLE DIAGRAMS UNIT ACCESSIBLE DIAGRAMS ARCHITECTURAL DETAILS SLAB INTERFACE - PODIUM BASE SLAB LEVEL ARCHITECTURAL DETAILS SLAB INTERFACE - PODIUM TOP SLAB LEVEL ARCHITECTURAL DETAILS ARCHITECTURAL DETAILS FIRST FLOOR BUILDING PLAN ARCHITECTURAL DETAILS SECOND FLOOR BUILDING PLAN D.06 ARCHITECTURAL DETAILS THIRD FLOOR BUILDING PLAN ARCHITECTURAL DETAILS D.08 FOURTH FLOOR BUILDING PLAN ARCHITECTURAL DETAILS A3.05 FIFTH FLOOR BUILDING PLAN D.09 ARCHITECTURAL DETAILS D.10 ARCHITECTURAL DETAILS

D.11

CONSULTANT PLANS

CIVIL -UNDER SEPARATE PERMIT. INCLUDED HERE

FOR REFERENCE ONLY

SECTIONS

-11 THRU C-14 DETAILS

C-20 THRU C-23 CONDITIONS

INDEX SHEET

CONSTRUCTION PLAN

↑ LANDSCAPE

NOTES AND QUANTITIES

C-4 THRU C-7 PRECISE GRADING PLAN

WATER AND SEWER PLAN

EROSION CONTROL PLAN

ON-SITE STORM DRAIN PLAN

WATER AND SEWER STD. DWGS

WATER AND SEWER STD. DWGS.

INDEX

0A.00 INDEX - PROJECT DATA

ARCHITECTURAL GENERAL NOTES

HORIZONTAL CONTROL AND SIGNING/STRIPING GENERAL NOTES AND INDEX SHEET MATERIAL AND FIXT. SCHEDULES AND CALCULATIONS CALCULATIONS P-0.4 SPECIFICATION SHEET SOILS REPORT CONCLUSIONS & RECOMMEND. P-1.0 SITE PLAN SOILS REPORT CONCLUSIONS & RECOMMEND. P-2.1A FIRST FLR.-PODIUM LEVEL PARKING - COLD/ HOT WATER AND NATURAL GAS

STRUCTURAL CONCRETE DETAILS

STRUCTURAL DETAILS AND NOTES

STRUCTURAL DETAILS AND NOTES

S-1.1A TOP OF SLAB FOUNDATION PLAN - AREA A

S-1.1B TOP OF SLAB FOUNDATION PLAN - AREA B

S-1.2A 3RD FLOOR FRAMING PLAN - AREA A

S-1.2B 3RD FLOOR FRAMING PLAN - AREA B

S-1.2C 3RD FLOOR FRAMING PLAN - AREA C

S-1.3A 4TH FLOOR FRAMING PLAN - AREA A

S-1.3B 4TH FLOOR FRAMING PLAN - ARFA R

S-1.4 5TH FLOOR FRAMING PLAN - OVERALL

S-1.4B 5TH FLOOR FRAMING PLAN - AREA B

S-1.4C 5TH FLOOR FRAMING PLAN - AREA C

S-1.6A HIGH ROOF FRAMING PLAN - AREA A

S-1.6B HIGH ROOF FRAMING PLAN - AREA B

GENERAL DETAILS AND NOTES

S-1.5 ROOF FRAMING PLAN - OVERALL

S-1.5A ROOF FRAMING PLAN - AREA A

S-1.5B ROOF FRAMING PLAN - AREA B

S-1.5C ROOF FRAMING PLAN - AREA C

STRUCTURAL DETAILS

STRUCTURAL DETAILS

REV. | DATE

pimaltos@verizon.net

ESGINC.COM

(949) 752-1612 ext.239 rgomez@gouvisgroup.com

(949) 752-1612 ext.239 rgomez@gouvisgroup.com

(949) 752-1612 ext.239 rgomez@gouvisgroup.com

Travis@swcei.com

deosakul@gouvisgroup.com

csteichen@lsaarchitecture.com

shane@dnassociates.com

S-1.3C 4TH FLOOR FRAMING PLAN - AREA C

TOP OF SLAB FOUNDATION PLAN -OVERALL

TOP OF SLAB FOUNDATION PLAN - AREA C

3RD FLOOR FRAMING PLAN - OVERALL

4TH FLOOR FRAMING PLAN - OVERALL

HIGH ROOF FRAMING PLAN - OVERALL

TOP OF SLAB FOUNDATION DETAILS

DESCRIPTION

ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

STAIR 1 - ENLARGEMENT FLOORS 1-4 STAIR 1 - ENLARGEMENT FLOORS 5-ROOF

STAIR 2 - ENLARGEMENT FLOORS 1-5

NOTE: SEE FULL CIVIL SET FOR FIBER OPTIC PLAN. P-2.2A SECOND FLR. LEVEL - COLD/ HOT WATER AND NATURAL GAS SIGNING AND STRIPING PLAN, STREET LIGHT IMPROVMNT. P-2.3A THIRD FLR. LEVEL - COLD/ HOT WATER AND PLAN AND STREET IMPROVEMENT PLAN NATURAL GAS P-2.4A FOURTH FLR. LEVEL - COLD/ HOT WATER AND NATURAL GAS P-2.5A FIFTH FLR. LEVEL - COLD/ HOT WATER AND NATURAL GAS P-2.6A ROOF FLR. LEVEL - COLD WATER

CONSTRUCTION ENLARGEMENT CONSTRUCTION DETAILS P-2.1B FIRST FLR.-PODIUM LEVEL PARKING - WASTE/ CONSTRUCTION SPECS VENT PIPING AND STORM DRAIN IRRIGATION PLAN P-2.2B SECOND FLR. LEVEL - WASTE/VENT PIPING AND 2.2–2.4 IRRIGATION DETAIL L2.5-2.6 IRRIGATION SPECS P-2.3B THIRD FLR. LEVEL - WASTE/VENT PIPING AND PLANTING PLAN STORM DRAIN PLANTING DETAILS P-2.4B FOURTH FLR. LEVEL - WASTE/VENT PIPING AND PLANTING SPECIFICATIONS STORM DRAIN P-2.5B FIFTH FLR. LEVEL - WASTE/VENT PIPING AND

STORM DRAIN T24-MM MANDATORY MEASURES FORMS P-2.6B ROOF FLR. LEVEL - VENT THROUGH ROOF AND T24-1 ENERGY COMPLIANCE FORMS STORM DRAIN T24-2 NRCC-MCH-E FORMS RECREATION AREA - SECOND FLOOR LEVEL-COLD/HOT WATER AND NATURAL GAS RECREATIÓN AREA — THIRD FLOOR LEVEL-COLD/HOT WATER AND NATURAL GAS M-0.1 GENERAL NOTES AND LEGENDS

EQUIPMENT SCHEDULES P-4.1 BUILDING- COLD WATER DIAGRAMS BUILDING FIRST FLOOR PODIUM UNIT- COLD/HOT WATER DIAGRAMS BUILDING SECOND FLOOR LEVEL BUILDING THIRD FLOOR LEVEL GAS DIAGRAMS BUILDING FOURTH FLOOR LEVEL P-4.4 BUILDING WASTE/VENT DIAGRAMS BUILDING FIFTH FLOOR LEVEL P-4.5 BUILDING WASTE/VENT DIAGRAMS P-4.6 BUILDING WASTE/VENT DIAGRAMS

P-D.1 DETAILS P-D.2 DETAILS ELECTRICAL STRUCTURAL

SN-1A GENERAL NOTES AND REQUIREMENTS SHEET INDEX AND GENERAL NOTES ABBREVIATIONS AND SYMBOLS LIST SN-1B GENERAL NOTES AND REQUIREMENTS SN-1C SPECIAL INSPECTIONS SC-200 FOUNDATION PLAN -0.3B DETAILS SC-210 PODIUM SLAB PLAN DETAILS -0.4A SINGLE LINE DIAGRAM SC-211 PODIUM SLAB PLAN - ADD'L REINF. N/S -0.4B SINGLE LINE DIAGRAM SC-212 PODIUM SLAB PLAN - ADD'L REINF E/W LOAD CALC'S, LIGHTING CONTROLS SC-311 STRUCTURAL CONCRETE DETAILS

PANEL SCHEDULES SC-312 STRUCTURAL CONCRETE DETAILS PANEL SCHEDULES & EQUIPMENT SCHEDULE SC-313 STRUCTURAL CONCRETE DETAILS IN VER TER SC-314 STRUCTURAL CONCRETE DETAILS LIGHTING SPECIFICATIONS SC-321 STRUCTURAL CONCRETE DETAILS LIGHTING CONTROL PANEL SC-322 STRUCTURAL CONCRETE DETAILS SITE LIGHTING NOTES SITE LIGHTING PLAN SC-324 STRUCTURAL CONCRETE DETAILS PHOTOMETRIC SITE PLAN BLDG.- FIRST FLR. - PODIUM LEVEL PARKING LIGHTING PLAN

NORMAL PHOTOMETRIC-FIRST FLR. LEVEL,

NORMAL PHOTOMETRIC-SECOND FLR. LEVEL

NORMAL PHOTOMETRIC-FOURTH FLR. LEVEL

NORMAL PHOTOMETRIC-THIRD FLR. LEVEL

NORMAL PHOTOMETRIC-FIFTH FLR. LEVEL

NORMAL PHOTOMETRIC-ROOF FLR. LEVEL

EGRESS PHOTOMETRIC-FIRST FLR. LEVEL,

EGRESS PHOTOMETRIC-SECOND FLR. LEVEL

EGRESS PHOTOMETRIC-FOURTH FLR. LEVEL

EGRESS PHOTOMETRIC-THIRD FLR. LEVEL

EGRESS PHOTOMETRIC-FIFTH FLR. LEVEL

EGRESS PHOTOMETRIC-ROOF FLR. LEVEL

TITLE 24 ELC ELECT. POWER DISTRIBUTION

PODIUM LEVEL PARKING

PODIUM LEVEL PARKING

TITLE 24 LTI INDOOR FORMS

E-5.4 TITLE 24 LTO OUTDOOR FORMS

(626) 945-8989

(949) 873-5255

(951) 397-8315

(951) 317-6558

(951) 296-3430

(951) 590-9005

REVISIONS:

REV. DATE

SET DATE: 01-18-23

E-5.3 SOLAR READY (SRA) COMPLIANCE FORMS

DESCRIPTION

/1\ | 01-05-23 | BUILDING DEPARTMENT CORRECTIONS

BLDG.— SECOND FLR. — LIGHTING PLAN THIRD FLR. - LIGHTING PLAN BLDG.- FOURTH FLR. - LIGHTING PLAN BLDG.- FIFTH FLR. - LIGHTING PLAN BLDG.- ROOF FLR. - POWER PLAN BLDG.- FIRST FLR. - PODIUM LEVEL PARKING POWER PLAN BLDG.- SECOND FLR. - POWER PLAN BLDG.— THIRD FLR. — POWER PLAN E-2.10 BLDG.- FOURTH FLR. - POWER PLAN

E-3.1 UNIT PLAN

E-2.11 BLDG.- FIFTH FLR. - POWER PLAN

E-2.12 BLDG. - ROOF FLR. - POWER PLAN

2019 CALIFORNIA GREEN BUILDINGS CODE

2019 CALIFORNIA ENERGY CODE NOTE: THE CITY OF ONTARIO. CA BUILDING DIVISION ENFORCES NEW CONSTRUCTION AT MULTI-FAMILY HOUSING AND DOES NOT

P.J. MALTOS

LSA ARCHITECTURE INC.

GOUVIS ENGINEERING

GOUVIS ENGINEERING

GOUVIS ENGINEERING

GOUVIS ENGINEERING

CITY OF ONTARIO

SUMMIT WEST CONSULTANTS

DAVID NEAULT ASSOCIATES INC.

EARTH STRATA GEOTECHNICAL SERVICES INC.

PLANNING DEPARTMENT FILE NO - PDE V19-031 BUILDING DEPARTMENT JOB NO - ONT22-0067

CENSED ARCHIT

ర్ LSA ARCH. INC. 🧏

A CALIF. CORP. C013818

STAMP NOT VALID

UNLESS SIGNED BY

IN BLOCK ABOVE

ZÃ

K M

OVE

REN. 09-30-23

Architecture Inc

5753 E. Santa Ana Canyon Road Suite G-213 Anaheim, CA 92807 (949) 873-5255

Job No. LSA-0421 Revisions:

Sheet

0A.00



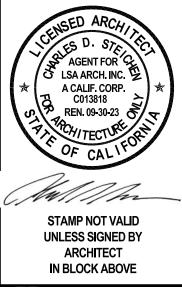
STAIR GUARD

FIRST FLOOR - PODIUM LEVEL PARKING SCALE: 1/8"=1'-0"

O STAIR HANDRAIL

11 LINE OF FLOOR ABOVE OR BELOW

STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL





Architecture Inc

5753 E. Santa Ana Canyon Roa Suite G-213 Anaheim, CA 92807 (949) 873-5255

Job No. LSA-0421

Revisions:

Sheet

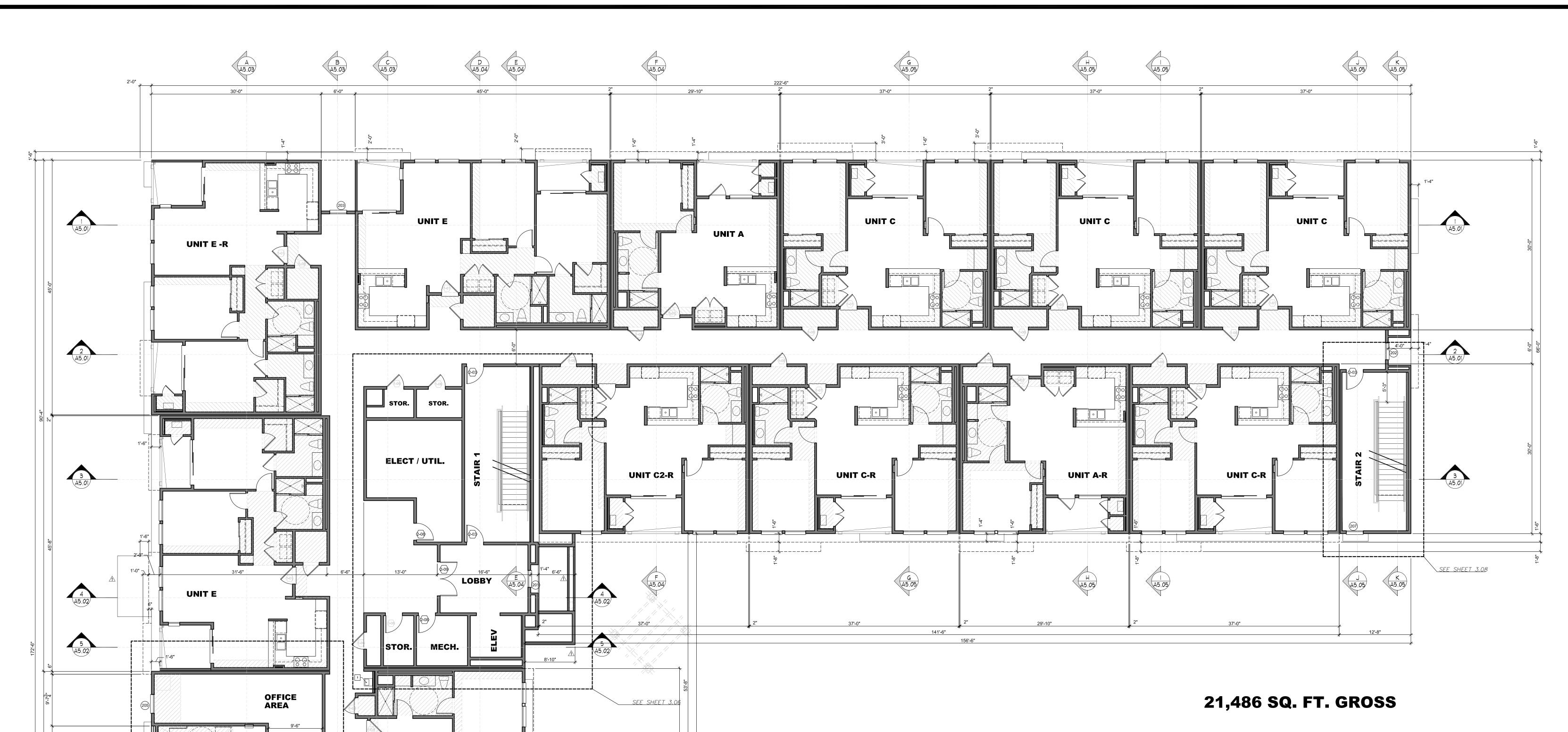
FIRE EXTINGUISHERS
EXIT PATH OF TRAVEL AND DISTANCE

FIRE SPRINKLER RISER LOCATION AND NOTES

A3.01

Sheet

A3.02



UNIT A2

COMMON AREA

D A5.04

SCALE: 1/8"=1'-0"

7 A5.02

8 A5.02

SEE SHEET 3.09/

_____SEE_SHEET_3.10/

RECREATION

(05f) (05f) (05f)

SECOND FLOOR LEVEL

SEE SHEET 3.09

12 UNITS

1/8" = 1'-0"

BUILDING FLOOR PLAN NOTES

- PRECAST CONC. TREADS WITH 'L' BRACKET SUPPORT SEE DETAIL 2/D.03
- 3 CONC. PODIUM WALLS. SEE STRUCTURAL DWGS. 4 FLAT FURRING ANCHORED TO CONC. WALL FOR INT.
- FINISH APPLICATION 5 RATED WALL ASSEMBLY - FRAMED WALL
- SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 6 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES 7 FIRE RATED CHASE. REFER TO A4.01 THRU A4.05
- SEE DETAIL 6/D.06 SIM. PROVIDE DRAFT/FIRE STOPS.
- GUARDRAIL STAIR GUARD
- 10 STAIR HANDRAIL 11 LINE OF FLOOR ABOVE OR BELOW
- 15. ELEVATOR BY THURSTON ELEVATOR CONCEPTS INC. 3,500# CAPACITY ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THIS CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER
- JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A -1124A 16 PROPOSED LOCATION OF FIRE SPRINKLER RISER – VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.

APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING

- STUCCO ARCH STUCCO SOFFIT STUCCO CEILING
- STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN PRECAST GLASS REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT. 23 4X6 LIGHTWEIGHT MTL. TUBE TRELLIS BEAMS ON EDGE - SPACED

AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. — SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL

- - 31 WATER HEATER SEE MECH PLANS 33 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2 INCH HIGH TO READ: 'IN CASE OF

AND ADDITIONAL INFORMATION.

DRAINAGE AT 1/4" PER 12" MIN.

FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR'

24 6X10 LIGHTWEIGHT MTL. TUBE TRELLIS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP

WATERPROOF - SLIP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN.

25 ELASTOMERIC DECKING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY. -

DECKING MATERIAL OVER CONC. PODIUM LID TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE

50 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH R.F. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE

SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE MAX. POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT OCCUPANCY ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11.

ACCESSIBLE NOTES

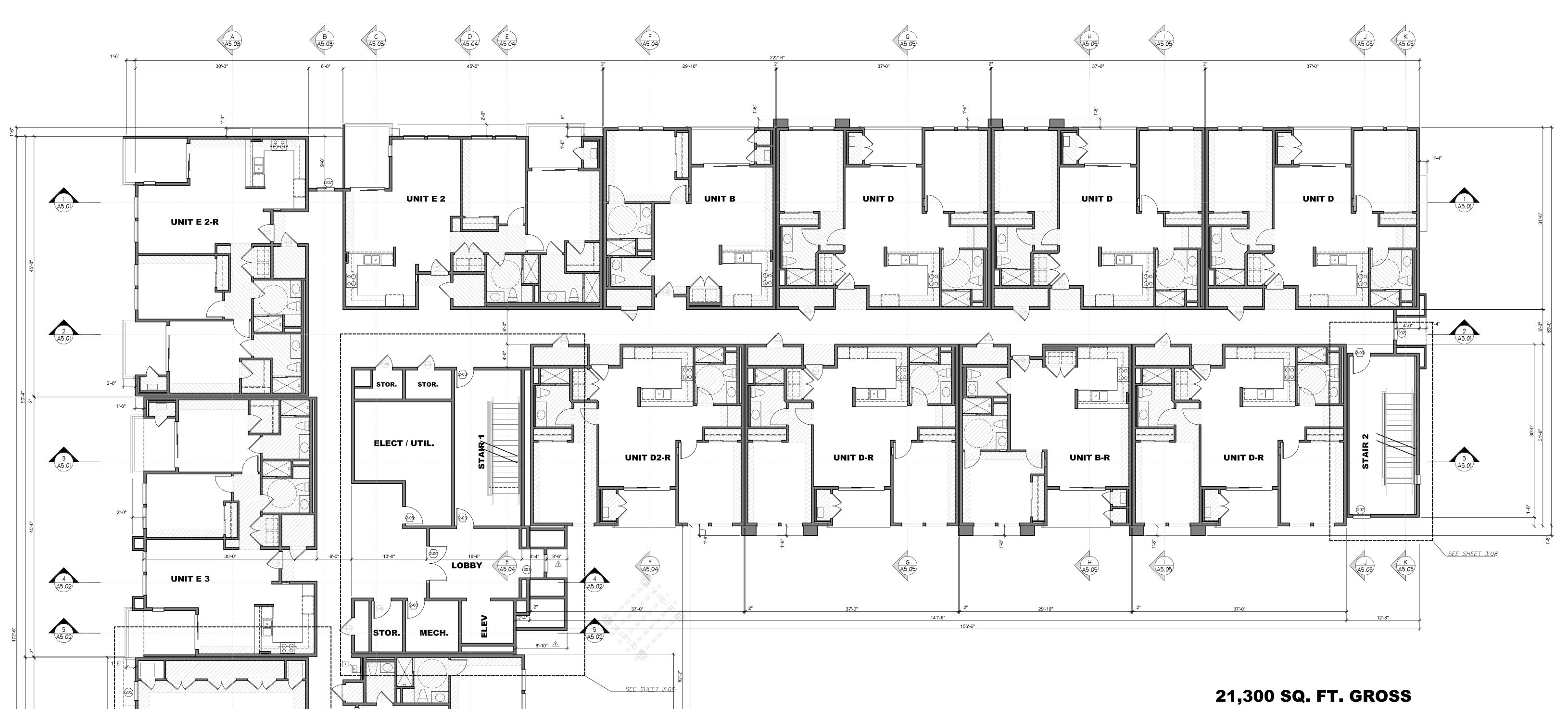
A thru S SEE SHEET A3.12 & A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

SEE SHEET A4.01 THRU A4.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING EXIT SIGNAGE FIRE EXTINGUISHERS
EXIT PATH OF TRAVEL AND DISTANCE FIRE SPRINKLER RISER LOCATION AND NOTES

Job No. LSA-0421 Revisions:

A3.03



12 UNITS

1/8" = 1'-0"

BUILDING FLOOR PLAN NOTES

- PRECAST CONC. TREADS WITH 'L' BRACKET SUPPORT SEE DETAIL 2/D.03
- 3 CONC. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 4 FLAT FURRING ANCHORED TO CONC. WALL FOR INT. FINISH APPLICATION 5 RATED WALL ASSEMBLY - FRAMED WALL
- SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 6 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 7 FIRE RATED CHASE. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/D.06 SIM. PROVIDE DRAFT/FIRE STOPS.
- GUARDRAIL STAIR GUARD
- 10 STAIR HANDRAIL 11 LINE OF FLOOR ABOVE OR BELOW
- 15. ELEVATOR BY THURSTON ELEVATOR CONCEPTS INC. 3,500# CAPACITY ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THIS CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER
- JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A -1124A 16 PROPOSED LOCATION OF FIRE SPRINKLER RISER – VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.

APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING

- STUCCO ARCH STUCCO SOFFIT STUCCO CEILING
- STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN PRECAST GLASS REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT. 23 4X6 LIGHTWEIGHT MTL. TUBE TRELLIS BEAMS ON EDGE - SPACED
- AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL
- 24 6X10 LIGHTWEIGHT MTL. TUBE TRELLIS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP
- AND ADDITIONAL INFORMATION. 25 ELASTOMERIC DECKING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY. -WATERPROOF - SLIP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN. DECKING MATERIAL OVER CONC. PODIUM LID TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE
- 31 WATER HEATER SEE MECH PLANS

FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR'

- 33 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2 INCH HIGH TO READ: 'IN CASE OF
- 50 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH R.F. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE

SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE MAX. POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT OCCUPANCY ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11.

ACCESSIBLE NOTES

A thru S SEE SHEET A3.12 & A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

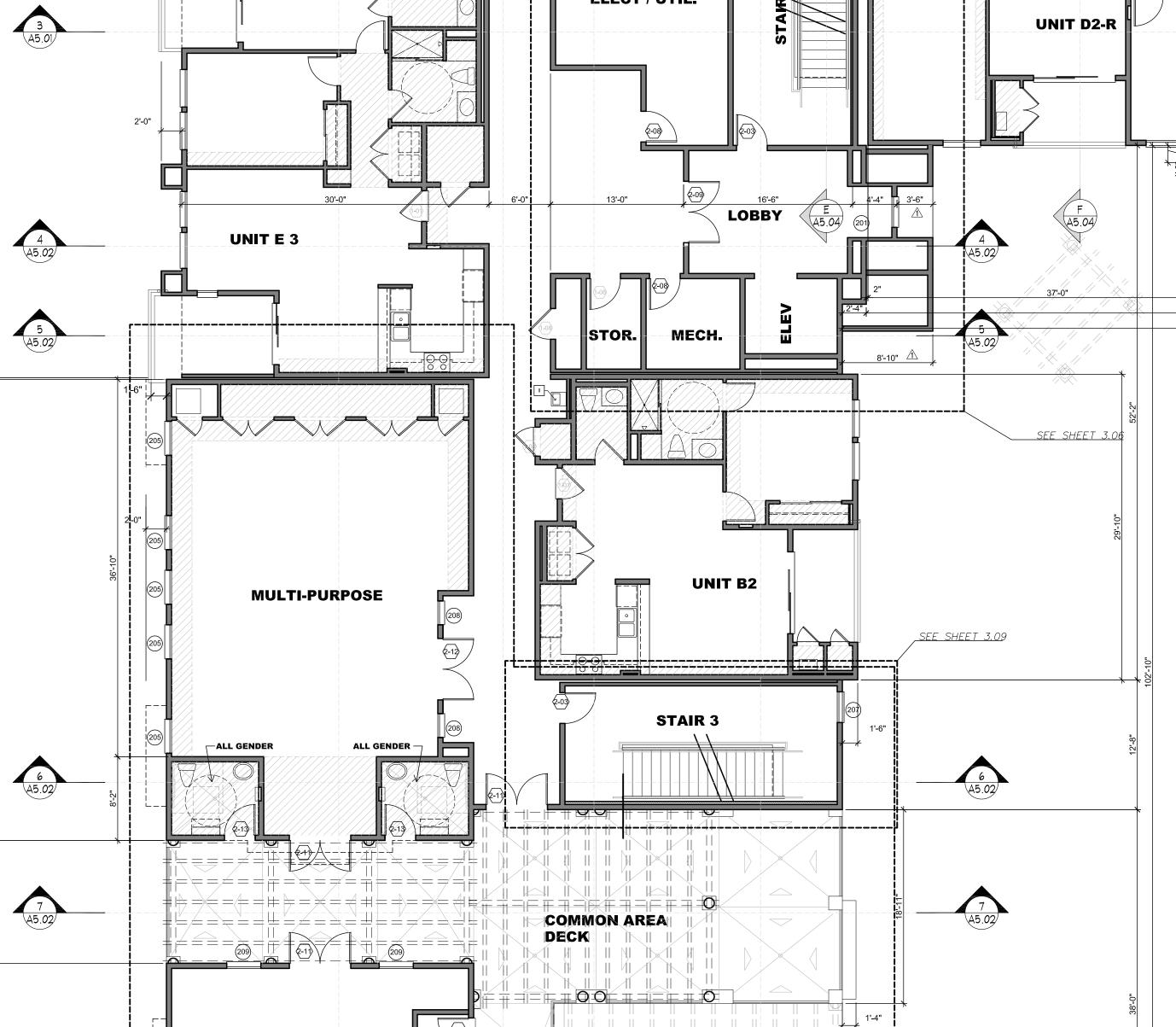
FIRE PLAN NOTES

SEE SHEET A4.01 THRU A4.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING

EXIT SIGNAGE

FIRE EXTINGUISHERS

EXIT PATH OF TRAVEL AND DISTANCE FIRE SPRINKLER RISER LOCATION AND NOTES



D A5.04

SCALE: 1/8"=1'-0"

EXERCISE

STAIR 4

SEE SHEET 3.09/

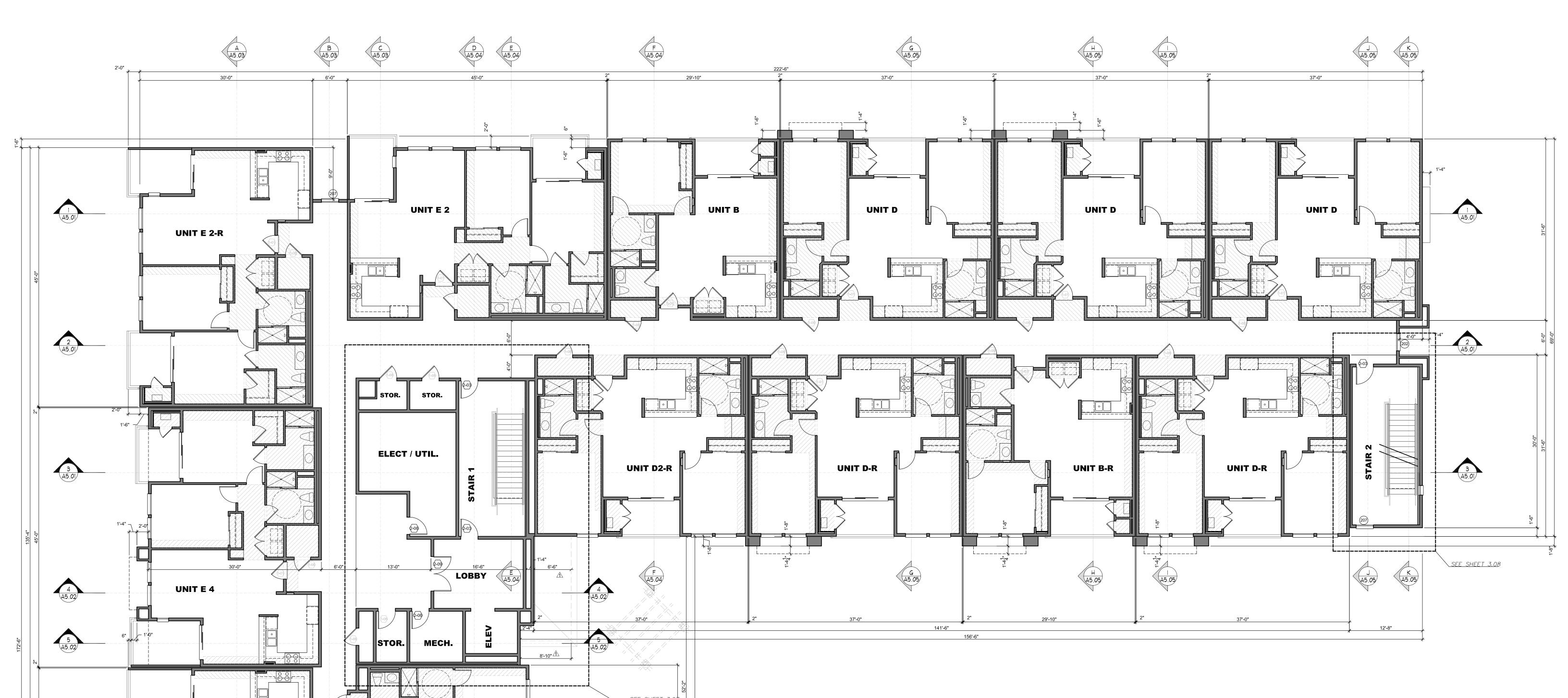
____SEE_SHEET_3.11/

209 209 209

THIRD FLOOR LEVEL

Job No. LSA-0421 Revisions:

A3.04



PLAN E 2-R

FOURTH FLOOR LEVEL

DECK BELOW

DECK BELOW

SCALE: 1/8"=1'-0"

7 A5.02

19,607 SQ. FT. GROSS

13 UNITS

1/8" = 1'-0"

BUILDING FLOOR PLAN NOTES

- PRECAST CONC. TREADS WITH 'L' BRACKET SUPPORT SEE DETAIL 2/D.03 3 CONC. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 4 FLAT FURRING ANCHORED TO CONC. WALL FOR INT.
- FINISH APPLICATION
- 5 RATED WALL ASSEMBLY FRAMED WALL SEE FIRE PLAN SHEETS A4.01 THRU A4.05. NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED HERE. REFER TO A4.01 THRU A4.05
- 6 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR DOOR AND WINDOW REFERENCES
- 7 FIRE RATED CHASE. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/D.06 SIM. PROVIDE DRAFT/FIRE STOPS.
- GUARDRAIL
- STAIR GUARD 10 STAIR HANDRAIL 11 LINE OF FLOOR ABOVE OR BELOW
- 15. ELEVATOR BY THURSTON ELEVATOR CONCEPTS INC. 3,500# CAPACITY ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THIS CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER
- JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A -1124A 16 PROPOSED LOCATION OF FIRE SPRINKLER RISER – VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.

APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING

- STUCCO ARCH STUCCO SOFFIT STUCCO CEILING
- STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN PRECAST GLASS REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT. 23 4X6 LIGHTWEIGHT MTL. TUBE TRELLIS BEAMS ON EDGE - SPACED
- AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL
- 24 6X10 LIGHTWEIGHT MTL. TUBE TRELLIS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP
- AND ADDITIONAL INFORMATION. 25 ELASTOMERIC DECKING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY. -WATERPROOF - SLIP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN. DECKING MATERIAL OVER CONC. PODIUM LID TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE
- 31 WATER HEATER SEE MECH PLANS

FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR'

- 33 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2 INCH HIGH TO READ: 'IN CASE OF
- 50 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH R.F. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE

SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE MAX. POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT OCCUPANCY ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11.

ACCESSIBLE NOTES

A thru S SEE SHEET A3.12 & A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

SEE SHEET A4.01 THRU A4.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING
EXIT SIGNAGE
FIRE EXTINGUISHERS
EXIT PATH OF TRAVEL AND DISTANCE
FIRE SPRINKLER RISER LOCATION AND NOTES

Job No. LSA-0421

Revisions:

A3.05



BUILDING FLOOR PLAN NOTES

PRECAST CONC. TREADS WITH 'L' BRACKET SUPPORT SEE DETAIL 2/D.03

- 3 CONC. PODIUM WALLS. SEE STRUCTURAL DWGS.
- 4 FLAT FURRING ANCHORED TO CONC. WALL FOR INT. FINISH APPLICATION 5 RATED WALL ASSEMBLY - FRAMED WALL
- SEE FIRE PLAN SHEETS A4.01 THRU A4.05.
 NOTE: NOT ALL FIRE WALL CONDITIONS ARE NOTED
 HERE. REFER TO A4.01 THRU A4.05 6 SEE UNIT PLAN AND/OR BUILDING PLAN SHEETS FOR
- DOOR AND WINDOW REFERENCES 7 FIRE RATED CHASE. REFER TO A4.01 THRU A4.05 SEE DETAIL 6/D.06 SIM. PROVIDE DRAFT/FIRE STOPS.
- GUARDRAIL STAIR GUARD 10 STAIR HANDRAIL

SCALE: 1/8"=1'-0"

ROOF BELOW

FIFTH FLOOR LEVEL

- 11 LINE OF FLOOR ABOVE OR BELOW
- 15. ELEVATOR BY THURSTON ELEVATOR CONCEPTS INC. 3,500# CAPACITY ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THIS CHAPTER, ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER ELEVATOR SAFETY ORDERS, AND ANY OTHER

APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING

JURISDICTION. ALL PROPOSED WORK TO COMPLY WITH 2019 C.B.C. CHAPTER 11A -1124A

- 16 PROPOSED LOCATION OF FIRE SPRINKLER RISER VERIFY LOCATION WITH APPROVED FIRE SPRINKLER PLANS. FIRE SPRINKLER PLANS ARE A DEFERRED SUBMITTAL.
- STUCCO ARCH STUCCO SOFFIT STUCCO CEILING
- STUCCO (OR EXT. MATERIAL) POPOUT OR COLUMN PER PLAN PRECAST GLASS REINFORCED CONCRETE COLUMN. SEE STRUCTURAL FOR ATTACHMENT AND SUPPORT. 23 4X6 LIGHTWEIGHT MTL. TUBE TRELLIS BEAMS ON EDGE - SPACED
- AT APPROX. 24" O.C. TO FIT DESIGN. SUBCONTRACTOR SHALL SUBMIT SHOP DWGS. TO CITY PRIOR TO ERECTION. SEE STRUCTURAL DWGS FOR CONNECTIONS / SIZING AND ADDITIONAL
- 24 6X10 LIGHTWEIGHT MTL. TUBE TRELLIS SUPPORT BEAMS. SUBCONTRACTOR SHALL SUBMIT SHOP
- AND ADDITIONAL INFORMATION. 25 ELASTOMERIC DECKING MATERIAL AS PART OF 1 HOUR FIRE FLOOR/CEILING ASSEMBLY. -WATERPROOF - SLIP RESISTANT. SLOPE TO APPROPRIATE DRAINAGE AT 1/4" PER 12" MIN. DECKING MATERIAL OVER CONC. PODIUM LID TO BE SELECTED BY BUILDER. PROVIDE WATERPROOFING AND SLOPE TO APPROPRIATE
- 31 WATER HEATER SEE MECH PLANS

FIRE USE STAIRWAY FOR EXIT. DO NOT USE ELEVATOR'

- 33 ALL ELEVATORS SHALL HAVE NOT LESS THAN ONE SIGN AT EACH LANDING PRINTED ON A CONTRASTING BACKGROUND IN LETTERS NOT LESS THAN 1/2 INCH HIGH TO READ: 'IN CASE OF
- 50 OVERHEAD ROLL DOWN GATE AND MOTOR. MOTORIZED WITH R.F. CONTROLS PER DEVELOPER'S SPECIFICATIONS AND REQUIREMENTS.

GENERAL

SEE ENLARGED PLAN SHEETS A3.06 THRU A3.11 (AS OUTLINED ON THIS PLAN) FOR FULL NOTES AND DIMENSIONS NOT SHOWN HERE

SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE MAX. POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT OCCUPANCY ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT SEE OCCUPANCY CALCULATION AT THIS SHEET FOR POST REQUIREMENT. - SEE SHEETS A3.10 AND A3.11.

ACCESSIBLE NOTES

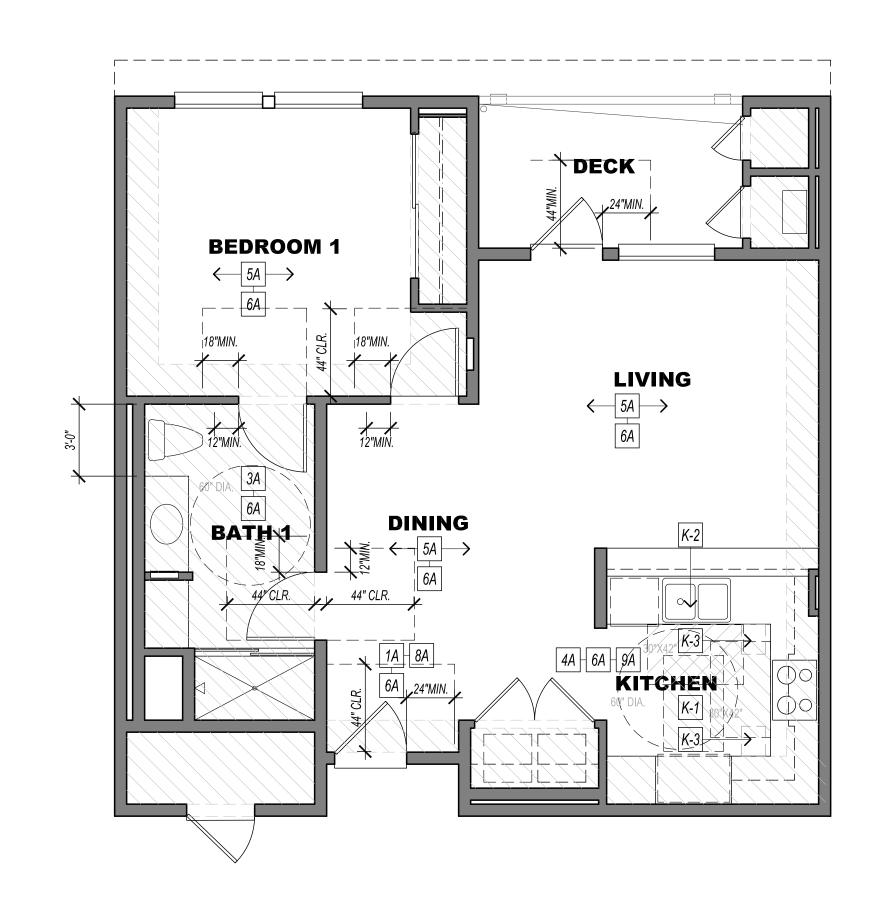
A thru S SEE SHEET A3.12 & A3.13 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

FIRE PLAN NOTES

SEE SHEET A4.01 THRU A4.05 FOR FIRE PLAN NOTES AND SIGNAGE NOT SHOWN HERE INCLUDING
EXIT SIGNAGE
FIRE EXTINGUISHERS
EXIT PATH OF TRAVEL AND DISTANCE
FIRE SPRINKLER RISER LOCATION AND NOTES

(949) 873-5255

A1.01



UNIT A - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

K-X ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A.

ACCESSIBLE NOTES

SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

- PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 3A (A.2-BATHTUB, B.2-WATER CLOSET
- ALSO SEE DIAGRAM 3/A1.09 FOR GRAPHIC REPRESENTATION

BEDROOM 1 ▼ 8'-0"SOFFUT 9'-0" CLG. UNIT STORAGE _ 211.5 CU. FT.

FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE.

UNIT A: 1 BED. / 1 BATH TOTAL PER SITE = 2

SQ. FTG. / UNIT 789 SQ. FT. (INCL. 211.5 CU. FT. STORAGE) DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 274.5 CU. FT.** OPEN DECK = 66 SQ. FT.

UNIT A

DECK BED LIV SEE BUILDING
PLAN SHEET KIT DESIGNATED STORAGE AT HALL
198 CU. FT.
SEE BLDG. PLAN **UNIT A2**

> UNIT A2: 1 BED. / 1 BATH TOTAL PER SITE = 1

SQ. FTG. / UNIT 789 SQ. FT. (INCL. 94 CU. FT. STORAGE) DECK 94 SQ. FT. (INCL. 63 CU. FT. STORAGE) DESIGNATED STORAGE AT HALL (198 CU. FT.) **TOTAL STORAGE PROVIDED = 355 CU. FT.** OPEN DECK = 66 SQ. FT.

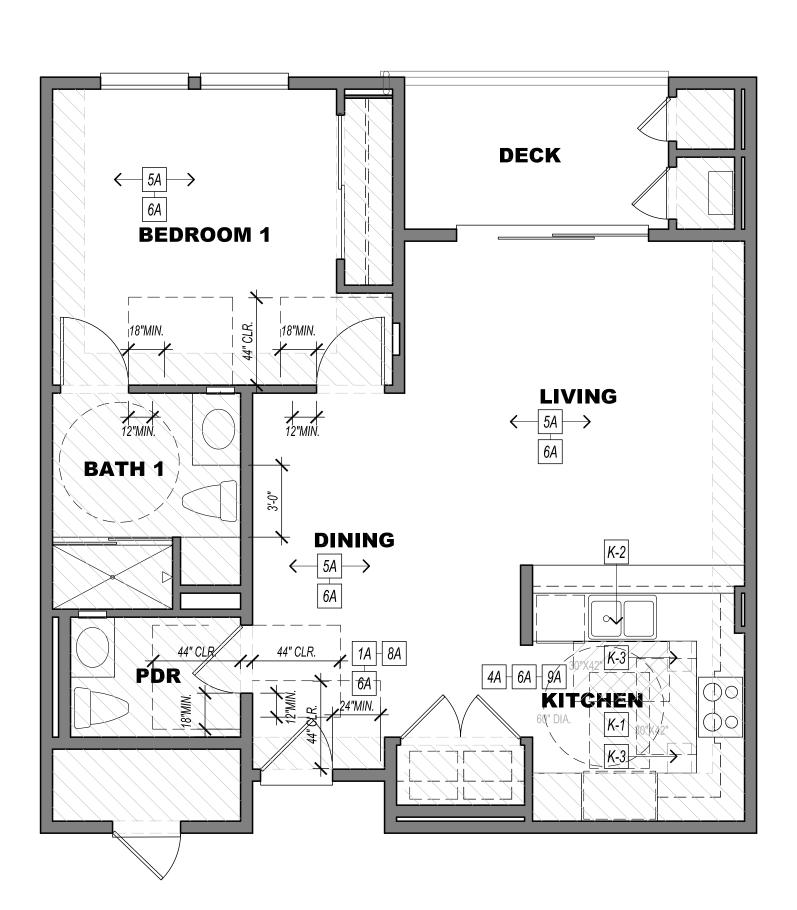
UNIT A **TYPE**

K-1. PROVIDE A CLEAR FLOOR SPACE. - SEE 4A / A1.07 K-2. PROVIDE REMOVABLE CABINETS. - SEE 4A / A1.07 K-3 PROVIDE BREADBOARDS. - SEE 4A / A1.07

Drawn:

Sheet

A1.02



6

UNIT B - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

- ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07
- K-1. PROVIDE A CLEAR FLOOR SPACE. SEE 4A / A1.07 K-2. PROVIDE REMOVABLE CABINETS. - SEE 4A / A1.07

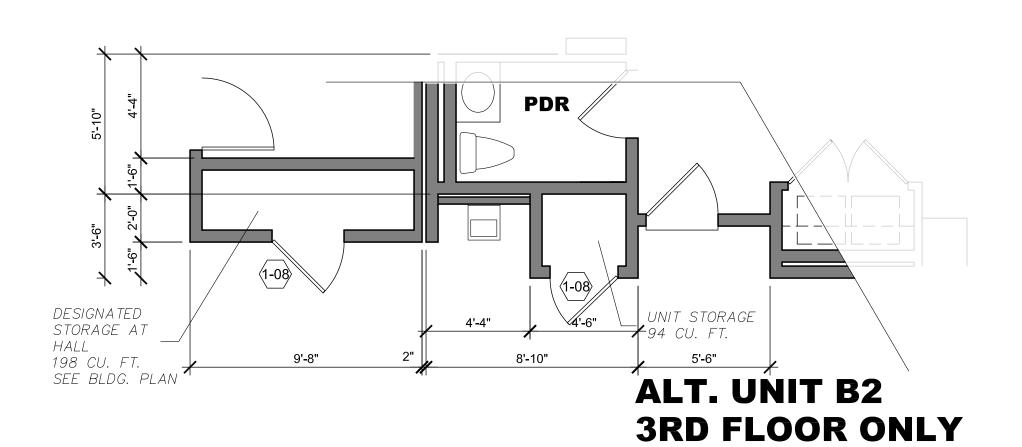
K-3 PROVIDE BREADBOARDS. - SEE 4A / A1.07

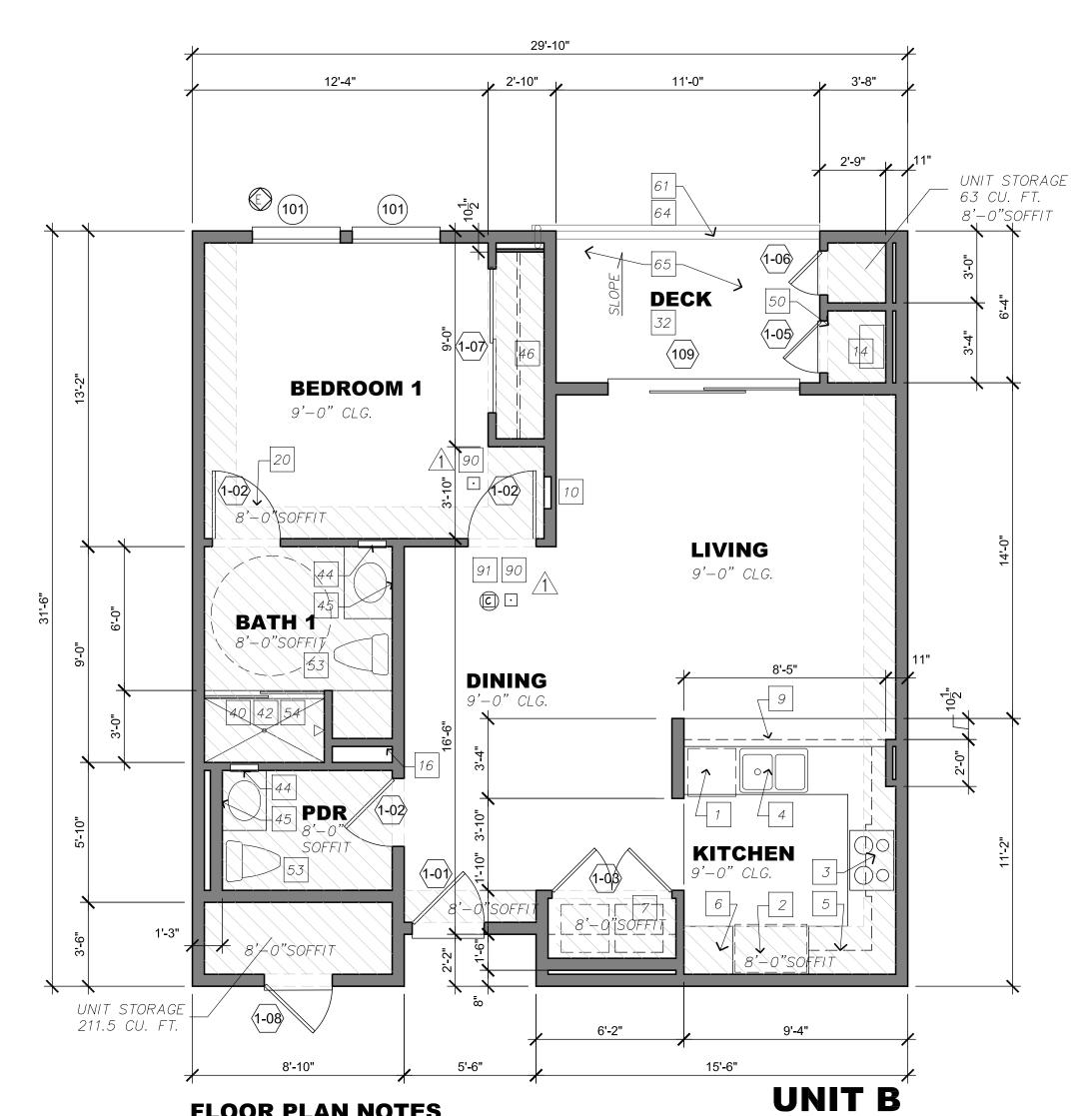
ACCESSIBLE NOTES

SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS

PROVIDE BACKING AT GRAB BAR LOCATIONS AS
REQUIRED / DESCRIBED AT 3A (A.2-BATHTUB, B.2-WATER CLOSET
E.4-SHOWER) / A1.07
ALSO SEE DIAGRAM 3/A1.09 FOR GRAPHIC REPRESENTATION



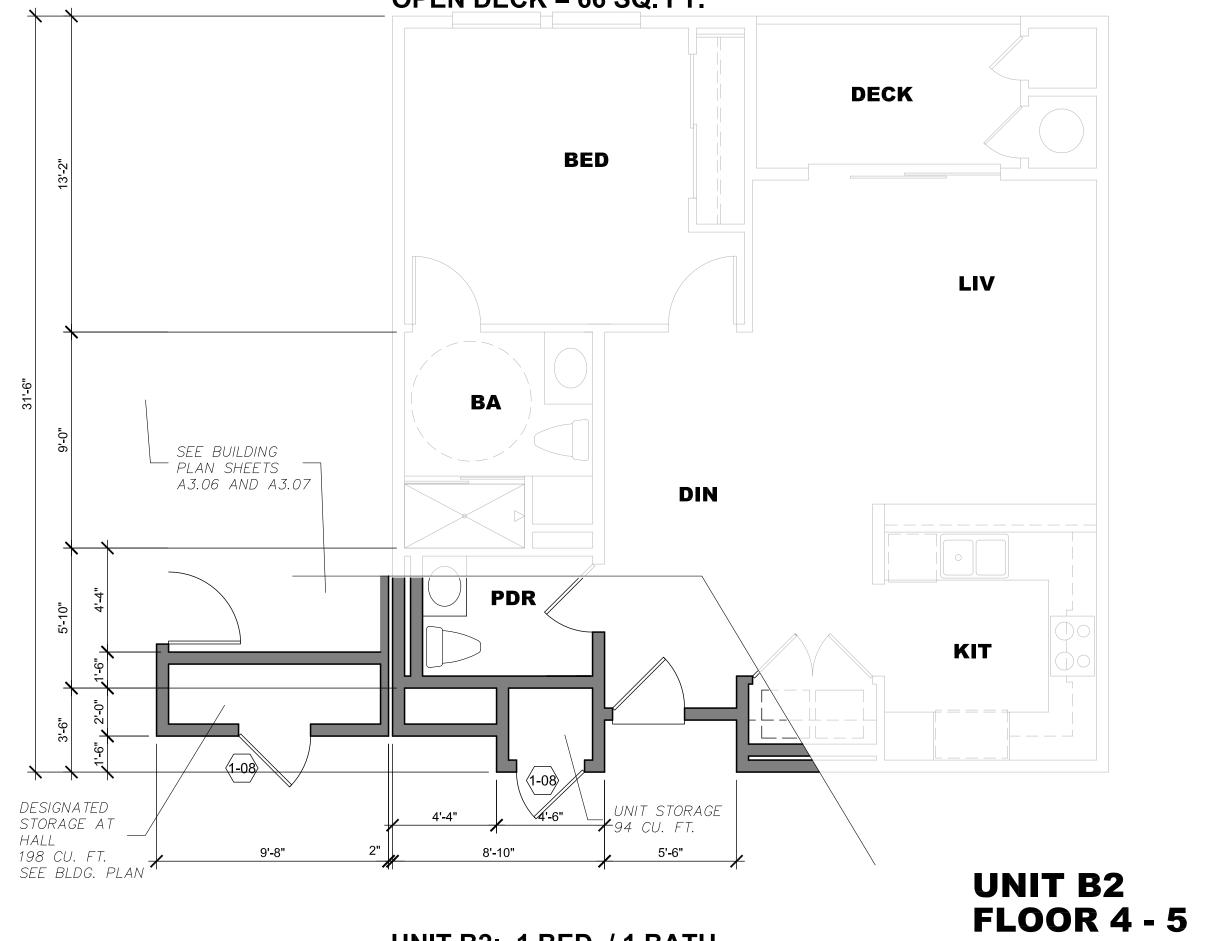


FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91
AS APPLICABLE.

UNIT B: 1 BED. / 1 BATH
TOTAL PER SITE = 6

SQ. FTG. / UNIT 834 SQ. FT. (INCL. 211.5 CU. FT. STORAGE)
DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 274.5 CU. FT.
OPEN DECK = 66 SQ. FT.



UNIT B2: 1 BED. / 1 BATH TOTAL PER SITE = 3

SQ. FTG. / UNIT 834 SQ. FT. (INCL. 211.5 CU. FT. STORAGE)
DECK 92 SQ. FT. (INCL. 63 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 274.5 CU. FT.
OPEN DECK = 66 SQ. FT.

UNIT B TYPE



UNIT C - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

K-X ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07

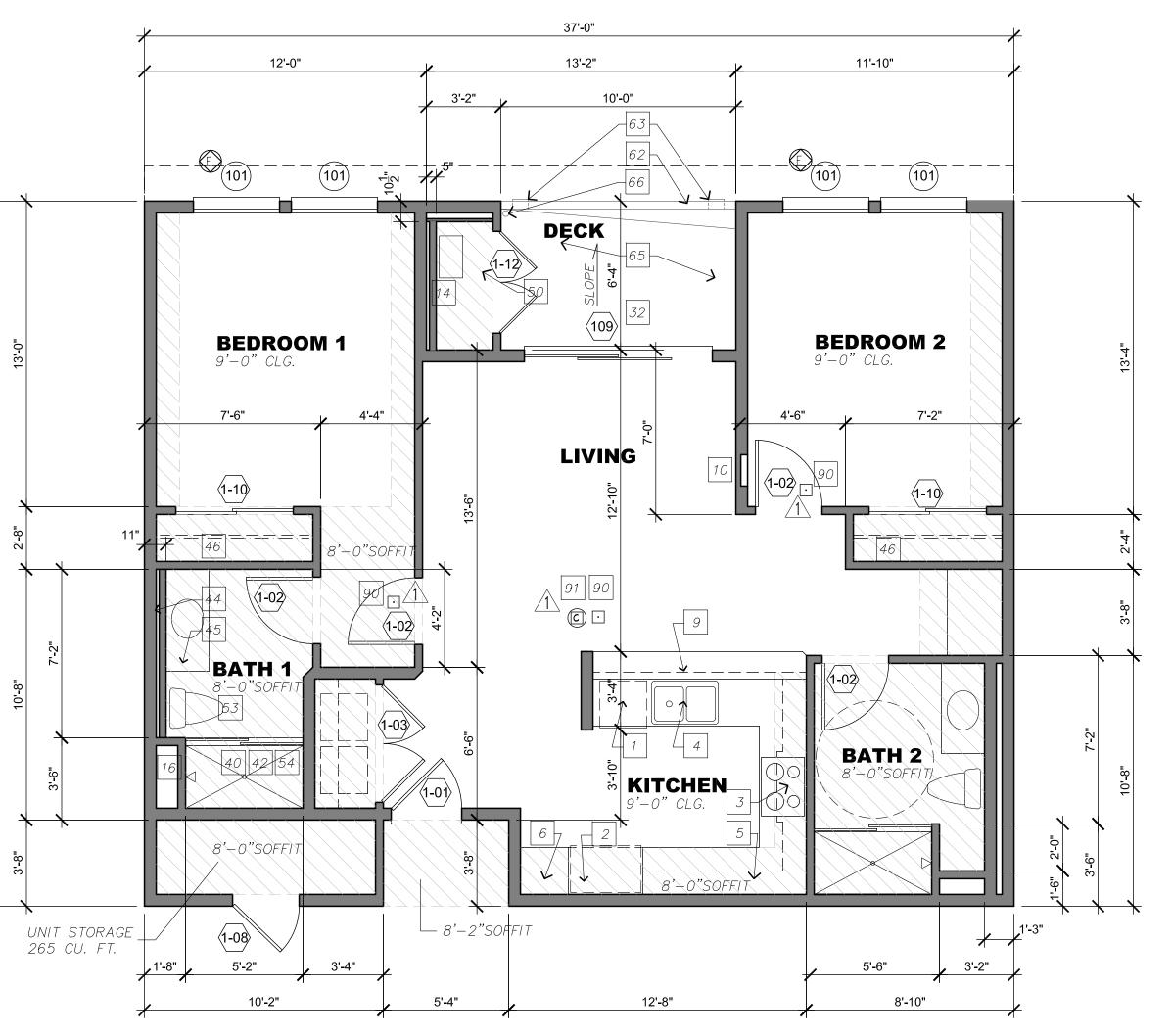
K-1. PROVIDE A CLEAR FLOOR SPACE. - SEE 4A / A1.07 K-2. PROVIDE REMOVABLE CABINETS. - SEE 4A / A1.07 K-3 PROVIDE BREADBOARDS. - SEE 4A / A1.07

ACCESSIBLE NOTES

SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 3A (A.2-BATHTUB, B.2-WATER CLOSET

ALSO SEE DIAGRAM 3/A1.09 FOR GRAPHIC REPRESENTATION



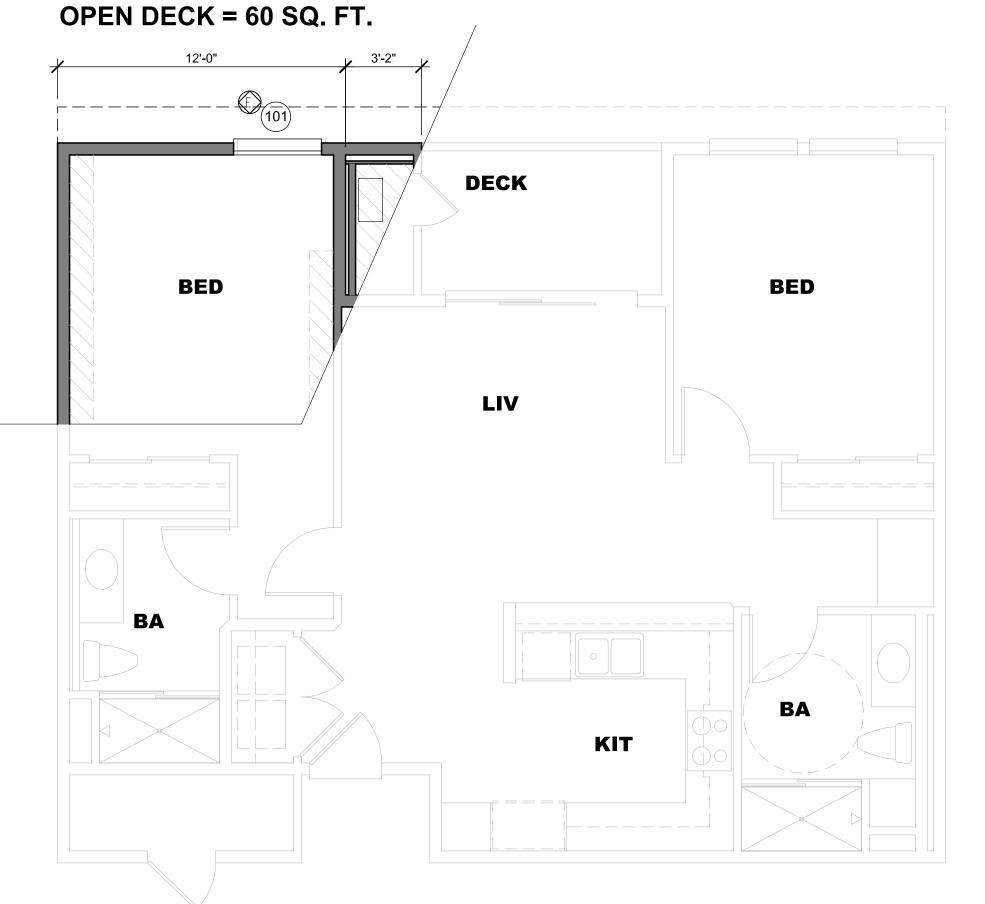
FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91
AS APPLICABLE.

UNIT C

UNIT C: 2 BED. / 2 BATH TOTAL PER SITE = 5

SQ. FTG. / UNIT 1,007 SQ. FT. (INCL. 265 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 265 CU. FT.
DECK 83 SQ. FT.



UNIT C2: 2 BED. / 2 BATH TOTAL PER SITE = 1

SQ. FTG./UNIT 1,007 SQ. FT. (INCL. 265 CU. FT. STORAGE)
TOTAL STORAGE PROVIDED = 265 CU. FT.
DECK 83 SQ. FT.
OPEN DECK = 60 SQ. FT.

UNIT C2

UNIT C TYPE MAGNOLIA APARTMENT 890 S. MAGNOLIA AVE.

STAMP NOT VALID
UNLESS SIGNED BY
ARCHITECT
IN BLOCK ABOVE

UNIT PLANS C, C2



Architecture Inc

5753 E. Santa Ana Canyon Roa Suite G-213 Anaheim, CA 92807 (949) 873-5255

Job No. LSA-04
Revisions:

Drawn:

Sheet

A1.03



UNIT D - ACCESSIBLE REQUIREMENTS

ACCESSIBLE KITCHEN

K-X ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07

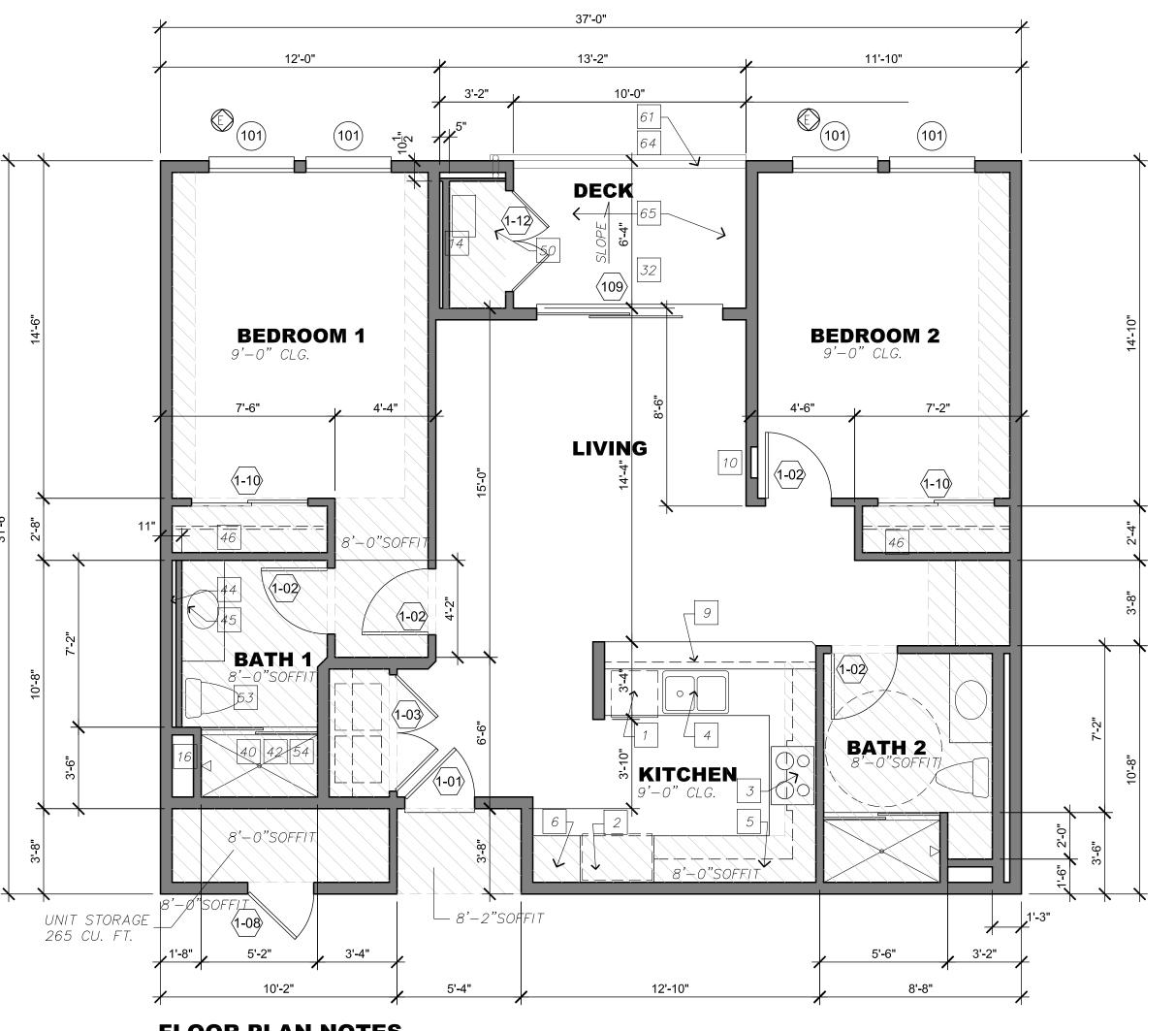
K-1. PROVIDE A CLEAR FLOOR SPACE. - SEE 4A / A1.07 K-2. PROVIDE REMOVABLE CABINETS. - SEE 4A / A1.07 K-3 PROVIDE BREADBOARDS. - SEE 4A / A1.07

ACCESSIBLE NOTES

SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 3A (A.2-BATHTUB, B.2-WATER CLOSET

ALSO SEE DIAGRAM 3/A1.09 FOR GRAPHIC REPRESENTATION



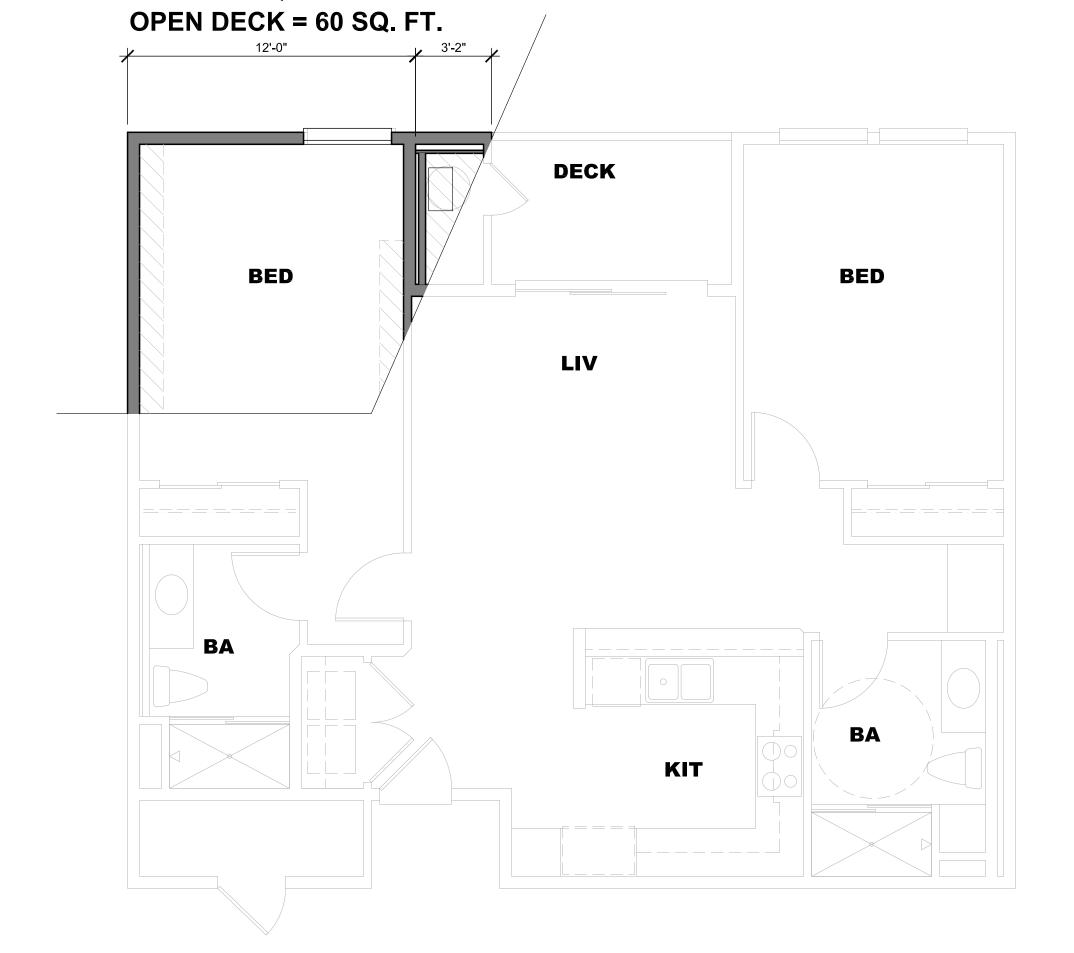
FLOOR PLAN NOTES

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE.

UNIT D

UNIT D: 2 BED. / 2 BATH **TOTAL PER SITE = 16**

SQ. FTG. / UNIT 1,062 SQ. FT. (INCL. 265 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 265 CU. FT.** DECK 83 SQ. FT.

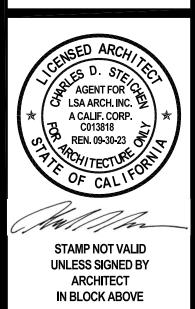


UNIT D2: 2 BED. / 2 BATH TOTAL PER SITE = 2

SQ. FTG. / UNIT 1,062 SQ. FT. (INCL. 265 CU. FT. STORAGE) TOTAL STORAGE PROVIDED = 265 CU. FT. DECK 83 SQ. FT. OPEN DECK = 60 SQ. FT.

UNIT D TYPE

UNIT D2





Architecture Inc

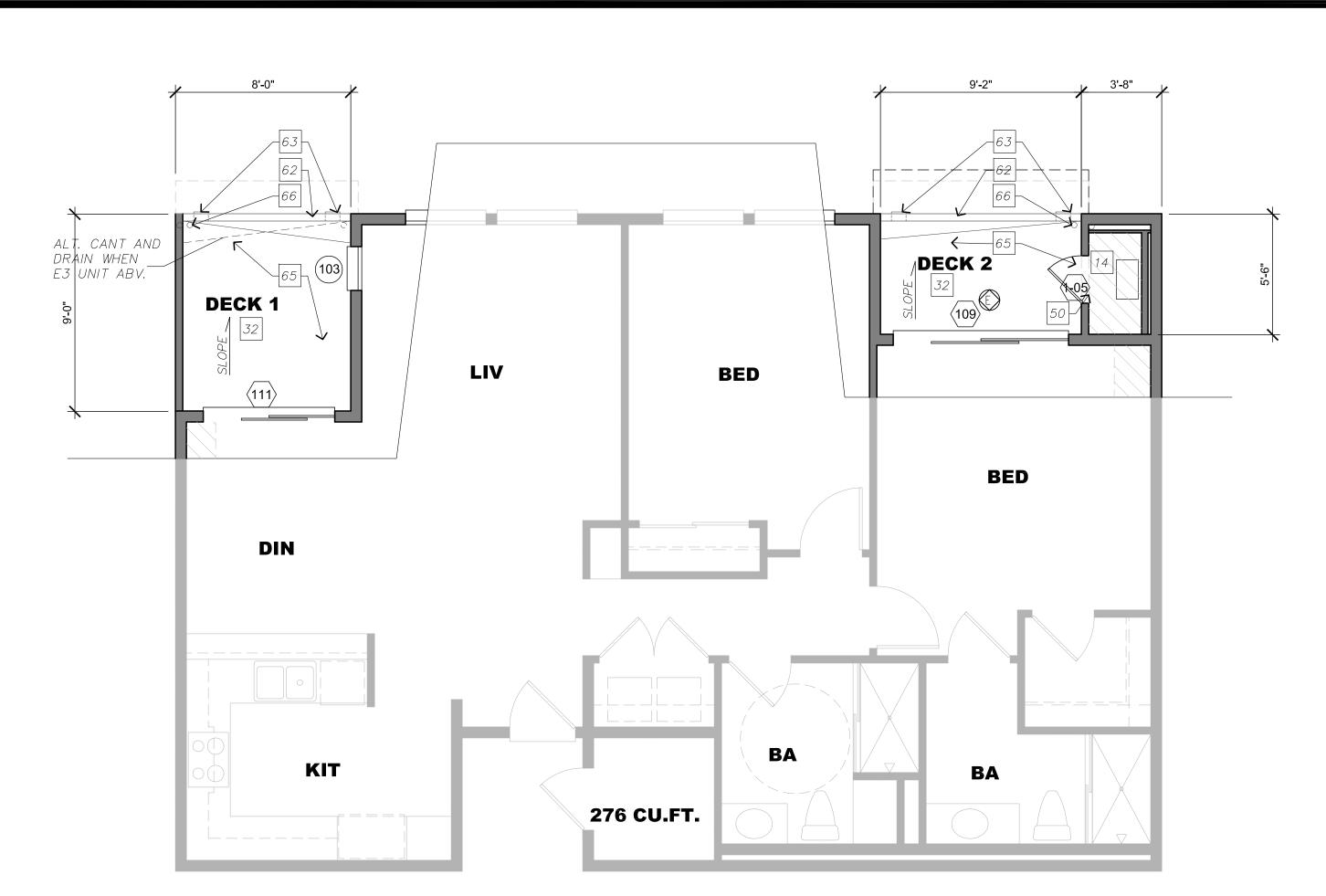
5753 E. Santa Ana Canyon Roa Suite G-213
Anaheim, CA 92807
(949) 873-5255

 $\int Job \, No. \quad LSA-0421$

A1.04

Architecture Inc

A1.05

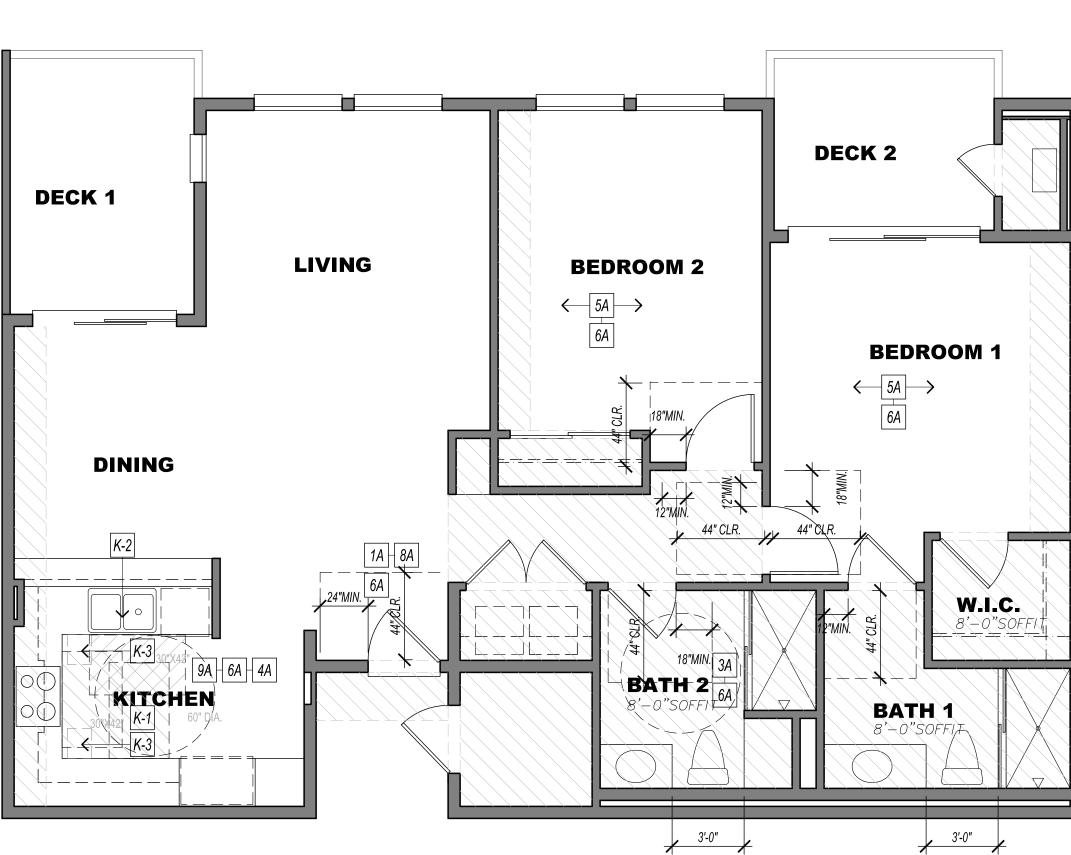


NOTE: SAME DIMENSIONS AS UNIT E2 - ONLY THE DECKS (1 AND 2) ARE REDUCED IN SIZE

UNIT E

UNIT E: 2 BED. / 2 BATH **TOTAL PER SITE = 3**

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE) **TOTAL STORAGE PROVIDED = 276 CU. FT.** DECK 1 72 SQ. FT. OPEN DECK 1 = 66 SQ. FT. **DECK 2** 70 SQ. FT. OPEN DECK 2 = 47 SQ. FT.



UNIT E - ACCESSIBLE REQUIREMENTS **ACCESSIBLE KITCHEN**

K-X ACCESSIBLE KITCHEN TO COMPLY WITH ACCESSIBLE NOTES 4A & 6A. SEE SHEET A1.07

K-1. PROVIDE A CLEAR FLOOR SPACE. - SEE 4A / A1.07

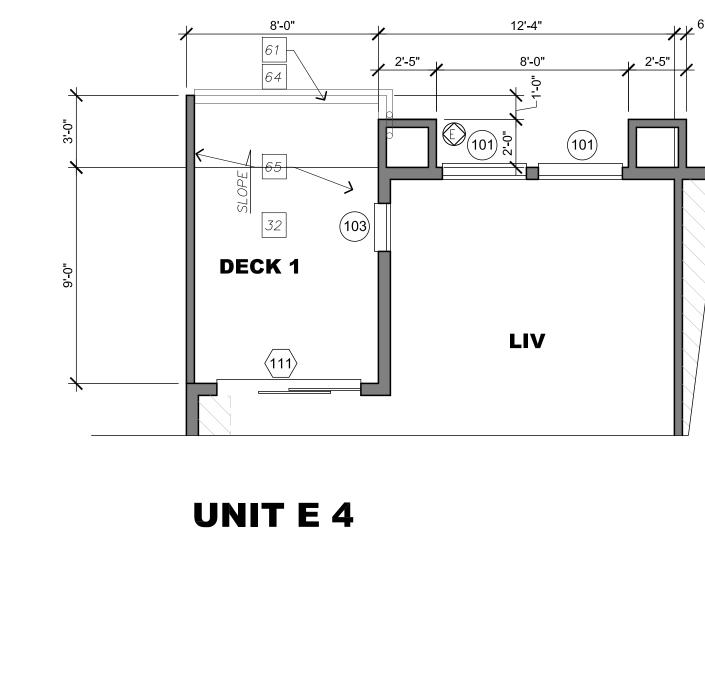
K-2. PROVIDE REMOVABLE CABINETS. - SEE 4A / A1.07 K-3 PROVIDE BREADBOARDS. - SEE 4A / A1.07

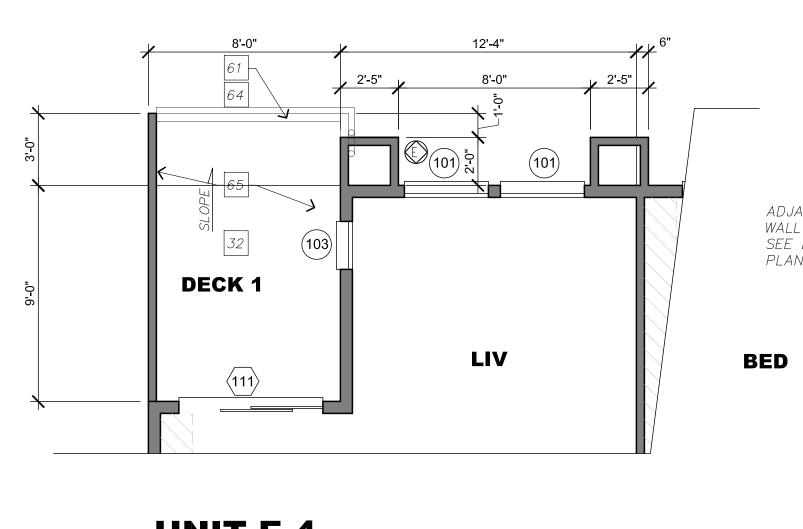
ACCESSIBLE NOTES

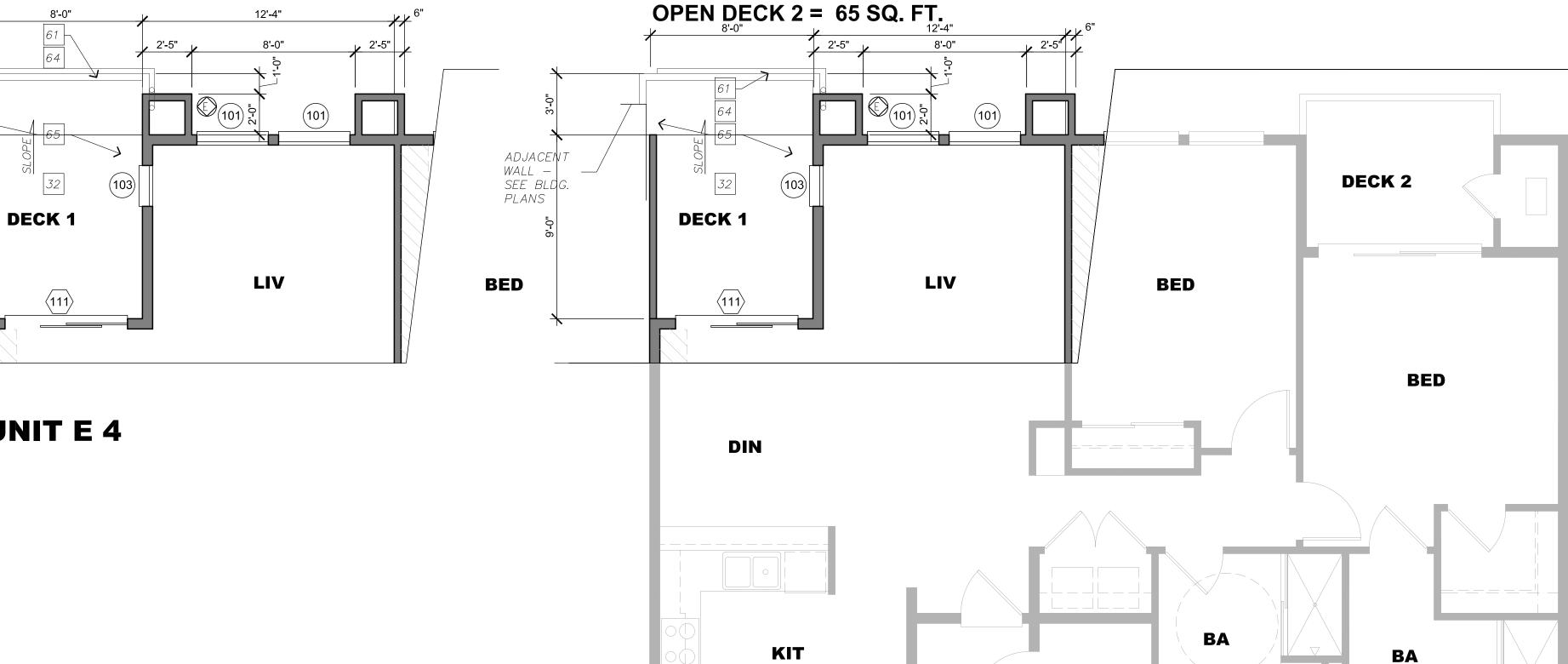
SEE SHEET A1.07 - A1.09 FOR ACCESSIBLE NOTES AND DIAGRAMS NOT SHOWN HERE

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED / DESCRIBED AT 3A (A.2-BATHTUB, B.2-WATER CLOSET

ALSO SEE DIAGRAM 3/A1.09 FOR GRAPHIC REPRESENTATION







12'-4"

LIVING

61

DINING

KITCHEN

FLOOR PLAN NOTES

TOTAL PER SITE = 7

DECK 1 88 SQ. FT.

DECK 2 90 SQ. FT.

OPEN DECK 1 = 82 SQ. FT.

SEE SHEET A1.06 FOR TYPICAL FLOOR PLAN NOTES #1 THRU #91 AS APPLICABLE.

UNIT E2: 2 BED. / 2 BATH

TOTAL STORAGE PROVIDED = 276 CU. FT.

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE)

DECK 1

NOTE: SAME DIMENSIONS AS UNIT E1 - ONLY THE DECK (1) IS INCREASED IN SIZE

UNIT E 3

61 64

DECK 2

BEDROOM 1

11'-1"

UNIT E2

BEDROOM 2

BATH 2

UNIT STORAGE 276 CU. FT.

UNIT E3: 2 BED. / 2 BATH **TOTAL PER SITE = 3**

SQ. FTG. / UNIT 1,173 SQ. FT. (INCL. 276 CU. FT. STORAGE) TOTAL STORAGE PROVIDED = 276 CU. FT. DECK 1 96 SQ. FT. OPEN DECK 1 = 89 SQ. FT. **DECK 2** 90 SQ. FT. OPEN DECK 2 = 65 SQ. FT.