

FOR SALE

OFFICE SPACE

Unit 9, 11610-119 Street NW, Edmonton, AB



 **360°
VIRTUAL TOUR**

HIGHLIGHTS

- 2,540 sq ft ± office space
- Quick access to 119th Street and high visibility from Kingway
- Kingsway Mall is a 6 minute drive
- Close to the new Blatchford residential neighborhoods
- Starbucks is down the street
- 7 minutes drive to Yellowhead Trail

SCOTT ENDRES

Partner, Broker
C 780.720.6541
scott@royalparkrealty.com

JOEL WOLSKI

Director, Associate
C 780.904.5630
joel@royalparkrealty.com

RAYA WOLSKI

Unlicensed Assistant
T 780.423.7599
raya@royalparkrealty.com



**ROYAL PARK
REALTY™**

T 780.448.0800 F 780.426.3007
#201, 9038 51 Avenue NW Edmonton, AB T6E 5X4

royalparkrealty.com

For Sale | Unit 9, 11610-119 Street NW, Edmonton, AB



Property Details & Financials

MUNICIPAL ADDRESS	Unit 9, 11610-119 Street NW, Edmonton, AB
LEGAL DESCRIPTION	Plan: 0825767; Unit: 9
ZONING	CG (General Commercial)
NEIGHBORHOOD	Prince Rupert
TYPE OF SPACE	Office
SIZE	2,540 sq ft ±
PARKING	Scramble
SALE PRICE	\$833,000.00 (\$325.00/sq ft)
PROPERTY TAXES	\$17,715.80/year (Estimated 2026)
POSSESSION	Negotiable



ROYAL PARK
REALTY™

T 780.448.0800 F 780.426.3007
#201, 9038 51 Avenue NW Edmonton, AB T6E 5X4

royalparkrealty.com

For Sale | Unit 9, 11610-119 Street NW, Edmonton, AB



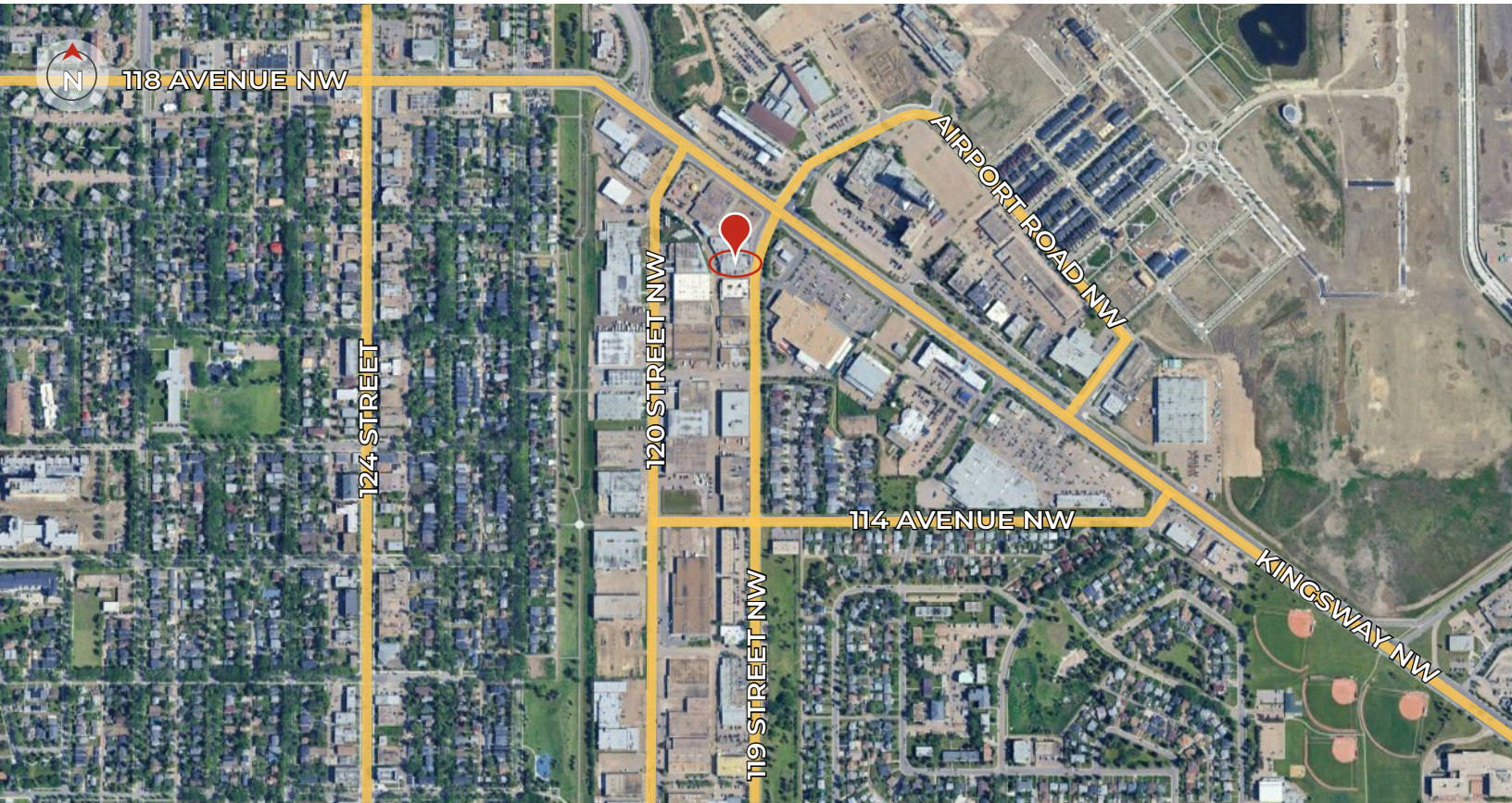
**ROYAL PARK
REALTY™**

T 780.448.0800 F 780.426.3007
#201, 9038 51 Avenue NW Edmonton, AB T6E 5X4

royalparkrealty.com

The information contained herein is believed to be correct, however does not form part of any future contract. The offering may be withdrawn at any time without notice or cause.

Property Location | Unit 9, 11610-119 Street NW, Edmonton, AB



SCOTT ENDRES
Partner, Broker
C 780.720.6541
scott@royalparkrealty.com



JOEL WOLSKI
Director, Associate
C 780.904.5630
joel@royalparkrealty.com



RAYA WOLSKI
Unlicensed Assistant
T 780.423.7599
raya@royalparkrealty.com



**ROYAL PARK
REALTY™**

T 780.448.0800 F 780.426.3007
#201, 9038 51 Avenue NW Edmonton, AB T6E 5X4

royalparkrealty.com