



DIVIDEND
COMMERCIAL REAL ESTATE

612 & 614 Bohannon Road FOR LEASE



612 Bohannon Road

11,578 SF
3,150 SF Office

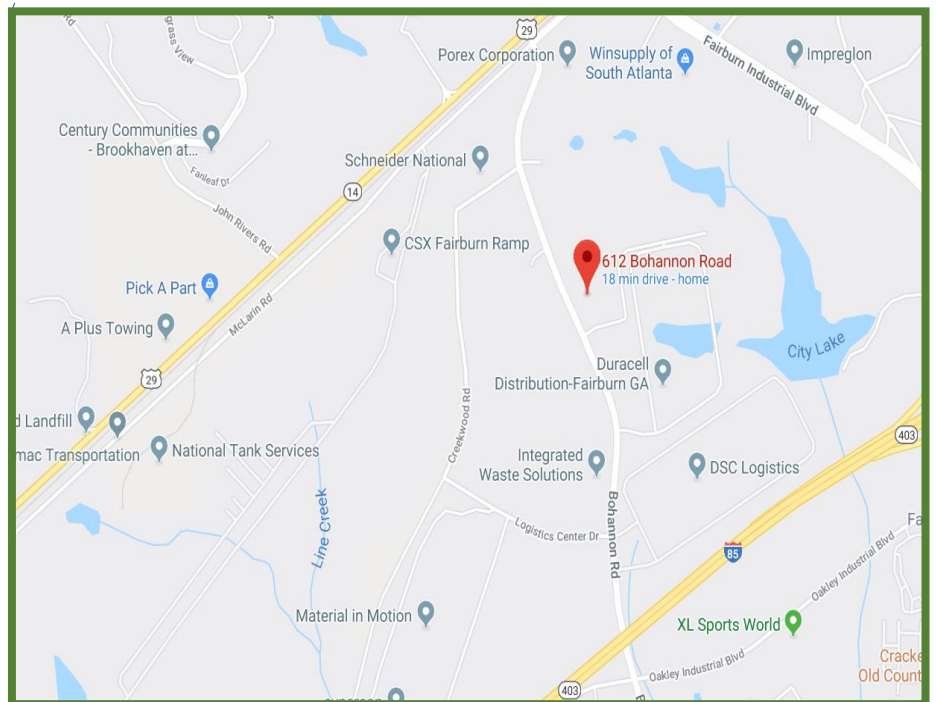
614 Bohannon Road

14,550 SF
500 SF Office

Contact: **David Rossetti 770-351-6933**
david@dividendcre.com



- 26,128 SF TOTAL AVAILABLE
- AVAILABLE MAY 2020
- SINGLE OR MULTI-TENANT OPPORTUNITIES
- OUTSIDE STORAGE



FOR INFORMATION:
DAVID ROSSETTI 770-351-6933
DAVID@DIVIDENDCRE.COM

612 & 614 BOHANNON ROAD



NINE DRIVE IN DOORS WITH
ONE LOADING DOCK

24' CLEAR CEILINGS

DRIVE IN DOORS RANGE FROM
12' X 14' TO 16' X 18'

ONE PLUS ACRE OF OUTSIDE
STORAGE

ONE MILE FROM CSX FAIRBURN
INTERMODAL RAMP

SINGLE TENANT OR MULTI
TENANT OPPORTUNITIES

ZONED M2
MULTIPLE PERMITS IN PLACE
(RECYCLING AND AUTO PARTS)

HIGH SPEED INTERNET

SEPARATE POWER FEEDS TO
EACH BUILDING, 4,000 VOLTS
AVAILABLE



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612 & 614 Bohannon Road Survey

NOTES:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 99,278 FEET, AND AN ANGULAR ERROR OF .002 SECONDS PER ANGLE AND WAS ADJUSTED USING A LEAST SQUARE ADJUSTMENT. EQUIPMENT USED WAS A NIKON NPL-352.

THIS PLAT HAS BEEN CALCULATED FOR A CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000 FEET.

THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

THIS PLAT IS FOR THE EXCLUSIVE USE OF THE PARTY OR PARTIES SHOWN HEREON, AND IS NOT INTENDED FOR ANY OTHER THIRD PARTY.

THIS SURVEY IS SUBJECT TO ALL RIGHTS-OF-WAY, BUFFERS, AND EASEMENTS SHOWN OR NOT SHOWN.

NO PORTION OF THIS PROPERTY IS IN A FLOOD ZONE AS PER FULTON COUNTY FIRM PANEL 13121 C 0462E, DATED JUNE 22, 1998.

REFERENCES:

1. WARRANTY DEED BETWEEN WILLIAM K. MARCHMAN AND JAMES R. RAKESTRAH, GRANTOR AND KENNETH W. RAKESTRAH, GRANTEE DATED OCTOBER 9, 2002 AND RECORDED IN DEED BOOK 33416, PG 656.

N/F
FIRST VICTORIA
PROPERTIES, LLC
DB 41478, PG 601

TRACT 1
1.119 ACRES

TRACT 2
1.999 ACRES

N/F
SABEN, LLC
DB 23521, PG 104

LEGEND

CMP	- CORRUGATED METAL PIPE
CLF	- CENTER LINE
CLP	- CHAIN LINK FENCE
CPP	- CORRUGATED PLASTIC PIPE
CC	- CONCRETE
CTP	- CRIMP TOP PIPE
DBPG	- DEED BOOK, PAGE
DI	- DROP INLET
EP	- EDGE OF PAVEMENT
FES	- FLARED END SECTION
FH	- FIRE HYDRANT
GN	- GUY WIRE
HM	- HEAD WALL
HWF	- HOG WIRE FENCE
IPF	- IRON PIN FOUND
IPS	- IRON PIN SET-1/2"REBAR
JB	- JUNCTION BOX
LP	- PROPANE TANK
LL	- LAND LOT
LLC	- LAND LOT CORNER
LLL	- LAND LOT LINE
MH	- MAN HOLE
N/F	- NOW OR FORMERLY
OTP	- OPEN TOP PIPE
PBX	- POWER TRANSFORMER BOX
-P-	- OVER HEAD POWER
PL	- PROPERTY LINE
PP	- POWER POLE
PTP	- POWER & TELEPHONE POLE
RBF	- REBAR FOUND
RCP	- ROCK CORNER FOUND
RCP	- REINFORCED CONCRETE PIPE
R/W	- RIGHT-OF-WAY
S.F.	- SQUARE FEET
SP	- SERVICE POLE
TBX	- TELEPHONE PEDALSTEL
-T-	- OVER HEAD TELEPHONE
TBM	- TEMPORARY BENCH MARK
TP	- TELEPHONE POLE
-W-	- WATER LINE
WDF	- WOOD FENCE
WF	- WATER FAUCET
WM	- WATER METER
WV	- WATER VALVE
UT	- UNDERGROUND TELEPHONE
UP	- UNDERGROUND POWER



GRAPHIC SCALE 1"=60'



SURVEYOR'S CERTIFICATE

With respect to the survey shown hereon, prepared by the undersigned, the undersigned does hereby certify and represent to: Chicago Title Insurance Company; EVGO Inc; Atlas Scrap, LLC; US Small Business Administration; Small Business Access Partners; SunTrust Bank that:

1. The survey was actually made on the ground, shows field measurement and the record description of the land and correctly shows the square footage and the buildings, structures and other improvements situated on the Land, the number and location of loading docks and parking spaces and facilities, the location of water courses or lot lines and monuments. Except as shown on the survey, there are no visible easers or burdening the premises, or rights-of-way across the Land or any other easement which the undersigned has been advised, no party walls, no encroachments on adjoi streets or alleys by any of the Land or any encroachments from adjoining premises structures or other improvements situated on adjoining premises except as shown.
2. The Land does not fall within a federally designated flood hazard area.
3. All access to and egress from said premises are shown and are provided via the means indicated on the survey. Municipal water, municipal storm sewer, municipal sewer and private electric, gas and telephone facilities and connections are situated locations indicated on the survey.

This 14th day of November, 2009.

GEORGIA SURVEYOR RLS #3007.



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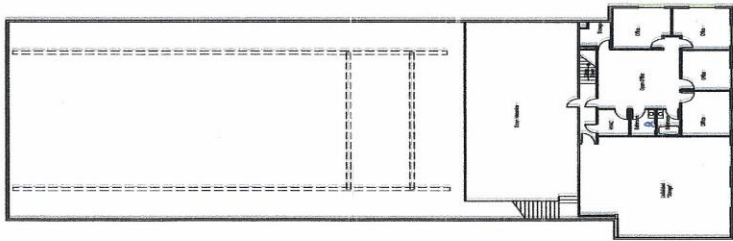
612 & 614 BOHANNON ROAD FLOOR PLANS



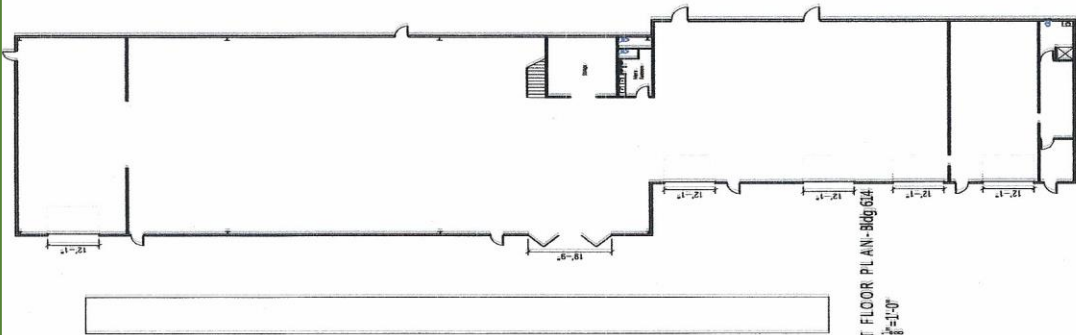
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SECOND FLOOR PLAN - Bldg 614
SCALE: $\frac{1}{8}'' = 1'-0''$



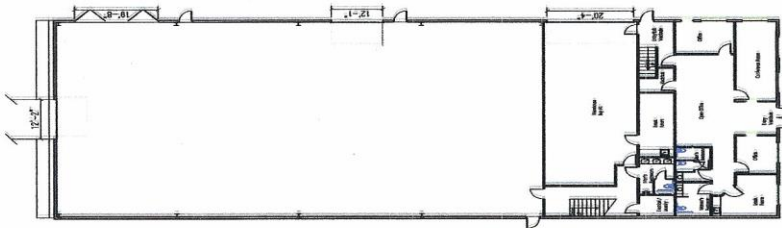
SECOND FLOOR PLAN - Bldg 612
SCALE: $\frac{1}{8}'' = 1'-0''$



FIRST FLOOR PLAN - Bldg 614
SCALE: $\frac{1}{8}'' = 1'-0''$



FIRST FLOOR PLAN - Bldg 614
SCALE: $\frac{1}{8}'' = 1'-0''$



FIRST FLOOR PLAN - Bldg 612
SCALE: $\frac{1}{8}'' = 1'-0''$

FIRST FLOOR PLAN - Bldg 612
SCALE: $\frac{1}{8}'' = 1'-0''$



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612 & 614 Business Proximity Map



1. CSX YARD
2. MATERIAL IN MOTION
3. DURACEL
4. DSC LOGISTICS