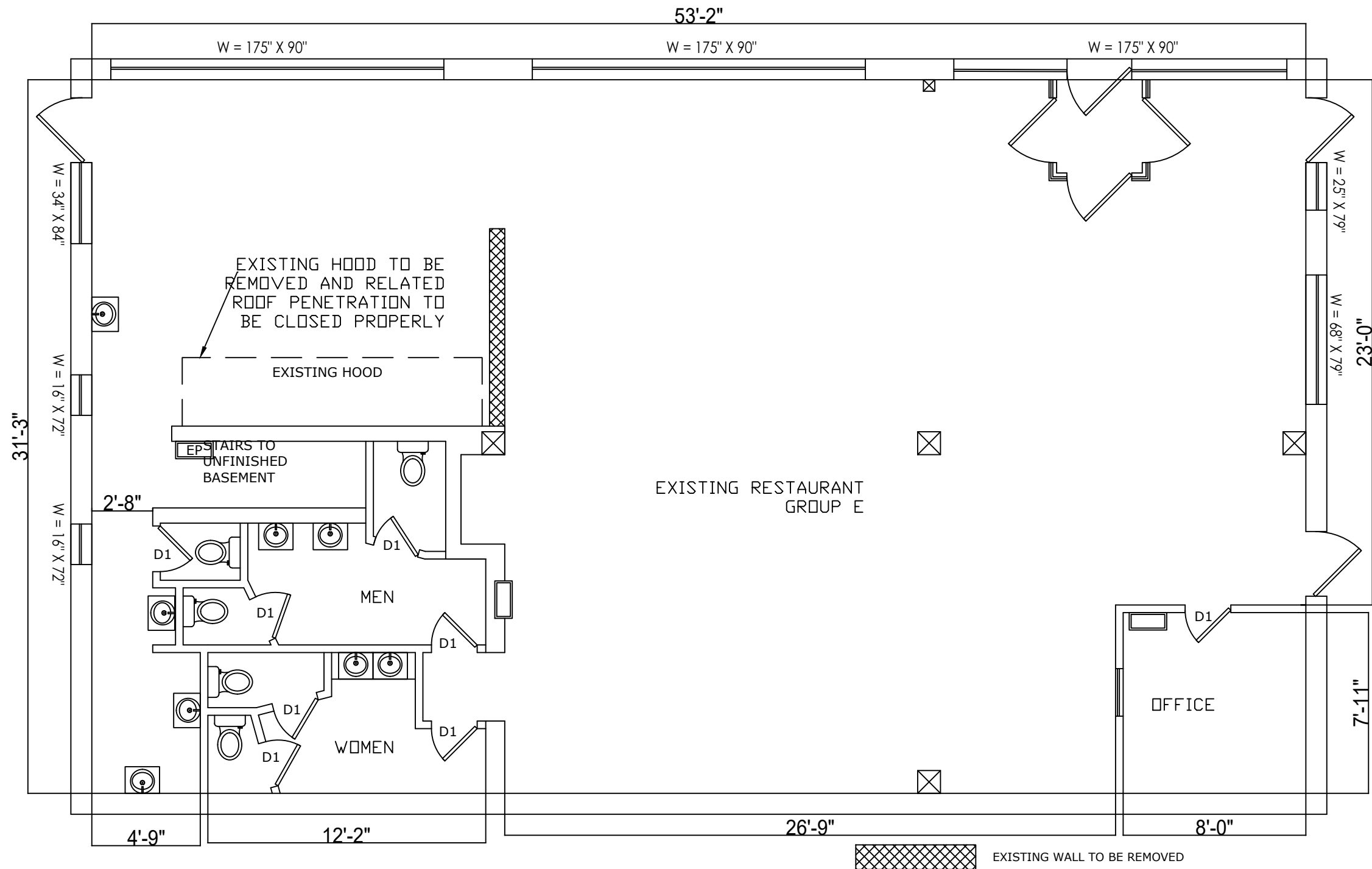






1
A2
EXISTING FLOOR PLAN
3/16"=1'-0"

TO	ISSUED	DATE
CITY	BUILDING PERMIT	
NO	REVISION	DATE
1	-	-

MEM Engineering Inc
3355 LEHIGH CRES
MISSISSAUGA, ON, L4T1W9
416-558-6755
Email: harry@memengineering.ca



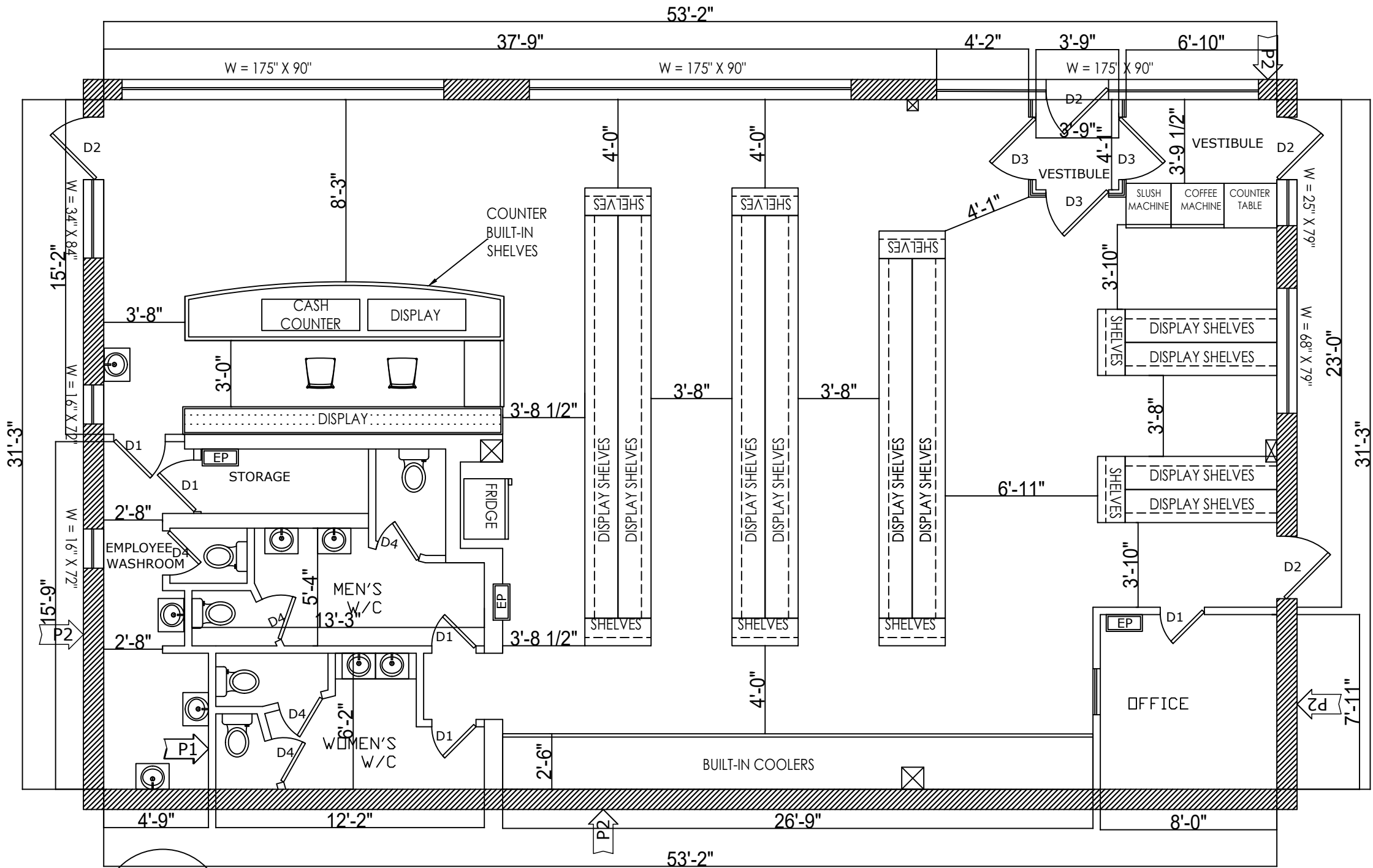
PROJECT
CONVENIENCE STORE

3537 St Clair Ave E
Scarborough,
ON M1K 1L6

DESCRIPTION

DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No.
SCALE	A2

GENERAL TENANT FIT-OUT INFORMATION		GENERAL BUILDING INFORMATION	
AREA OF CONSTRUCTION	1819 SF	BUILDING CONSTRUCTION	COMBUSTIBLE
OCCUPANT LOAD	2 PERSONS	SPRINKLERED OR NON-SPRINKLERED	NON-SPRINKLERED
EXISTING OCCUPANCY CLASSIFICATION	GROUP E - (MERCENTILE OCCUPANCY)	BUILDING FLOORS ABOVE GRADE	1
NEW OCCUPANCY CLASSIFICATION	GROUP E - (MERCENTILE OCCUPANCY)	BUILDING FLOORS BELOW GRADE	1
OCCUPANCY OF UNIT BESIDE & ABOVE	GROUP D - (BUSINESS OCCUPANCY)	SURROUNDING # OF STREETS	1
		FIRE ALARM SYSTEM	NO



1
A3
FURNITURE AND EQUIPMENT PLAN
3/32"=1'-0"

TO	ISSUED	DATE
CITY	BUILDING PERMIT	
NO	REVISION	DATE
1	-	-

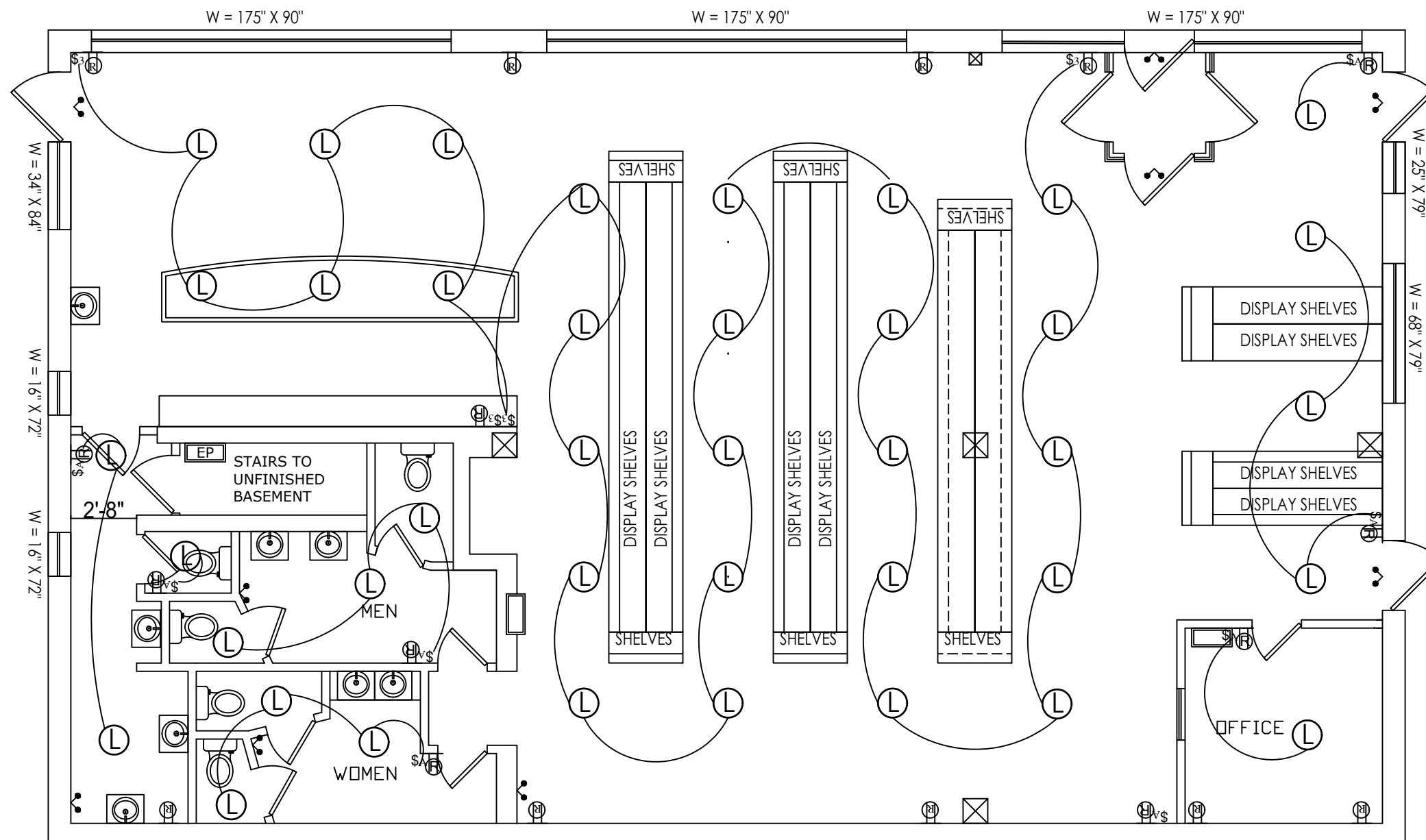
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416-558-6755
Email: harry@memengineering.ca



PROJECT CONVENIENCE STORE	
3537 St Clair Ave E Scarborough, ON M1K 1L6	
DESCRIPTION	
DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No.
SCALE	A2

1. ALL WORK MUST CONFIRM TO ONTARIO ELECTRICAL SAFETY CODE ,LOCAL, MUNICIPAL AND PROVINCIAL LAWS AND REGULATION

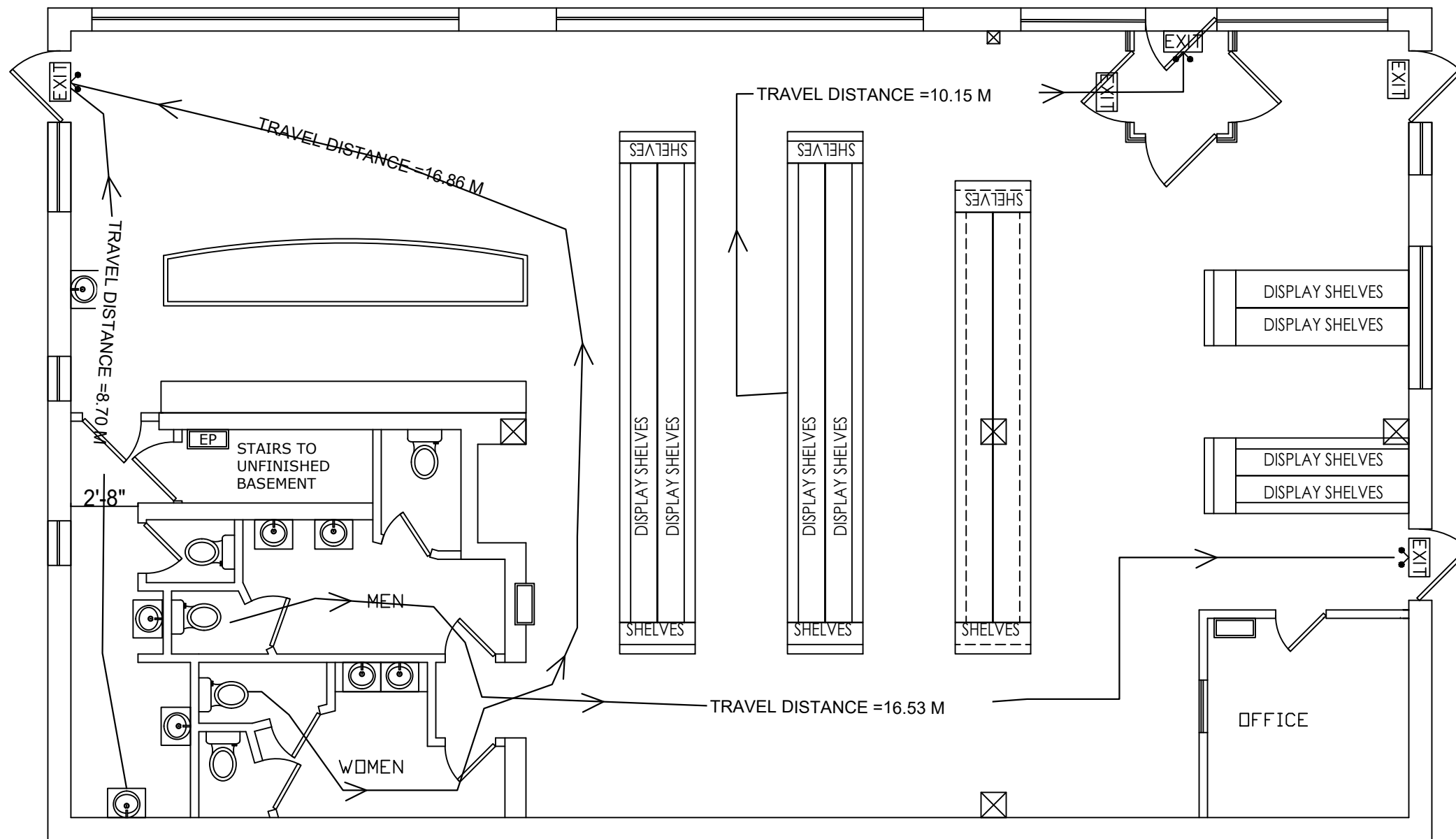
3. ALL WALL COVER PLATES ARE TO BE WHITE PLASTIC UNLESS OTHERWISE AGREED UPON WITH CLIENT WHERE TWO OR MORE OUTLET OR SWITCHES OCCUR IN ONE LOCATION ,A GANG SHALL BE USED



A4

$$3/32'' = 1'-0''$$

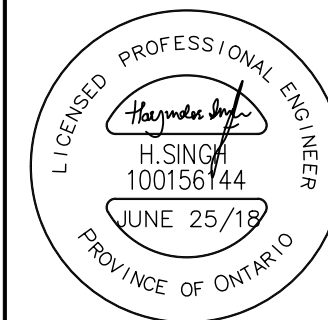
TO	ISSUED	DATE
CITY	BUILDING PERMIT	
NO	REVISION	DATE
1	-	-
MEM Engineering Inc 3355 LEHIGH CRES MISSISSAUGA, ON, L4T1W9 416-558-6755 Email: harry@memengineering.ca		
		
PROJECT CONVENIENCE STORE		
3537 St Clair Ave E Scarborough, ON M1K 1L6		
DESCRIPTION		
DRAWN J.A		CHECKED H.S.
PLOTTED DATE JUNE. 25/18		DRAWING No. A4
SCALE		



1
A5
EXIT PLAN
3/16"=1'-0"

TO	ISSUED	DATE
CITY	BUILDING PERMIT	
NO	REVISION	DATE
1	-	-

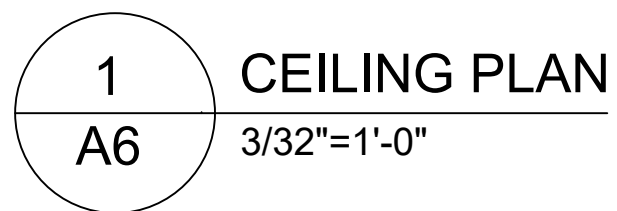
MEM Engineering Inc
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Email: harry@memengineering.ca



PROJECT
CONVENIENCE STORE

3537 St Clair Ave E
Scarborough,
ON M1K 1L6

DESCRIPTION	
DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No.
SCALE	A5



DESCRIPTION	
DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No. A6
SCALE	

DESCRIPTION	
DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No. A6
SCALE	

PROPOSED INTERNAL DOOR / OPENING SCHEDULE	
D1	38X80 INTERNAL DOOR
D2	38X84 GLASS DOOR WITH MINIMUM CLEAR OPENING OF 860MM WITH LOCKING AND UNLOCKING DEVICE WITH THE ABILITY TO BE ACTIVATED FROM EITHER SIDE . D TYPE DOOR PULL INSTALLED ON DOORS AUTOMATIC DOOR OPERATOR AND SELF CLOSING DEVICE WILL BE INSTALLED
D3	38X84 HIGH GLASS DOOR WITH SELF CLOSING DEVICE AND POWER DOOR OPERATOR SHOULD BE PROVIDED AS PER OBC 2012
D4	30X84 INTERNAL DOOR
OP1	96X80 INTERNAL DOOR
SD1	60X80 SLIDING DOOR

ALL DOOR FRAMES TO BE METAL
ALL DOORS AND FRAMES TO BE PAINTED
ALL DOORS TO HAVE DOOR STOPS
USE COMMERCIAL GRADE HARDWARE WITH LEVER HANDLES

FIRE SEPARATION LEGEND	
—————	0 HOUR FIRE SEPARATION
—— - ——	1 HOUR FIRE SEPARATION
— · · — · · —	30 MINUTE FIRE SEPARATION
- - - - -	2 HOUR FIRE SEPARATION
— · — · — →	TRAVEL DISTANCE < --.0M
▲	FIRE PANEL
▲	PULL STATION

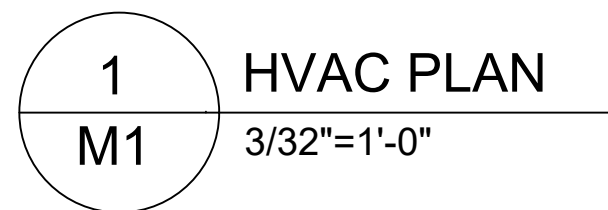
 EXISTING BLOCK WALL
WITH METAL STUD CC 16"

 **P1** **EX WALL WITH WOOD STUDS**
3-5/8" @ 16 OC AND 1/2" DRYWALL

LEGENDS AND NOTES	
	LIGHTING FIXTURES
	DUCT AIR REGISTER
EP	ELECTRICAL PANEL
	EXIT SIGN
	SINGLE OR DOUBLE REMOTE MR16 LED LAMP HEAD. MODEL@ LUMACELL SERIES. CEILING OR WALL MOUNTED TO SUIT. WATTAGE/VOLTAG AS NOTED.
	SINGLE POLE SWITCH
	24 X 48 T-BAR CEILING LIGHT
	24 X 24 T-BAR CEILING LIGHT
\$3	A THREE WAY SWITCH AT THE TOP AND BOTTOM OF THE STAIR TO A LIGHT FIXTURE.
	DUPLEX RECEPTACLE OUTLET
	EXHUAST FAN TO THE EXTERIOR
	SMOKE ALARM
	CARBON MONOXIDE DETECTOR
	SPRINKLERS
	FIRE ALARM
	RETURN AIR GRILL
	POWER DOOR OPERATOR INSTALLED 1050MM ABOVE GROUND WITH SIGN OF ACCESSIBILITY WITH THE ABILIT TO BE ACTIVATED FROM EITHER SIDE OBC 3.8.3.3-17

TO	ISSUED	DATE
CITY	BUILDING PERMIT	
NO	REVISION	DATE
1	-	-
MEM Engineering Inc 3355 LEHIGH CRES MISSISSAUGA, ON, L4T1W9 416-558-6755 Email: harry@memengineering.ca		
		
PROJECT CONVENIENCE STORE		
3537 St Clair Ave E Scarborough, ON M1K 1L6		
DESCRIPTION LEGENDS AND NOTES		
DRAWN J.A		CHECKED H.S.
PLOTTED DATE JUNE. 25/18		DRAWING No. A7
SCALE		

DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No. A7
SCALE	



CFM CALCULATION (ASHRAE 62.1)	
AREA	1819.6 SQFT
CFM- AREA (R_A)	1819.6 SQFT X 0.18
CFM- PEOPLE (R_P)	4 X 7.5
TOTAL CFM	357.5 CFM

THERE IS NO CHANGE TO THE
EXISTING PLUMBING AND HVAC SYSTEM

<i>TO</i>	<i>ISSUED</i>	<i>DATE</i>
CITY	BUILDING PERMIT	
<i>N0</i>	<i>REVISION</i>	<i>DATE</i>
1	-	-

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CONVENIENCE STORE

3537 St Clair Ave E
Scarborough,
ON M1K 1L6

DESCRIPTION

DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No. M1
SCALE	

EXISTING RTU SCHEDULE								
TAG	MAKE	MODEL #	CFM @ ESP"	HEATING OUTPUT (BTU/HR)	EFFICIENCY	COOLING CAPACITY (TONS)	LOCATION	WEIGHT
RTU 1	ALLIED	KGA060S4D	1760 @ 0.75	59500	96%	5	ROOF	661 LBS

NEW SUPPLY DIFFUSER			
TAG	MAKE	MODEL	CFM
S1	EH PRICE	5 SCD 12" X 12"	VARIES
S2	EH PRICE	8 SCD 12" X 12"	180
S3	EH PRICE	7 SCD 12" X 12"	130

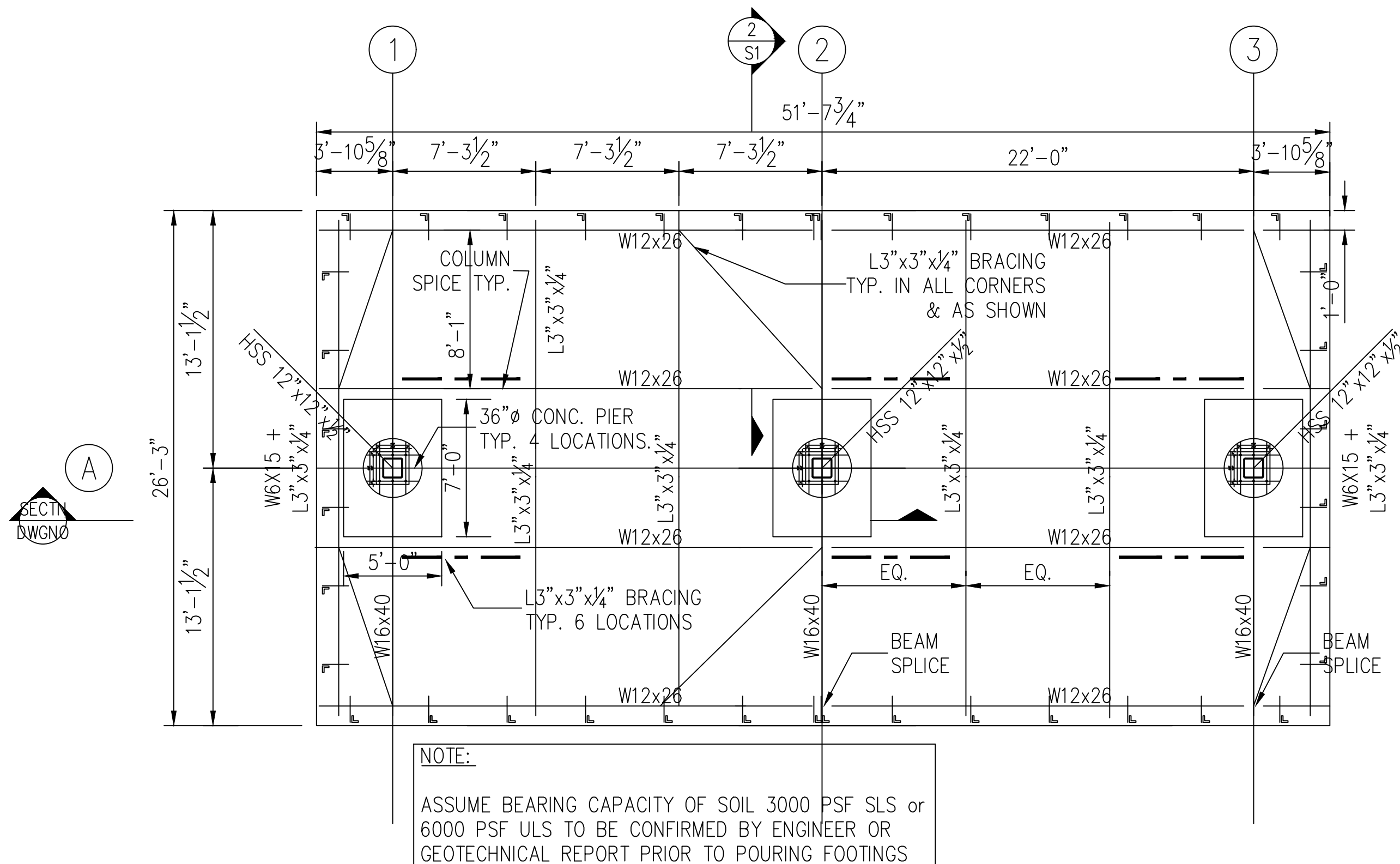
NEW RETURN GRILLE				
TAG	MAKE	MODEL	CFM	AREA
R1	EH PRICE	500 STEEL LOUVERED	1080	2.45 SQ.FT
R2	EH PRICE	500 STEEL LOUVERED	300	1.00 SQ.FT

TO	ISSUED	DATE
CITY	BUILDING PERMIT	
NO	REVISION	DATE
1	-	-

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PROJECT CONVENIENCE STORE	
3537 St Clair Ave E Scarborough, ON M1K 1L6	
DESCRIPTION	
DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No.
SCALE	M2



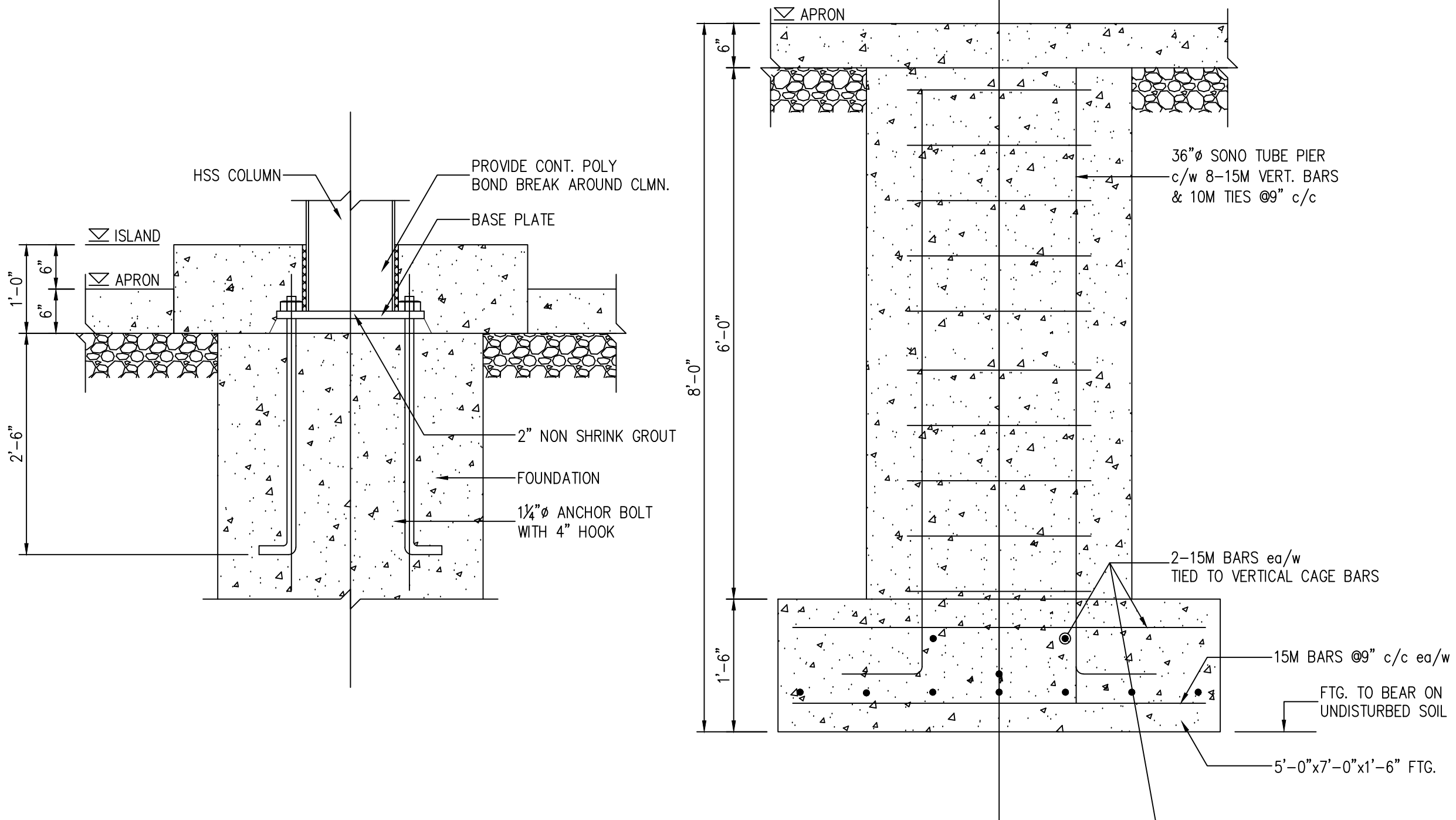
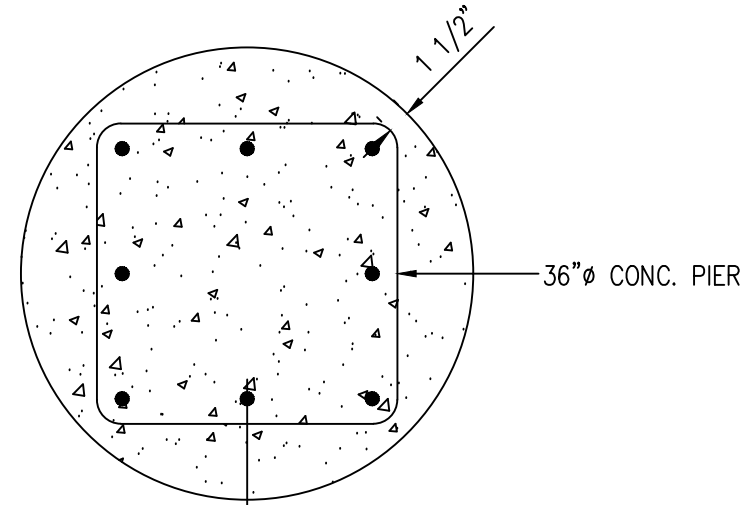
<i>TO</i>	<i>ISSUED</i>	<i>DATE</i>
CITY	BUILDING PERMIT	
<i>N0</i>	<i>REVISION</i>	<i>DATE</i>
1	-	-



3537 St Clair Ave E
Scarborough,
ON M1K 1L6

DRAWN J.A	CHECKED H.S.
PLOTTED DATE JUNE. 25/18	DRAWING No. S1
SCALE $\frac{3}{16}'' = 1'-0''$	

NOTE



<i>TO</i>	<i>ISSUED</i>	<i>DATE</i>
CITY	BUILDING PERMIT	
<i>N0</i>	<i>REVISION</i>	<i>DATE</i>
1	-	-

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3355 LEHIGH CRES
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PROJECT

CONVENIENCE STORE

3537 St Clair Ave E
Scarborough,
ON M1K 1L6

DESCRIPTION

SECTION

DRAWN
J.A

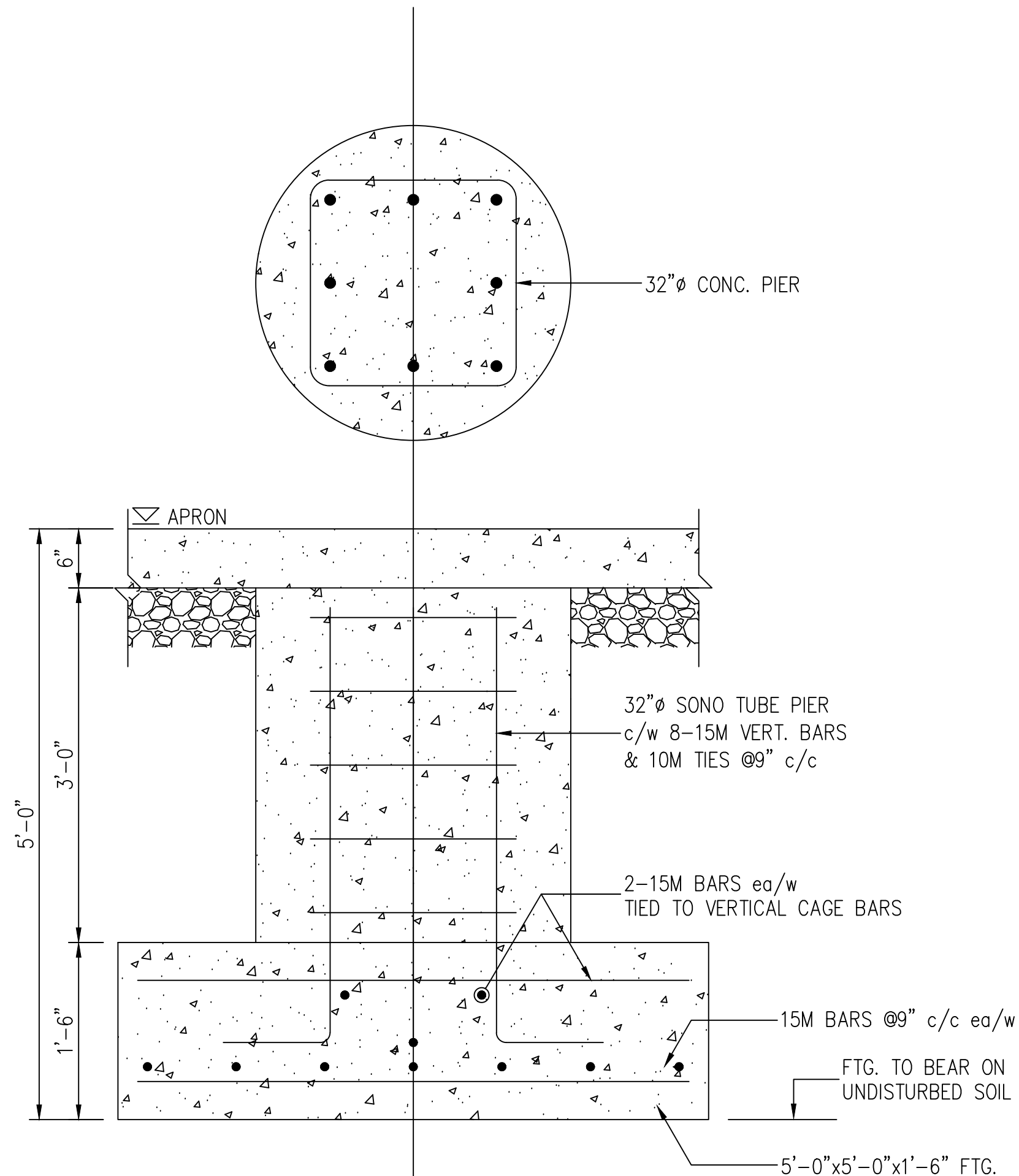
PLOTTED DATE
JUNE. 25/18

SCALE
N/A

CHECKED
H.S.

DRAWING No.

S5



<i>TO</i>	<i>ISSUED</i>	<i>DATE</i>
CITY	BUILDING PERMIT	
<i>N0</i>	<i>REVISION</i>	<i>DATE</i>
1	-	-

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PROJECT

CONVENIENCE STORE

3537 St Clair Ave E
Scarborough,
ON M1K 1L6

DESCRIPTION

SECTION

DRAWN
J.A

PLOTTED DATE
JUNE. 25/18

SCALE
N/A

CHECKED
H.S.

DRAWING No.

S6



PAUL AND KANELLOS

Barretters & Solicitors

NICHOLAS P. PAUL, O.C.
SPENCER KANELLOS, B.A., B.E., LL.B.

TELEPHONE (416) 688-0777
CABLE ADDRESS "ARISTOS"

30 HATDEN STREET
TORONTO, CANADA
M4T 1P2

REFER TO FILE NO. 13684

December 22nd, 1987

DELIVERED BY COURIER:

Mr. J.A. Brown
Chief Zoning and Planning Examiner
Permit Application Review Branch
City of Scarborough
150 Borough Drive
SCARBOROUGH, Ontario
M1P 4N7

Dear Mr. Brown:

RE: MASOURAS and MICHALOPOULOS
3537 St. Clair Avenue East

Further to the above, we enclose to you herewith copy of the Declaration signed by Isobel Joyce Wilcox, a previous owner of the above property, the contents of which are self-explanatory.

It is our understanding that the present by-law was passed by Scarborough on January 11, 1960 and finally approved on September 29th, 1968 by the Ontario Municipal Board.

The original Site Plan Agreement with the Township of Scarborough for this property is dated December 21st, 1959 and registered on title on December 22nd, 1959 as Instrument No. 255383.

If you peruse your Department's files, you will probably ascertain that the builder and then owner of the development built twelve (12) stores and an area for parking. Eleven (11) of these block stores were erected as a strip plaza and the twelfth (12th) store was the above property which, as you can ascertain from the original building plans and as you can today see, was built in such a fashion that the upper portion of the building faces Kennedy Road and the other stores and parking area to complement the plaza development and the lower portion of the building, although certainly connected to the upper part and

....2

PAGE 1 OF RIGHT OF WAY AGREEMENT

PAUL AND KANELLOS

Mr. J.A. Brown
Chief Zoning and Planning Examiner
City of Scarborough
Page 2

December 22nd, 1987

used together by our clients' predecessors, is level with Hubert Avenue and the lower portion faces Hubert Avenue as a separate and distinct portion.

Our clients own the above property and also enjoy a right-of-way to the parking area and common areas together with the other owners of the eleven (11) block stores in the strip plaza. The said other owners, however do not have any right-of-way over our clients' property which has an exclusive parking area at the rear of the south-east corner of Hubert Avenue and St. Clair Avenue East and of course this exclusive parking area for the most part, and logically, is for the benefit and use of the lower portion of the building.

It is our belief that our clients' uses of the property being commercial and office uses, have been continual to date, since December 21st, 1959 and have been within the initial uses contemplated by Double Mark Investments Limited and the Corporation of the Township of Scarborough at that time.

If you have questions or require any further information herein, or if you would like to meet with the writer and our clients to discuss this matter, please do not hesitate to contact our office.

Yours very truly,

PAUL AND KANELLOS

Per: _____
SPEROS KANELLOS

SK/vvw

cc: Messrs. Ilias Mascouras
and Tom Michalopoulos

PAGE 2 OF RIGHT OF WAY AGREEMENT



● **John Zinati** <john@zinatikay.com>
To: Kar Hir



Tue, Nov 29 at 3:10 p.m. ☆

Please see attached.

Best Regards,

John Zinati, B.A., L.L.B.

ZINATI KAY

Barristers & Solicitors

100 Cowdray Court, Suite 320,

Toronto, Ontario, Canada M1S 5C8

Tel: 416 321 8766 Fax: 416 321 8267

Conveniently at Kennedy Road & the 401

& @ Cityplace near Skydome

www.zinatikay.com

Additional Property Identifier(s) and/or Other Information

ALL AND SINGULAR THAT certain parcel or tract of land and premises situate lying and being in the City of Scarborough in the Municipality of Metropolitan Toronto, and being composed of part of Lot 29, Concession B, in the Said City, the boundaries of which may be more particularly described as follows:

COMMENCING at a point in the easterly limit of Hubert Avenue as shown on registered Plan 2050 distant 10 feet 0 inches measured southerly therealong from the original northerly limit of the said Lot 29;

THENCE EASTERLY and parallel to the original northerly limit of Lot 29, being the southerly limit of St. Clair Avenue 60 feet 0 inches;

THENCE SOUTHERLY and parallel to the easterly limit of Hubert Avenue 100 feet 0 inches;

THENCE WESTERLY and parallel to the northerly limit of Lot 29, 60 feet 0 inches to the easterly limit of Hubert Avenue;

THENCE NORTHERLY along the easterly limit of Hubert Avenue 100 feet 0 inches to the point of commencement.

TOGETHER WITH a right of way over, along and upon a parcel of land the boundaries of which may be more particularly described as follows:

COMMENCING at a point in easterly limit of Lot 29 distant 10 feet 0 inches measured southerly from the original north east angle of the Lot;

THENCE WESTERLY and parallel to the northerly limit of the Said Lot, 182 feet 8 inches more or less to a point distant 60 feet measured easterly along the parallel line from the easterly limit of Hubert Avenue as shown on registered Plan 2050;

THENCE SOUTHERLY and parallel to the easterly limit of Hubert Avenue 100 feet;

THENCE WESTERLY and parallel to the northerly limit of the said Lot 60 feet to the easterly limit of Hubert Avenue;

THENCE SOUTHERLY along the easterly limit of Hubert Avenue 92 feet 2 1/2 inches the north west angle of Lot 297 as shown on registered Plan 2050;

THENCE EASTERLY along the northerly limit of said Lot 297, 145 feet 10 1/4 inches more or less to the north east angle of said Lot 297;

THENCE EASTERLY in a straight line 97 feet 9 inches more or less to a point in the easterly limit of said Lot distant 199 feet measured southerly therealong from the original north east angle of Lot 29;

THENCE NORTHERLY along the easterly limit of Lot, 189 feet, to the point of commencement.

SAVE AND EXCEPT the lands occupied by store premises known as municipal numbers 3539, 3541, 3543, 3545, 3547, 3549, 3551, 3553, 3555, 3557, and 3559 St. Clair Avenue East.

AS IN Instrument No. 509966 SCARBOROUGH

AS IN PLAN BA-1391 under The Boundaries Act.



