

## SITE INFO

ASSESSOR'S MAP No. 084-08  
10705 LOCKWOOD DRIVE  
WASHOE COUNTY, NEVADA 89434  
±5.65 ac.

## LOCATION MAP

N.T.S.  
(SOUTHEAST 1/4 OF SECTION 17 & SOUTHWEST 1/4  
OF SECTION 16, T19N, R21E, MDM.)

## BASIS OF BEARING BASIS OF ELEVATION

THE BASIS OF BEARINGS FOR THE SURVEY  
REPRESENTED HEREIN IS NEVADA STATE  
PLANE COORDINATE SYSTEM, WEST ZONE  
NAD83 (94). DISTANCES SHOWN ARE GROUND  
DISTANCES USING A PROJECT COMBINED GRID  
TO GROUND SCALE FACTOR OF 1.000197939.

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

## SPECIFICATIONS

ALL PUBLIC WORKS CONSTRUCTION SHALL CONFORM TO THE LATEST  
STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION  
AS ADOPTED BY WASHOE COUNTY AND THE RECOMMENDATIONS ESTABLISHED  
BY A SOILS INVESTIGATION OF THIS SITE AS PREPARED BY A LICENSED  
GEOTECHNICAL ENGINEER IN GOOD STANDING IN THE STATE OF NEVADA.

NOTE:  
STRUCTURAL DESIGN OF FOUNDATIONS & BUILDINGS  
BY OTHERS & UNDER SEPARATE PERMIT (NOT A PART)

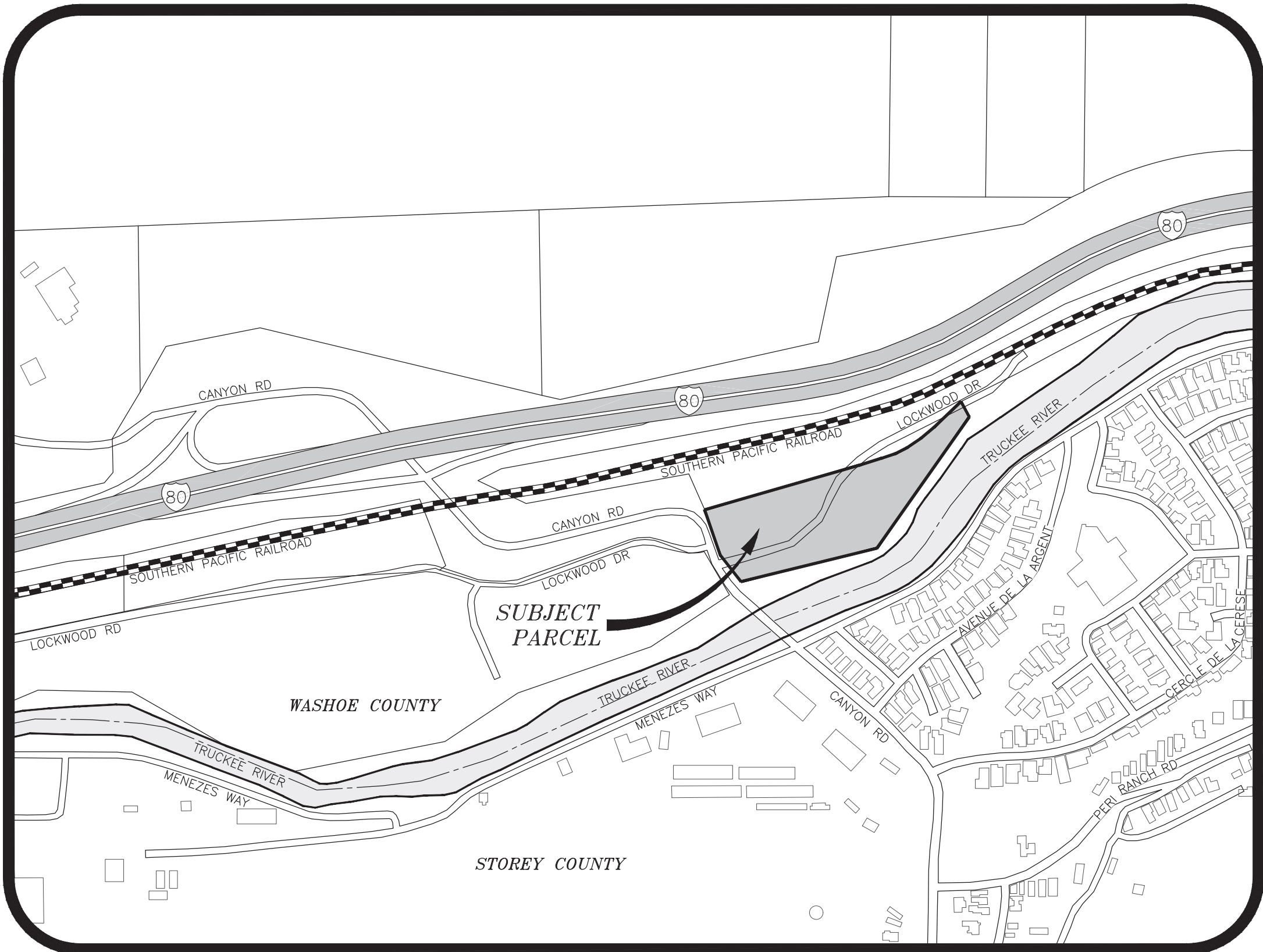
## LEGEND

AC	ASPHALT CONCRETE	FES	FLARED END SECTION	PAVM'T	PAVEMENT
AGG	ASBESTOS CEMENT PIPE	FFC	FINISH FLOOR	PB	POLYBUTYLENE
ASS'Y	AGGREGATE	FG	FINISH GRADE	PC	PULL BOX
AVE	ASSEMBLY	FH	FIRE HYDRANT	PCC	PRESSURE CLASS OR
AWWA	AVENUE	FL	FLOW LINE	PCC	POINT OF CURVATURE
	AMERICAN WATER WORKS	FLG	FLANGE	PE	POINT OF COMPOUND CURVE
BC	BEGIN CURVE	FM	FORCE MAIN	PI	POLYETHYLENE
BC	BRASS CAP	FND	FOUND	PI	POINT OF INTERSECTION
BCR	BEGIN CURB RETURN	FOC	FRONT FACE OF CURB	P/L	PROPERTY LINE
BFO	BACK FACE OF CURB	FS	FINISHED SURFACE	P POLE	POWER POLE
BLDG	BUILDING	FT	FOOT	PRC	POINT OF REVERSE CURVE
BLVD	BOULEVARD	FV	FLUSH VALVE	PROP	PROPERTY
BM	BENCH MARK	G	GAS	PSI	POUNDS PER SQUARE INCH
BVC	BEGIN VERTICAL CURVE	GA	Gauge	PT	POINT OR POINT OF TANGENCY
BW	BACK OF SIDEWALK	GB	GRADE BREAK	PVC	POLYVINYL CHLORIDE
CB	CATCH BASIN	GF	GARAGE FLOOR	R	RADIUS
CC	COMPOUND CURVE	GR	GRADE	RAD PT	RADIUS POINT
CI	CAST IRON	GRND	GROUND	RCP	REINFORCED CONCRETE PIPE
LOOP	LOOP	GV	GATE VALVE	RD	ROAD
C/L	CENTER LINE	HDPE	HIGH-DENSITY POLYETHYLENE	REF	REFERENCE
CLR	CLEAR	HORIZ	HORIZONTAL	RT	RIGHT
CMAP	CORRUGATED METAL ARCH PIPE	HWY	HIGHWAY	R/W	RIGHT-OF-WAY
OMP	CORRUGATED METAL PIPE	ID	INSIDE DIAMETER	S	SLOPE
CO	CLEAN OUT	IN	INCH	SO	STORM DRAIN
CONC	CONCRETE	INT	INTERSECTION	SHT	SHEET
CONST	CONSTRUCT	INV	INVERT ELEVATION	SQ	SQUARE
COR	CORNER	LAT	LENGTH OF CURVE	SS	SANITARY SEWER
CP	CONCRETE PIPE	LF	LINEAR FOOT	ST	STREET
CT	COURT	LT	LEFT	STA	STATION
CY	CUBIC YARD	MAX	MAXIMUM	STD	STANDARD
DI	DROP INLET	MED	MEDIAN	T	TANGENT OF CURVE
DIA	DIAMETER	MFG	MANUFACTURER	TBM	TEMPORARY BENCH MARK
DR	DRIVE	MG	MILLION GALLONS	TC	TOP OF CURB
DRWY	DRIVEWAY	MH	MANHOLE	TEL	TELEPHONE
DWG	DRAWING	MIN	MINIMUM	TV	TELEVISION
E	ELECTRIC	MISC	MISCELLANEOUS	TYP	TYPICAL
EA	EAST	MJ	MECHANICAL JOINT	UNO	UNLESS NOTED OTHERWISE
EC	EACH	MOC	MIDDLE OF CURVE	VC	VERTICAL CURVE
ECR	END CURB RETURN	MVC	MIDDLE VERTICAL CURVE	VG	VALLEY GUTTER
EG	EXISTING GRADE	N	NORTH	W	WATER
EP	EDGE OF PAVEMENT	NDOT	NEVADA DEPARTMENT OF	WTR	WATER
EVC	END VERTICAL CURVE	NIC	NOT IN CONTRACT	W	WEST
EW	EACH WAY	No	NUMBER	WM	WATER METER
(e)	EXISTING	NTS	NOT TO SCALE	W/O	WITHOUT
FOA	FLANGED COUPLING ADAPTER	OC	ON CENTER	WWF	WELDED WIRE FABRIC
		OD	OUTSIDE DIAMETER	WWM	WELDED WIRE MESH
		PAD	PAD ELEVATION		

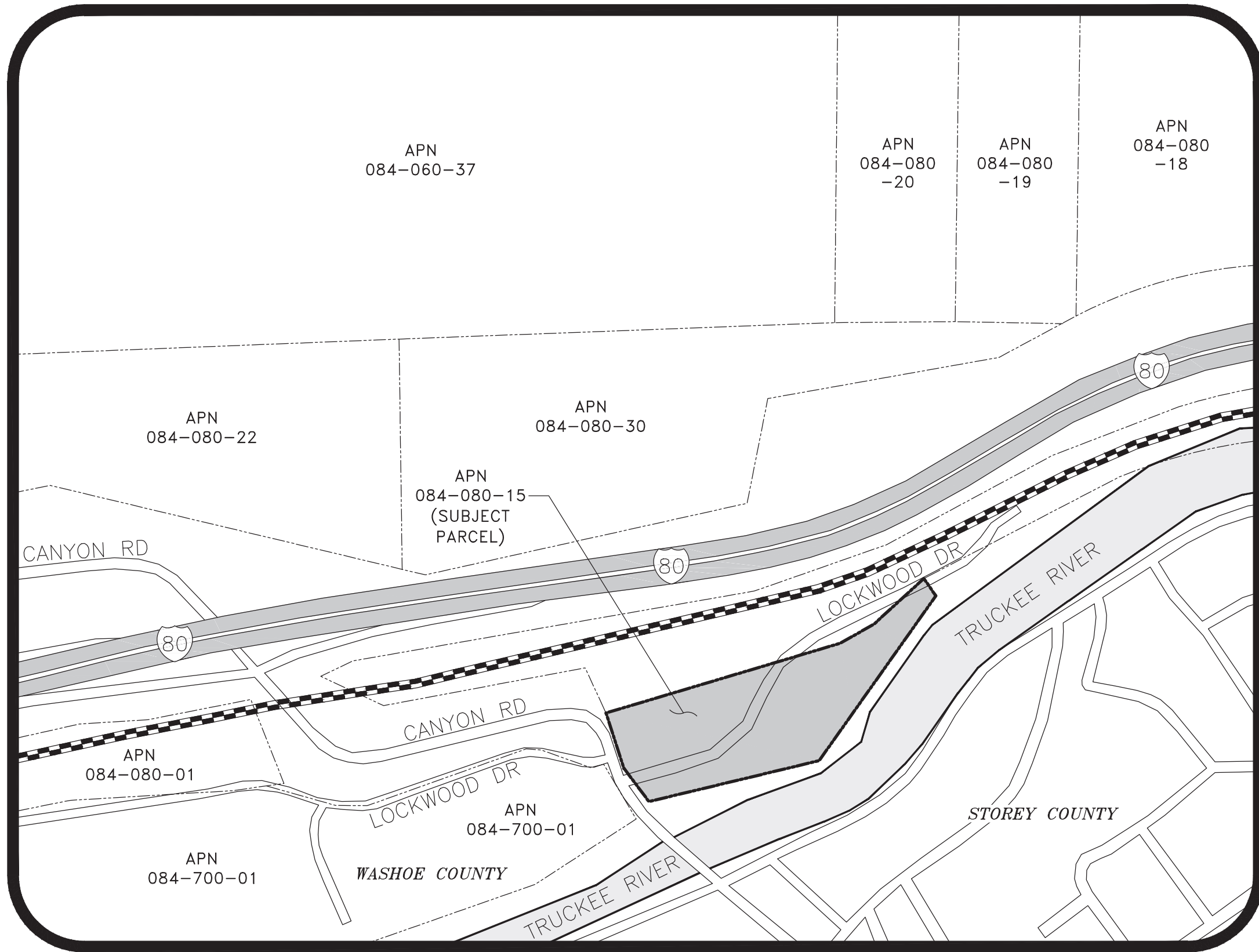
# CIVIL IMPROVEMENT PLANS FOR LOCKWOOD INDUSTRIAL STORAGE YARD DEVELOPMENT 10705 LOCKWOOD DRIVE, WASHOE COUNTY, NEVADA APN: 084-080-15

WASHOE COUNTY

NEVADA



## VICINITY MAP



## SITE MAP

ENGINEER



CIVIL  
ENGINEERING  
CONSULTANTS

9429 DOUBLE DIAMOND PARKWAY, STE A  
RENO, NEVADA 89521  
PH (775) 352-7800 ~ FAX (775) 352-7289

OWNER

LOCKWOOD DEVELOPMENT GROUP LLC  
Attn: JEFFREY LOWDEN, MANAGING DIRECTOR  
3495 LAKESIDE DRIVE, SUITE 249  
RENO, NV 89509

## CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY  
NO CONSTRUCTION WORK SUNDAY  
(EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)

CONSTRUCTION MACHINERY OR CONSTRUCTION PERSONNEL  
GATHERINGS ARE ALSO LIMITED TO THESE HOURS.

## SHEET INDEX

C-1	COVER SHEET
C-2	NOTES SHEET
C-3	SITE LAYOUT PLAN
C-4	SITE GRADING & DRAINAGE PLAN
C-5	STORMWATER POLLUTION PREVENTION EXHIBIT
C-6	PRE-DEVELOPMENT WATERSHED EXHIBIT
C-7	POST-DEVELOPMENT WATERSHED EXHIBIT
C-8	DETAILS SHEET
C-9	DETAILS SHEET

## BUILDING PLACEMENT REQUIREMENTS (SETBACKS) 61% INDUSTRIAL (I) / 39% OPEN SPACE (OS)

FRONT	15 FEET (I) / NA (OS)
SIDE	10 FEET (I) / NA (OS)
REAR	15 FEET (I) / NA (OS)

## PROJECT DATA

TOTAL PARCEL AREA	5.47 ACRES
DISTURBED AREA	2.51 ACRES
UNDISTURBED AREA	2.96 ACRES

NOTE:  
SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED  
DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE  
SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC  
PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND  
NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.

NOTE:  
ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE  
OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING.  
THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE  
EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW  
UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT  
MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

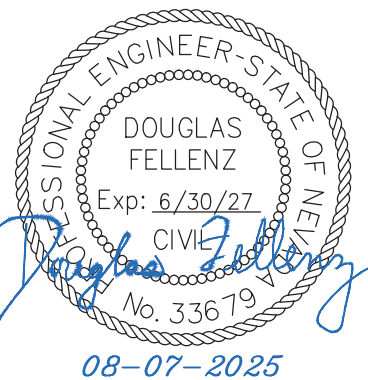
NOTE:  
AN ENCROACHMENT AND EXCAVATION PERMIT  
WILL BE REQUIRED AND OBTAINED FROM  
WASHOE COUNTY PUBLIC WORKS BY THE  
CONTRACTOR PRIOR TO CONSTRUCTION WITHIN  
ANY PUBLIC EASEMENT OR RIGHT-OF-WAY

## SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE FOLLOWING: SITE GRADING TO  
CONSTRUCT AN APPROXIMATE 2.51-ACRE GRAVEL PAD FOR OUTDOOR STORAGE/LAYDOWN AREA,  
ALONG WITH THE NECESSARY FENCING & GATES TO PROVIDE SECURITY FOR THE PROJECT AND  
CUTOFF DITCHES TO RE-ROUTE STORMWATER FLOWS AROUND THE DEVELOPED AREA &  
MITIGATE FLOWS CROSSING THE GRAVEL PAD AREA PRIOR TO FINAL INFILTRATION OR RELEASE.

## ENGINEER'S STATEMENT

THESE PLANS (SHEETS C-1 THROUGH C-9) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED  
ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE  
STATUTES, WASHOE COUNTY ORDINANCES AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY  
PORTION OF THESE PLANS AND WASHOE COUNTY CODES, THE COUNTY CODES SHALL PREVAIL.



DOUGLAS FELLEENZ

P.E. #33679

REUSE OF DOCUMENTS  
THIS DOCUMENT AND THE IDEAS AND DESIGNS  
INCORPORATED HEREIN AS AN INSTRUMENT  
OF PROFESSIONAL SERVICE, IS THE PROPERTY  
OF TEC ENGINEERING CONSULTANTS  
AND IS NOT TO BE USED IN THE WHOLE  
OR IN PART FOR ANY OTHER PROJECT  
WITHOUT THE WRITTEN AUTHORIZATION OF  
TEC ENGINEERING CONSULTANTS

NO.	DATE

CIVIL  
ENGINEERING  
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RENO, NEVADA 89521  
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LOCKWOOD DEVELOPMENT GROUP LLC  
CIVIL IMPROVEMENT PLANS FOR  
LOCKWOOD INDUSTRIAL  
STORAGE YARD DEVELOPMENT  
APN: 084-080-15  
COVER SHEET  
WASHOE COUNTY  
NEVADA

JOB No.	Lockwood001
DATE:	AUGUST 7, 2025
VERT. SCALE:	NA
HORIZ. SCALE:	NA
DRAWN BY:	DAF
CHECKED BY:	JAG
APPROVED BY:	DAF
SHEET	C-1
OF	9
SHEETS	



GENERAL NOTES

1. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
3. GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION.
4. THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER, WHICHEVER IS GREATER.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN THE PROJECT MANUAL AND GENERAL CONDITIONS A201.
6. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS EITHER IN CONTRACT OR NOT IN CONTRACT HE SHALL BE RESPONSIBLE FOR LOSS AND/ OR DAMAGE TO THESE ITEMS.
7. GENERAL CONTRACTOR TO HAVE JOB PHONE ON PREMISES DURING ENTIRE CONSTRUCTION PERIOD.
8. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR IS TO HAVE A FULL TIME QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED.
9. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
10. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR: OVERALL WALL DIMENSIONS, SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ENGINEER ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT NOTIFY THE ENGINEER. SITE DESIGN BY CIVIL ENGINEER SUPERSEDES ALL OTHER SITE PLANS.
12. ALL DIMENSIONS SHOWN ARE TO BACK FACE OF CURB AND/OR FINISH FACE OF WALL UNLESS SPECIFICALLY NOTED OTHERWISE.
13. ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
15. ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL CONFORM TO SECTION 130 OF THE STANDARD SPECIFICATIONS, PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE NEVADA WORK ZONE TRAFFIC CONTROL HANDBOOK, CURRENT EDITION. NO STREET CLOSURES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF A TRAFFIC CONTROL PLAN BY THE WASHOE COUNTY ROAD DEPARTMENT.
16. THE OWNER/CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
17. THE OWNER/CONTRACTOR SHALL CALL THE WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT ENGINEERING DIVISION FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. THE OWNER/CONTRACTOR SHALL CALL FORTY-EIGHT (48) HOURS PRIOR TO REQUIRED INSPECTIONS AND TESTING. THE REQUIRED INSPECTIONS AND TESTING ARE LISTED ON THE INSPECTION RECORD ISSUED WITH EACH PERMIT. THE OWNER/CONTRACTOR MUST HAVE THE PERMIT NUMBER AND THE DESCRIPTION LISTED ON THE INSPECTION RECORD TO SCHEDULE REQUIRED INSPECTIONS AND TESTING.
18. MODIFICATIONS TO THE APPROVED SITE IMPROVEMENT PLANS REQUIRE REVIEW AND APPROVAL BY WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT. WORK PERFORMED WITHOUT WRITTEN APPROVAL BY THE DEPARTMENT WILL REQUIRE REMOVAL AT THE OWNER'S/CONTRACTOR'S EXPENSE.
19. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.
20. PLAN APPROVAL SHALL EXPIRE ONE YEAR FROM DATE OF APPROVAL UNLESS CONSTRUCTION HAS BEEN INITIATED.

DEMOLITION NOTES:

- 1) UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON BEST AVAILABLE INFORMATION AT THE TIME. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT, USA, AT (1-800-227-2600) PRIOR TO ANY DEMOLITION.
- 2) THE CONTRACTOR SHALL MAKE EVERY ATTEMPT TO AVOID SHUT OFF OR DISCONNECTION OF ACTIVE UTILITIES. IF SHUT OFFS ARE UNAVOIDABLE, THE CONTRACTOR SHALL COORDINATE THAT SHUT OFF WITH THE AFFECTED CUSTOMERS AND UTILITIES COMPANIES AT LEAST 48 HOURS IN ADVANCE OF THE DISRUPTION OF SERVICE.
- 3) UTILITIES LINES ARE INDICATED FOR COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH UTILITY PROVIDERS.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING AND FINAL REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER AND ENGINEER OF RECORD.
- 5) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR DEMOLITION.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION, AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND/OR BARRICADE THE DEMOLITION AREA AS REQUIRED TO PROTECT ADJACENT SITES, VEHICULAR TRAFFIC, AND PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618, IN THE CONSTRUCTION PRACTICES FOR ALL EMPLOYEES DIRECTLY ENGAGED IN THE DEMOLITION OF THIS PROJECT.
- 7) WHEN ANY UNSAFE CONDITIONS ARE ENCOUNTERED, WORK SHALL BE HALTED, THE STRUCTURE SECURED, AND THE WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT NOTIFIED IMMEDIATELY BY CONTACTING THE BUILDING DIVISION AT (775) 328-3600.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFFSITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- 9) THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL THROUGHOUT DEMOLITION, IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, STATE OF NEVADA DEPARTMENT OF TRANSPORTATION, TRAFFIC CONTROL STANDARDS AND THE GOVERNING AGENCY. CONSTRUCTION OF IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESS.
- 10) ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL (MOST RECENT UPDATE).
- 11) THE CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES HANDBOOK FOR THE TRUCKEE MEADOWS CONSTRUCTION SITE.
- 12) UPON COMPLETION OF DEMOLITION, AND PRIOR TO SECURITY RELEASE BY THE GOVERNING AGENCY, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND ALL PROTECTED INLETS SHALL BE CLEANED TO THE SATISFACTION OF WASHOE COUNTY.
- 13) STREET SWEEPING SHOULD OCCUR REGULARLY OR AS NEEDED. WEATHER MAY DICTATE MORE FREQUENT CLEANINGS AS SEDIMENT BUILDS UP FROM INGRESS/EGRESS FROM SITE.
- 14) CONTRACTOR TO COORDINATE A DEMOLITION SET-UP INSPECTION WITH WASHOE COUNTY COMMUNITY DEVELOPMENT PRIOR TO COMMENCEMENT.
- 15) AFTER DEMOLITION IS COMPLETED, THE SITE SHALL BE LEFT IN A SAFE, CLEAN AND SANITARY CONDITION, INSURING THAT ALL FOUNDATIONS, DEBRIS, CONSTRUCTION MATERIALS, FURNISHINGS, TRASH, GARBAGE, ETC. ARE COMPLETELY REMOVED.
- 16) DEMOLITION CONTRACTOR SHALL CARRY WASHOE COUNTY AS A RIDER ON THEIR INSURANCE POLICY FOR AN AMOUNT TO BE DETERMINED IN ACCORDANCE WITH WASHOE COUNTY ORDINANCES AS APPLICABLE.
- 17) CONTRACTOR TO FIELD VERIFY THE LOCATION & QUANTITY OF EXISTING VEGETATION TO BE REMOVED.
- 18) REFERENCE THE SITE, GRADING AND DEMOLITION PLANS FOR ADDITIONAL NOTES.
- 19) CONTRACTOR TO REMOVE ALL ASSOCIATED DEMOLISHED BUILDING UTILITIES. CONTRACTOR TO COORDINATE EXISTING UTILITY REMOVAL WITH EACH UTILITY PROVIDER.
- 20) AN ENCROACHMENT/EXCAVATION PERMIT WILL BE REQUIRED AND OBTAINED FROM WASHOE COUNTY PUBLIC WORKS PRIOR TO CONSTRUCTION WITHIN ANY PUBLIC EASEMENT RIGHT-OF-WAY.
- 21) ALL EXISTING DETERIORATED OR DAMAGED CURB, GUTTER, AND SIDEWALK SHALL BE REMOVED AND REPLACED PER WASHOE COUNTY REQUIREMENTS.

SWPPP NOTES:

- 1) THE CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES IN PLACE WITH THE JURISDICTION FOR THE CONSTRUCTION SITE.
- 2) EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO GRADING AND ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT VEGETATION IS ESTABLISHED. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING CONSTRUCTION SHALL BE REPORTED TO THE OWNER/ENGINEER IMMEDIATELY.
- 3) MINIMIZE RUNOFF FROM WATERLINE FLUSHING, FIRE HYDRANT FLUSHING, LANDSCAPE IRRIGATION RUNOFF AND PAVEMENT WASH WATER.
- 4) CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE SWPPP AND THE DRAFT CONSTRUCTION SITE BMP HANDBOOK.
- 5) ALL INLET CONTROL PROTECTION SHALL REMAIN AND BE MAINTAINED UNTIL LOT CONSTRUCTION IN THE CONTRIBUTING DRAINAGE BASIN IS COMPLETE.
- 6) ACCUMULATED SEDIMENT BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORM WATER RUNOFF EVENT, AND PRIOR TO THE NEXT ANTICIPATED STORM EVENT. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 30% OR MORE.
- 7) AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE SWPPP AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
- 8) THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGE TO, OR ACCUMULATE IN, THE PUBLIC RIGHT OF WAYS OR THE GOVERNING AGENCY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- 9) ADDITIONAL CONSTRUCTION SITE DISCHARGE BMP'S MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE GOVERNING AGENCY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- 10) TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS, AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
- 11) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO SECURITY RELEASE BY THE GOVERNING AGENCY, ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND ALL PROTECTED INLETS SHALL BE CLEANED TO THE SATISFACTION OF THE GOVERNING AGENCY.
- 12) ANY CHANGES TO THE TYPE OR LOCATION OF BMP USED ON THIS SITE SHALL BE REFLECTED IN THE SWPPP DOCUMENTATION.
- 13) TEC ENGINEERING SHALL NOT BE HELD LIABLE FOR THE INSTALLATION, FUNCTION OR USE OF ANY BMP SHOWN ON THESE PLANS. THE BMP'S SHOWN ARE NEITHER THE MINIMUM OR THE MAXIMUM BMP'S NECESSARY. THE SWPPP PROGRAM FOR THIS SITE SHALL BE REVIEWED AND UPDATED PER THE GOVERNING AGENCY STORM WATER QUALITY GUIDELINES.
- 14) USE SAND BAGS FOR ALL PROPOSED AND EXISTING ADJACENT STORM DRAIN INLET PROTECTION.
- 15) STREET SWEEPING SHOULD OCCUR REGULARLY OR AS NEEDED. WEATHER MAY DICTATE MORE FREQUENT CLEANINGS AS SEDIMENT BUILDS UP FROM INGRESS/EGRESS FROM SITE.
- 16) SOME ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BY THE PROJECT ENGINEER AND/OR THE LOCAL INSPECTOR.
- 17) ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENTATION CONTROL REGULATIONS FOR THE GOVERNING AGENCY AND THE STATE OF NEVADA.
- 18) A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- 19) FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED.
- 20) PRIOR TO ANY OTHER CONSTRUCTION A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXITING FROM THE SITE. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE OR SITE ONTO THE PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.
- 21) THE CONTRACTOR SHALL FURNISH AND MAINTAIN NECESSARY BARRICADES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES WHILE ROADWAY FRONTAGE IMPROVEMENT ARE MADE.

SITE DATA

ASSESSOR'S PARCEL NUMBER: 084-080-15

ADDRESS: 10705 LOCKWOOD DRIVE  
WASHOE COUNTY, NEVADA 89434

ZONING: I (61%) / OS (39%)

CURRENT LAND USE CODE: 150: VACANT, INDUSTRIAL

SETBACKS:  
FRONT: 15 FEET (I) / NA (OS)  
SIDE: 10 FEET (I) / NA (OS)  
REAR: 15 FEET (I) / NA (OS)

FLOOD ZONE: ZONE AE (Floodway), X, AE  
(FIRM No. 32031C3069G, eff. 03/16/2009)  
(LOMR No. 16-09-2438P-320019)

LAND AREA: 5.47 ACRES +/-

GRADING NOTES

- 1) INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER.
- 2) THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF DISTURBED AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH ALL NDEP STORM WATER PROTECTION & AIR QUALITY REGULATIONS.
- 3) LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- 4) THE CONTRACTOR SHALL NOTIFY ALL PUBLIC ENTITIES 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 5) THE CONTRACTOR SHALL VERIFY IN FIELD ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT HOLING PRIOR TO CONSTRUCTION.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- 8) IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY AND SUBMIT IT TO THE OWNER FOR REVIEW. HOWEVER, THIS SHALL IN NO WAY EXTEND THE CONTRACT TIME FRAME AND DEADLINES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE SURVEY.
- 9) IN ALL AREAS WHERE NEW CURB AND GUTTER IS INSTALLED REMOVE ALL OLD CURB AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
- 10) CONTRACTOR SHALL COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS AND FILE A NOTICE OF INTENT PERMIT PRIOR TO COMMENCEMENT. CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION PERMIT UPON FINAL STABILIZATION.
- 11) COMPACTED FILL SHOULD BE PLACED IN LAYERS OF NOT MORE THAN EIGHT (8") INCHES IN THICKNESS, AT A MOISTURE CONTENT WITHIN TWO (2%) OPTIMUM. SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN PAVING AREAS AND IN BUILDING AREAS AS DETERMINED BY THE GEOTECHNICAL ENGINEER OR ENGINEER OF RECORD.
- 12) EARTHWORK SPOILS FROM ALL TRENCHES TO BE EXCAVATED ARE THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. THE CONTRACTOR IS TO UTILIZE THE SOIL ON SITE (TO BE COORDINATED WITH THE ENGINEER OF RECORD).
- 13) ADD 4300 FEET TO ALL SPOT ELEVATIONS.
- 14) SLOPE PROTECTION OVER 3:1 SLOPE PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- 15) CONTRACTOR TO CLEAN ALL VEHICLES (INCLUDING TIRES AND UNDERCARRIAGE) THAT MAY HAVE ENTERED WEED-INFESTED AREAS PRIOR TO ENTERING UNINFESTED AREAS OF THE JOB SITE.
- 16) CONTRACTOR TO RESTRICT VEHICLES OR OTHER TRAFFIC THAT MAY TRANSPORT WEED SEEDS OR PLANT MATERIAL FROM ENTERING THE JOB SITE UNLESS THEY ARE FIRST WASHED AND INSPECTED.
- 17) PROJECT LOCATED WITHIN FEMA ZONE(S) AE (Floodway), X, AE AS SHOWN ON FEMA FIRM PANEL No. 32031C3069G, EFFECTIVE DATE 03/16/2009 & LOMR No. 16-09-2438P-320019.
- 18) ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNING AGENCY REGULATIONS OR IN APPROVED AREAS ON THE GRADING PLAN.
- 19) INSTALL SAND BAGS AROUND ALL APPLICABLE ADJACENT EXISTING AND PROPOSED SD INLETS AND CULVERTS BOTH WITHIN THE PROJECT AREA AND ALONG THE ADJACENT PUBLIC RIGHT-OF-WAY.
- 20) CONTRACTOR WILL MINIMIZE GROUND DISTURBANCE AND VEGETATION REMOVAL TO PREVENT SPREAD OF NOXIOUS WEEDS.
- 21) SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- 22) ALL EXISTING CONCRETE OR OTHER MISC. CONSTRUCTION MATERIALS SHALL BE HAULED OFFSITE AND NOT USED FOR FILL.
- 23) NO HABITABLE STRUCTURES ARE TO BE BUILT IN FAULT AREAS.
- 24) NO STOCKPILES TO BE STORED ON CONCRETE OR PAVED SURFACES WITHIN PRIVATE ROADWAY AND P.U.E. EASEMENT.
- 25) AN ENCROACHMENT AND EXCAVATION PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY WORK BEING PERFORMED IN THE WASHOE COUNTY RIGHT-OF-WAY, INCLUDING TRAFFIC CONTROL, IF APPLICABLE.

FIRE PREVENTION & PROTECTION FOR GRADING OPERATIONS

1. THE GRADING PERMIT HOLDER SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF A FIRE PREVENTION PLAN AT THE JOB SITE THROUGHOUT ALL PHASES OF GRADING WORK.
2. AS WARRANTED BY THE PROJECT, THE GRADING PERMIT HOLDER SHALL PROVIDE A WATER TRUCK IN THE GENERAL VICINITY OF ALL GRADING WORK WHERE THE POSSIBILITY OF AN IGNITION SOURCE IS PRESENT. WATER TRUCK OPERATORS SHALL BE TRAINED IN THE PROPER PROCEDURES FOR PRE & POST-WETTING OF GRADING WORK. IF A WATER TRUCK IS UNAVAILABLE FOR ANY REASON, GRADING WORK SHALL CEASE.
3. ALL HEAVY EQUIPMENT SHALL HAVE A SPARK ARRESTER ON THE EXHAUST.

\*\* NOTICE TO CONTRACTORS \*\*

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

\*\* NOTE \*\*

DURING CONSTRUCTION ACTIVITIES, FIELD CONDITIONS MAY DICTATE THE IMPLEMENTATION OF PLAN REVISIONS THAT WOULD BETTER FACILITATE THE DESIGN INTENT OF THESE RECORD DOCUMENTS. THE OWNER SHALL SUBMIT SAID PROPOSED REVISIONS TO THE ENGINEER OF RECORD AND JURISDICTIONAL AGENCIES FOR REVIEW AND ACCEPTANCE PRIOR TO FIELD IMPLEMENTATION.

\*\* NOTE ON PERIMETER SITE LIGHTING \*\*

OWNER TO PROVIDE FIXTURES WITH FULL CUT OFF SHIELDS ON ALL PERIMETER SITE LIGHTING TO PREVENT UNDESIRABLE LIGHTING ON ADJACENT PROPERTIES; COORDINATE WITH ELECTRICAL PLANS (BY OTHERS) FOR PROPER PLACEMENT & INSTALLATION OF FIXTURES & CUT OFF SHIELD ASSEMBLY



NOTE: - SEE ELECTRICAL PLANS (BY OTHERS) FOR SITE ELECTRICAL REQUIREMENTS INCLUDING AREA LIGHTING, LANDSCAPE IRRIGATION CONTROLS, ETC.

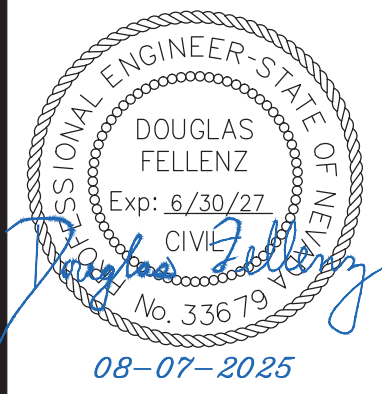
CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY  
NO CONSTRUCTION WORK SUNDAY  
(EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)

CONSTRUCTION MACHINERY OR CONSTRUCTION PERSONNEL GATHERINGS ARE ALSO LIMITED TO THESE HOURS.

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DATE									
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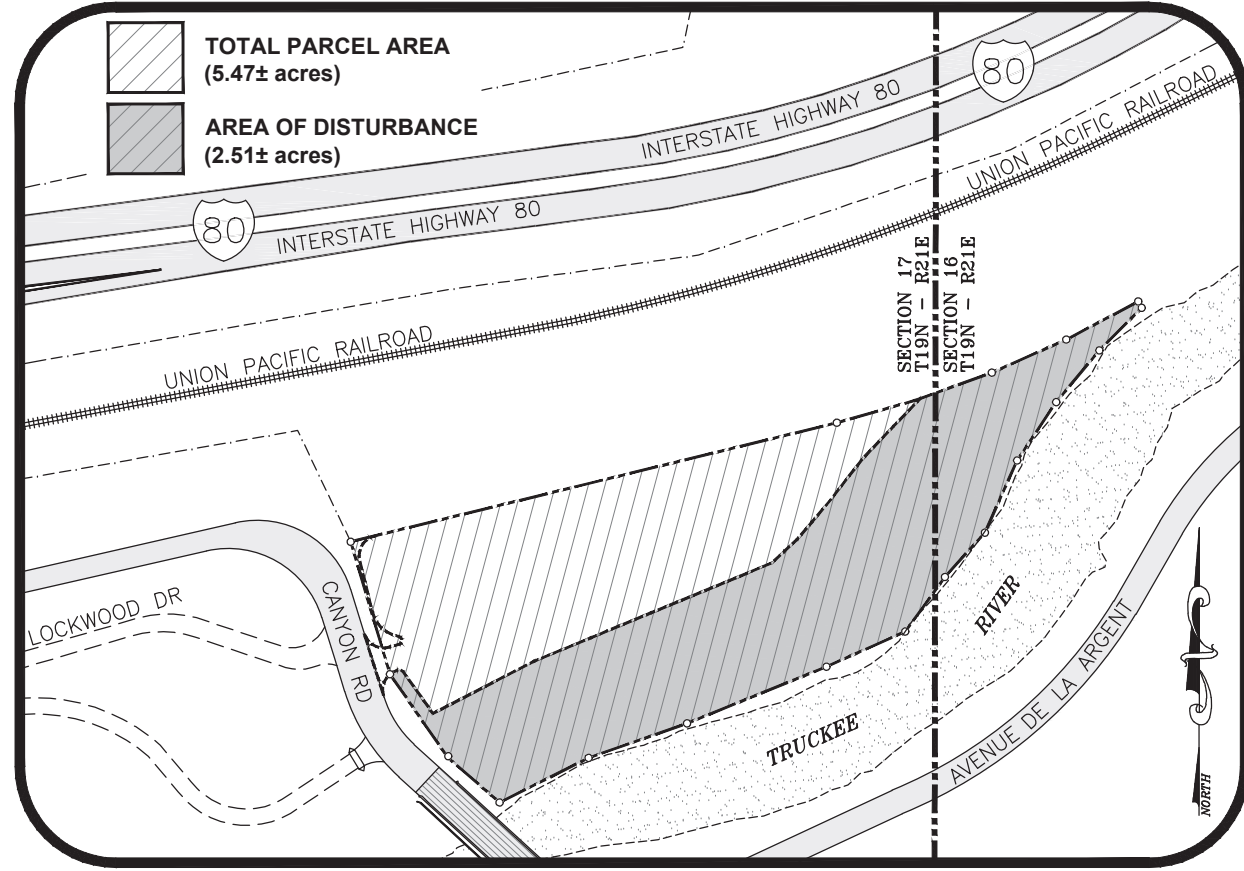
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9429 POINTE DIAMOND PARKWAY, STE. A  
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PH (775) 352-7800 ~ FAX (775) 352-7888



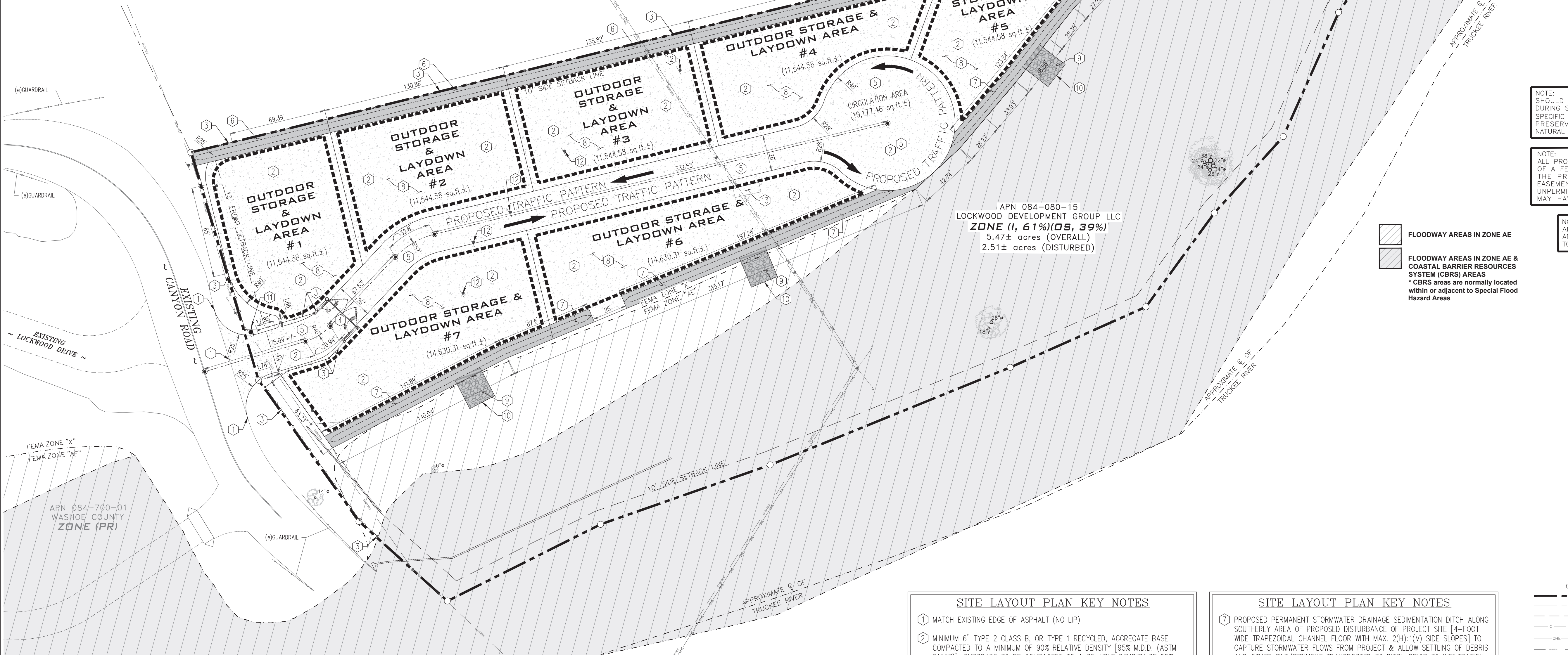
LOCKWOOD DEVELOPMENT GROUP LLC  
CIVIL IMPROVEMENT PLANS FOR  
LOCKWOOD INDUSTRIAL  
STORAGE YARD DEVELOPMENT  
APN: 084-080-15  
NOTES SHEET  
WASHOE COUNTY NEVADA

JOB No.	Lockwood001
DATE:	AUGUST 7, 2025
VERT. SCALE:	NA
HORIZ. SCALE:	NA
DRAWN BY:	DAF
CHECKED BY:	JAG
APPROVED BY:	DAF
SHEET	C-2
OF	
9	SHEETS





## SITE KEY PLAN



### GENERAL NOTES

- 1) NO EXISTING BUILDINGS ON SITE.
- 2) NO PROMINENT LANDMARKS, ROCK OUTCROPPINGS EXIST ON SITE.
- 3) A PORTION OF THE DEVELOPMENT (AS SHOWN) IS SUBJECT TO INUNDATION OR STORMWATER OVERFLOW AS SHOWN ON THE ADOPTED FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD BOUNDARY AND FLOODWAY MAPS.
- 4) NO AREAS WITH SLOPES GREATER THAN 15% EXIST ON SITE.
- 5) NO WETLAND AREAS EXIST ON SITE.
- 6) THE PROPOSED SITE IS WITHIN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.
- 7) ALL PROPOSED DIRTWORK WILL BE CONTAINED WITHIN THE PARAMETERS OF THE SUBJECT PROPERTY. NO SOIL WILL BE IMPORTED OR EXPORTED.
- 8) ALL SIGNS AND STRIPING TO CONFORM WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 9) ALL SURVEY CONTROL & PROPERTY CORNER MONUMENTS ARE TO BE PROTECTED & MAINTAINED BY THE CONTRACTOR.
- 10) THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING WITH THE DIMENSIONS AND COORDINATES ON THESE PLANS. THE OWNER WILL PROVIDE CONVENIENT BENCHMARK AS SHOWN HEREON.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES, BEFORE EXCAVATION BEGINS.
- 12) CARGO CONTAINERS, IF APPLICABLE, SHALL BE PLACED ON PADS OR RISERS TO AVOID DETERIORATION AND SOIL CONTAMINATION.
- 13) NO PERSON SHALL BE ALLOWED TO LIVE WITHIN A CARGO CONTAINER.
- 14) ALL VEHICLES STORED ON THE SITE, OPERABLE OR NOT, SHALL HAVE GROUND PROTECTORS PROVIDED TO MITIGATE ANY LEAKAGE.
- 15) OWNER/DEVELOPER SHALL NOT USE SEMI-TRAILERS FOR LONG TERM STORAGE OF OTHER MATERIALS WHEREIN LONG TERM STORAGE IS MORE THAN 1 MONTH.

### CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY  
NO CONSTRUCTION WORK SUNDAY  
(EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)

CONSTRUCTION MACHINERY OR  
CONSTRUCTION PERSONNEL GATHERINGS  
ARE ALSO LIMITED TO THESE HOURS.



### SITE LAYOUT PLAN KEY NOTES

- 1) MATCH EXISTING EDGE OF ASPHALT (NO LIP)
- 2) MINIMUM 6" TYPE 2 CLASS B, OR TYPE 1 RECYCLED, AGGREGATE BASE COMPACTED TO A MINIMUM OF 90% RELATIVE DENSITY [95% M.D.D. (ASTM D1557)]; SUBGRADE TO BE COMPACTED TO A RELATIVE DENSITY OF 90% [95% M.D.D.] OR BETTER; ACTUAL SECTION TO BE VERIFIED BY A SOILS REPORT
- 3) 6'-HIGH CHAIN LINK SECURITY FENCE w/ 3-STRAND BARBED WIRE, CANTED OUTWARD 45° AND BOTTOM TENSION WIRE (SEE CHAIN LINK FENCE DETAIL, SHEET C9); CONTRACTOR TO PROVIDE METAL SLATS IN CHAIN LINK FENCING ADJACENT TO PUBLIC RIGHT-OF-WAY (WEST) TO PROVIDE BOTH PHYSICAL SEPARATION & VISUAL SCREENING FROM PUBLIC VIEW TO ACCOMMODATE WASHOE COUNTY NUISANCE REGULATIONS
- 4) MANUAL-SWINGING CHAIN LINK DOUBLE SECURITY GATE [28' OVERALL WIDTH, 14' PER GATE PANEL]; CONTRACTOR TO PROVIDE "HINGE" ACTION FOR EACH GATE TO ALLOW OPENING OF GATE PANELS BOTH INWARD AND OUTWARD; PROVIDE KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS, IF REQUIRED BY JURISDICTIONAL ENTITY
- 5) PROPOSED PATH OF VEHICULAR CIRCULATION THROUGH PROJECT SITE; TRAFFIC PATTERN TO BE TWO-DIRECTIONAL AS SHOWN ON PLANS
- 6) PROPOSED PERMANENT STORMWATER DRAINAGE DIVERSION DITCH ALONG NORTHERLY BOUNDARY OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO DIVERT STORMWATER FLOWS FROM UNION PACIFIC RAILROAD RIGHT-OF-WAY AROUND AREA TO BE DISTURBED (SEE GRADING PLAN, SHEET C4)

### SITE LAYOUT PLAN KEY NOTES

- 7) PROPOSED PERMANENT STORMWATER DRAINAGE SEDIMENTATION DITCH ALONG SOUTHERLY AREA OF PROPOSED DISTURBANCE OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO CAPTURE STORMWATER FLOWS FROM PROJECT & ALLOW SETTLING OF DEBRIS AND OTHER SILT/SEDIMENT TRANSPORTED TO DITCH PRIOR TO INFILTRATION OR RELEASE OVER SPILLWAY WEIR AS SHOWN (SEE GRADING PLAN, SHEET C4)
- 8) PROPOSED DESIGNATED USE STORAGE AREAS AS DESCRIBED ON PLANS
- 9) PROPOSED STONE RIP RAP PAD [HAND PLACED 9" MIN. THICKNESS LAYER OF NATIVE STONE, MIN. STONE SIZE 6" ANY DIMENSION, WITH MIRAF 500X WOVEN GEOTEXTILE FABRIC OR EQUAL UNDERLAYMENT; FABRIC EDGES TO BE KEYED INTO SOIL MIN. 12" DEPTH] (SEE STONE RIP RAP DETAIL, SHEET C9)
- 10) ALL MITIGATED STORMWATER RUNOFF FLOWS RELEASED FROM SEDIMENTATION DITCH, DISSIPATED ACROSS PROPOSED RIP RAP PAD & DIRECTED TOWARDS FINAL RECEIVING BODY (TRUCKEE RIVER)
- 11) PROPOSED "STOP" SIGN TO BE PLACED FACING THE SUBJECT PROPERTY (PRIVATE) AT THE WESTERLY SITE EGRESS, ON THE NORTH SIDE OF THE DRIVEWAY [QTY:1] (REFER TO WASHOE COUNTY DETAILS W-143A, W-143B & W-143C ON SHEET C8 FOR STANDARD TRAFFIC SIGN INSTALLATION DETAILS & NOTES)
- 12) REMOVE & DISPOSE/RELOCATE OFF SITE EXIST. SIGN
- 13) REMOVE & DISPOSE EXIST. CONCRETE SLAB

NOTE: ITEMS TO BE REMOVED AND DISPOSED OF OFF SITE AT CONTRACTOR'S EXPENSE.

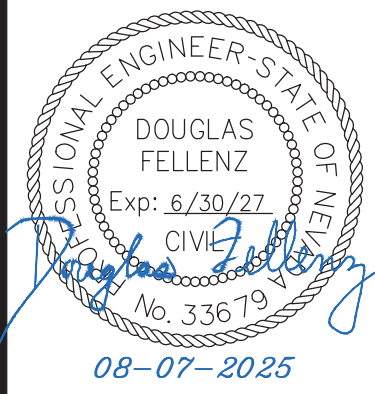
### LEGEND

- PROPERTY CORNER
- OVERALL PROPERTY BOUNDARY
- EXIST. ADJACENT PROPERTY BOUNDARY
- EXIST. BUILDING SETBACK LINE
- EXIST. GAS MAIN LINE (MARKED AS KINDER MORGAN)
- EXIST. OVERHEAD ELECTRIC LINE(S)
- EXIST. OVERHEAD TELEPHONE/COMMUNICATIONS LINE(S)
- EXIST. GUARDRAIL
- EXIST. FEMA FLOOD ZONE DELINEATION (SEE PLANS)
- EXIST. POWER POLE
- EXIST. GUY WIRE
- EXIST. SIGN
- EXIST. ELECTRIC METER/BOX
- EXIST. TREE (SIZE AS SHOWN)
- PROPOSED DITCH/SWALE
- PROPOSED GRAVEL SURFACE (SEE KEY NOTES THIS SHEET)
- PROPOSED RIP RAP DISSIPATION PAD AREA (SEE KEY NOTES THIS SHEET)
- PROPOSED CENTERLINE OF CIRCULATION PATH
- PROPOSED CHAINLINK SECURITY FENCE
- PROPOSED OUTDOOR STORAGE/LAYDOWN AREA DESIGNATION (SEE PLANS)
- PROPOSED FLOWLINE
- PROPOSED SIGN

REF SHEET C-2 FOR GENERAL NOTES  
REF SHEET C-2 FOR ADDITIONAL SITE LAYOUT NOTES

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NO.	DATE



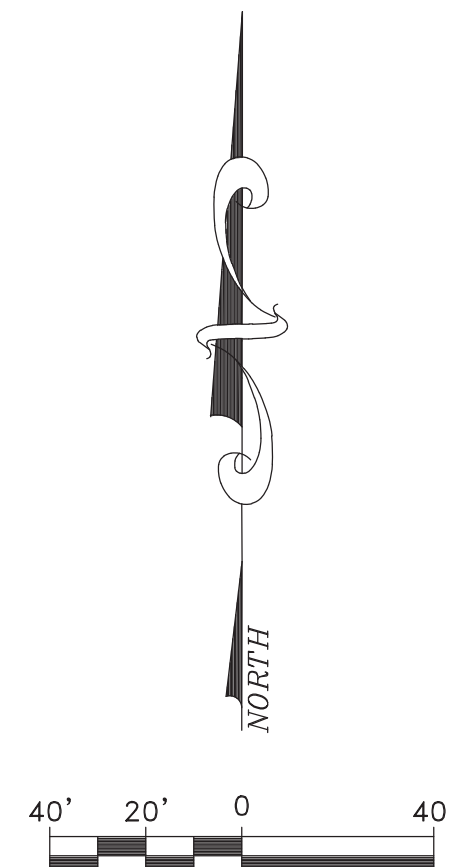
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RENO, NEVADA 89521  
PH (775) 352-7800 • FAX (775) 352-7888



LOCKWOOD DEVELOPMENT GROUP LLC  
CIVIL IMPROVEMENT PLANS FOR  
LOCKWOOD INDUSTRIAL  
STORAGE YARD DEVELOPMENT  
APN: 084-080-15  
SITE LAYOUT PLAN  
WASHOE COUNTY  
NEVADA

JOB No. Lockwood001  
DATE: AUGUST 7, 2025  
VERT. SCALE: NA  
HORIZ. SCALE: 1"=40'  
DRAWN BY: DAF  
CHECKED BY: JAG  
APPROVED BY: DAF  
SHEET C-3  
OF 9 SHEETS  
Aug. 07 2025







NOTE:  
SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED  
DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE  
SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC  
PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND  
NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.

NOTE:  
ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE  
OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING.  
THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE  
EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW  
UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT  
MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

NOTE:  
ANY PROPERTY FENCING SHALL REMAIN ON PRIVATE LAND  
AND USE MATERIAL WOULD NOT IMPACT VISUAL RESOURCES  
TO ADJACENT PUBLIC LANDS OR OTHER USERS IN THE AREA

NOTE:  
AN ENCROACHMENT AND EXCAVATION PERMIT  
WILL BE REQUIRED AND OBTAINED FROM  
WASHOE COUNTY PUBLIC WORKS BY THE  
CONTRACTOR PRIOR TO CONSTRUCTION WITHIN  
ANY PUBLIC EASEMENT OR RIGHT-OF-WAY

 FLOODWAY AREAS IN ZONE AE

 FLOODWAY AREAS IN ZONE AE & COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

\* CBRS areas are normally located within or adjacent to Special Flood Hazard Areas

## EARTHWORK QUANTITIES

1) MASS ON-SITE EARTHWORK QUANTITIES ARE ESTIMATED AS FOLLOWS:

<u>EARTHWORK</u>		
CUT	=	1,451 CY
FILL	=	426 CY
NET (FILL)	=	1,025 CY

- 2) THE EARTHWORK QUANTITIES PRESENTED HERE ARE ESTIMATES FOR PERMITTING PURPOSES ONLY.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN EARTHWORK ESTIMATE.
- 4) EARTHWORK AMOUNTS SHOWN ARE INSTALLED QUANTITIES AND DO NOT CONSIDER STRIPPING, CLEARING, OR GRUBBING.
- 5) THESE QUANTITIES ARE BASED ON AN EXPANSION FACTOR OF 1.0 AND A SHRINKAGE FACTOR OF 1.0.

## LEGEND

	PROPERTY CORNER
	OVERALL PROPERTY BOUNDARY
	EXIST. ADJACENT PROPERTY BOUNDARY
	EXIST. BUILDING SETBACK LINE
	EXIST. GAS MAIN LINE (MARKED AS KINDER MORGAN)
	EXIST. OVERHEAD ELECTRIC LINE(S)
	EXIST. OVERHEAD TELEPHONE/COMMUNICATIONS LINE(S)
	EXIST. QUARTERAIL
	EXIST. FEMA FLOOD ZONE DELINEATION (SEE PLANS)
	EXIST. POWER POLE
	EXIST. GUY WIRE
	EXIST. SIGN
	EXIST. ELECTRIC METER/BOX
	EXIST. TREE (SIZE AS SHOWN)
	PROPOSED DITCH/SWALE
	PROPOSED GRAVEL SURFACE (SEE KEY NOTES THIS SHEET)
	PROPOSED RIP RAP DISSIPATION PAD AREA (SEE KEY NOTES THIS SHEET)
	PROPOSED CENTERLINE OF CIRCULATION PATH
	PROPOSED CHAINLINK SECURITY FENCE
	PROPOSED OUTDOOR STORAGE/LAYDOWN AREA DESIGNATION (SEE PLANS)
	PROPOSED FLOWLINE
	EXIST. CONTOUR LINES
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED GRADE BREAK
	PROPOSED SIGN

REF SHEET C-2 FOR GENERAL NOTES  
REF SHEET C-2 FOR ADDITIONAL SITE LAYOUT NOTES

SLOPE STABILIZATION NOTES

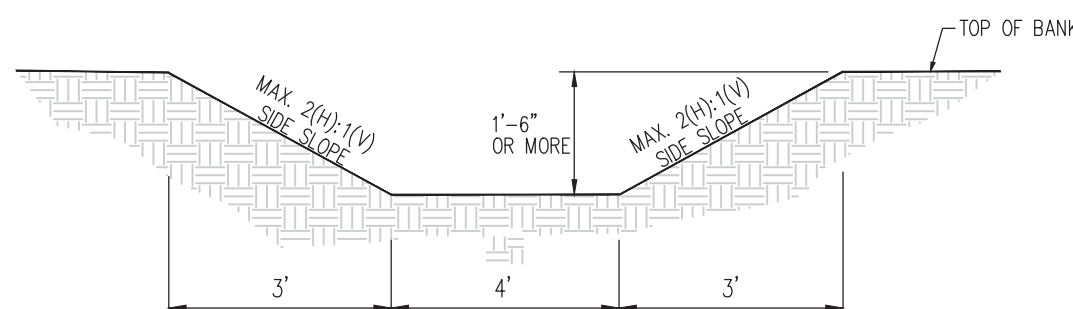
1. ALL CUT AND FILL SLOPES SHALL BE TOP DRESSED, OR REVEGETATED, TO REDUCE EROSION POTENTIAL.
2. HYDROSEED CUT AND FILL SLOPES WITH A NATIVE VEGETATION SEED MIX.
3. PROVIDE TEMPORARY IRRIGATION, AT A MINIMUM, TO ALL RESEDED AREAS UNTIL THE SEED IS WELL ESTABLISHED, APPROX. 1-2 GROWING SEASONS.
4. ALL RESEDED AREAS SHALL BE IRRIGATED OR MOWED AS NECESSARY TO REDUCE FIRE HAZARDS.

NOTE:  
ALL DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 30 DAYS SHALL BE TREATED WITH A DUST PALLIATIVE. DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 45 DAYS SHALL BE REVEGETATED. METHODS AND SEED MIX MUST BE APPROVED BY THE COUNTY ENGINEER WITH TECHNICAL ASSISTANCE FROM THE WASHOE-STOREY CONSERVATION DISTRICT. THE OWNER/DEVELOPER SHALL SUBMIT A REVEGETATION PLAN TO THE WASHOE-STOREY CONSERVATION DISTRICT FOR REVIEW.

### CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY  
NO CONSTRUCTION WORK SUNDAY  
(EXCLUDING ANY DUST CONTROL & SWPPP  
MEASURES)

CONSTRUCTION MACHINERY OR  
CONSTRUCTION PERSONNEL GATHERINGS  
ARE ALSO LIMITED TO THESE HOURS.



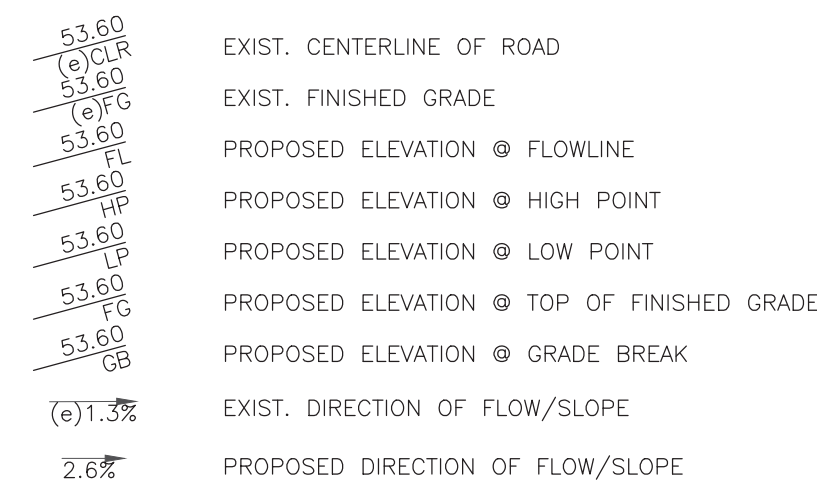
PERMANENT STORMWATER DIVERSION  
DRAINAGE DITCH SECTION (TYP.)

N.T.S.

### SITE GRADING & DRAINAGE PLAN KEY NOTES

- ① MATCH EXISTING EDGE OF ASPHALT (NO UP)
- ② MINIMUM 6" TYPE 2 CLASS B, OR TYPE 1 RECYCLED, AGGREGATE BASE COMPACTED TO A MINIMUM OF 90% RELATIVE DENSITY [95% M.D.D. (ASTM D1557)] SUBGRADE TO BE COMPACTED TO A RELATIVE DENSITY OF 90% [95% M.D.D.] OR BETTER; ACTUAL SECTION TO BE VERIFIED BY A SOILS REPORT
- ③ PROPOSED PERMANENT STORMWATER DRAINAGE DIVERSION DITCH ALONG NORTHERLY BOUNDARY OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO DIVERT STORMWATER FLOWS FROM UNION PACIFIC RAILROAD RIGHT-OF-WAY AROUND AREA TO BE DESTROYED
- ④ PROPOSED PERMANENT STORMWATER DRAINAGE SEDIMENTATION DITCH ALONG SOUTHERLY AREA OF PROPOSED DISTURBANCE OF PROJECT SITE [4-FOOT WIDE TRAPEZOIDAL CHANNEL FLOOR WITH MAX. 2(H):1(V) SIDE SLOPES] TO CAPTURE STORMWATER FLOWS FROM PROJECT & ALLOW SETTLING OF DEBRIS AND OTHER SOLID SEDIMENT TRANSPORTED TO DITCH PRIOR TO INFILTRATION OR RELEASE OVER SPILLWAY WEIR AS SHOWN
- ⑤ PROPOSED STONE RIP RAP PAD [HAND PLACED 9" MIN. THICKNESS LAYER OF NATIVE STONE, MIN. STONE SIZE 6" ANY DIMENSION, WITH MIRAFI 5000 WOVEN GEOTEXTILE FABRIC OR EQUAL UNDERLAYMENT; FABRIC EDGES TO BE KEPT INTO SOIL MIN. 12" DEPTH] (SEE STONE RIP RAP DETAIL, SHEET C9)
- ⑥ ALL MITIGATED STORMWATER RUNOFF FLOWS RELEASED FROM SEDIMENTATION DITCH, DISSIPATED ACROSS PROPOSED RIP RAP PAD & DIRECTED TOWARDS FINAL RECEIVING BODY (TRUCKEE RIVER)

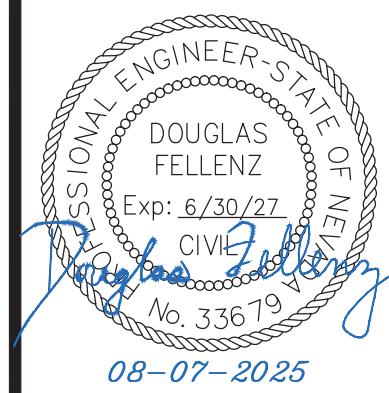
NOTE: ITEMS TO BE REMOVED AND DISPOSED OF OFF SITE AT CONTRACTOR'S EXPENSE



## SECTION KEY



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**CIVIL  
ENGINEERING  
CONSULTANTS**

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9423 DOUBLE DIAMOND PARKWAY, STE. A  
RENO, NEVADA 89521  
PH (775) 352-7800 ~ FAX (775) 352-7269

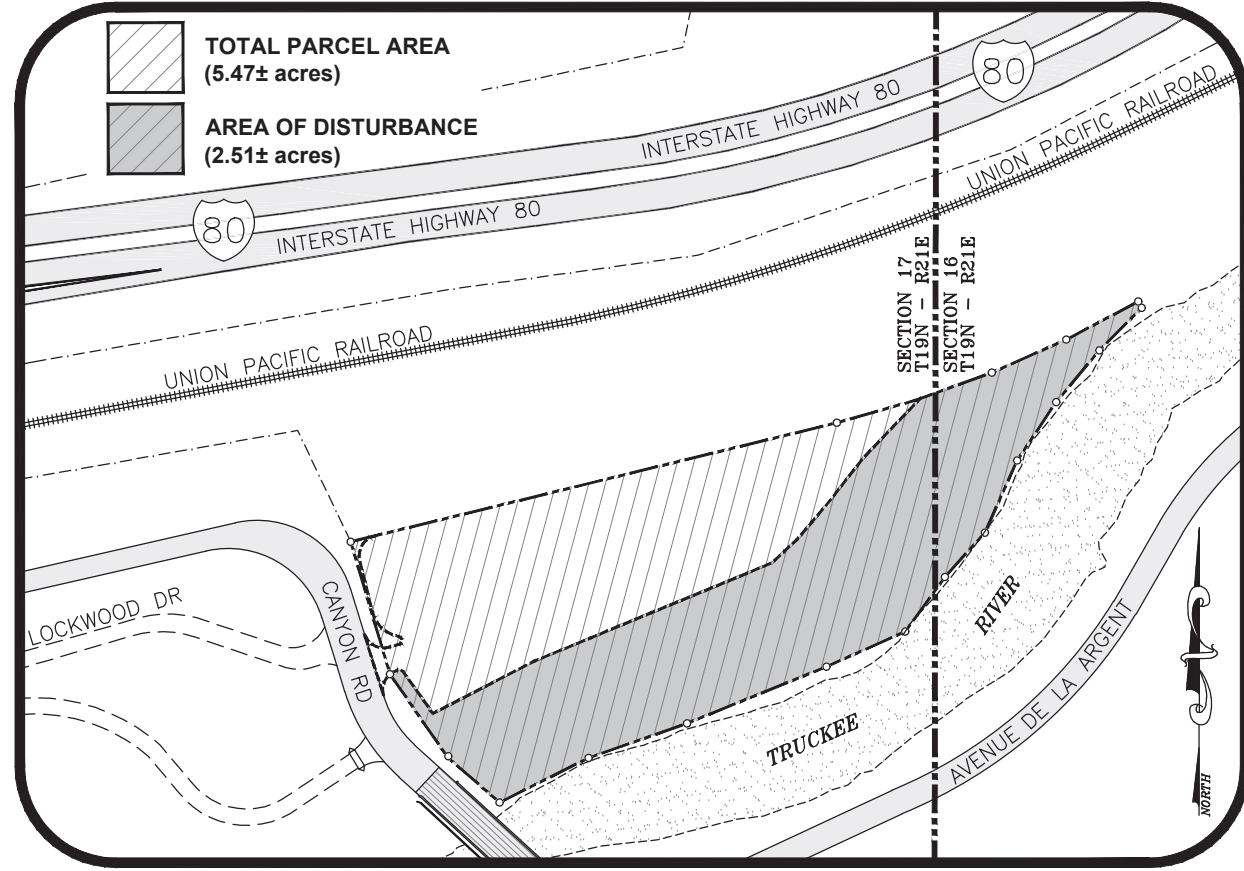


LOCKWOOD DEVELOPMENT GROUP LLC  
CIVIL IMPROVEMENT PLANS FOR  
LOCKWOOD INDUSTRIAL  
STORAGE YARD DEVELOPMENT  
APN: 084-080-15  
SITE GRADING & DRAINAGE PLAN  
WASHINGTON COUNTY

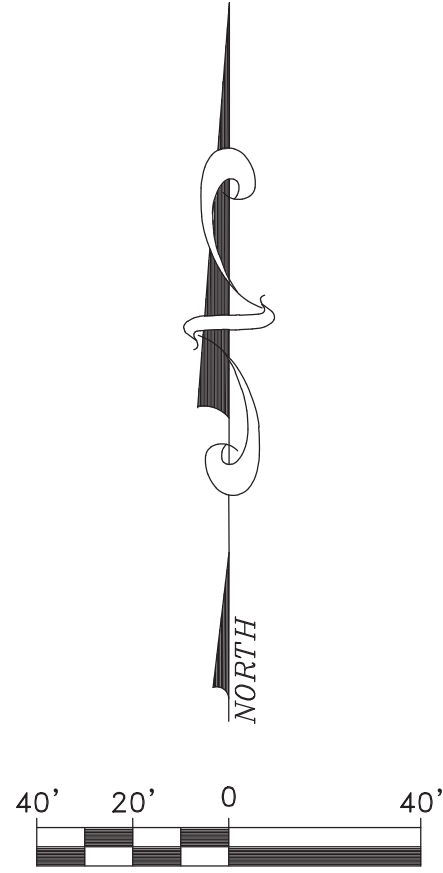
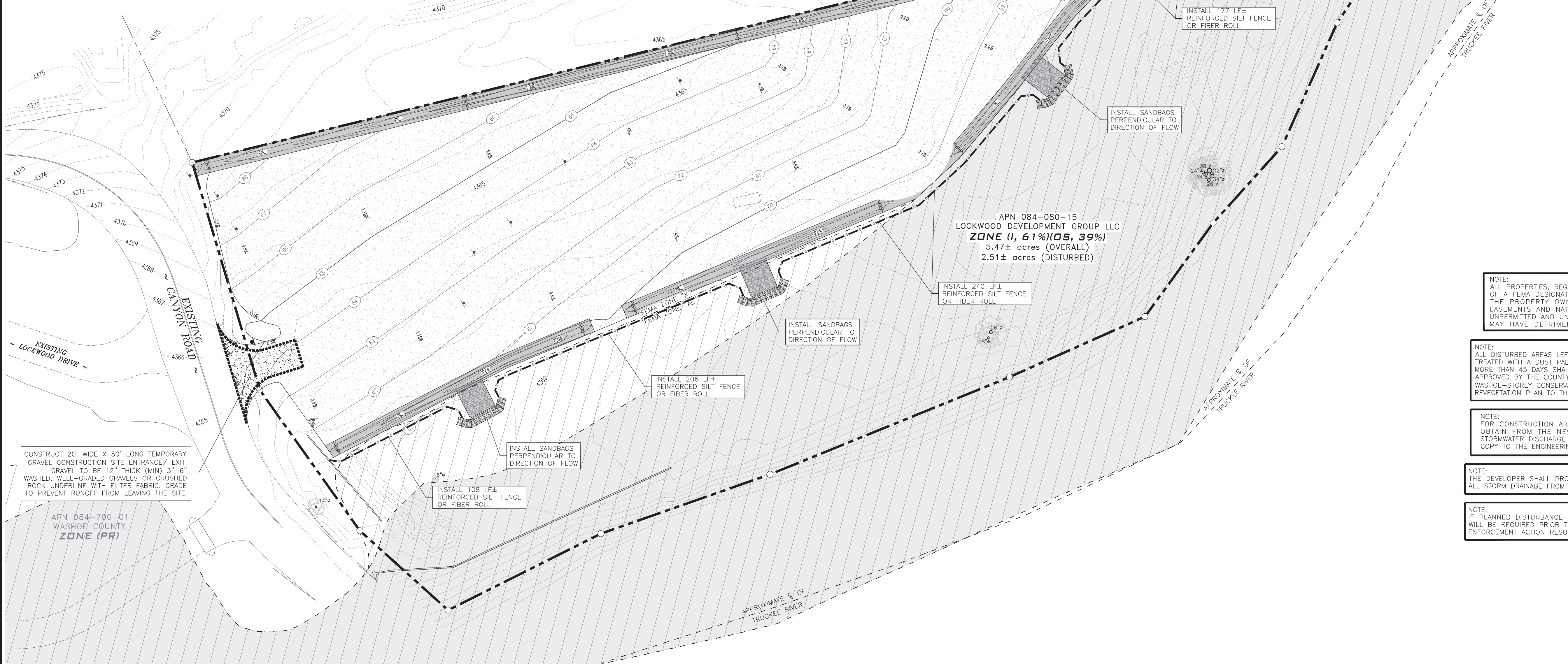
JOB No.	Lockwood001
DATE:	AUGUST 7, 2025
VERT. SCALE:	NA
HORIZ. SCALE:	1"=40'
DRAWN BY:	DAF
CHECKED BY:	JAG
APPROVED BY:	DAF

SHEET C-4  
OF  
9 SHEETS





SITE KEY PLAN



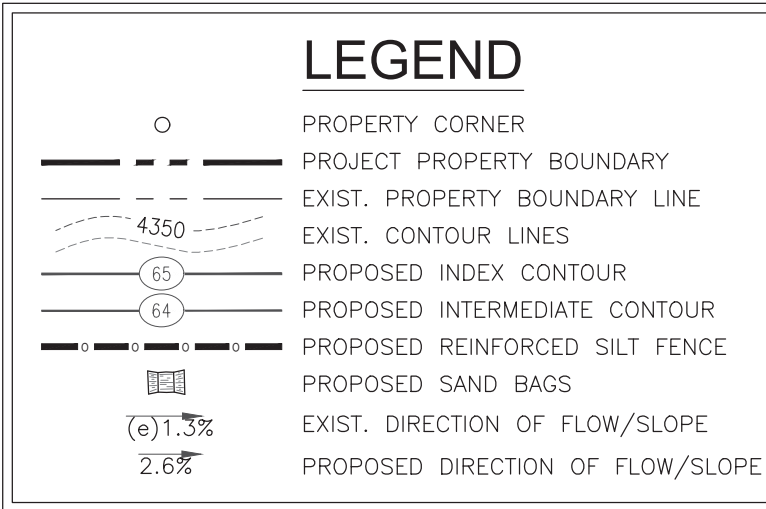
NOTE:  
ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

NOTE:  
ALL DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 30 DAYS SHALL BE TREATED WITH A DUST PALLIATIVE. DISTURBED AREAS LEFT UNDEVELOPED FOR MORE THAN 45 DAYS SHALL BE REVEGETATED. METHODS AND SEED MIX MUST BE APPROVED BY THE COUNTY ENGINEER WITH TECHNICAL ASSISTANCE FROM TEH WASHOE-STOREY CONSERVATION DISTRICT. THE OWNER/DEVELOPER SHALL SUBMIT A REVEGETATION PLAN TO THE WASHOE-STOREY CONSERVATION DISTRICT FOR REVIEW.

NOTE:  
FOR CONSTRUCTION AREAS LARGER THAN 1 ACRE, THE DEVELOPER SHALL OBTAIN FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION A STORMWATER DISCHARGE PERMIT OR WAIVER FOR CONSTRUCTION AND SUBMIT A COPY TO THE ENGINEERING DIVISION PRIOR TO ISSUANCE OF A GRADING PERMIT.

NOTE:  
THE DEVELOPER SHALL PROVIDE PRETREATMENT FOR PETROCHEMICALS AND SILT FOR ALL STORM DRAINAGE FROM THE SITE TO THE SATISFACTION OF THE COUNTY ENGINEER.

NOTE:  
IF PLANNED DISTURBANCE FOR SITE DEVELOPMENT THEN A DUST CONTROL PERMIT WILL BE REQUIRED PRIOR TO BREAKING GROUND. FAILURE TO DO SO MAY RESULT IN ENFORCEMENT ACTION RESULTING IN A NOTICE OF VIOLATION WITH ASSOCIATED FINES.



CONSTRUCTION HOURS

7AM-7PM MONDAY-SATURDAY  
NO CONSTRUCTION WORK SUNDAY  
(EXCLUDING ANY DUST CONTROL & SWPPP MEASURES)

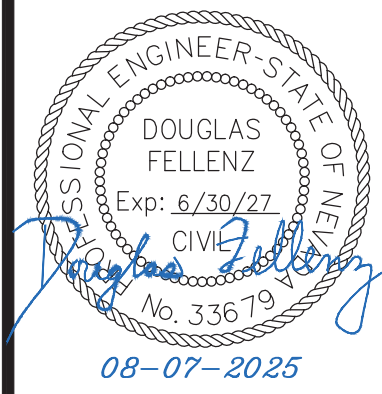
CONSTRUCTION MACHINERY OR  
CONSTRUCTION PERSONNEL GATHERINGS  
ARE ALSO LIMITED TO THESE HOURS.



REF SHEET C-2 FOR GENERAL NOTES  
REF DETAIL SHEETS & SHEET C-2 FOR ADDITIONAL SWPPP NOTES

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NO.	DATE



CIVIL  
ENGINEERING  
CONSULTANTS  
9429 POINTE DIAMOND PARKWAY, STE. A  
RENO, NEVADA 89521  
PH (775) 352-7800 • FAX (775) 352-7888

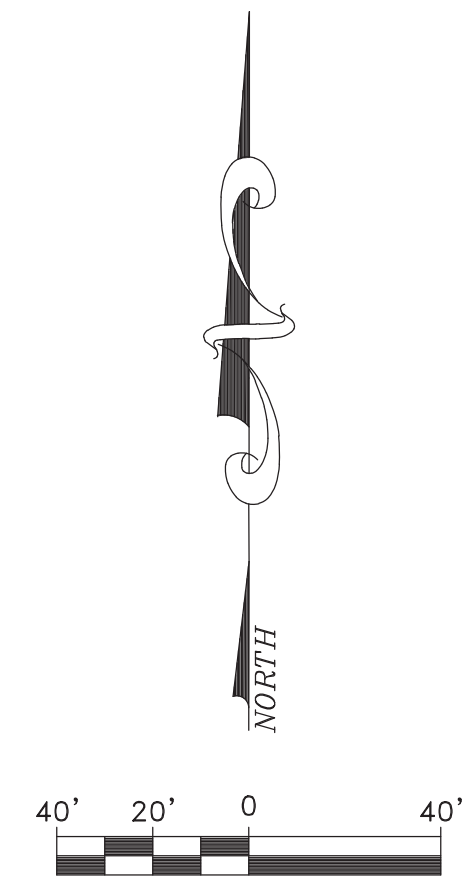
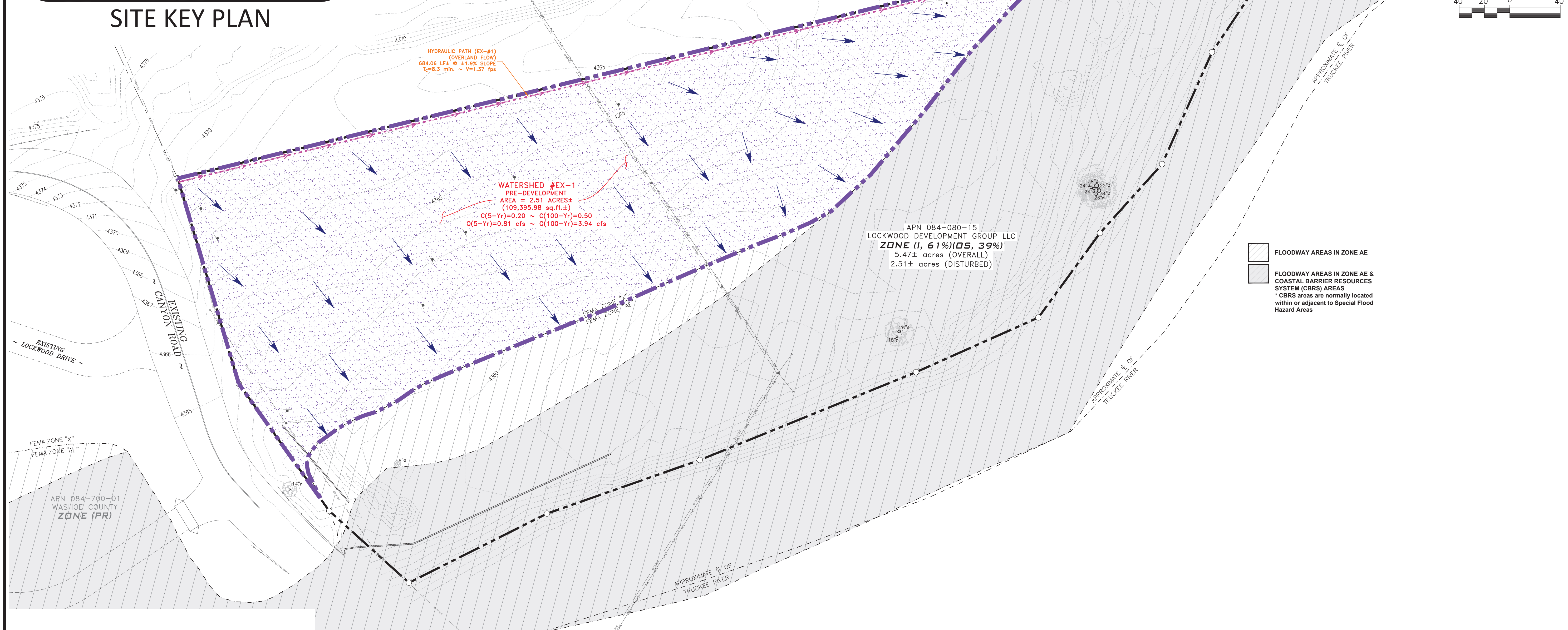
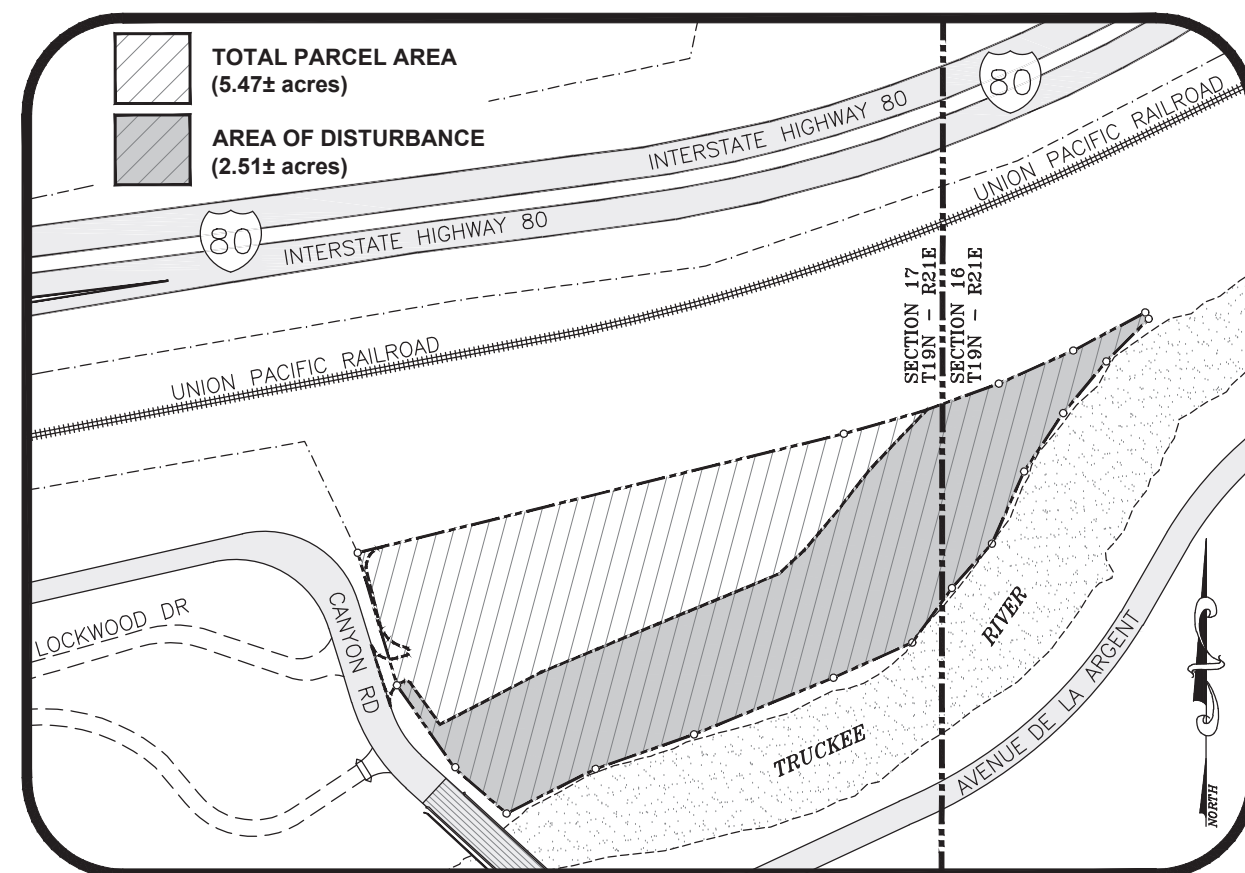


LOCKWOOD DEVELOPMENT GROUP LLC  
CIVIL IMPROVEMENT PLANS FOR  
LOCKWOOD INDUSTRIAL  
STORAGE YARD DEVELOPMENT  
APN: 084-080-15  
STORMWATER POLLUTION PREVENTION EXHIBIT  
WASHOE COUNTY  
NEVADA

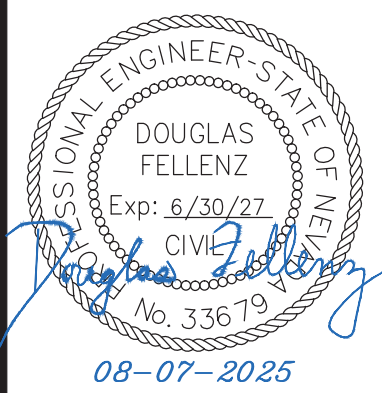
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DATE: AUGUST 7, 2025  
VERT. SCALE: NA  
HORIZ. SCALE: 1"=40'  
DRAWN BY: DAF  
CHECKED BY: JAG  
APPROVED BY: DAF

SHEET C-5  
OF  
9 SHEETS





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**CIVIL  
ENGINEERING  
CONSULTANTS**

9423 DOUBLE DIAMOND PARKWAY, STE. A  
RENO, NEVADA 89521  
PH (775) 352-7800 ~ FAX (775) 352-7289



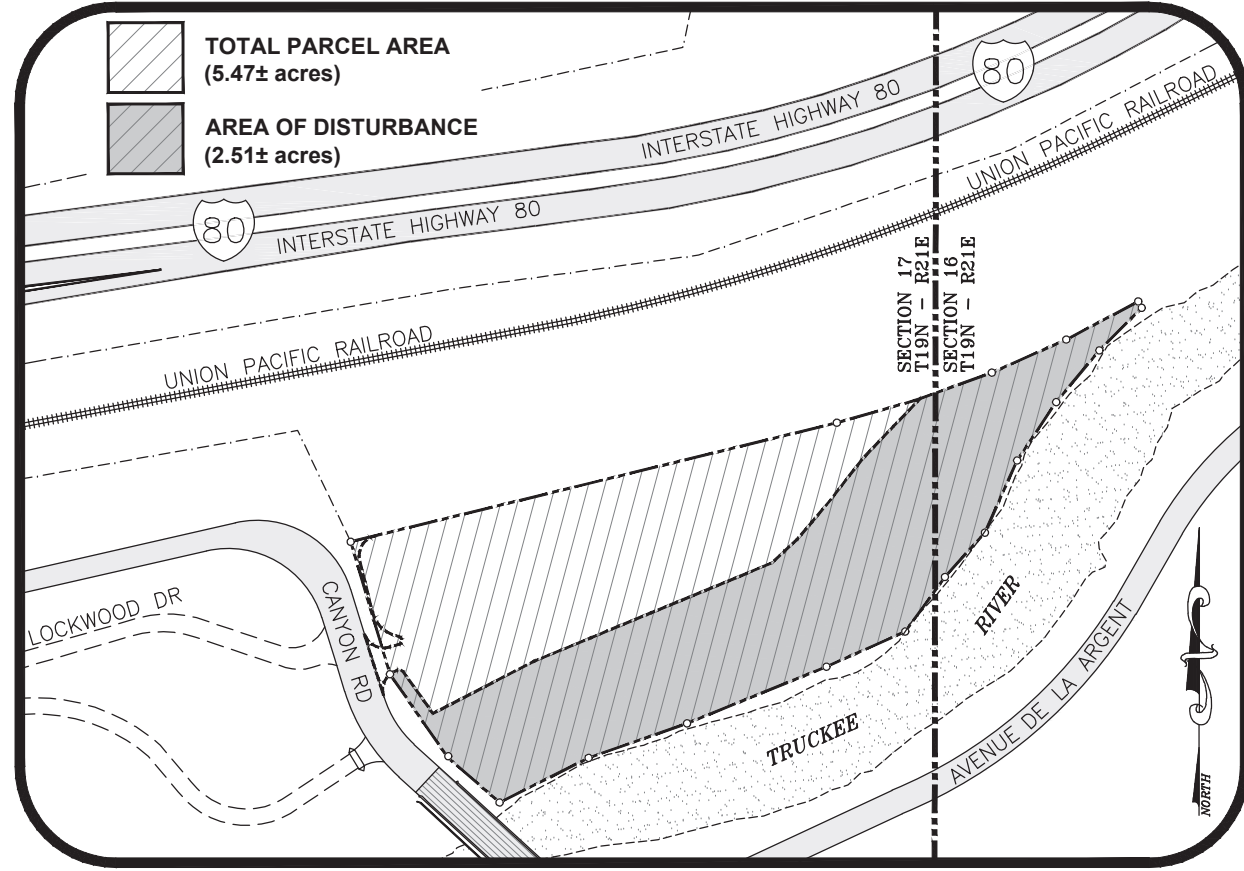
LOCKWOOD DEVELOPMENT GROUP LLC  
CIVIL IMPROVEMENT PLANS FOR  
LOCKWOOD INDUSTRIAL  
STORAGE YARD DEVELOPMENT  
APN: 084-080-15  
PRE-DEVELOPMENT WATERSHED EXHIBIT  
WASHOE COUNTY WASHINGTON NEVADA

JOB No.	Lockwood001
DATE:	AUGUST 7, 2025
VERT. SCALE:	NA
HORIZ. SCALE:	1"=40'
DRAWN BY:	DAF
CHECKED BY:	JAG
APPROVED BY:	DAF

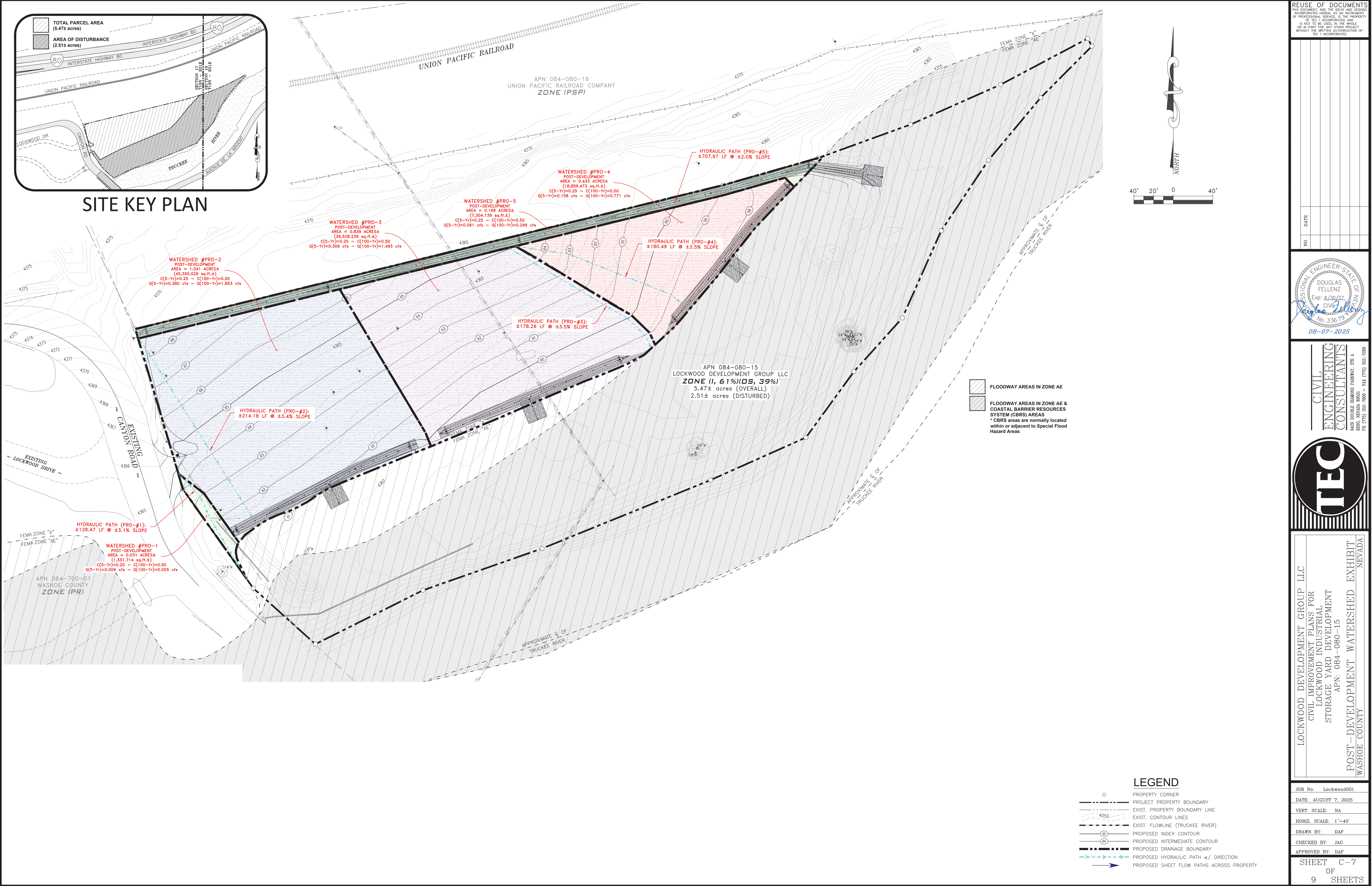
SHEET C-6  
OF  
9 SHEETS

Aug. 07 2021

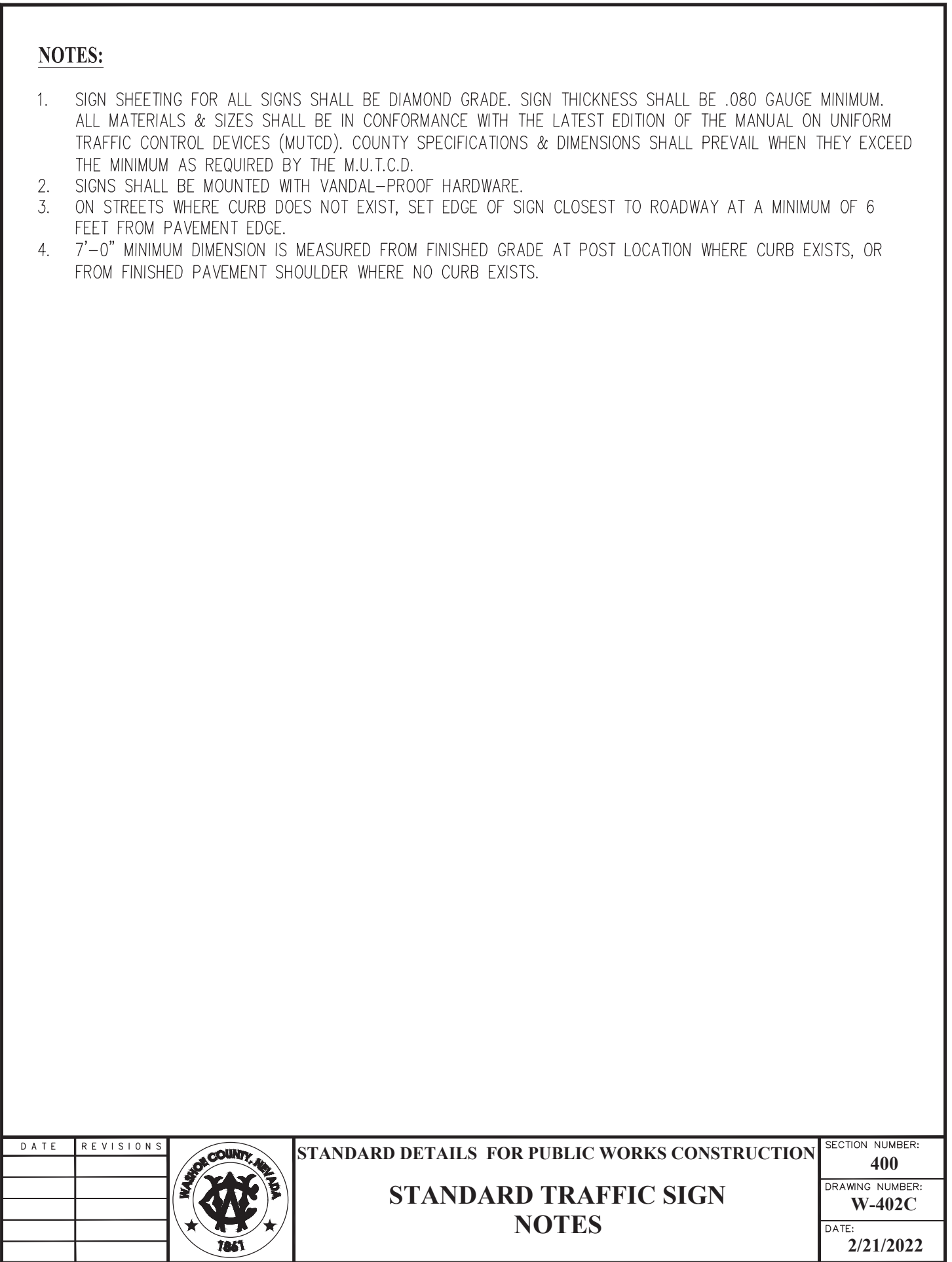
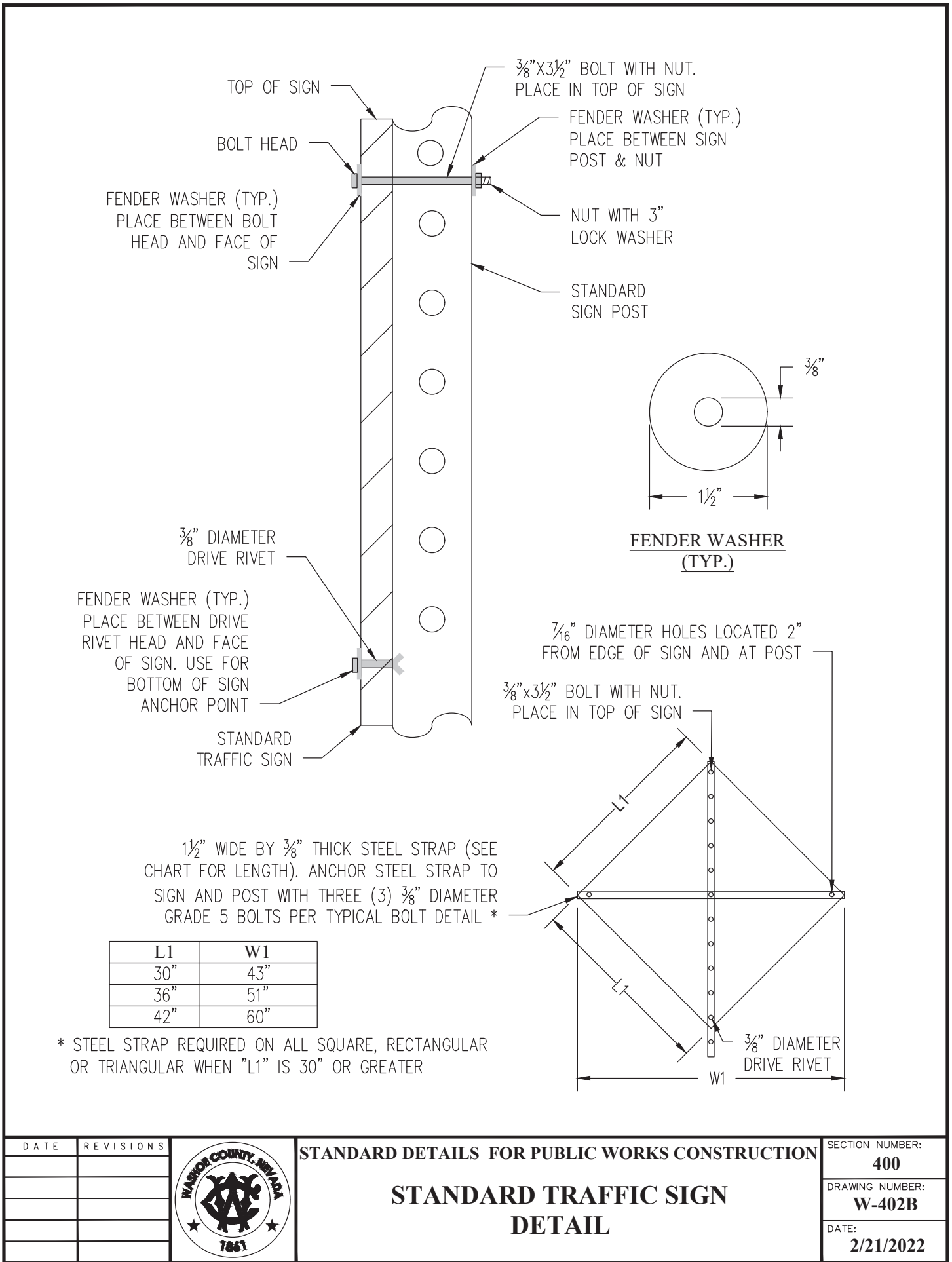
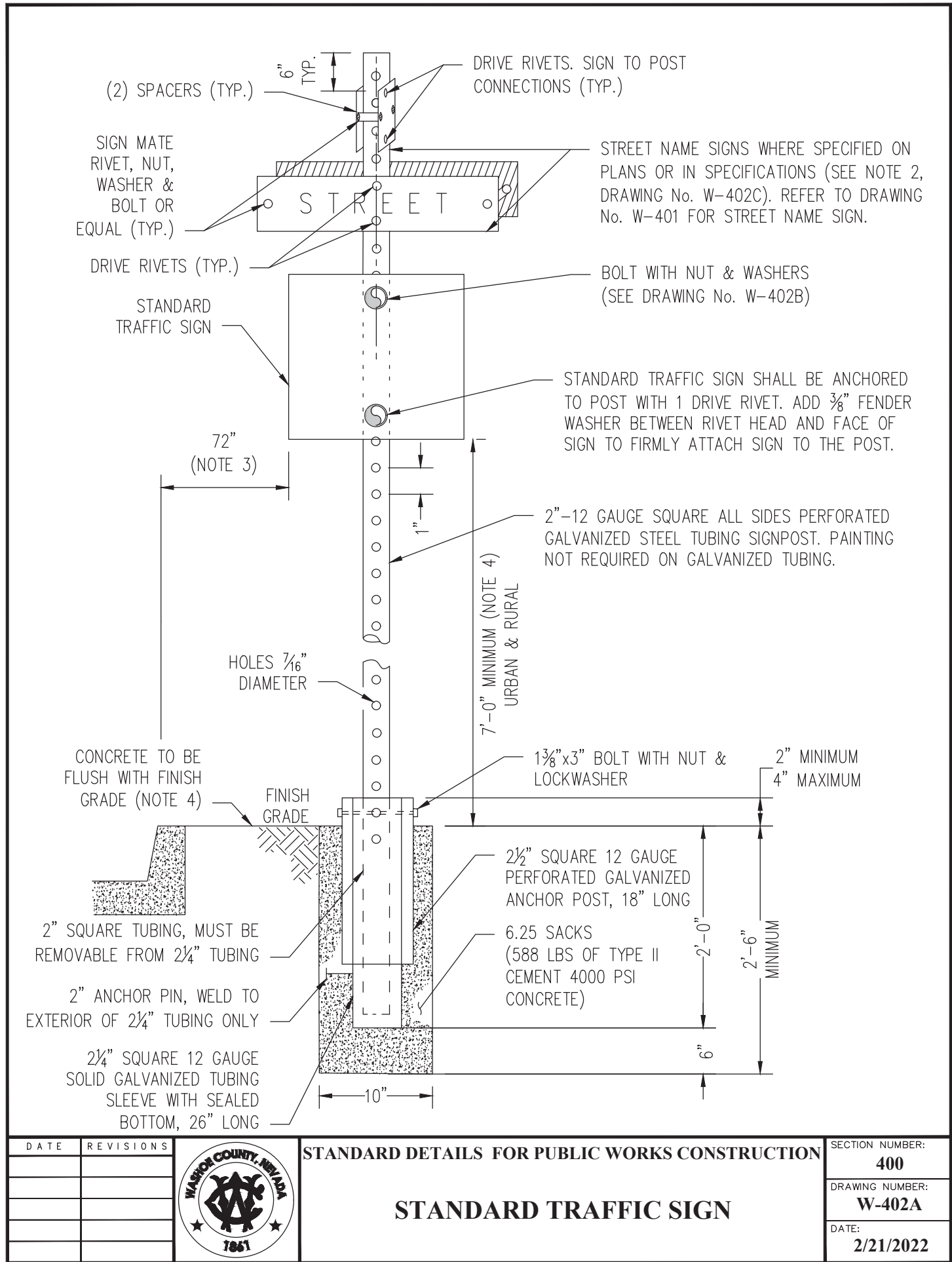
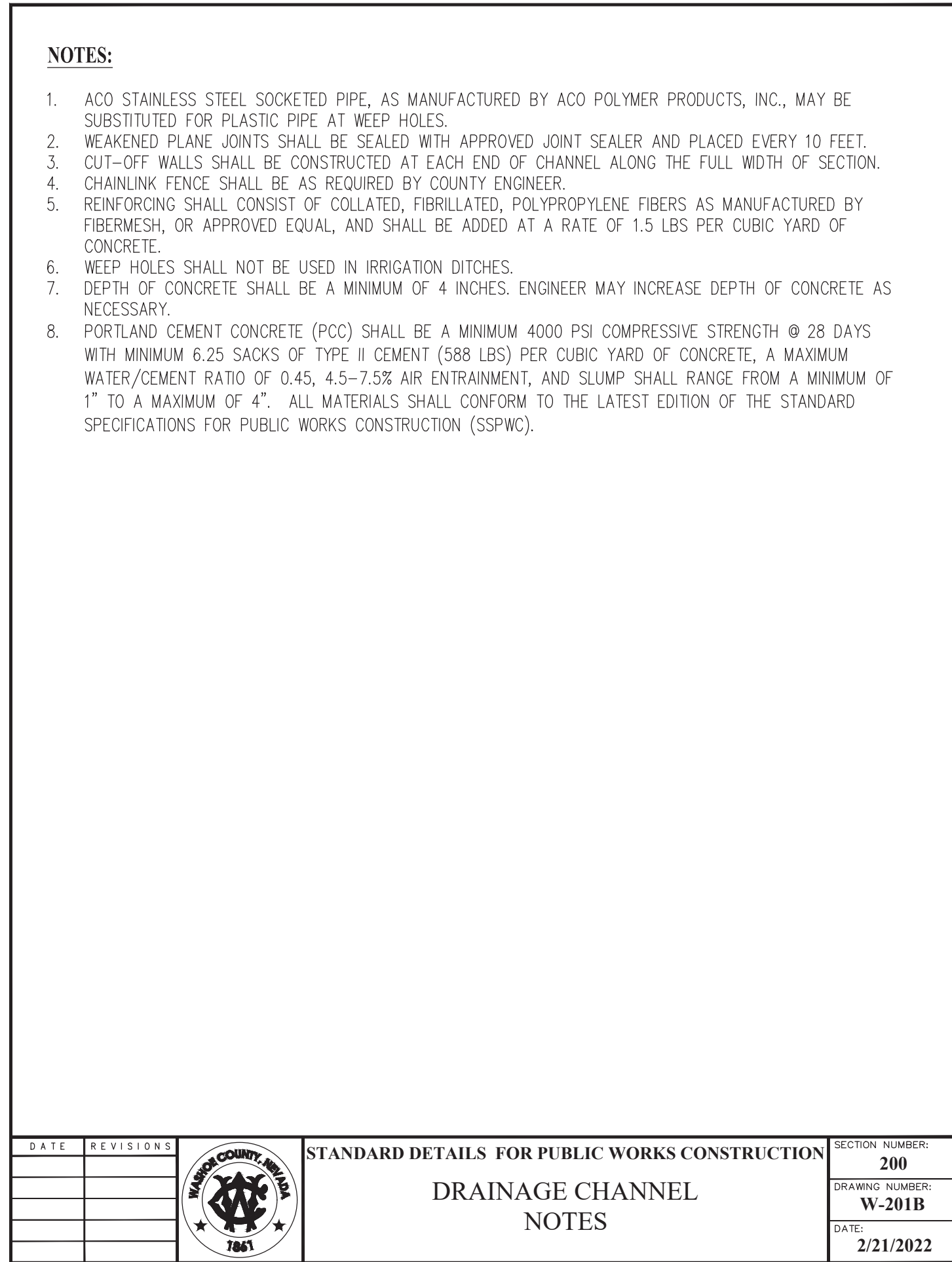
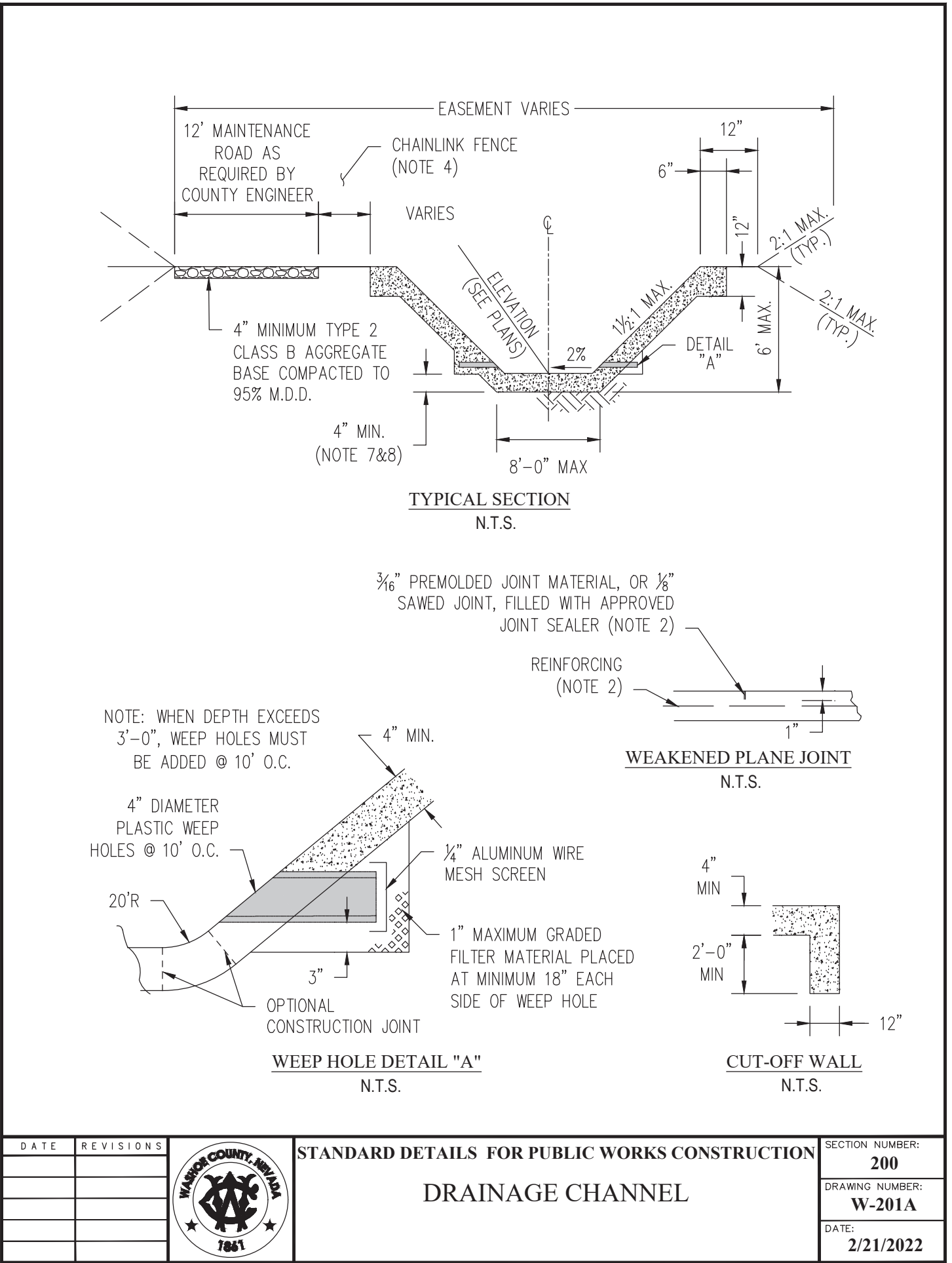
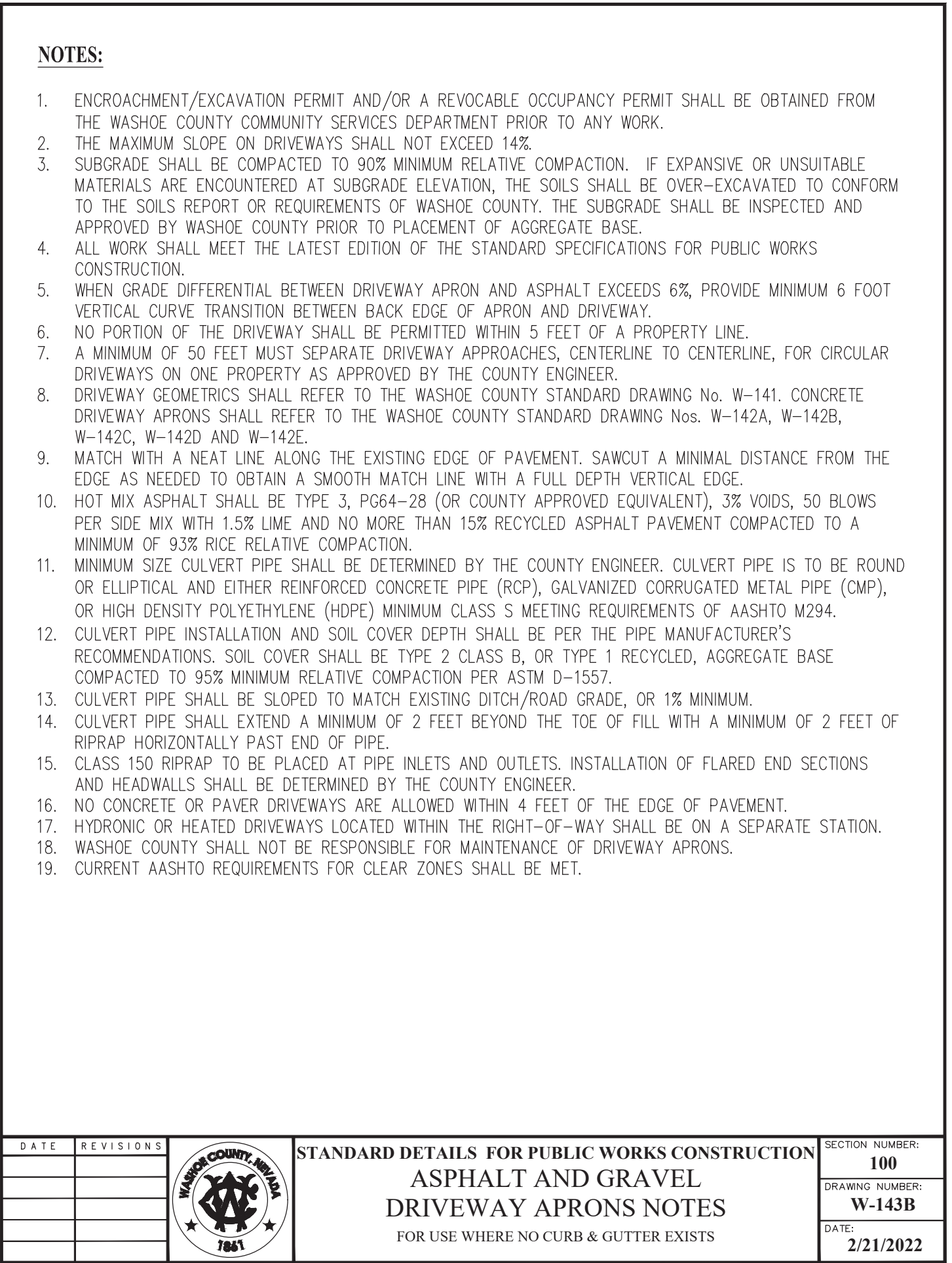
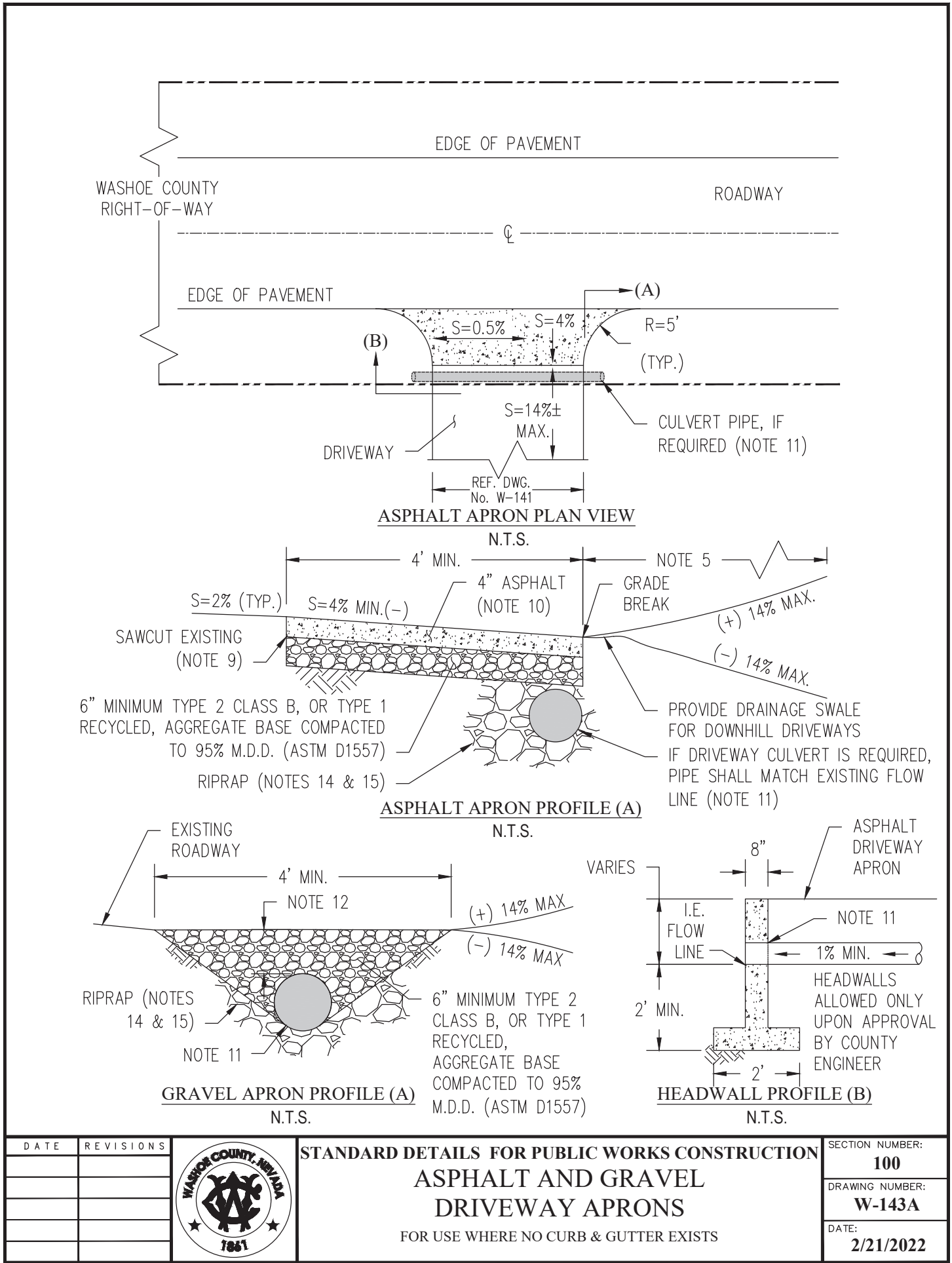
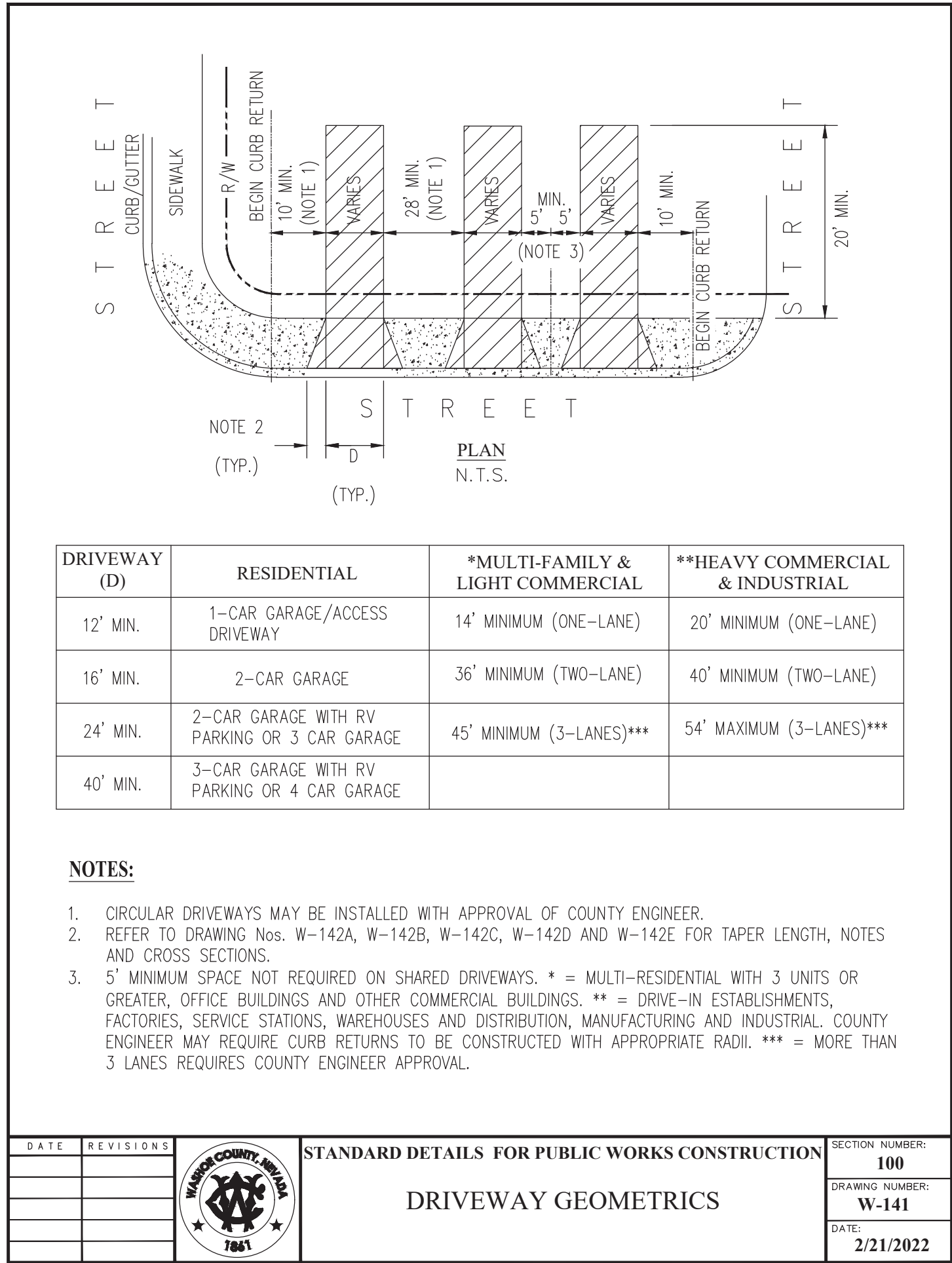




SITE KEY PLAN







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NO. DATE

PROFESSIONAL ENGINEER-STATE OF NEVADA

DOUGLAS FELLEZ

Exp: 6/30/27

CIVIL

No. 33679

08-07-2025

CIVIL ENGINEERING CONSULTANTS

9429 POINTE DIAMOND PARKWAY, STE. A

RENO, NEVADA 89521

PH: (775) 952-7800 - FAX: (775) 952-7888

TEC

LOCKWOOD DEVELOPMENT GROUP LLC

CIVIL IMPROVEMENT PLANS FOR

LOCKWOOD INDUSTRIAL

STORAGE YARD DEVELOPMENT

APN: 084-080-115

DETAILS SHEET

WASHOE COUNTY

NEVADA

JOB No. Lockwood001

DATE: AUGUST 7, 2025

VERT. SCALE: NA

HORIZ. SCALE: AS SHOWN

DRAWN BY: DAF

CHECKED BY: JAG

APPROVED BY: DAF

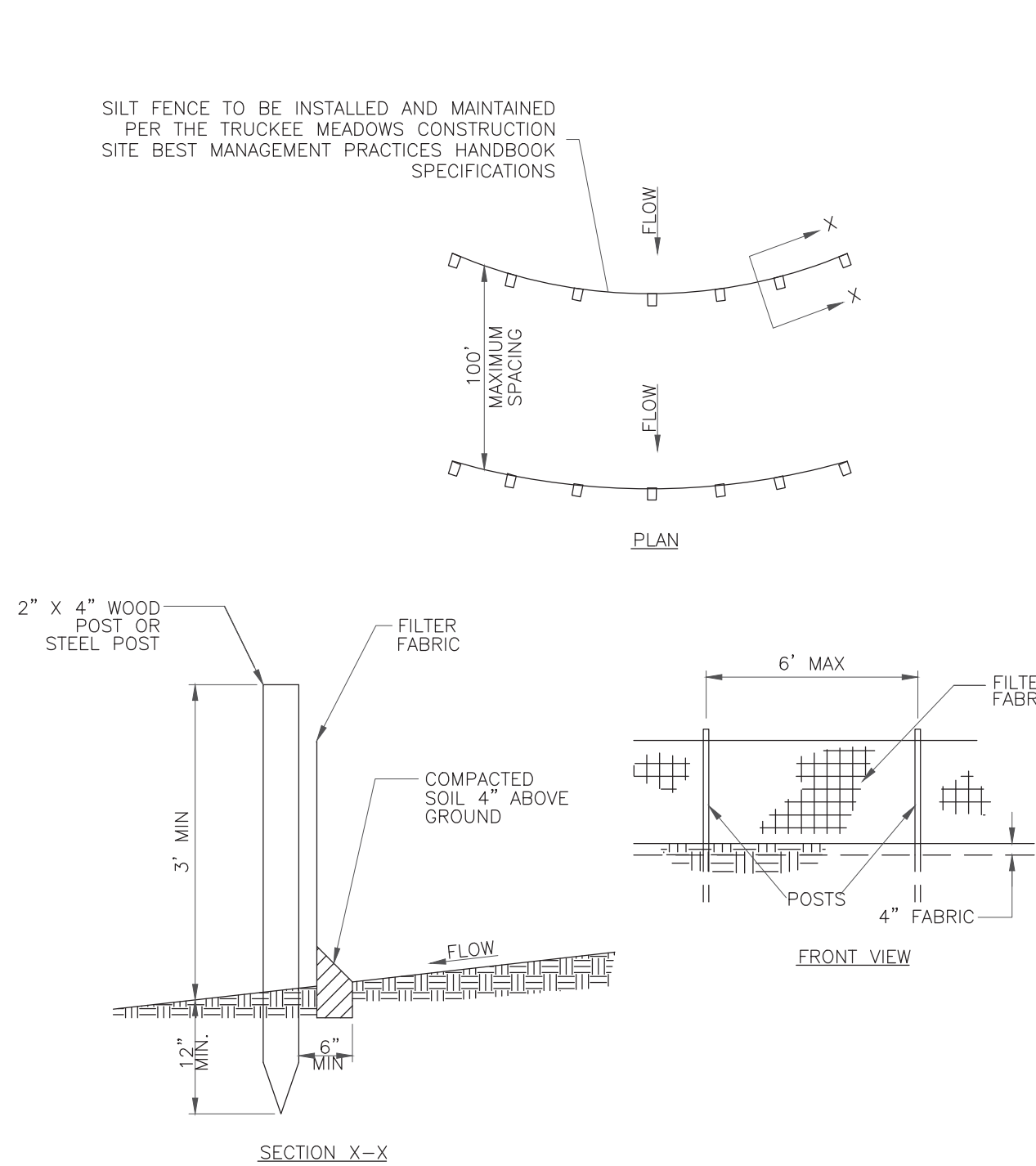
SHEET C-8

OF 9 SHEETS

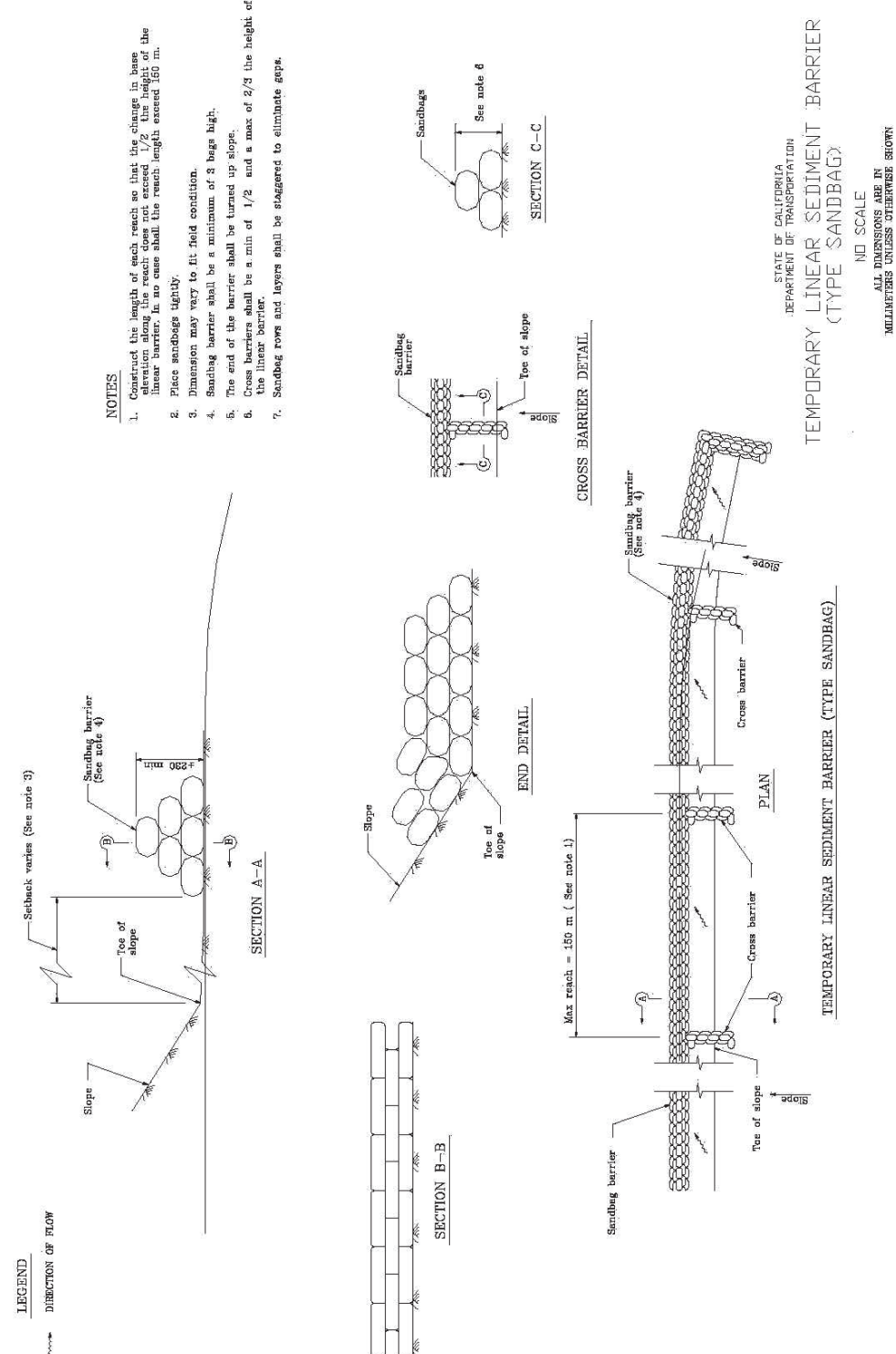
Aug. 07 2025



**SC-3**



SILT FENCE DETAILS (PRIVATE)  
N.T.S.



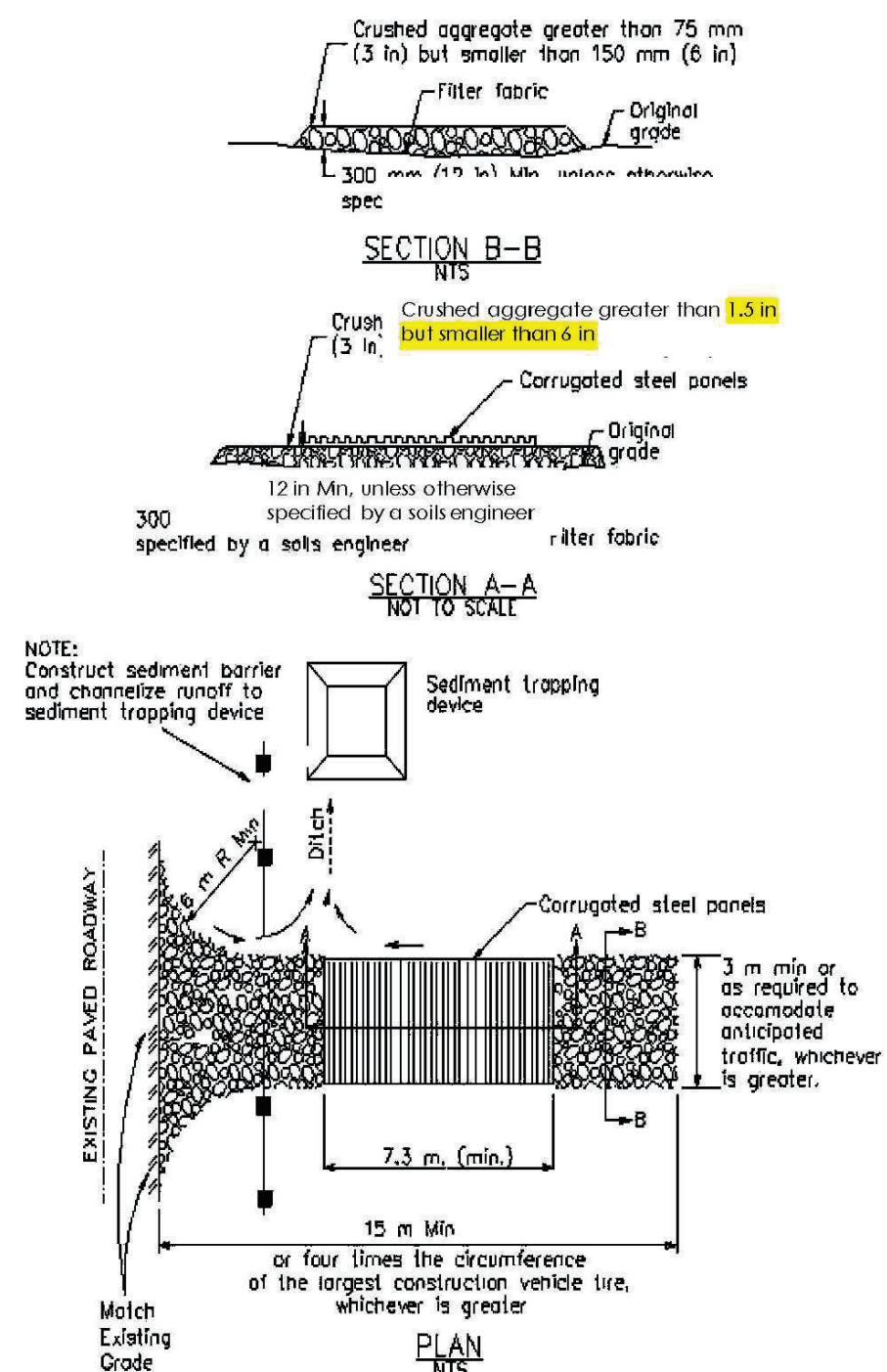
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Truckee Meadows Regional Storm Water Quality Management Program  
Construction Site Best Management Practices Handbook, February 2015 Update  
Section 9 – Sediment Control BMPs

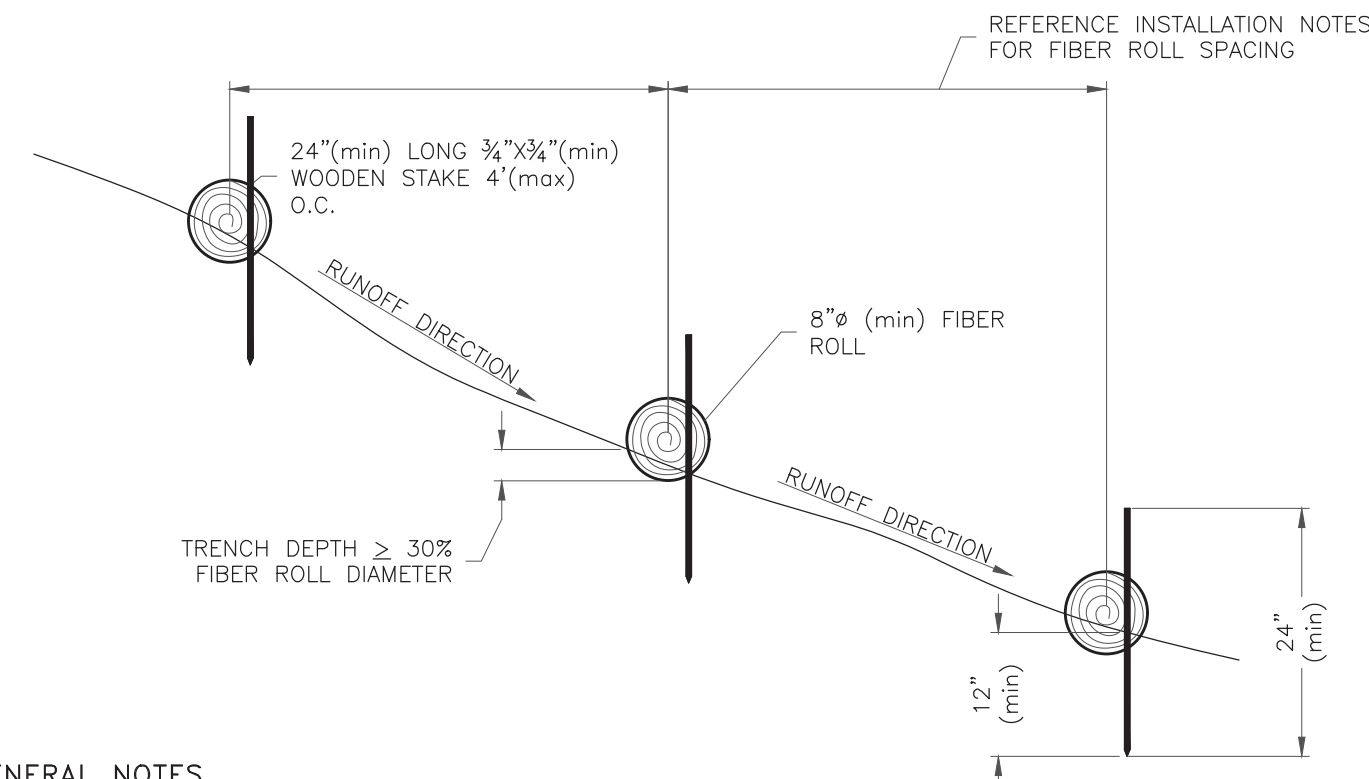
Page 9-10

## Construction Site Entrances & Exits

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Truckee Meadows Regional Storm Water Quality Management Program  
Construction Site Best Management Practices Handbook, February 2015 Update  
Section 9 – Sediment Control BMPs

**SC-8**

GENERAL NOTES

- 1) CONTRACTOR TO INSTALL AND MAINTAIN FIBER ROLLS PER LOCAL JURISDICTIONS BEST MANAGEMENT PRACTICES.
- 2) CONTRACTOR TO UTILIZE BIODEGRADABLE MATERIALS FOR FIBER ROLLS OR REMOVE UPON JOB COMPLETION.
- 3) FIBER ROLLS TO 8"± (min).
- 4) CONTRACTOR TO INSTALL FIBER ROLL(S) AT A CONSISTENT ELEVATION ALONG SLOPE.
- 5) FIBER ROLLS TO BE STAKED INTO GROUND WITH 24"(min) LONG ¾"x¾"(min) WOOD STAKES DRIVEN INTO GROUND.
- 6) CONTRACTOR TO STAKE EACH END OF FIBER ROLL AND ADDITIONAL STAKES EVERY 4'(max).
- 7) CONTRACTOR TO OVERLAP FIBER ROLLS BY 12"(min).
- 8) CONTRACTOR TO APPLY SEED AND MULCH DURING THE SEEDING WINDOW (FALL AND WINTER MONTHS); OTHERWISE USE OTHER EROSION CONTROL MEASURES SUCH AS APPROVED SOIL BINDERS UNTIL SEED CAN BE APPLIED.
- 9) FIBER ROLL TRENCH TO BE 30%(min) OF FIBER ROLL DIAMETER.
- 10) CONTRACTOR TO REMOVE SEDIMENT COLLECTED BEHIND FIBER ROLL BEFORE IT REACHES ¾(max) FIBER ROLL HEIGHT. SEDIMENT REMOVED FROM FIBER ROLLS TO BE PLACED IN VEGETATED AREAS WHERE IT WILL NOT WASH INTO DITCHES, CHANNELS OR STREAMS.
- 11) CONTRACTOR TO RETRENCH AND REINSTALL FIBER ROLLS IN ANY AREAS UNDERCUT BY RUNOFF.

INSTALLATION NOTES:

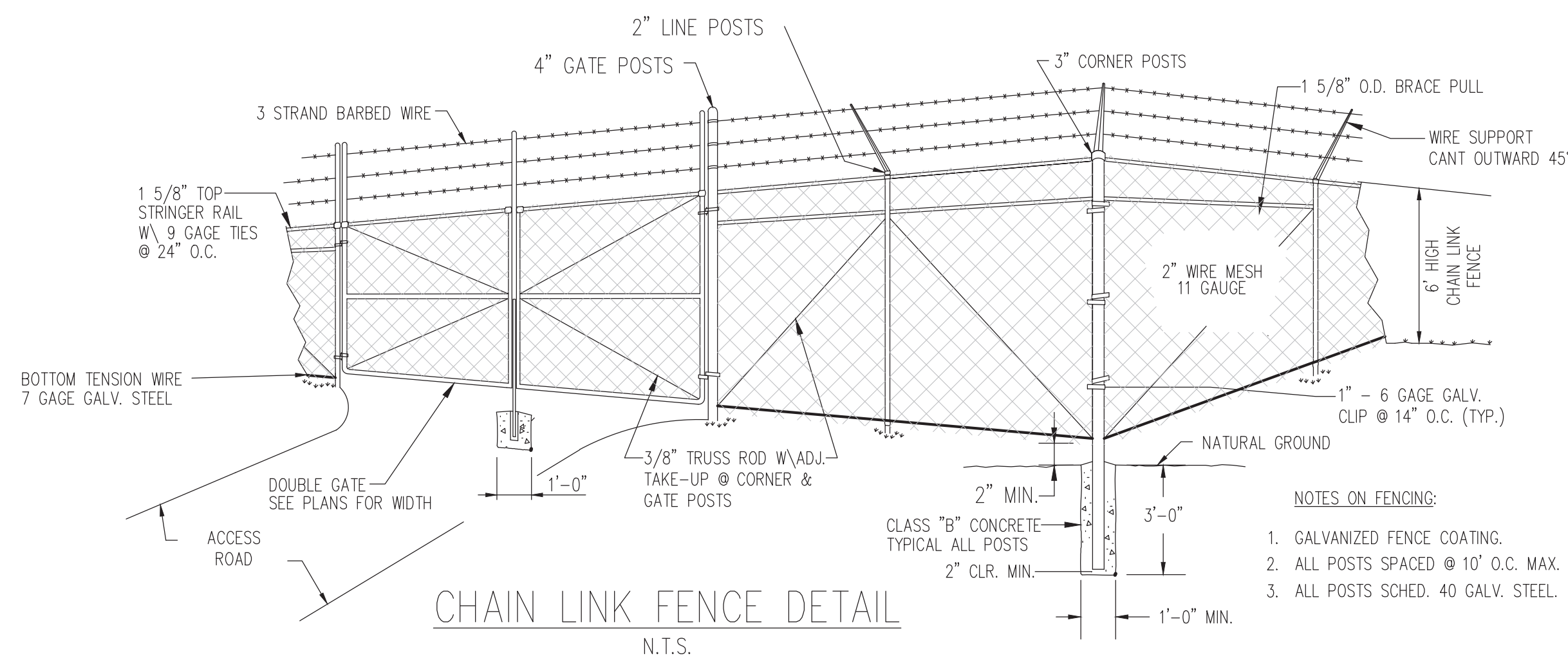
SLOPE INCLINATION  $\leq 4:1$ ; SEDIMENT LOGS SHALL BE PLACED ON SLOPES 20'(max) APART.

SLOPE INCLINATION 4:1 TO 2:1; SEDIMENT LOGS SHALL BE PLACED ON SLOPES 15'(max) APART.

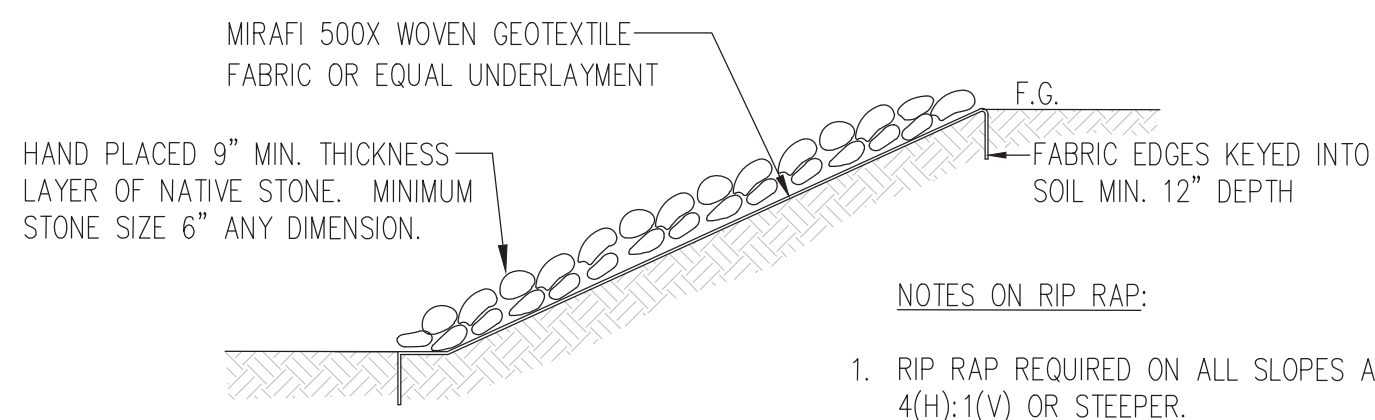
SLOPE INCLINATION  $\geq 2:1$ ; SEDIMENT LOGS SHALL BE PLACED ON SLOPES 10'(max) APART.

CONTRACTOR TO UTILIZE 20"(min) DIAMETER FIBER ROLL WHEN PLACED AT TOE OF SLOPES  $\geq 2:1$ .

FIBER ROLLS DETAILS (PRIVATE)  
N.T.S.



CHAIN LINK FENCE DETAIL  
N.T.S.



STONE RIP RAP DETAIL

SCALE: N.T.S.