

OWNER

615 ERIE BLVD, LLC
2 CLINTON SQUARE, SUITE 120
SYRACUSE, NY 13202
(315) 472-2020 (phone)
CONTACT: MARTIN MCDERMOTT
E-MAIL: MARTINM@JFREALESTATE.COM

ARCHITECT

IN-ARCHITECTS, PLLC
239 EAST WATER STREET
SYRACUSE, NY 13202
(315) 728-9458 (phone)
CONTACT: JIM KNITTEL
E-MAIL: JKNITTEL@IN-ARCHITECTS.COM

STRUCTURAL ENGINEER

ST. GERMAIN & AUPPERLE CONSULTING, PLLC
5711 WEST GENESEE ST.
CAMILLUS, NY 13031
(315) 448-3550 (phone)
CONTACT: RICH AUPPERLE
E-MAIL: AUPPERLE@SA-ENGINEERS.COM

STORAGE WAREHOUSE

615 ERIE BLVD WEST,
SYRACUSE, NY 13204
PROJECT #23073



239 E. Water Street - 2nd Fl.
Syracuse, New York 13202
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STORAGE WAREHOUSE
615 ERIE BLVD W SYRACUSE, NY

CODE REVIEW:

PROJECT: REDEVELOPMENT OF EXISTING 3 STORY OFFICE BUILDING SPACE 68,409 SF FOR USE AS A STORAGE WAREHOUSE. EBCNYS, WORK AREA COMPLIANCE METHOD, CHANGE OF OCCUPANCY

GOVERNING CODES:

- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 MECHANICAL CODE OF NEW YORK STATE
- 2020 FIRE CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE
- 2020 FIRE CODE OF NEW YORK STATE
- 2020 ENERGY CODE OF NEW YORK STATE

REFERENCE CODES:

- ICC A117.1-09 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES
- NFPA 13-16 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
- NFPA 72-16 NATIONAL FIRE ALARM CODE
- NFPA 101-16 LIFE SAFETY CODE

USE AND OCCUPANCIES:

CURRENT (B) OFFICE - **PROPOSED S-1 STORAGE**

FIRST FLOOR	14,054 / 500 =	28 OCCUPANTS
SECOND FLOOR	27,019 / 500 =	54 OCCUPANTS
THIRD FLOOR	27,338 / 500 =	55 OCCUPANTS
TOTAL =		137 OCCUPANTS

TYPE OF CONSTRUCTION:

TYPE 2B FULLY SPRINKLERED

FIRE RESISTANCE RATING REQUIREMENTS TABLE 601:

NO RATINGS REQUIRED

FIRE PROTECTION SYSTEMS CHAPTER 9:

EXISTING SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED BY NEW OCCUPANCYS AND LAYOUT.

INTERCONNECTED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.2 AND THE PROPERTY CONSERVATION CODE OF THE CITY OF SYRACUSE.

PROVIDE MANUAL FIRE ALARM SYSTEM

DRAWINGS, CALCULATIONS AND SPECIFICATIONS FOR ALL SPRINKLER AND ALARM SYSTEMS TO BE PROVIDED BY LICENSED CONTRACTORS AND ALL WORK TO BE INSTALLED UNDER PERMITS SECURED BY INSTALLATION CONTRACTORS.

EGRESS CHAPTER 10 (IBC/IEBC):

2 EXITS PER FLOOR REQUIRED - 2 EXITS PROVIDED

ACCESSIBILITY:

SITE ACCESS AND BUILDING COMPLY WITH BCNYS CHAPTER 11

PLUMBING:

137 / 100 = 2 FIXTURES REQUIRED - 2 RESTROOMS PROVIDED EACH WITH 2 FIXTURES, 2 LAVATORIES, 1 DRINKING FOUNTAIN AND 1 SERVICE SINK PROVIDED

NOTE: VARIANCE BEING SOUGHT FOR RELIEF FROM BCNYS SECTION 2902.3.3 EXISTING RESTROOM TO REMAIN ON FIRST FLOOR.

EBCNYS NOTES:

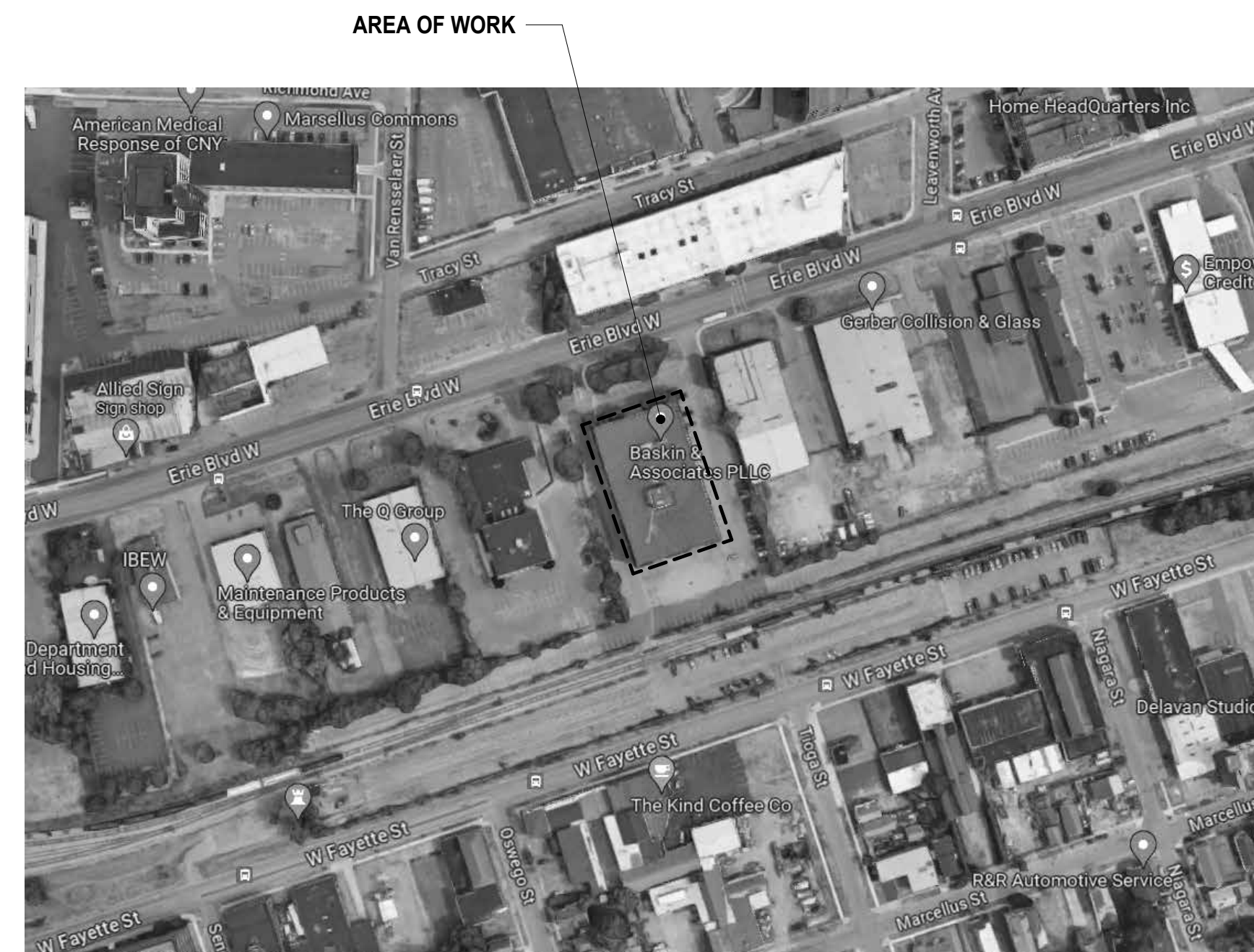
-ALL NEW CONSTRUCTION ELEMENTS INCLUDING ELECTRICAL AND MECHANICAL DEVICES AND EQUIPMENT SHALL COMPLY W/ EBCNYS.

-ALL NEW FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE 2020 BCNYS. WALL AND CEILING FINISHES TO BE CLASS C MINIMUM.

-ALL NEW WORK INCLUDING ELECTRICAL AND MECHANICAL DEVICES AND EQUIPMENT TO COMPLY WITH THE 2020 ENERGY CONSERVATION CODE OF NYS.

DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUED DATE	REVISION #	REVISION DATE
GENERAL INFORMATION				
A001	COVER SHEET	10/18/2023	1	01/31/2024
A002	GENERAL INFORMATION	10/18/2023	1	01/31/2024
ARCHITECTURAL				
A101	FIRST FLOOR DEMOLITION PLAN	10/18/2023	3	02/14/2024
A102	SECOND FLOOR DEMOLITION PLAN	10/18/2023	1	01/31/2024
A103	THIRD FLOOR DEMOLITION PLAN	10/18/2023	1	01/31/2024
A104	EXTERIOR DEMOLITION ELEVATION	10/18/2023	1	01/31/2024
A200	FIRST FLOOR PLAN	10/18/2023	3	02/14/2024
A201	SECOND FLOOR PLAN	10/18/2023	3	02/14/2024
A202	THIRD FLOOR PLAN	10/18/2023	3	02/14/2024
A300	EXTERIOR ELEVATIONS	10/18/2023	1	01/31/2024
A302	WALL SECTIONS	10/18/2023	1	01/31/2024
STRUCTURAL				
ST101	SECOND FLOOR FRAMING - REINFORCING PLAN	10/18/2023		
ST102	THIRD FLOOR FRAMING - REINFORCING PLAN	10/18/2023		
ST103	ELEVATOR PLANS & DETAILS	10/18/2023		
ST201	BEAM & CONNECTION REINFORCING DETAILS	10/18/2023		
ST202	ELEVATOR SECTIONS & DETAILS	10/18/2023		

NOTE: PROPOSED ELEVATOR STRUCTURE ENVELOPE SHALL MEET PRESCRIPTIVE REQUIREMENTS OF ECCCNNYS 2020



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

COVER SHEET

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A001

A

B

C

TYPICAL ROOM ADA SIGNAGE

MINIMUM 5/8" HIGH TACTILE TEXT RAISED 1/32" FULL CAPITAL SANS SERIF FONT OR SIMPLE SERIF TYPE FONT

GRADE 2 BRAILLE



*ALL ADA SIGNAGE TO BE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. IN INSTANCES, WHERE THERE IS NO WALL SPACE ADJACENT TO THE LATCH SIDE OF THE DOOR (INCLUDING DOUBLE-LEAF DOORS) SIGNAGE SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL. ALL ADA SIGNAGE SHALL BE MOUNTED 5'-0" TO THE CENTERLINE OF THE SIGN. A PERSON MUST BE ABLE TO APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

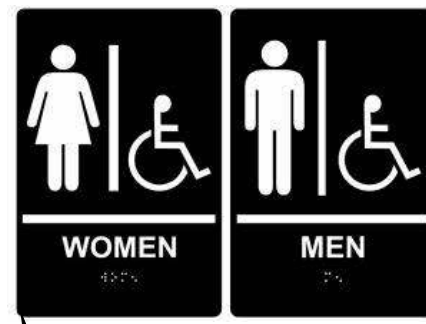
TYPICAL RESTROOM ADA SIGNAGE

PICTOGRAM BORDER OR BACKGROUND FIELD MINIMUM 6" HIGH

MINIMUM 5/8" HIGH TACTILE TEXT RAISED 1/32" FULL CAPITAL SANS SERIF FONT OR SIMPLE SERIF TYPE FONT

GRADE 2 BRAILLE

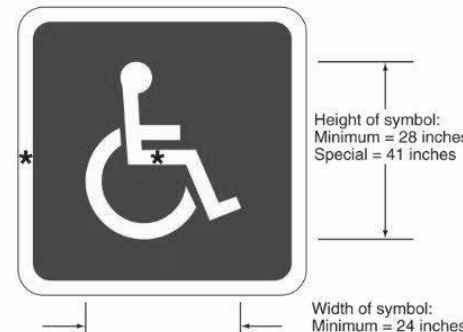
PROVIDE AT UNISEX TOILET



PROVIDE AT TOILET ROOMS

INTERNATIONAL ACCESSIBILITY SIGN

PROVIDE AT ADA TOILET STALL

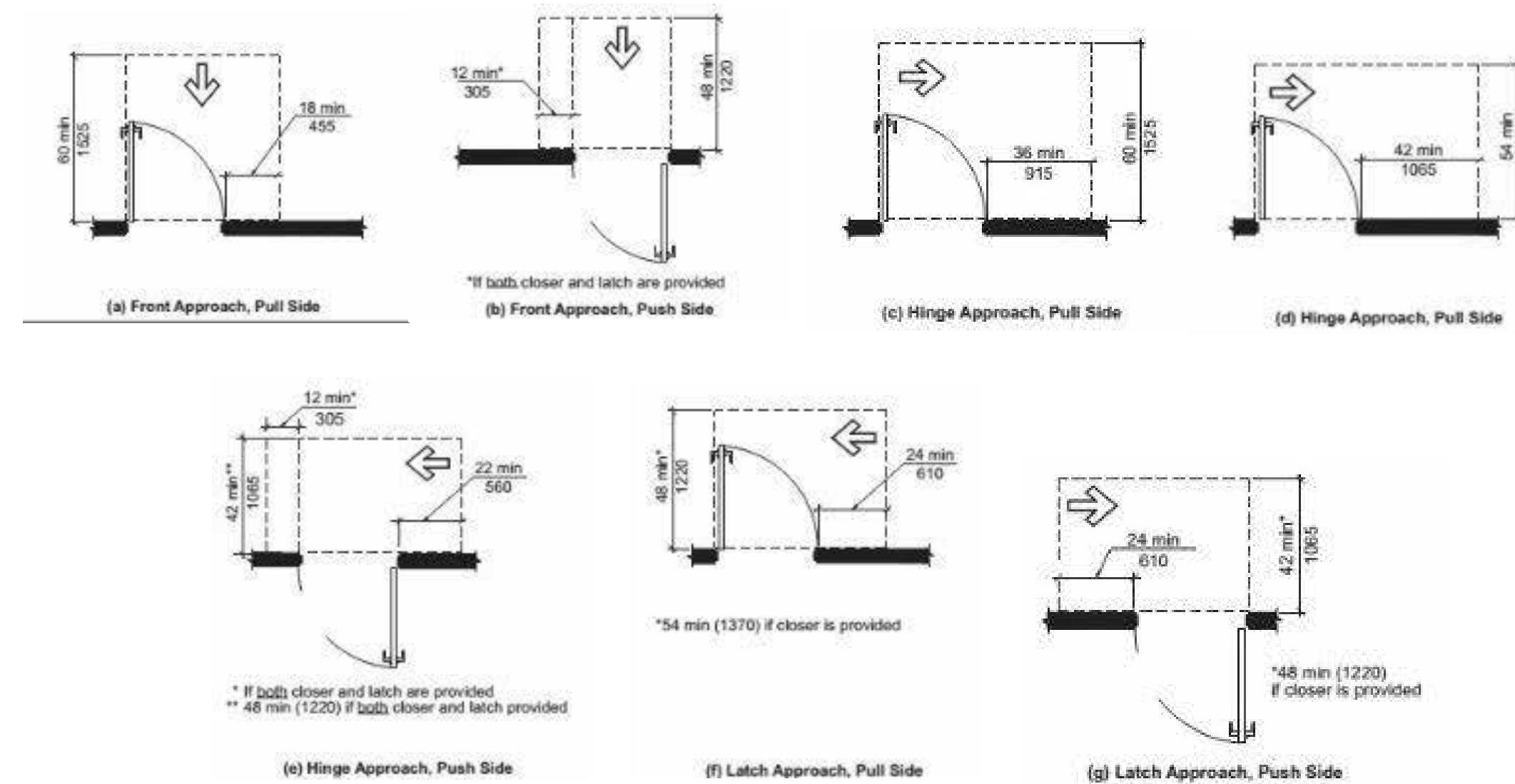


*Sticker width: Minimum = 3 inches Special = 4 inches

A1
A002

A2
A002

TYPICAL ADA SIGNAGE
SCALE: NOT TO SCALE



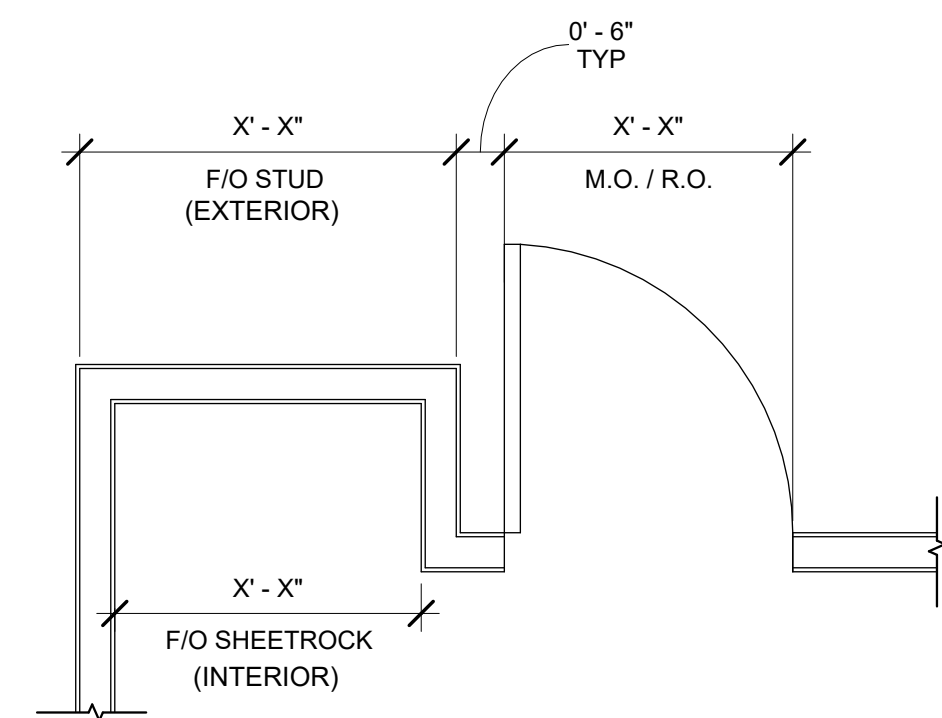
B1
A002

B2
A002

TYPICAL ICC MANEUVERING CLEARANCES AT DOORS
SCALE: NOT TO SCALE

TYPICAL DIMENSIONING NOTES:

- 1. ALL DIMENSIONS ARE FROM FINISH FACE OF GYPSUM WALLBOARD OR MASONRY UNLESS NOTED OTHERWISE.
- 2. THE CONTRACTOR IS RESPONSIBLE TO CHECK PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- 3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- 4. REFER TO PARTITION SCHEDULE FOR THICKNESS OF PARTITIONS.

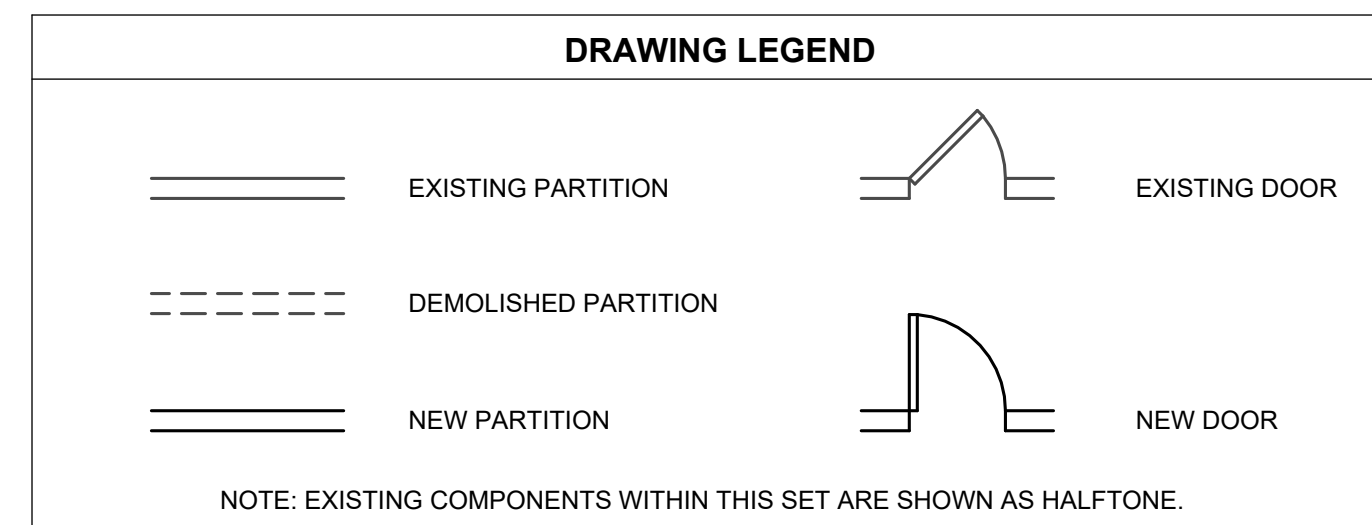
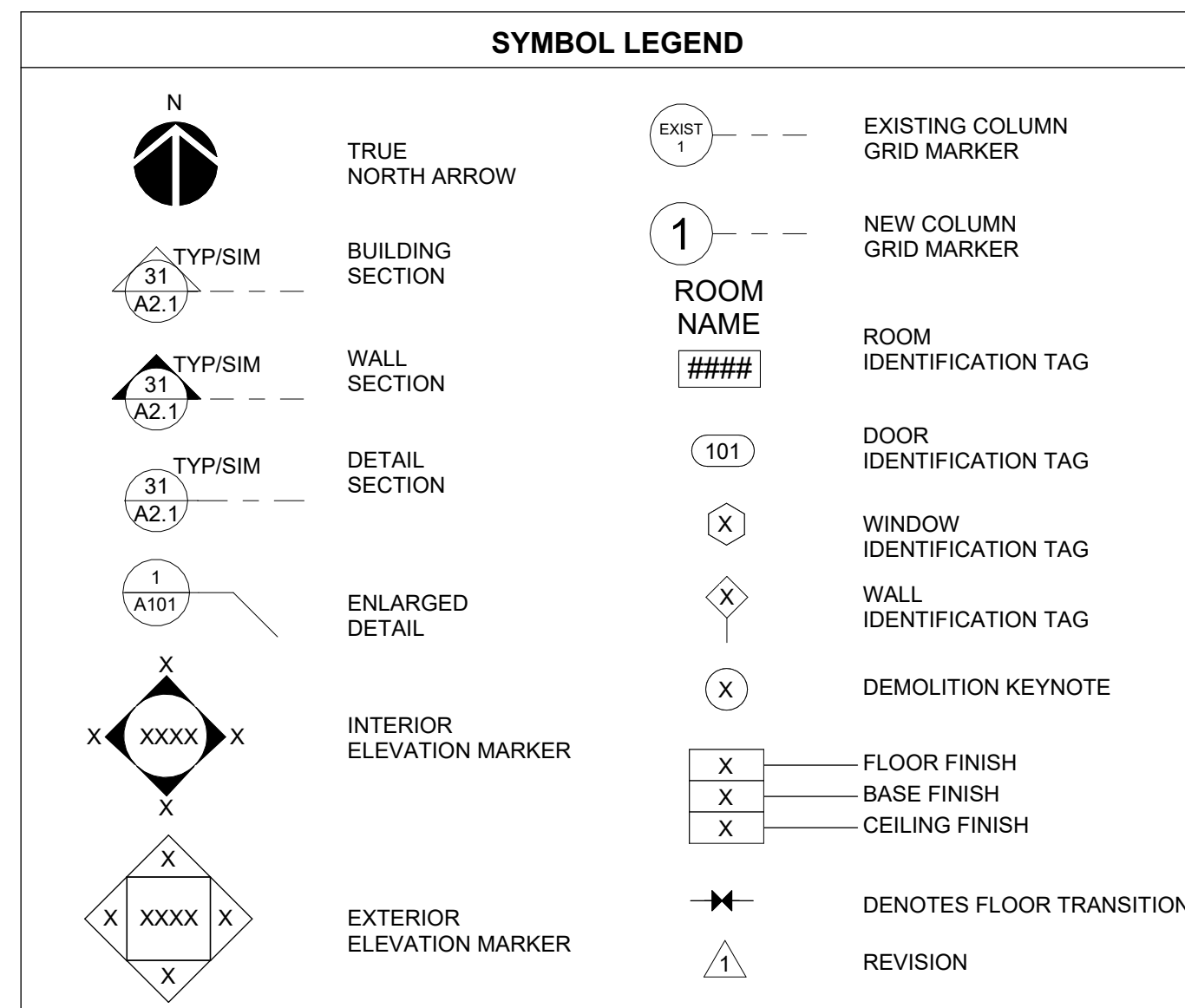


C2
A002

TYPICAL DIMENSIONING DETAIL
SCALE: NOT TO SCALE

C3
A002

SYMBOL LEGEND
SCALE: NOT TO SCALE



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REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

GENERAL INFORMATION

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A002

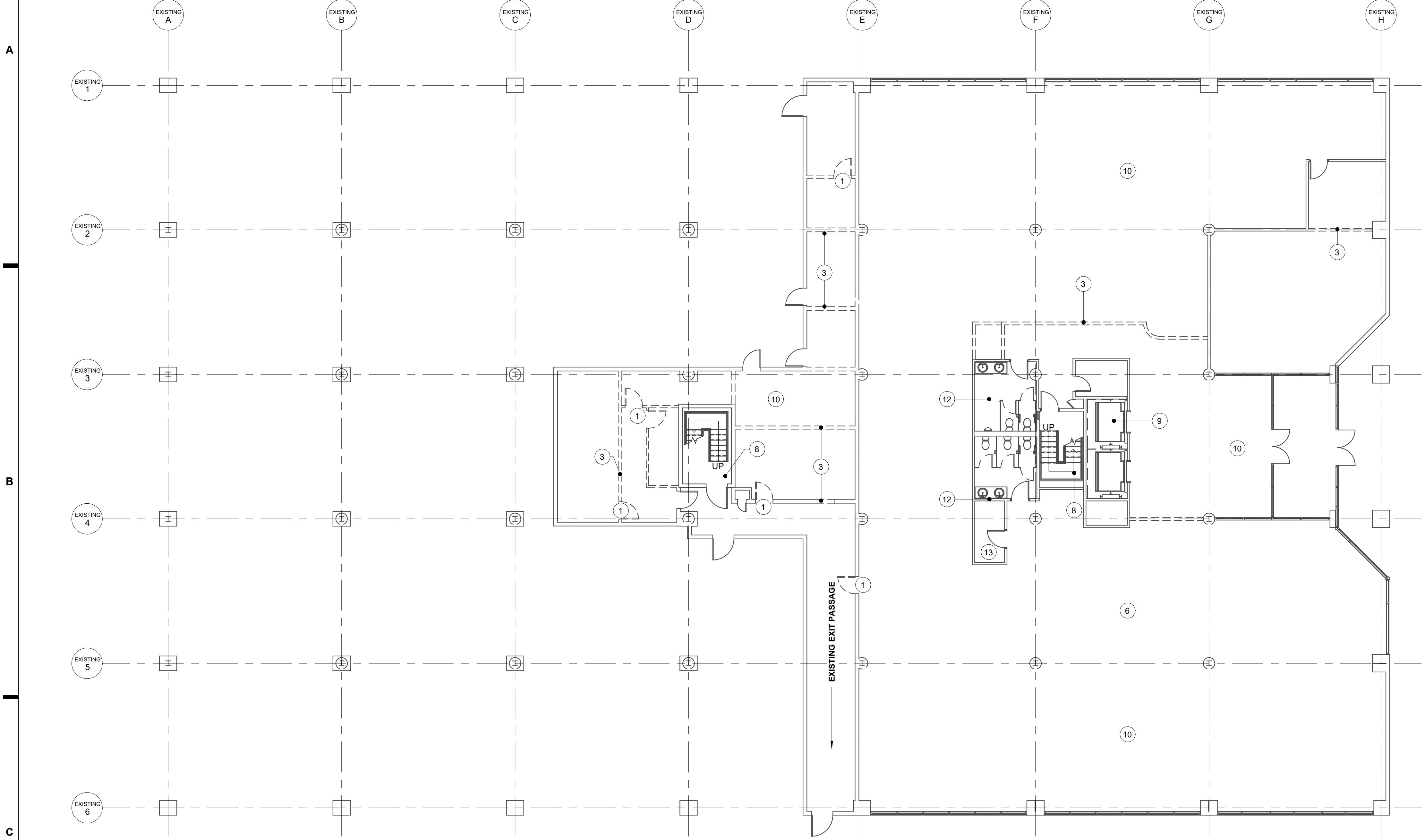
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B1
A104

DEMOLITION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DUMPSTER AND DEMOLITION PERMITS. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LAWFUL AND LEGAL MANNER.
2. CONTRACTOR TO FIELD VERIFY ALL OF THE EXISTING SPACES THAT WILL BE AFFECTED BY THE DEMOLITION AND THE NEW PLANNED CONSTRUCTION.
3. CONTRACTOR TO COORDINATE DEMOLITION WITH ALL PHASES OF CONSTRUCTION PRIOR TO THE START OF DEMOLITION AND NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES IN THE DRAWINGS THAT WOULD PREVENT THE SATISFACTORY COMPLETION OF THE PROPOSED WORK.
4. CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SALVAGED.
5. CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO ANY SPECIFIC BUILDING REGULATIONS WITH REGARDS TO DEMOLITION AND TO COMPLY WITH ANY BUILDING WIDE OR LOCAL MUNICIPAL REGULATIONS REGARDING HOURS IN WHICH DEBRIS CAN BE REMOVED FROM THE BUILDING AND SITE.
6. CONTRACTOR TO PROTECT EXISTING BUILDING FINISHES AND MATERIALS TO REMAIN AS REQUIRED. CONTRACTOR TO SAW CUT AND REMOVE MATERIAL IN A WAY WHICH WILL MINIMIZE DAMAGE TO ADJACENT FINISHES TO REMAIN. EXISTING MATERIALS AND FINISHES DISTURBED BY THE DEMOLITION SHALL BE PATCHED TO MATCH THE ADJACENT AREA TO MAINTAIN A UNIFORM APPEARANCE.
7. ALL ELECTRICAL POWER IN WORK AREAS TO BE DISCONNECTED AND MADE SAFE BY A LICENSED ELECTRICIAN PRIOR TO START OF DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY LIGHTS/POWER AND LIGHTING THROUGHOUT THE COURSE OF THE PROJECT. PROVIDE TEMPORARY LIFE SAFETY SYSTEMS AS REQUIRED BY LOCAL A.H.J.
8. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES INCLUDING OSHA.

B5	GENERAL DEMOLITION NOTES
A101	SCALE: NO SCALE

- ① EXISTING DOOR TO BE REMOVED. TYPICAL @ ALL DASHED DOORS.
- ② EXISTING STOREFRONT SYSTEM PORTION TO BE REMOVED.
- ③ EXISTING WALL TO BE DEMOLISHED TYPICAL @ ALL DASHED WALLS
- ④ EXISTING OPENING TO REMAIN
- ⑤ EXISTING WINDOW TO BE REMOVED. PORTION OF EXISTING OPENING TO REMAIN FOR NEW ELEVATOR SHAFT
- ⑥ EXISTING CEILING AND LIGHT FIXTURES TO BE REMOVED TYPICAL AT EACH FLOOR
- ⑦ EXISTING PLUMBING FIXTURES TO BE REMOVED.
- ⑧ EXISTING STAIR TO REMAIN
- ⑨ EXISTING ELEVATOR SHAFTS AND CORE TO REMAIN
- ⑩ REMOVE EXISTING FLOOR FINISH TO EXISTING CONCRETE SLAB. PREPARE EXISTING SLAB FOR NEW FINISHES.
- ⑪ EXTERIOR WINDOWS, EIFS AND METAL STUD FRAMING TO BE REMOVED AS REQUIRED TO CONSTRUCT NEW ELEVATOR STRUCTURE. SEE STRUCTURAL + ARCHITECTURAL DRAWINGS
- ⑫ EXISTING RESTROOMS TO REMAIN
- ⑬ EXISTING JANITOR ROOM TO REMAIN

C5	DEMOLITION KEY NOTES
A101	SCALE: NO SCALE



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STORAGE WAREHOUSE
615 ERIE BLVD W SYRACUSE, NY

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024
2	Revision 2	02/12/2024
3	Revision 3	02/14/2024

**FIRST FLOOR
DEMOLITION
PLAN**

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A101

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C1	FIRST FLOOR DEMOLITION PLAN
A101	SCALE: 3/32" = 1'-0"

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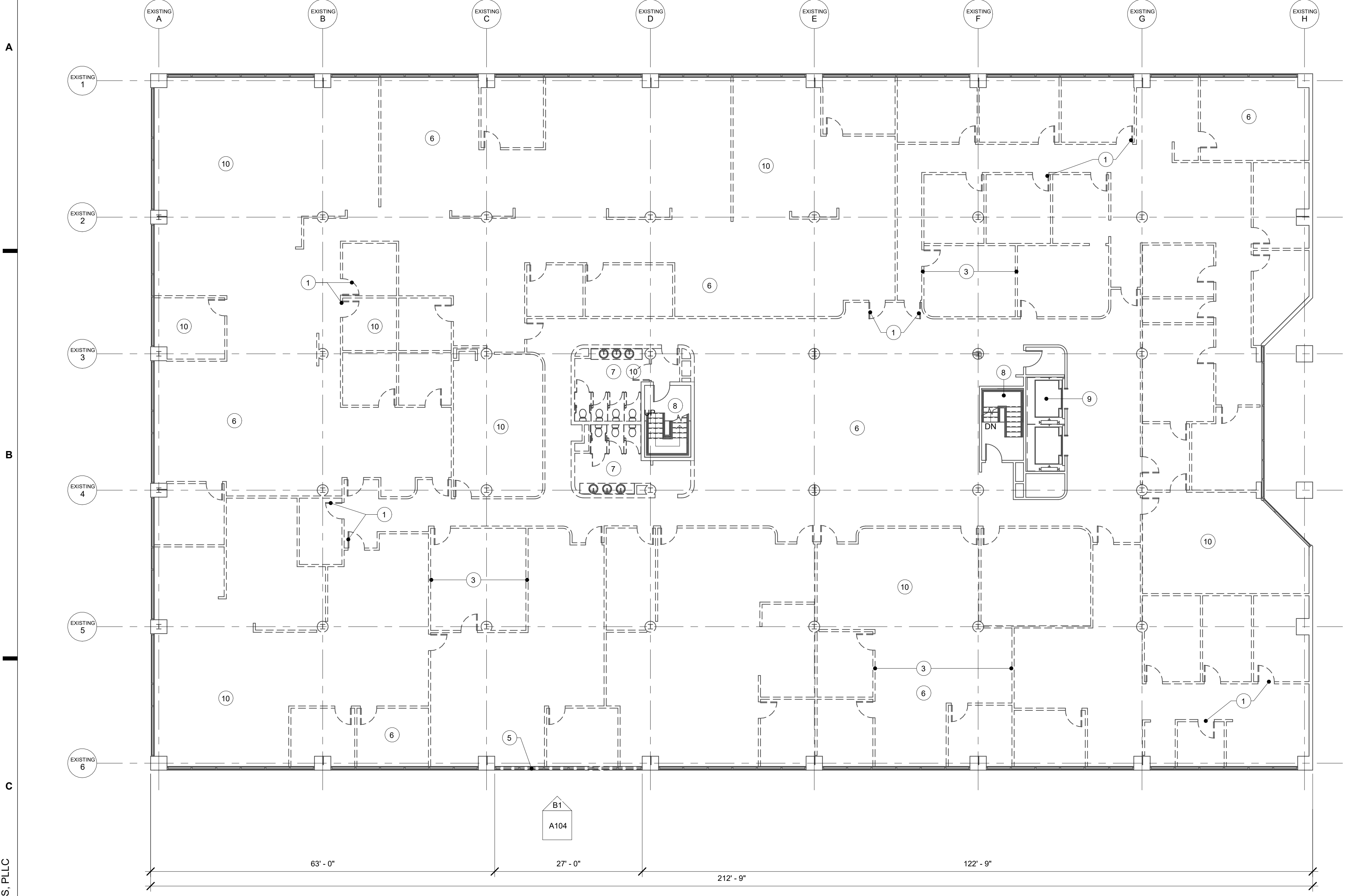
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DEMOLITION NOTES:

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- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES INCLUDING OSHA.

B5	GENERAL DEMOLITION NOTES
A101	SCALE: NO SCALE

- EXISTING DOOR TO BE REMOVED. TYPICAL @ ALL DASHED DOORS.
- EXISTING STOREFRONT SYSTEM PORTION TO BE REMOVED.
- EXISTING WALL TO BE DEMOLISHED TYPICAL @ ALL DASHED WALLS
- EXISTING OPENING TO REMAIN
- EXISTING WINDOW TO BE REMOVED. PORTION OF EXISTING OPENING TO REMAIN FOR NEW ELEVATOR SHAFT
- EXISTING CEILING AND LIGHT FIXTURES TO BE REMOVED TYPICAL AT EACH FLOOR
- EXISTING PLUMBING FIXTURES TO BE REMOVED.
- EXISTING STAIR TO REMAIN
- EXISTING ELEVATOR SHAFTS AND CORE TO REMAIN
- REMOVE EXISTING FLOOR FINISH TO EXISTING CONCRETE SLAB. PREPARE EXISTING SLAB FOR NEW FINISHES.
- EXTERIOR WINDOWS, EIFS AND METAL STUD FRAMING TO BE REMOVED AS REQUIRED TO CONSTRUCT NEW ELEVATOR STRUCTURE. SEE STRUCTURAL + ARCHITECTURAL DRAWINGS
- EXISTING RESTROOMS TO REMAIN
- EXISTING JANITOR ROOM TO REMAIN

C5	DEMOLITION KEY NOTES
A101	SCALE: NO SCALE



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REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

SECOND FLOOR DEMOLITION PLAN

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A102

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C1	SECOND FLOOR DEMOLITION PLAN
A102	SCALE: 3/32" = 1'-0"

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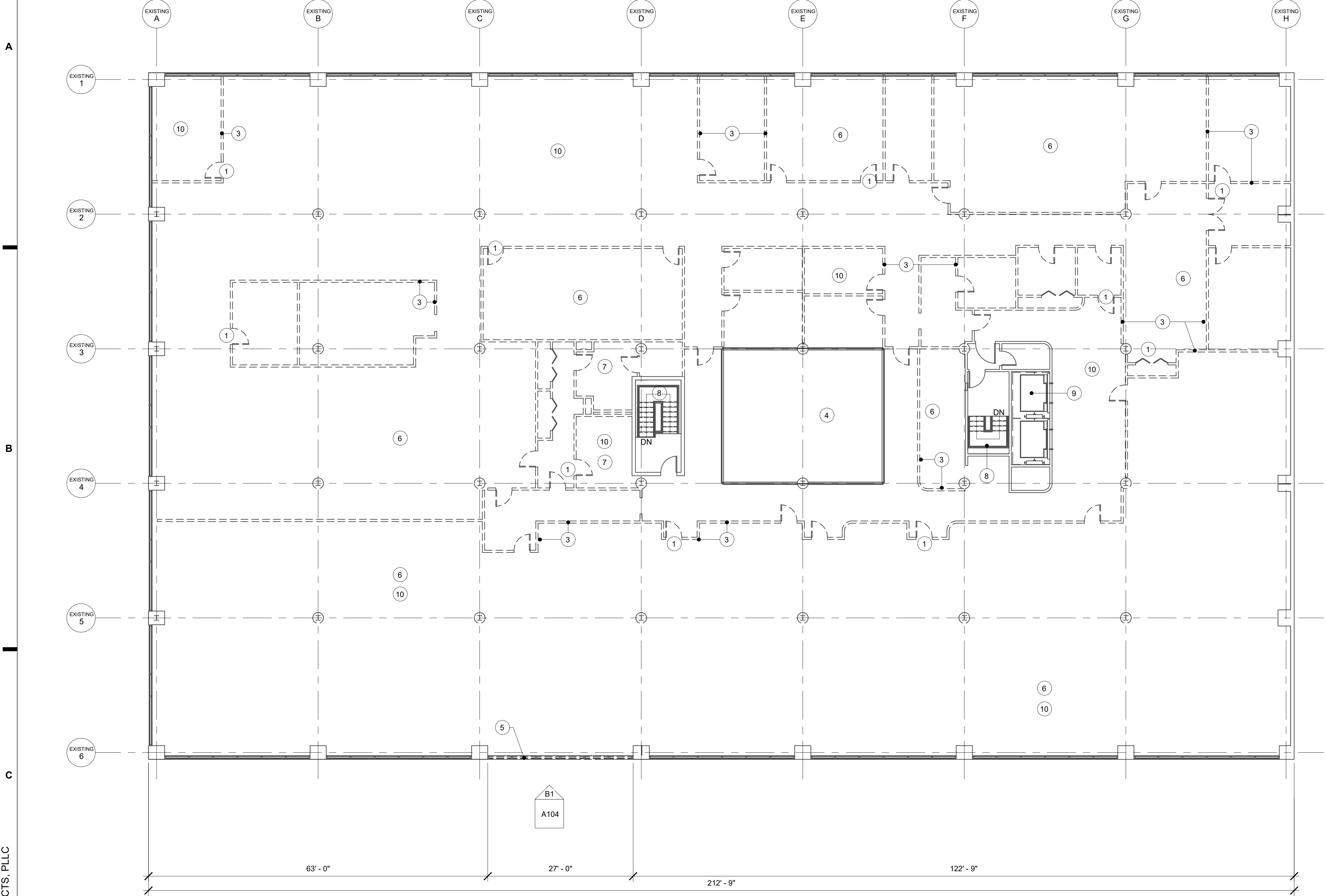
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DEMOLITION NOTES:

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8. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES INCLUDING OSHA.

B5	GENERAL DEMOLITION NOTES
A101	SCALE: NO SCALE

- 1 EXISTING DOOR TO BE REMOVED. TYPICAL @ ALL DASHED DOORS.
- 2 EXISTING STOREFRONT SYSTEM PORTION TO BE REMOVED.
- 3 EXISTING WALL TO BE DEMOLISHED TYPICAL @ ALL DASHED WALLS
- 4 EXISTING OPENING TO REMAIN
- 5 EXISTING WINDOW TO BE REMOVED. PORTION OF EXISTING OPENING TO REMAIN FOR NEW ELEVATOR SHAFT
- 6 EXISTING CEILING AND LIGHT FIXTURES TO BE REMOVED TYPICAL AT EACH FLOOR
- 7 EXISTING PLUMBING FIXTURES TO BE REMOVED.
- 8 EXISTING STAIR TO REMAIN
- 9 EXISTING ELEVATOR SHAFTS AND CORE TO REMAIN
- 10 REMOVE EXISTING FLOOR FINISH TO EXISTING CONCRETE SLAB. PREPARE EXISTING SLAB FOR NEW FINISHES.
- 11 EXTERIOR WINDOWS, EIFS AND METAL STUD FRAMING TO BE REMOVED AS REQUIRED TO CONSTRUCT NEW ELEVATOR STRUCTURE. SEE STRUCTURAL + ARCHITECTURAL DRAWINGS
- 12 EXISTING RESTROOMS TO REMAIN
- 13 EXISTING JANITOR ROOM TO REMAIN

C5	DEMOLITION KEY NOTES
A101	SCALE: NO SCALE

C1	THIRD FLOOR DEMOLITION PLAN
A103	SCALE: 3/32" = 1'-0"



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REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

**THIRD FLOOR
DEMOLITION
PLAN**

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A103

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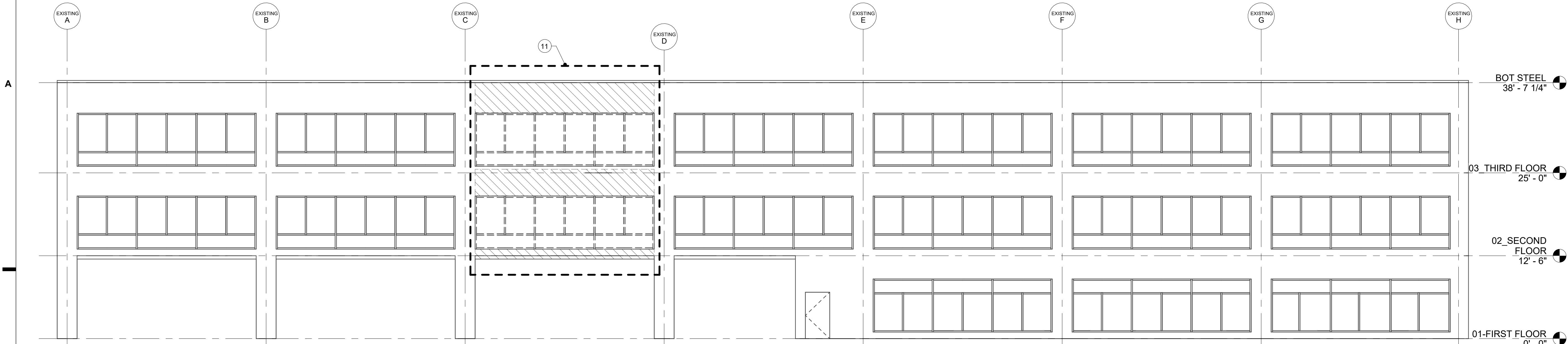
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BOT STEEL
38' - 7 1/4"

03-THIRD FLOOR
25' - 0"

02-SECOND FLOOR
12' - 6"

01-FIRST FLOOR
0' - 0"

B1 EAST DEMOLITION ELEVATION
 A104 SCALE: 1/8" = 1'-0"

DEMOLITION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DUMPSTER AND DEMOLITION PERMITS. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LAWFUL AND LEGAL MANNER.
- CONTRACTOR TO FIELD VERIFY ALL OF THE EXISTING SPACES THAT WILL BE AFFECTED BY THE DEMOLITION AND THE NEW PLANNED CONSTRUCTION.
- CONTRACTOR TO COORDINATE DEMOLITION WITH ALL PHASES OF CONSTRUCTION PRIOR TO THE START OF DEMOLITION AND NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES IN THE DRAWINGS THAT WOULD PREVENT THE SATISFACTORY COMPLETION OF THE PROPOSED WORK.
- CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SALVAGED.
- CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER'S REPRESENTATIVE AS TO ANY SPECIFIC BUILDING REGULATIONS WITH REGARDS TO DEMOLITION AND TO COMPLY WITH ANY BUILDING WIDE OR LOCAL MUNICIPAL REGULATIONS REGARDING HOURS IN WHICH DEBRIS CAN BE REMOVED FROM THE BUILDING AND SITE.
- CONTRACTOR TO PROTECT EXISTING BUILDING FINISHES AND MATERIALS TO REMAIN AS REQUIRED. CONTRACTOR TO SAW CUT AND REMOVE MATERIAL IN A WAY WHICH WILL MINIMIZE DAMAGE TO ADJACENT FINISHES TO REMAIN. EXISTING MATERIALS AND FINISHES DISTURBED BY THE DEMOLITION SHALL BE PATCHED TO MATCH THE ADJACENT AREA TO MAINTAIN A UNIFORM APPEARANCE.
- ALL ELECTRICAL POWER IN WORK AREAS TO BE DISCONNECTED AND MADE SAFE BY A LICENSED ELECTRICIAN PRIOR TO START OF DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY LIGHTS/POWER AND LIGHTING THROUGHOUT THE COURSE OF THE PROJECT. PROVIDE TEMPORARY LIFE SAFETY SYSTEMS AS REQUIRED BY LOCAL AHJ.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AS WELL AS ANY REGULATORY AGENCIES INCLUDING OSHA.

- EXISTING DOOR TO BE REMOVED. TYPICAL @ ALL DASHED DOORS.
- EXISTING STOREFRONT SYSTEM PORTION TO BE REMOVED.
- EXISTING WALL TO BE DEMOLISHED TYPICAL @ ALL DASHED WALLS
- EXISTING OPENING TO REMAIN
- EXISTING WINDOW TO BE REMOVED. PORTION OF EXISTING OPENING TO REMAIN FOR NEW ELEVATOR SHAFT
- EXISTING CEILING AND LIGHT FIXTURES TO BE REMOVED TYPICAL AT EACH FLOOR
- EXISTING PLUMBING FIXTURES TO BE REMOVED.
- EXISTING STAIR TO REMAIN
- EXISTING ELEVATOR SHAFTS AND CORE TO REMAIN
- REMOVE EXISTING FLOOR FINISH TO EXISTING CONCRETE SLAB. PREPARE EXISTING SLAB FOR NEW FINISHES.
- EXTERIOR WINDOWS, EIFS AND METAL STUD FRAMING TO BE REMOVED AS REQUIRED TO CONSTRUCT NEW ELEVATOR STRUCTURE. SEE STRUCTURAL + ARCHITECTURAL DRAWINGS
- EXISTING RESTROOMS TO REMAIN
- EXISTING JANITOR ROOM TO REMAIN



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STORAGE WAREHOUSE
615 ERIE BLVD W SYRACUSE, NY

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REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

EXTERIOR DEMOLITION ELEVATION

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A104

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C5 GENERAL DEMOLITION NOTES
 A101 SCALE: NO SCALE

C5 DEMOLITION KEY NOTES
 A101 SCALE: NO SCALE

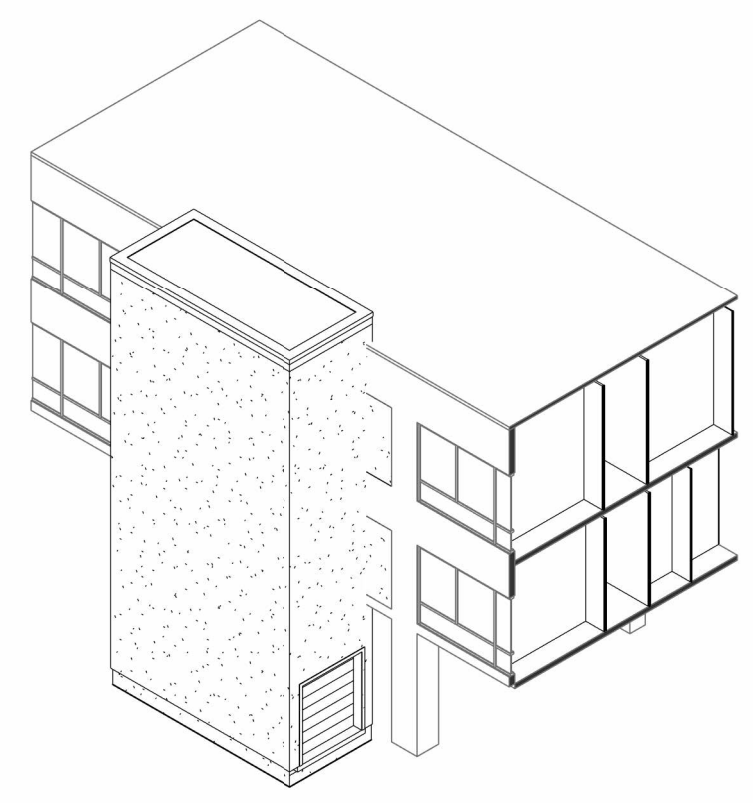
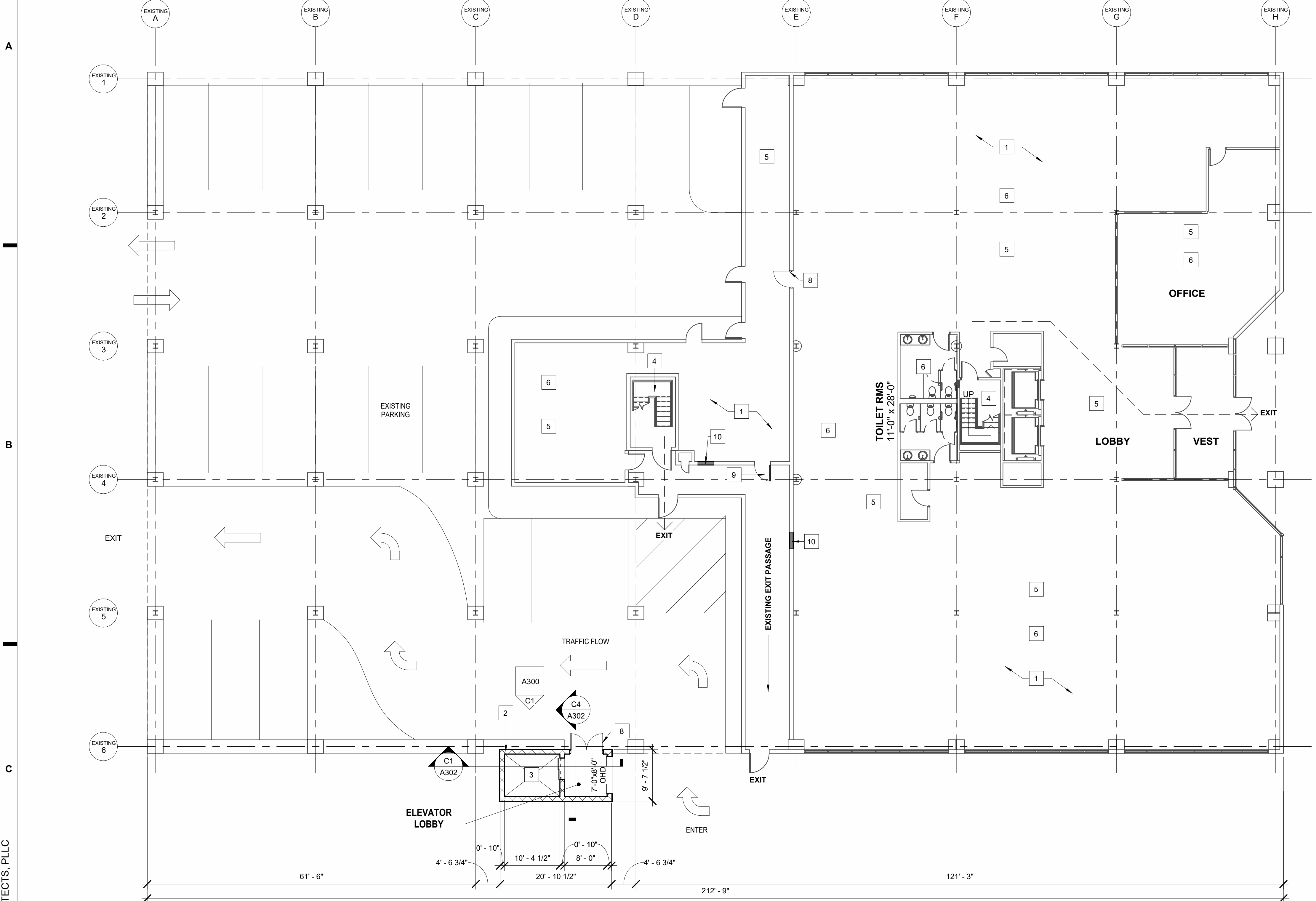
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A6	PARTIAL 3D VIEW
A200	SCALE:

GENERAL NOTE:
 STORAGE LAYOUT & INSTALLATION SHALL BE PROVIDED BY OTHERS UNDER SEPERATE PERMIT.
 LAYOUT TO PROVIDE ALL REQUIRED EXIT WIDTHS & ACCESS ROUTES.
 LAYOUT TO COMPLY W/ SECTION 1108.3 FOR QUANTITY & LOCATION OF ACCESSIBLE UNITS.

STORAGE WAREHOUSE
 615 ERIE BLVD W SYRACUSE, NY

- 1 NOT USED
- 2 NEW 10" CMU WALL PER STRUCTURAL DWGS
- 3 ELEVATOR PER KONE DRAWINGS
- 4 EXISTING STAIR TO REMAIN. REPAIR AS REQUIRED.
- 5 EXISTING FLOOR SLAB
- 6 CEILING TO BE EXPOSED TO DECKING ABOVE
- 7 INFILL EXISTING EXTERIOR WALL W/ 6" METAL GAUGE STUDS @ 24" O.C. W/ GYPSUM WALLBOARD FINISH PANTED
- 8 NEW 6'-0" x 7'-0" DOUBLE METAL DOOR W/ HM FRAME
- 9 NEW 3'-0" x 7'-0" HM DR W/ HM FRAME - 60 MIN FIRE RATING
- 10 INFILL EXISTING WALL - TO MATCH EXG WALL WIDTH CMU TO MATCH EXISTING 1-HR RATED

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024
2	Revision 2	02/12/2024
3	Revision 3	02/14/2024

FIRST FLOOR PLAN

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A200

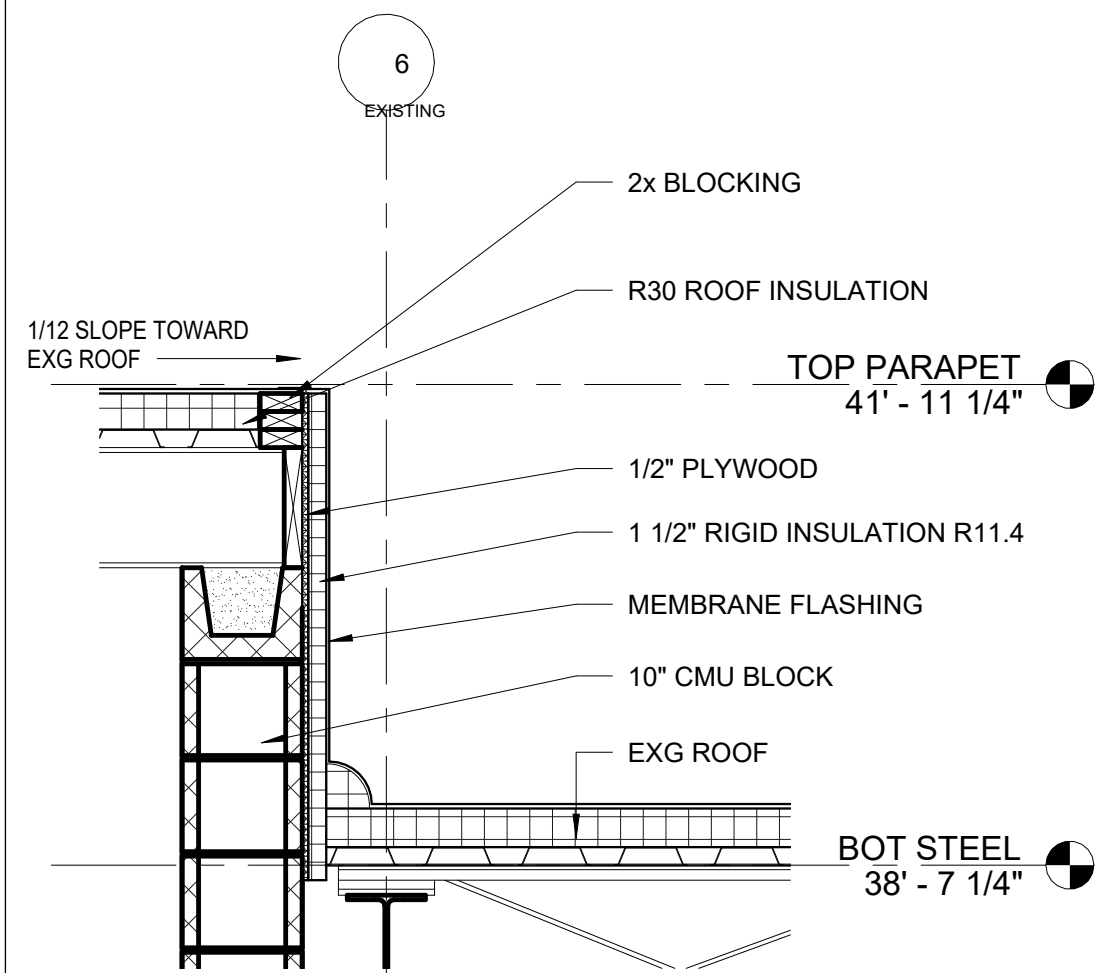
C1	PROPOSED FIRST FLOOR PLAN
A200	SCALE: 3/32" = 1'-0"

C5	NEW CONSTRUCTION KEY NOTES
A200	SCALE: 1/4" = 1'-0"

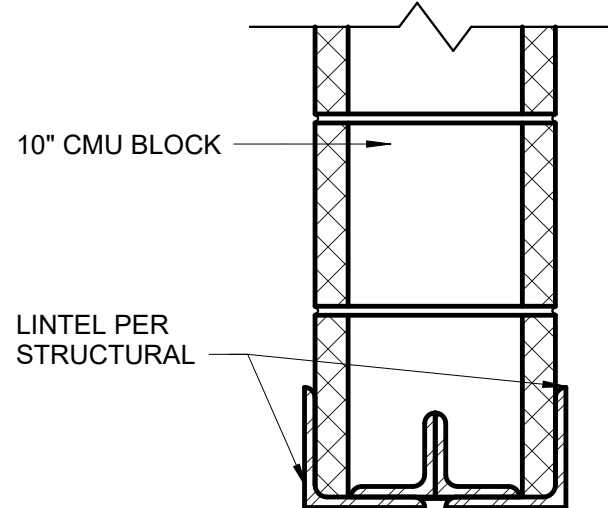
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 LAYOUT TO COMPLY W/ SECTION 1108.3 FOR QUANTITY & LOCATION OF ACCESSIBLE UNITS.



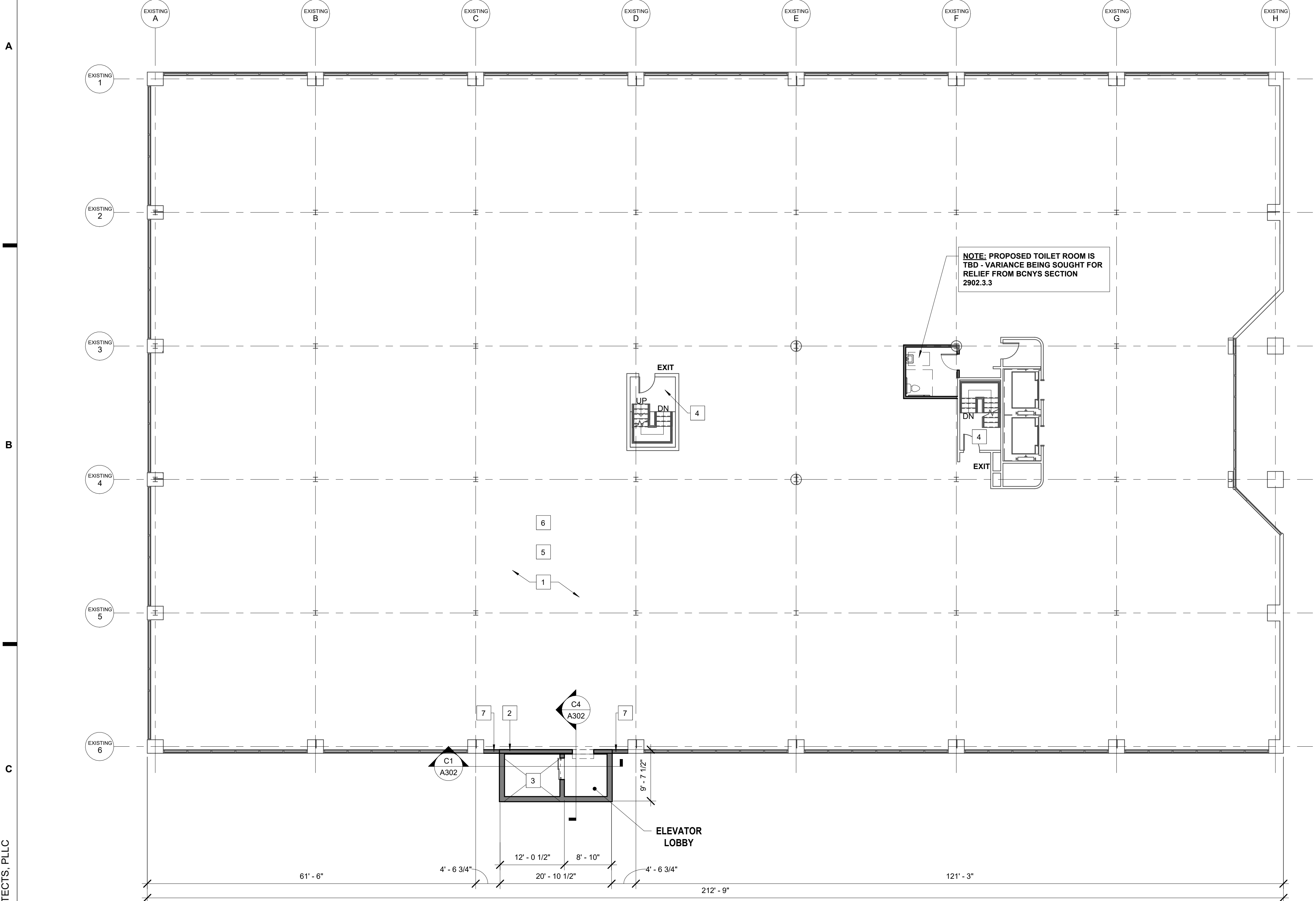
A5 DETAIL @ ROOF ELEVATOR
 A201 SCALE: 3/4" = 1'-0"



B5 DETAIL @ OPENING HEAD
 A201 SCALE: 1 1/2" = 1'-0"

- 1 NOT USED
- 2 NEW 10" CMU WALL PER STRUCTURAL DWGS
- 3 ELEVATOR PER KONE DRAWINGS
- 4 EXISTING STAIR TO REMAIN. REPAIR AS REQUIRED.
- 5 EXISTING FLOOR SLAB
- 6 CEILING TO BE EXPOSED TO DECKING ABOVE
- 7 INFILL EXISTING EXTERIOR WALL W/ 6" METAL GAUGE STUDS @ 24" O.C. W/ GYPSUM WALLBOARD FINISH PANTED
- 8 NEW 6'-0" x 7'-0" DOUBLE METAL DOOR W/ HM FRAME
- 9 NEW 3'-0" x 7'-0" HM DR W/ HM FRAME - 60 MIN FIRE RATING
- 10 INFILL EXISTING WALL - TO MATCH EXG WALL WIDTH CMU TO MATCH EXISTING 1-HR RATED

C5 NEW CONSTRUCTION KEY NOTES
 A200 SCALE: 1/4" = 1'-0"



NOTE: PROPOSED TOILET ROOM IS TBD - VARIANCE BEING SOUGHT FOR RELIEF FROM BCNYS SECTION 2902.3.3

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C1 PROPOSED SECOND FLOOR PLAN
 A201 SCALE: 3/32" = 1'-0"

1 2 3 4 5

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NO.	REVISIONS DESCRIPTION	DATE
1	Revision 1	01/31/2024
3	Revision 3	02/14/2024

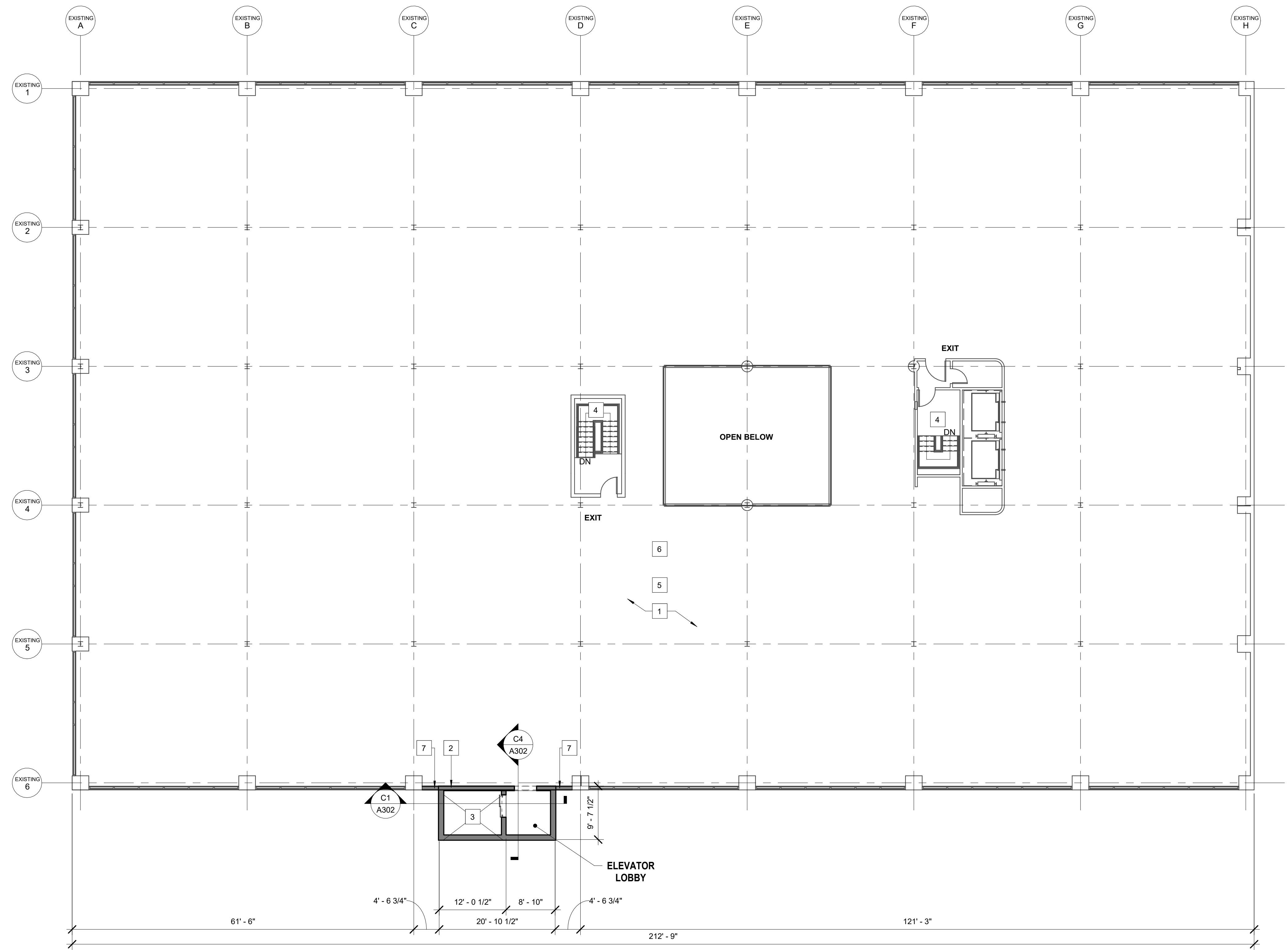
SECOND FLOOR PLAN

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A201

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A B C



GENERAL NOTE:
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 LAYOUT TO PROVIDE ALL REQUIRED EXIT WIDTHS & ACCESS ROUTES.
 LAYOUT TO COMPLY W/ SECTION 1108.3 FOR QUANTITY & LOCATION OF ACCESSIBLE UNITS.

- 1 NOT USED
- 2 NEW 10" CMU WALL PER STRUCTURAL DWGS
- 3 ELEVATOR PER KONE DRAWINGS
- 4 EXISTING STAIR TO REMAIN. REPAIR AS REQUIRED.
- 5 EXISTING FLOOR SLAB
- 6 CEILING TO BE EXPOSED TO DECKING ABOVE
- 7 INFILL EXISTING EXTERIOR WALL W/ 6" METAL GAUGE STUDS @ 24" O.C. W/ GYPSUM WALLBOARD FINISH PANTED
- 8 NEW 6'-0" x 7'-0" DOUBLE METAL DOOR W/ HM FRAME
- 9 NEW 3'-0" x 7'-0" HM DR W/ HM FRAME - 60 MIN FIRE RATING
- 10 INFILL EXISTING WALL - TO MATCH EXG WALL WIDTH CMU TO MATCH EXISTING 1-HR RATED

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NO.	REVISIONS	DESCRIPTION	DATE
1	Revision 1		01/31/2024
3	Revision 3		02/14/2024

THIRD FLOOR PLAN

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

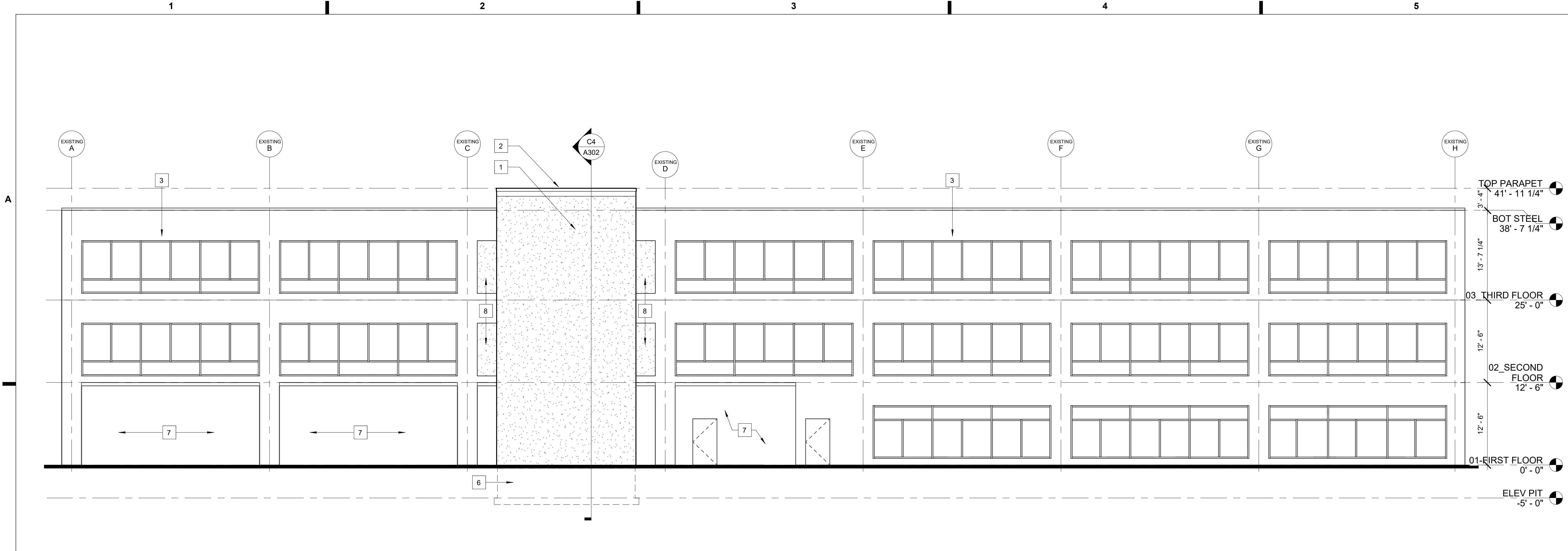
A202

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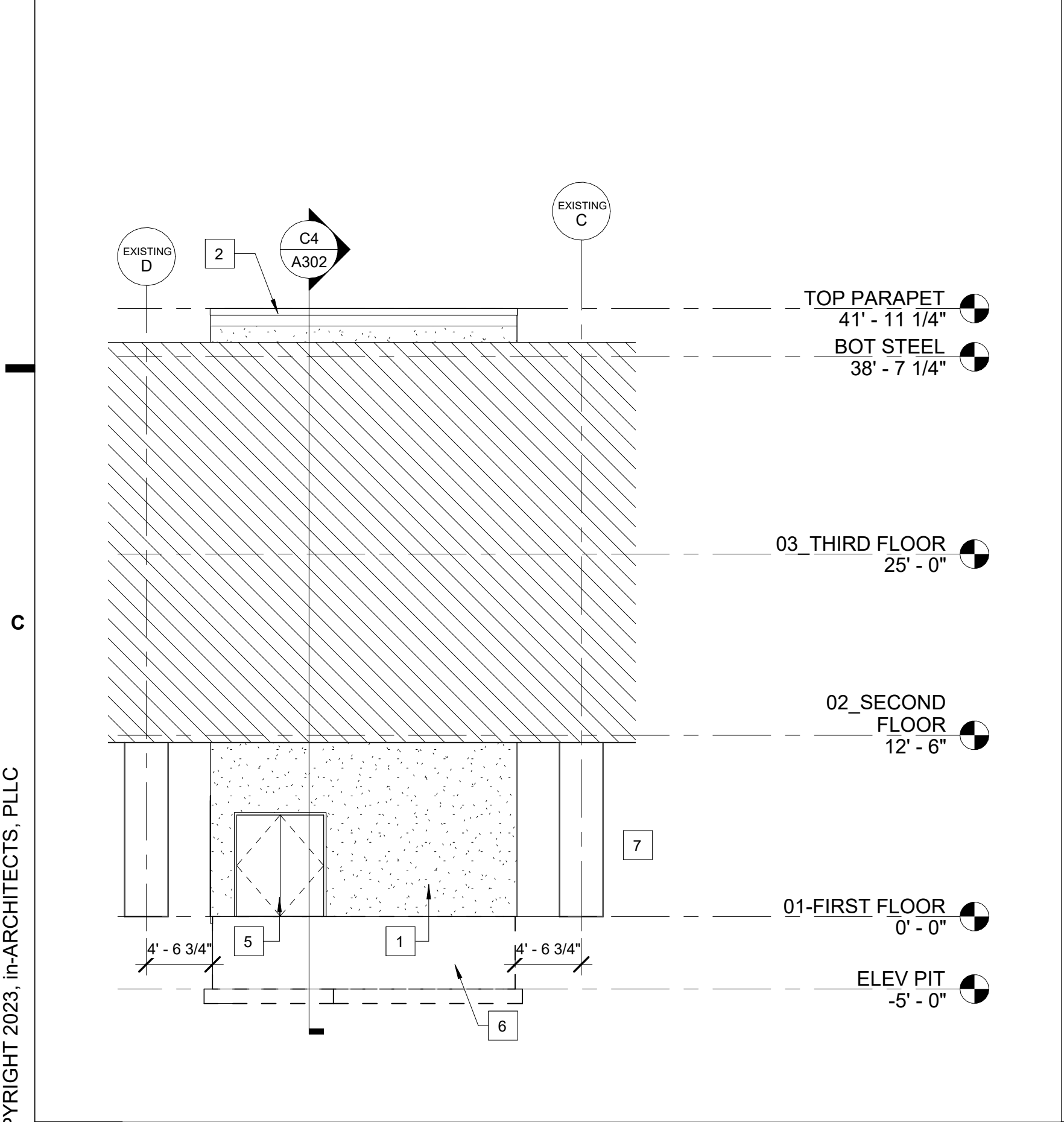
C1 PROPOSED THIRD FLOOR PLAN
 A202 SCALE: 3/32" = 1'-0"

C5 NEW CONSTRUCTION KEY NOTES
 A200 SCALE: 1/4" = 1'-0"

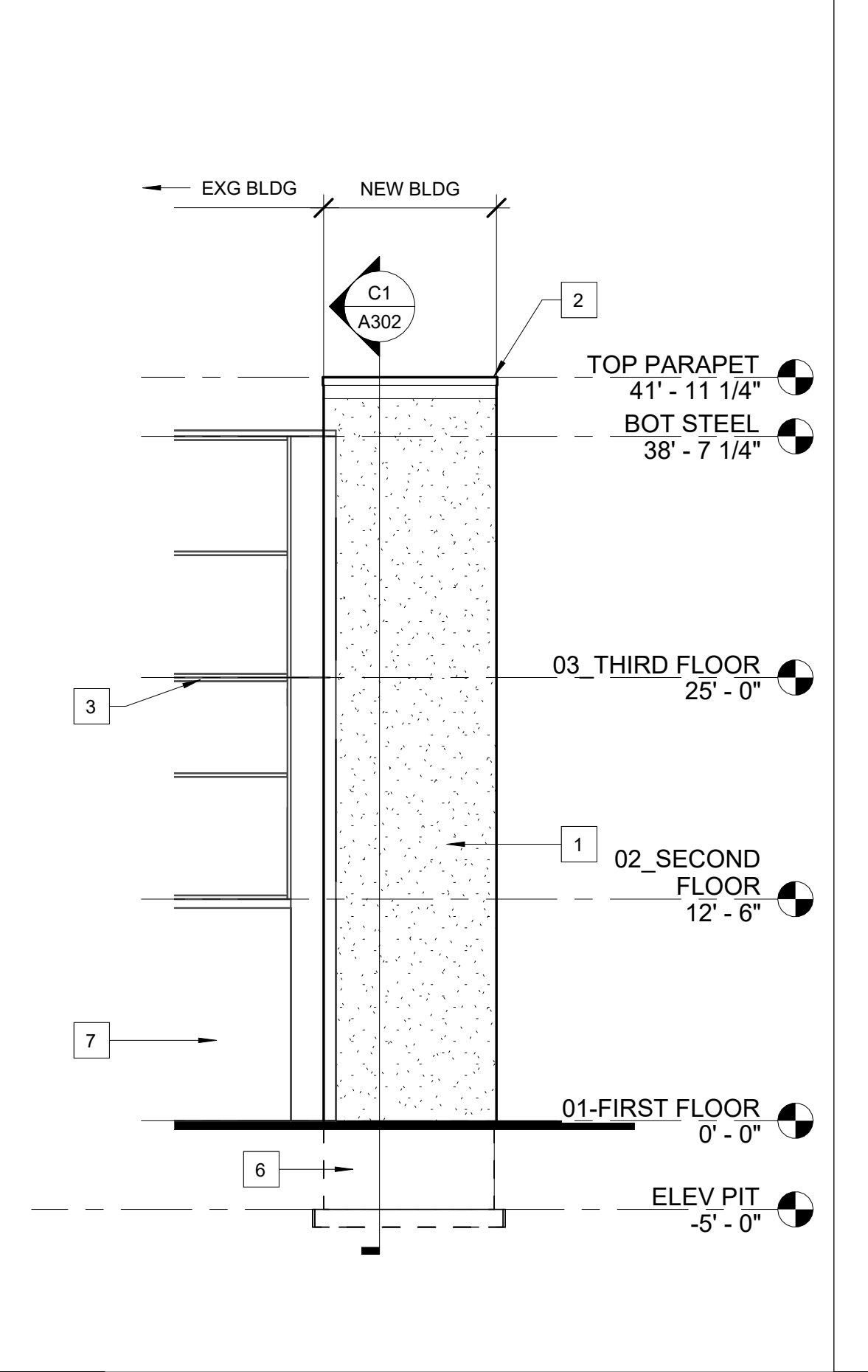
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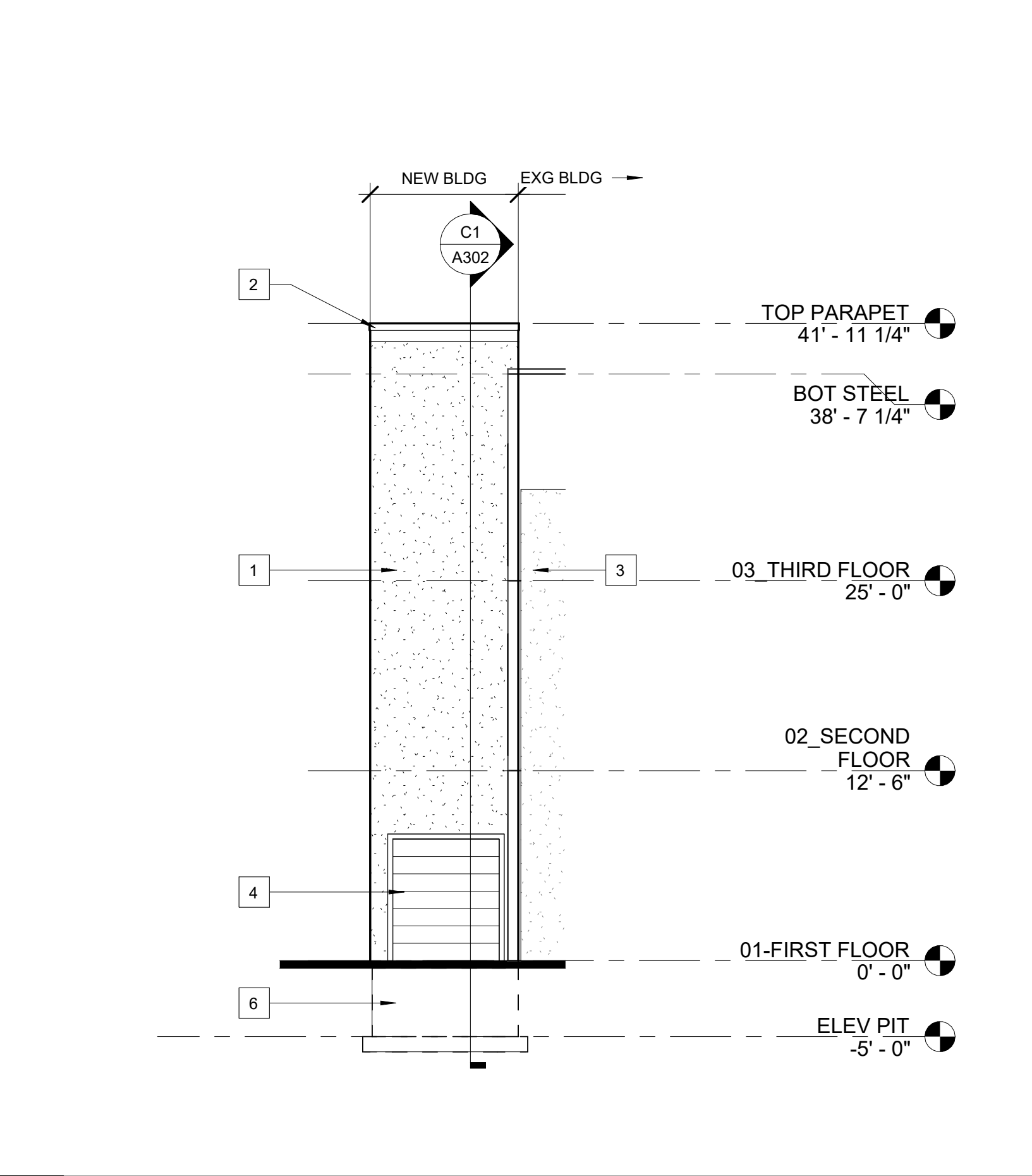
B1 EAST ELEVATION
A300 SCALE: 1/8" = 1'-0"



C1 WEST ELEVATION
A300 SCALE: 1/8" = 1'-0"



C2 SOUTH ELEVATION
A300 SCALE: 1/8" = 1'-0"



C3 NORTH ELEVATION
A300 SCALE: 1/8" = 1'-0"

NEW CONSTRUCTION ELEVATION KEYED NOTES:

- 1 EIFS FINISH EXTERIOR WALL - COLOR TO MATCH EXISTING BUILDING
- 2 ROOF METAL DRIP EDGE
- 3 EXISTING BUILDING
- 4 7'-0" x 8'-0" INSULATED OVERHEAD DOOR
- 5 NEW 3'-0" x 7'-0" INSULATED STEEL AND FRAME
- 6 CONCRETE FOOTERS PER SECTION + STRUCTURAL DWGS
- 7 OPEN FOR PARKING ON FIRST FLOOR
- 8 INFILL EXISTING EXTERIOR WALL W/ 6" METAL GAUGE STUDS @ 24" O.C. W/ GYPSUM WALLBOARD FINISH PANTED

C5 NEW CONSTRUCTION KEY ELEVATION NOTES
A300 SCALE: 1/4" = 1'-0"

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REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

EXTERIOR ELEVATIONS

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A300

FULLY-ADHERED SINGLE PLY MEMBRANE ROOF
 FIRESTONE RUBBERGUARD EPDM OR EQUAL
 OVER 1/2" FIRESTONE ISOGARD HD OR EQUAL
 OVER R-30 POLISOCYANURATE INSULATION
 MECHANICALLY FASTENED TO 1 1/2" METAL ROOF
 DECK W/ APPROVED PLATE TYPE FASTENERS

NEW BEAM PER
 STRUCTURAL DWGS

EIFS W/ R11.4 RIGID
 INSULATION MINIMUM

10" CMU BLOCK

NOTE: PROPOSED ELEVATOR STRUCTURE
 ENVELOPE SHALL MEET PRESCRIPTIVE
 REQUIREMENTS OF ECCCNNYS 2020

ELEVATOR CAB PER
 KONE DRAWINGS

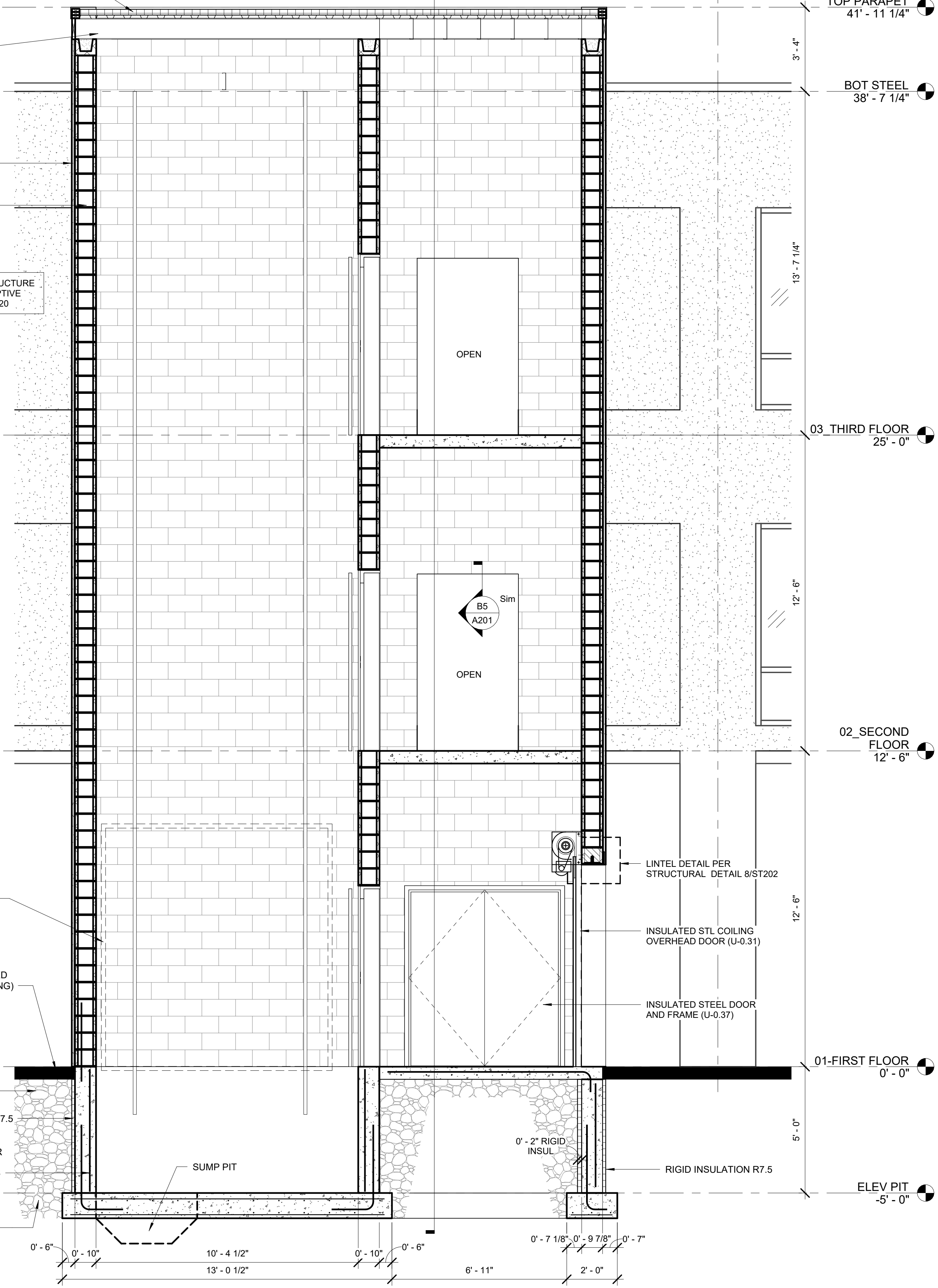
NEW GRADE (SLOPED
 AWAY FROM BUILDING)

95% COMPACTED
 GRANULAR FILL

RIGID INSULATION R7.5

REBAR AND FOOTER
 DESIGNATION PER
 STRUCTURAL DWGS

CRUSHED GRAVEL



C1 SECTION @ ELEVATOR AND LOBBY
 A302 SCALE: 3/8" = 1'-0"

FULLY-ADHERED SINGLE PLY MEMBRANE ROOF
 FIRESTONE RUBBERGUARD EPDM OR EQUAL
 OVER 1/2" FIRESTONE ISOGARD HD OR EQUAL
 OVER R-30 POLISOCYANURATE INSULATION
 MECHANICALLY FASTENED TO 1 1/2" METAL ROOF
 DECK W/ APPROVED PLATE TYPE FASTENERS

ROOF EDGE DETAIL PER
 STRUCTURAL 13/ST202

NOTE: PROPOSED ELEVATOR STRUCTURE
 ENVELOPE SHALL MEET PRESCRIPTIVE
 REQUIREMENTS OF ECCCNNYS 2020

EIFS W/ R11.4 RIGID
 INSULATION MINIMUM

10" CMU BLOCK

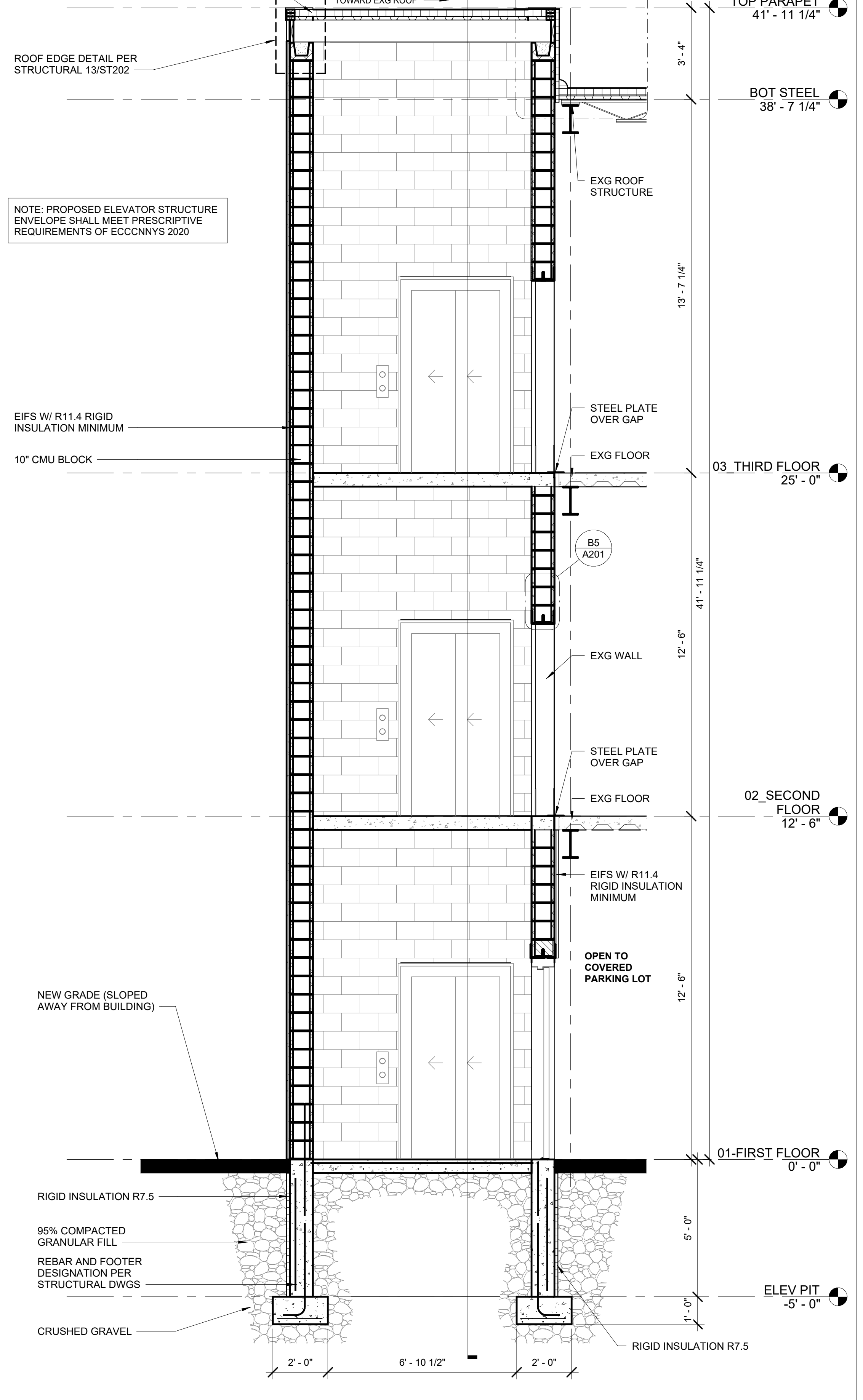
NEW GRADE (SLOPED
 AWAY FROM BUILDING)

RIGID INSULATION R7.5

95% COMPACTED
 GRANULAR FILL

REBAR AND FOOTER
 DESIGNATION PER
 STRUCTURAL DWGS

CRUSHED GRAVEL



C4 SECTION @ ELEVATOR
 A302 SCALE: 3/8" = 1'-0"



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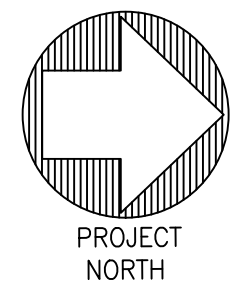
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 ANY DISCREPANCIES.

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 1	01/31/2024

**WALL
 SECTIONS**

Project Status	PERMIT
Date	10/18/2024
Project Number	23073
Drawn By	AMR
Checked By	JRK

A302



PROJECT
615 ERIE BLVD. - FLOOR REINFORCING PROJECT
 615 ERIE BOULEVARD
 SYRACUSE, NEW YORK 13204
 DRAWING TITLE
SECOND FLOOR FRAMING - REINFORCING PLAN



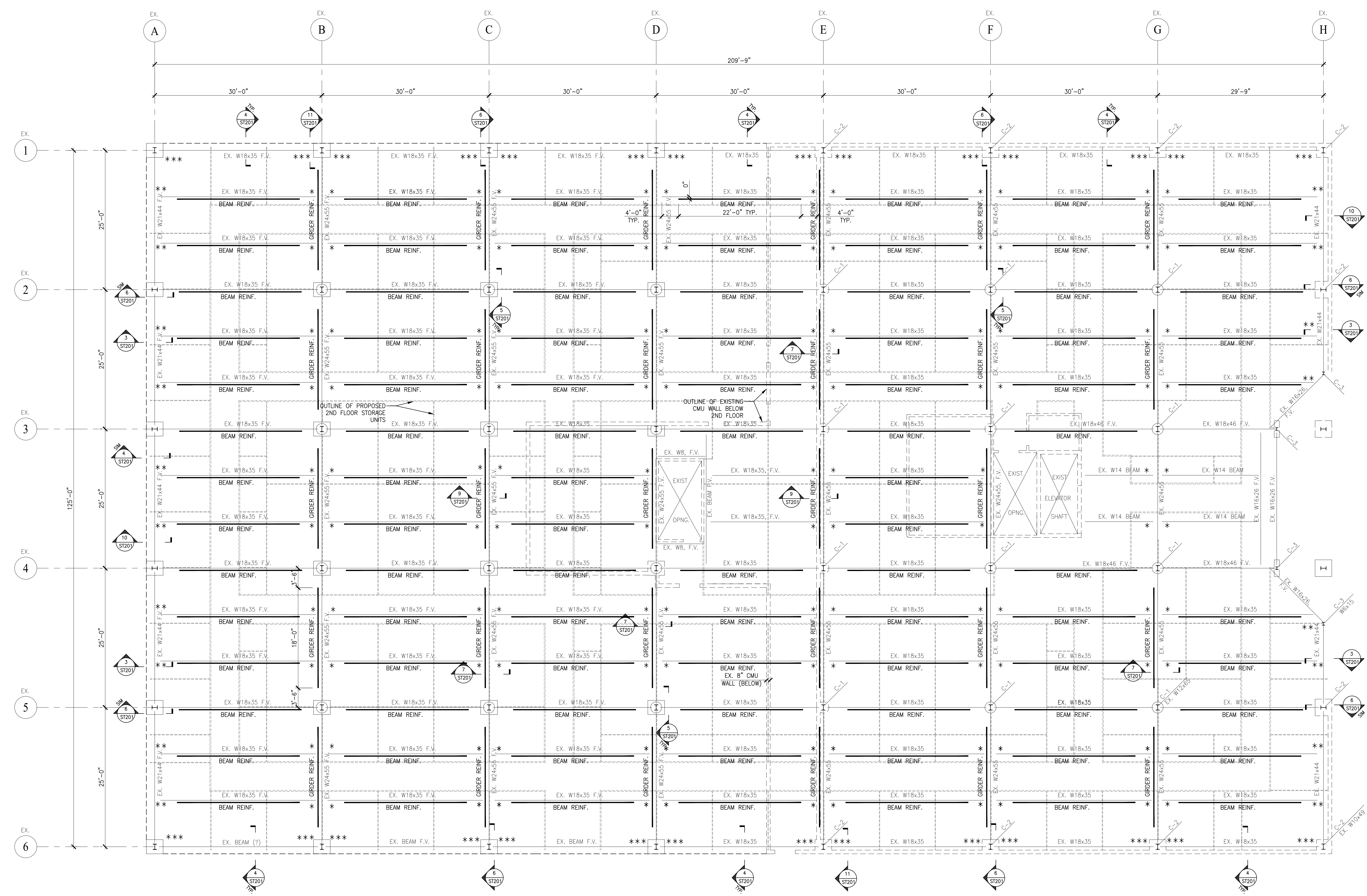
ST. GERMAIN & AUPPERLE
 CONSULTING ENGINEERS, PLLC
 5711 WEST GENESSEE STREET
 CAMILLUS, NEW YORK 13031
 PHONE: (315) 488-3550

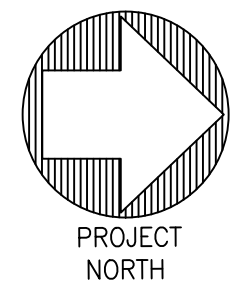


REVISIONS	
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SCALE: AS NOTED
 DATE: 10/18/23
 DRAWN BY: JL
 ENGINEER: RPA
 PROJ. NO: 23-6993
 DRAWING NO:

ST101



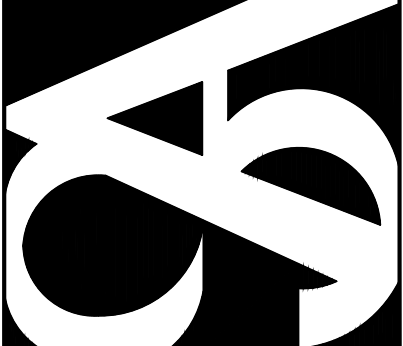


PROJECT
615 ERIE BLVD. - FLOOR REINFORCING PROJECT
 615 ERIE BOULEVARD
 SYRACUSE, NEW YORK 13204

DRAWING TITLE
THIRD FLOOR FRAMING - REINFORCING PLAN



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 CONSULTING ENGINEERS, PLLC
 5711 WEST GENESEE STREET
 CAMILLUS, NEW YORK 13031
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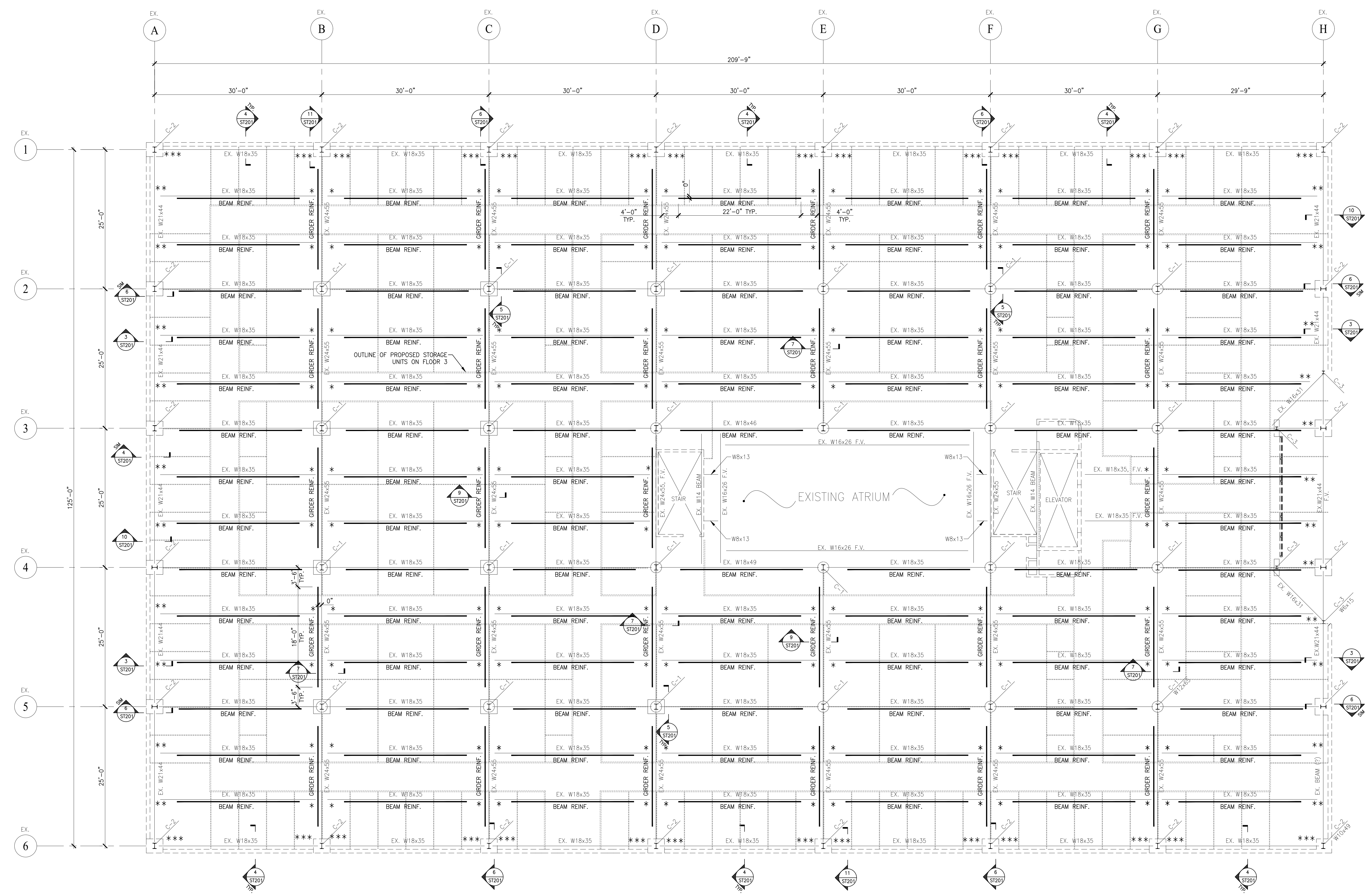
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 DRAWN BY: JL
 ENGINEER: RPA
 PROJ. NO: 23-6993
 DRAWING NO:

PERMIT/BID SET

10/18/23

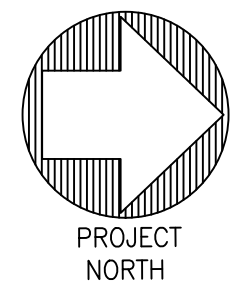
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ST102



1 3RD FLOOR FRAMING - REINFORCING PLAN
 SCALE: 1/8"=1'-0"

- TOP OF CONCRETE AT FINISH FLOOR ELEVATION, FFE: +(25'-1") UNLESS NOTED OTHERWISE ON PLAN, UNO.
- TOP OF STEEL ELEVATION, TOS: +(24'-8"), UNO.
- EXISTING FLOOR CONSTRUCTION: 3 1/4" CONCRETE SLAB ON 2" x 20 GA COMPOSITE METAL DECK. TOTAL THICKNESS = 5 1/4". REINFORCED W/ (1) LAYER OF 6x6W2.9W2.9 WWM. NO SHEAR STUDS PRESENT.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. CONFIRM SIZED LABELED "F.V." (FIELD VERIFY). ONCE SIZES ARE VERIFIED, SUBMIT SIZES TO THE ENGINEER FOR REVIEW.
- ALL "BEAM REINF." LOCATIONS ARE INDICATED ON THIS PLAN. SEE 1/ST201 FOR REINFORCING OPTIONS.
- ALL "GRID REINF." LOCATIONS ARE INDICATED ON THIS PLAN. SEE 2/ST201 FOR REINFORCING OPTIONS.
- CONNECTIONS REQUIRING REINFORCING ARE SHOWN WITH ASTERISKS.
 * = BEAM TO GIRDER SEE 9/ST201
 ** = BEAM TO SPANDREL GIRDER SEE 10/ST201
 *** = SPANDREL BEAM TO COLUMN SEE 11/ST201



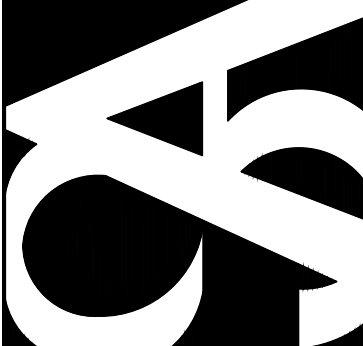
PROJECT
615 ERIE BLVD. - FLOOR REINFORCING & RENOVATION PROJECT

615 ERIE BOULEVARD
SYRACUSE, NEW YORK 13204

DRAWING TITLE
ELEVATOR PLANS & DETAILS



ST. GERMAIN & AUPPERLE
CONSULTING ENGINEERS, PLLC
5711 WEST GENESSEE STREET
CAMILLUS, NEW YORK 13031
PHONE: (315) 488-3550



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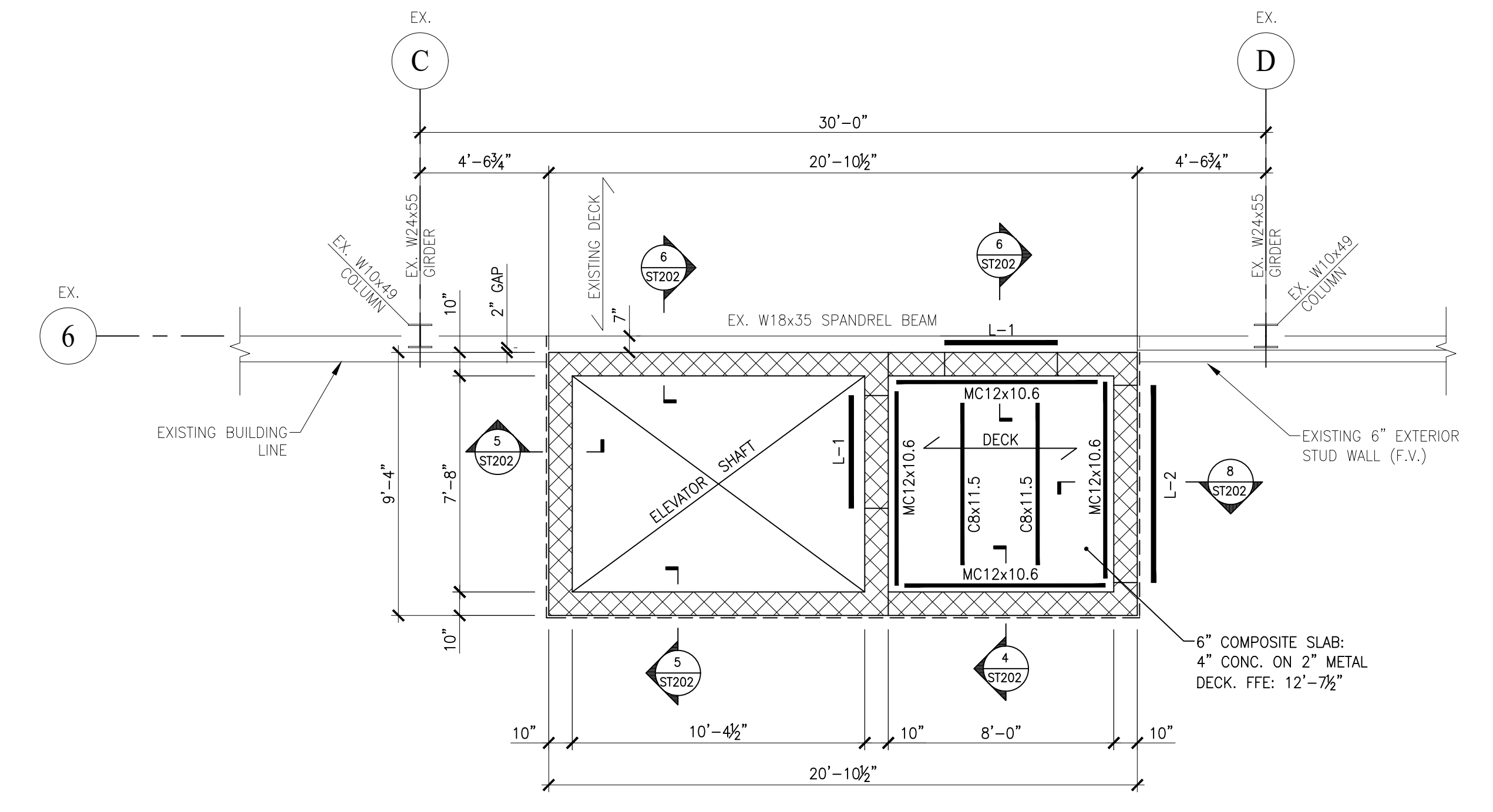
SCALE: AS NOTED
DATE: 10/18/23
DRAWN BY: JL
ENGINEER: RPA
PROJ. NO: 23-6993
DRAWING NO

PERMIT/BID SET

10/18/23

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ST103

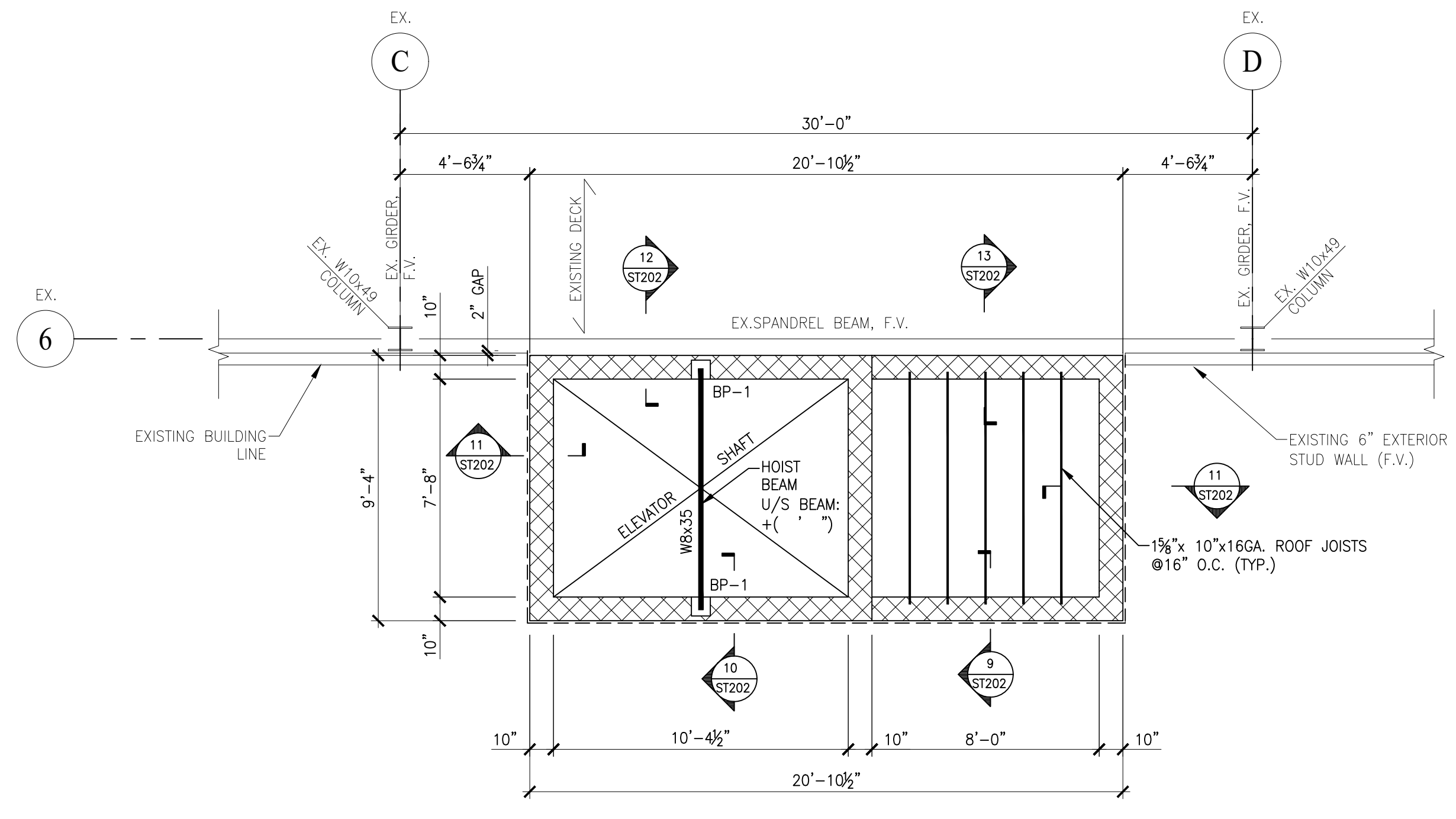


2 ELEVATOR SHAFT- SECOND FLOOR FRAMING
SCALE: 1/4"=1'-0"

- TOP OF CONCRETE AT FINISH FLOOR ELEVATION, FFE: +(12'-7 1/2") UNLESS NOTED OTHERWISE ON PLAN, UNO.
- TOP OF STEEL ELEVATION, TOS: +(12'-1 1/2"), UNO.
- TYPICAL FLOOR CONSTRUCTION: 4" CONCRETE SLAB ON 2" x 20 GA COMPOSITE METAL DECK. TOTAL THICKNESS = 6". REINFORCE W/ (1) LAYER OF 6x6xW2.9xW2.9 WWM.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.

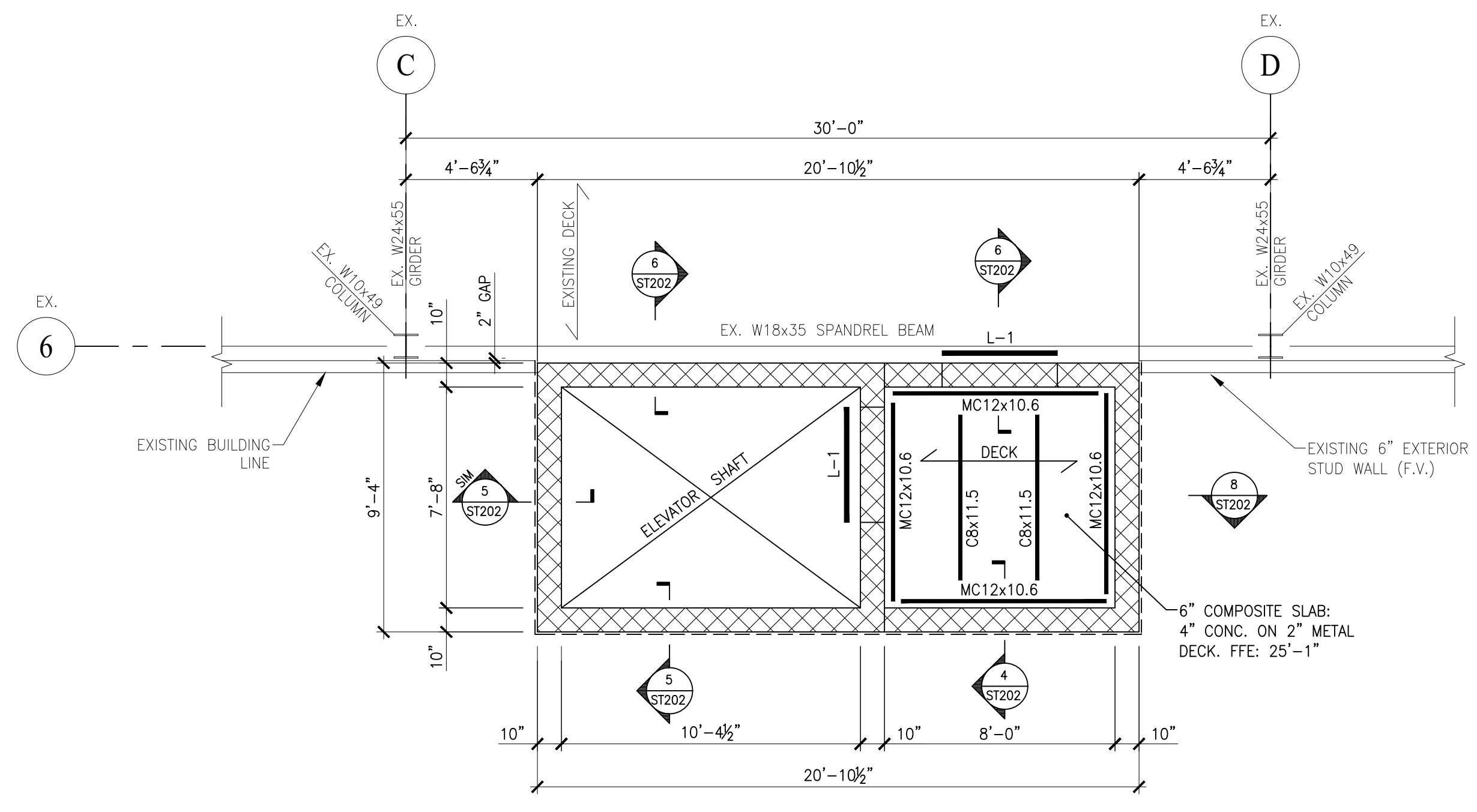
1 ELEVATOR PIT FOUNDATION & SLAB PLAN
SCALE: 1/4"=1'-0"

- TOP OF CONCRETE AT FINISHED FLOOR ELEVATION, FFE: +(0'-0") UNLESS NOTED (+) OR (-) THEREFROM ON PLAN.
- TOP OF FOOTING ELEVATION, TFE, -(5'-0") FROM FINISH FLOOR ELEVATION UNLESS NOTED OTHERWISE ON PLAN.
- TYPICAL FLOOR CONSTRUCTION: 6" CONCRETE SLAB REINFORCED WITH 6x6xW2.9xW2.9 WWM ON 0.010" POLY VAPOR RETARDER ON 12" MIN. COMPACTED GRANULAR FILL.
- FOOTINGS SHALL REST ON UNDISTURBED INORGANIC SOIL OR CONTROLLED FILL. ASSUMED ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF.
- ALL COLUMN FOOTINGS ARE CENTERED ON THE COLUMNS UNLESS NOTED OTHERWISE ON THE PLAN.
- TOP OF PIERS: -(8") BELOW FINISH FLOOR ELEVATION, UNO.
- FOR DETAILS, SEE DRAWING ST202.
- DIMENSIONS SHOWN ARE TO FACE OF FOUNDATION WALLS.



4 ELEVATOR SHAFT- ROOF FRAMING
SCALE: 1/4"=1'-0"

- TOP OF STEEL AT FINISH ROOF ELEVATION: +(37'-1 1/2") UNLESS NOTED (+) OR (-) THEREFROM ON PLAN.
- TYPICAL ROOF CONSTRUCTION: 1 1/2" x 22 GA METAL ROOF DECK (ASSUMED).
- SEE MECH AND ARCH DWGS FOR SIZE AND LOCATION OF ALL OPENINGS.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK IN AREA.
- FOR DETAILS, SEE DRAWING ST202.



3 ELEVATOR SHAFT- THIRD FLOOR FRAMING
SCALE: 1/4"=1'-0"

- TOP OF CONCRETE AT FINISH FLOOR ELEVATION, FFE: +(25'-1") UNLESS NOTED OTHERWISE ON PLAN, UNO.
- TOP OF STEEL ELEVATION, TOS: +(24'-7"), UNO.
- TYPICAL FLOOR CONSTRUCTION: 4" CONCRETE SLAB ON 2" x 20 GA COMPOSITE METAL DECK. TOTAL THICKNESS = 6". REINFORCE W/ (1) LAYER OF 6x6xW2.9xW2.9 WWM.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.

DESIGN CRITERIA

- GOVERNING BUILDING CODE: BUILDING CODE OF NEW YORK STATE, 2020 AND ALL SUBSEQUENT REVISIONS.
- CLASSIFICATION OF BUILDING (NYSBC TABLE 1604.5): II
- DESIGN LOADS:
 - GROUND FLOOR LIVE LOAD: 100 PSF.
 - 2ND & 3RD FLOOR LIVE LOAD: 100 PSF
 - SNOW LOAD:
 - GROUND SNOW LOAD, Pg: 50 PSF
 - FLAT ROOF SNOW LOAD, Pf: 40 PSF
 - SNOW EXPOSURE COEFFICIENT, Ce: 1.0
 - SNOW LOAD IMPORTANCE FACTOR, Is: 1.0
 - THERMAL FACTOR, Ct: 1.1
- WIND LOAD:
 - BASIC WIND SPEED: 115 MPH
 - WIND IMPORTANCE FACTOR, Iw: 1.0
 - WIND EXPOSURE: C
 - INTERNAL PRESSURE COEFFICIENT, GCp: ± 0.18
 - COMPONENTS AND CLADDING DESIGN PRESSURE: +17.63 & -23.50 PSF
- SEISMIC LOAD:
 - SEISMIC USE GROUP: 1
 - SEISMIC IMPORTANCE FACTOR, Ie = 1.0
 - SPECTRAL RESPONSE COEFFICIENTS:
 - Ss: 0.2, S1: 0.06
 - Sds: 0.192, Sd1: 0.096
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY: B
 - RESISTING SYSTEM: MASONRY SHEAR WALL
 - ANALYSIS PROCEDURE: SIMPLIFIED ANALYSIS
 - DESIGN BASE SHEAR: 10w ±
 - RESPONSE MODIFICATION FACTOR, R = 5
 - FOUNDATIONS: FOUNDATIONS ARE BASED ON SOIL NET BEARING CAPACITY OF 2000 PSF

7 DESIGN CRITERIA
N.T.S.

MATERIALS

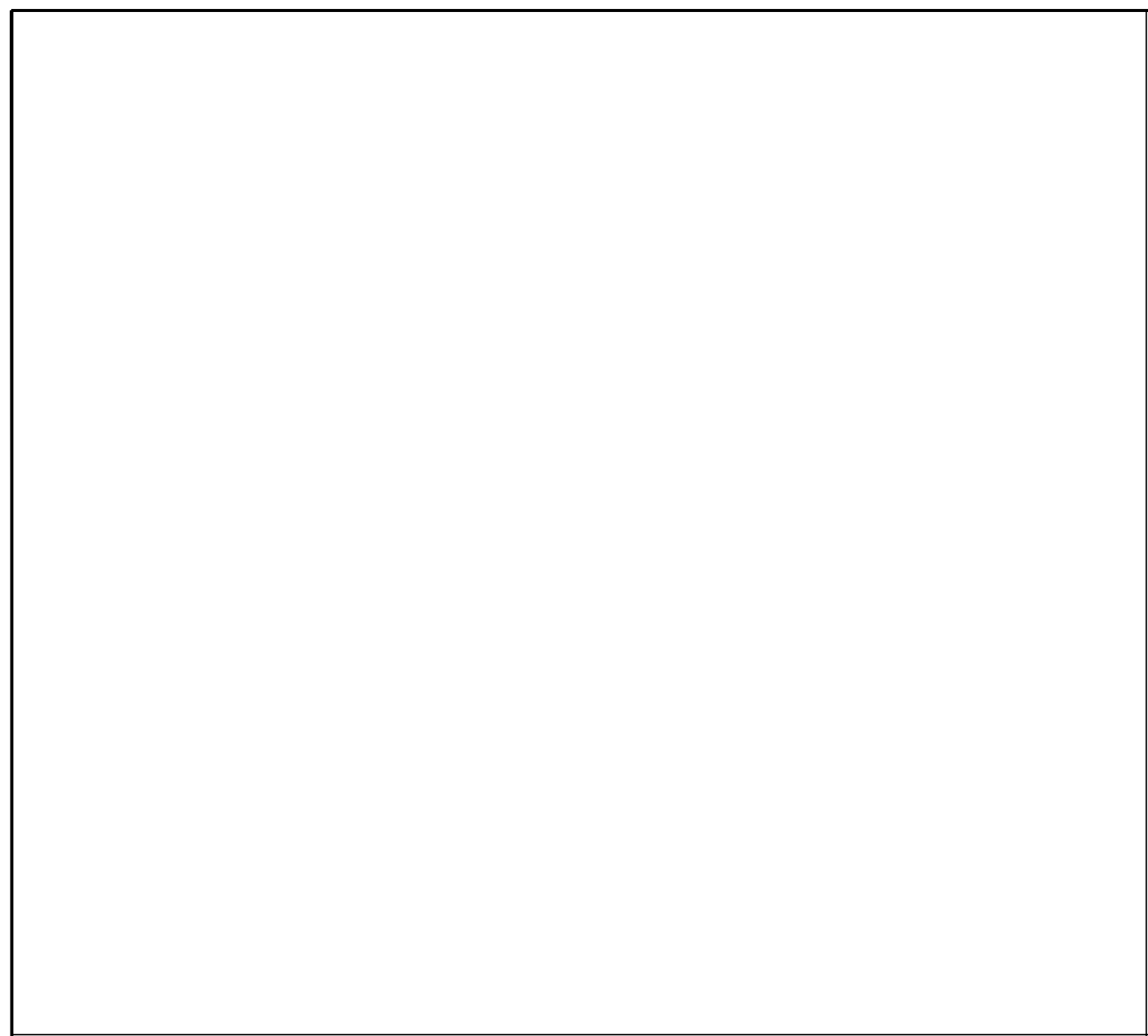
- CONCRETE: 3,000 PSI @ 28 DAYS, 3/4" MAX. AGGREGATE SIZE. WATER REDUCING AGENT; MAXIMUM SLUMP - 4" FOR WALLS AND FOOTINGS, 3" FOR SLABS. 5% TO 7% AIR ENTRAINMENT FOR EXPOSED CONCRETE. FINE AND COARSE AGGREGATE TO ACI STANDARDS. CEMENT - TYPE I/II.
- REINFORCING: BARS - ASTM 615 GR. 60. FIBERS - "FIBER MESH" OR ACCEPTED EQUAL.
- CONCRETE TESTING (COST BY G.C.): SLUMP - EACH TRUCK. CYLINDERS - 4 EACH POUR. BREAK 2 @ 7 DAYS, 2 @ 28 DAYS. SEND RESULTS TO ENGINEER.
- STRUCTURAL STEEL: W BEAMS - ASTM A992. ITS COLUMNS - ASTM A500 GR. B. ALL OTHERS - ASTM A36. BOLTS - ASTM A325 N - 3/4" DIAMETER. PAINT - TNMEC #10-1009 GRAY PRIMER EXCEPT AS NOTED.
- METAL FLOOR DECK: 2"x20GA. GALVANIZED COMPOSITE DECK. FASTEN WITH PUDDLE WELDS @12" O.C. + #10 SIDELAPS.
- METAL ROOF DECK: 1 1/2" 22 GA. GALV. DECK, TYPE B UNITED STEEL DECK OR ACCEPTED EQUAL. FASTEN WITH #10 SCREWS IN A 36/4 PATTERN.

6 MATERIAL STRENGTH SPEC.
N.T.S.

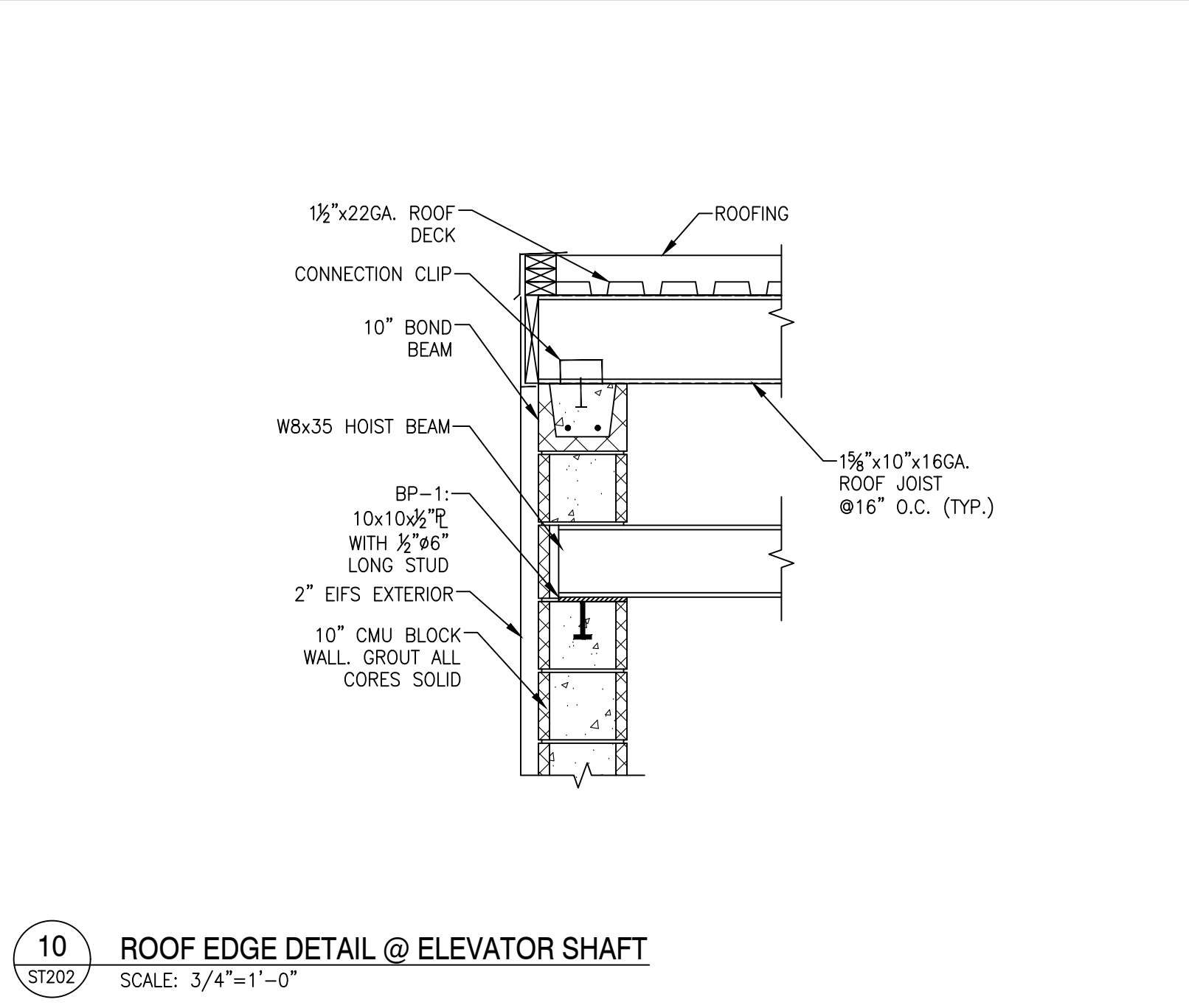
LINTEL SCHEDULE				
MARK	M.O.	MATERIAL	SECTION	REMARKS
L-1	±4'-0" SEE ARCH.	L5x5x3/8" + L5x3x3/8" LLV		
L-2	±8'-0"	W8x15 + 3/8"x7" BOTTOM R		PROVIDE 8" BEARING
L-3				

- VERIFY M.O. W/ ARCH. & MECH. DWGS.
- PROVIDE MIN. 4" BRG. @ EA. END OF LINTEL U.N.O.
- FILL TOP TWO COURSES OF BLK. x 16" LG. SOLID W/ GROUT UNDER LINTEL BRG. @ EA. END.

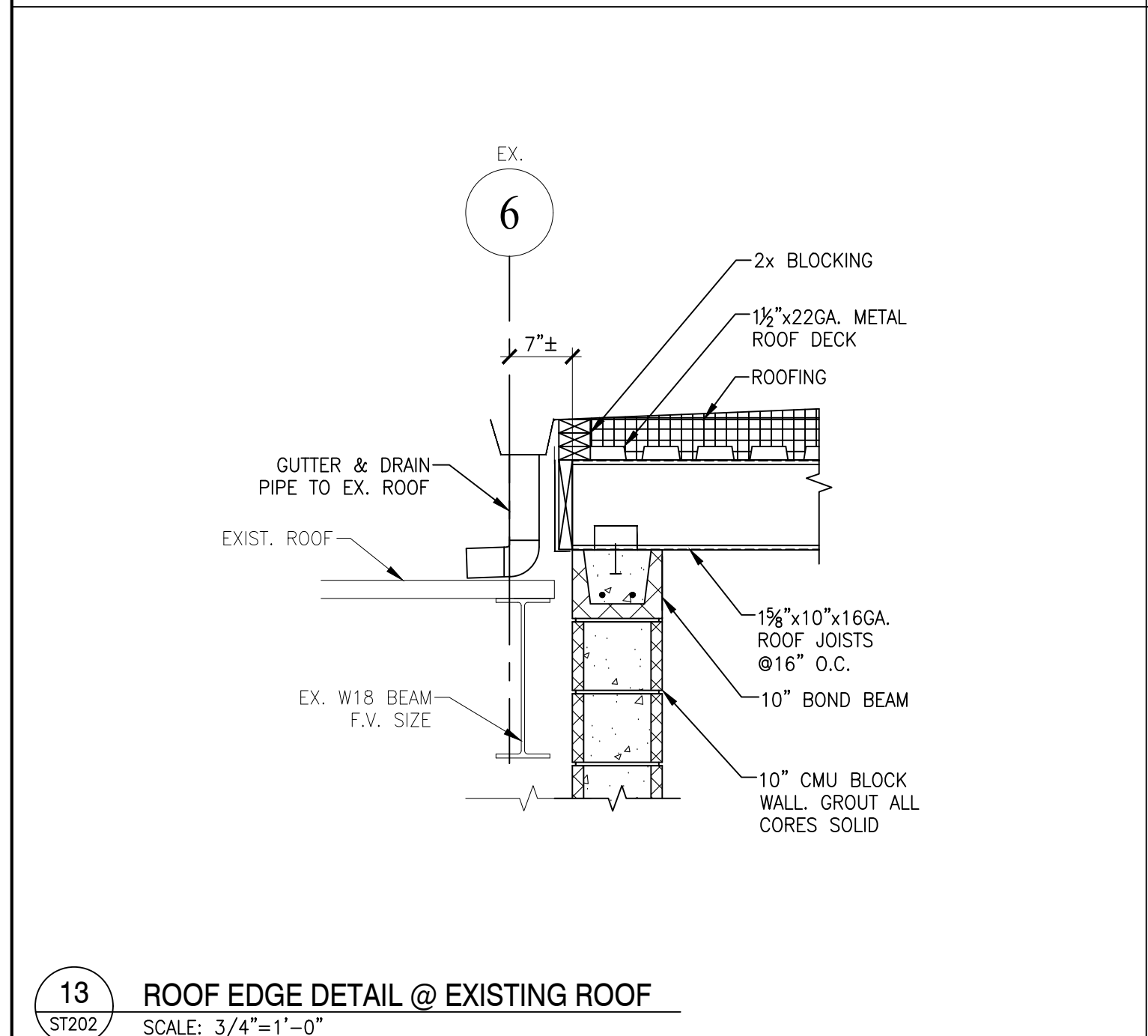
5 LINTEL SCHEDULE
N.T.S.



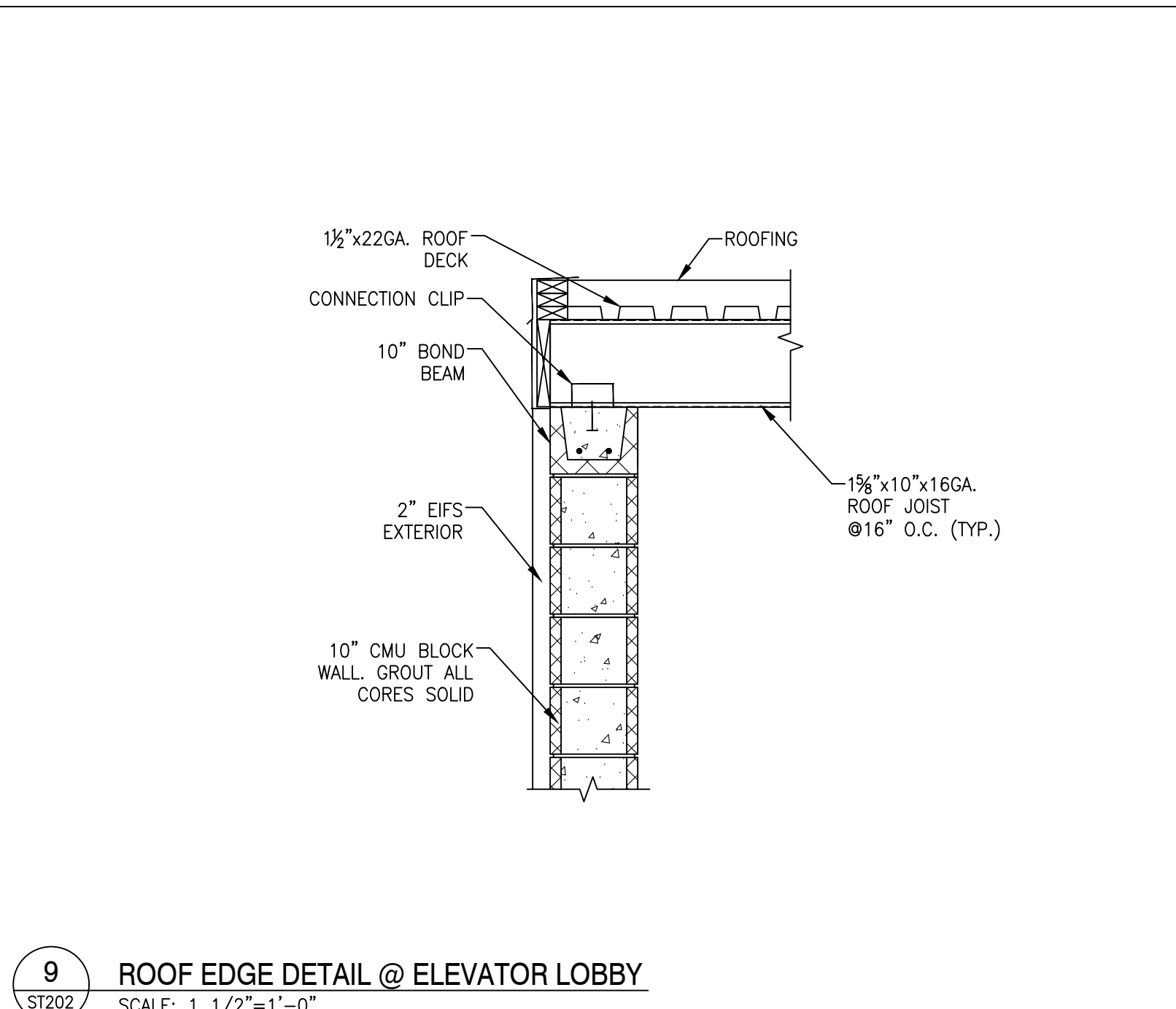
11 ROOF EDGE DETAIL @ ELEVATOR SHAFT
SCALE: 3/4"=1'-0"



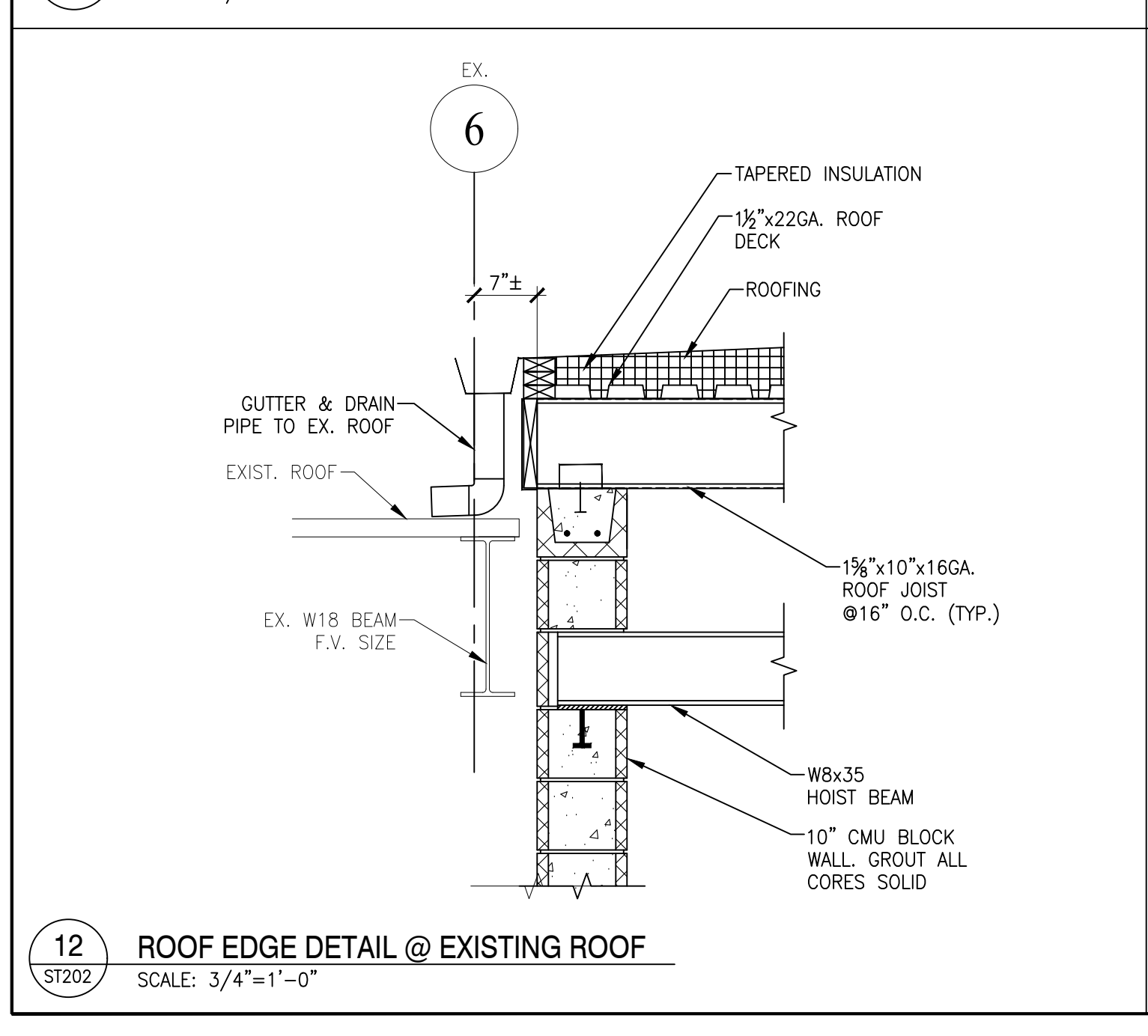
10 ROOF EDGE DETAIL @ ELEVATOR SHAFT
SCALE: 3/4"=1'-0"



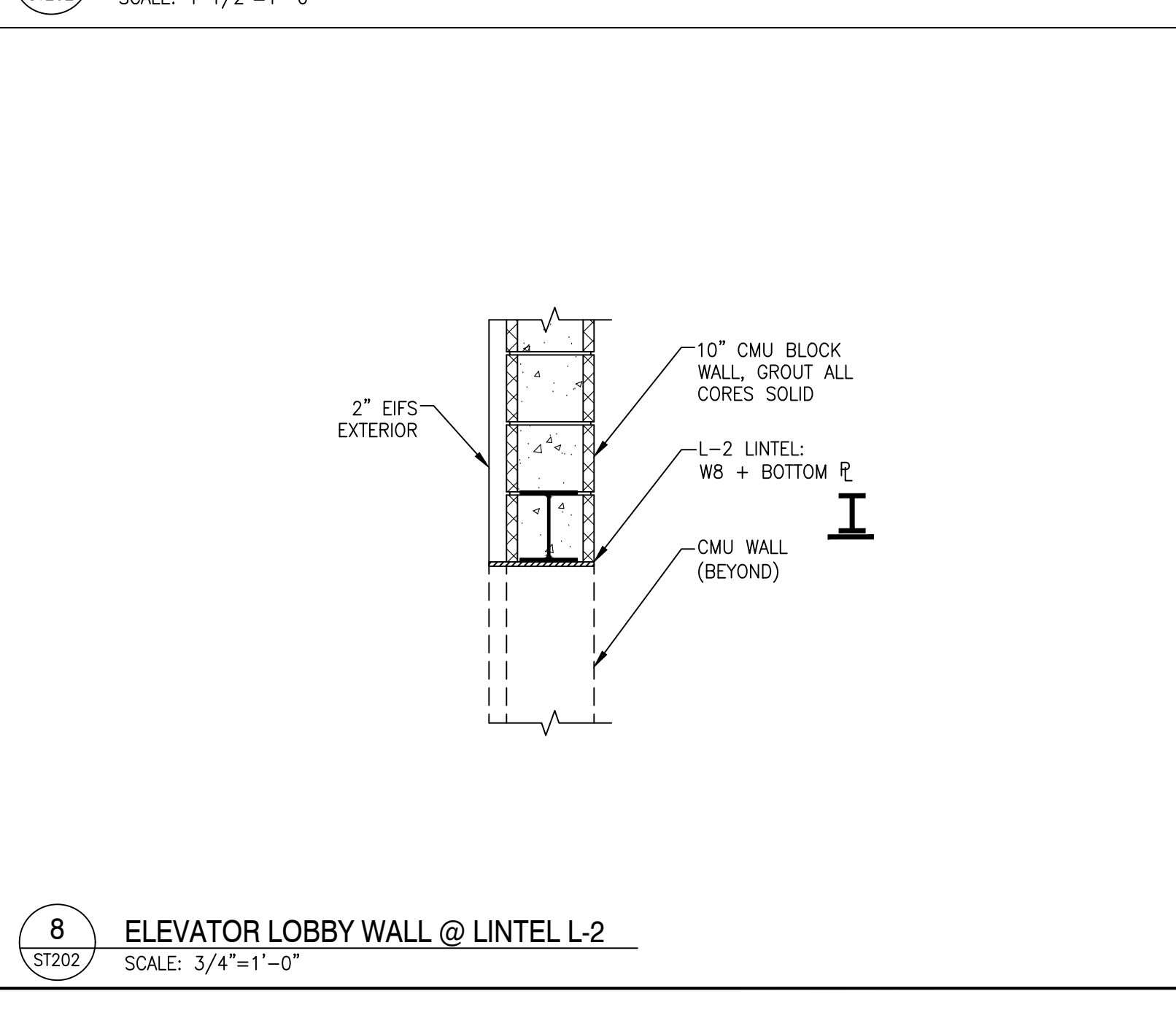
13 ROOF EDGE DETAIL @ EXISTING ROOF
SCALE: 3/4"=1'-0"



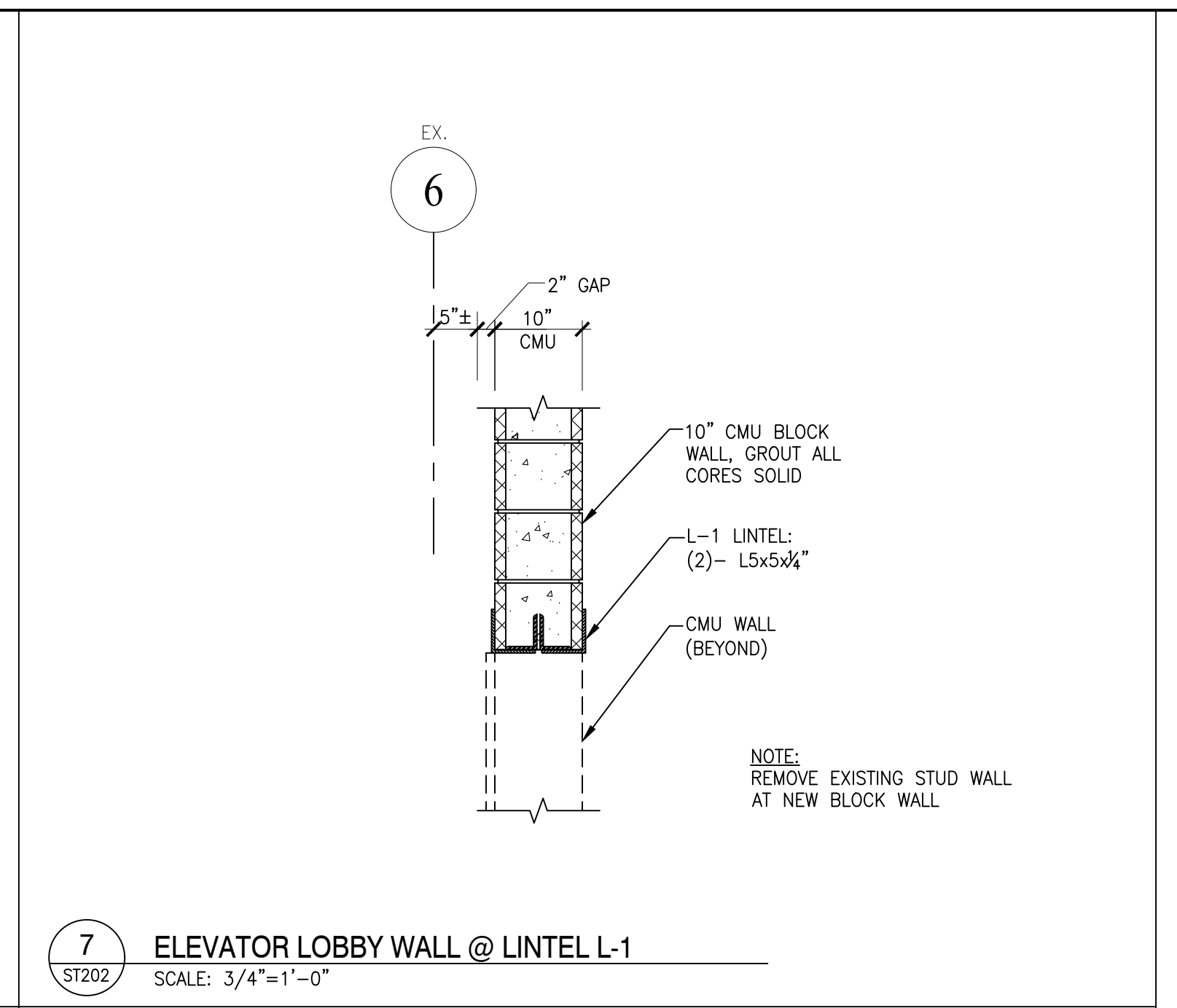
9 ROOF EDGE DETAIL @ ELEVATOR LOBBY
SCALE: 1 1/2"=1'-0"



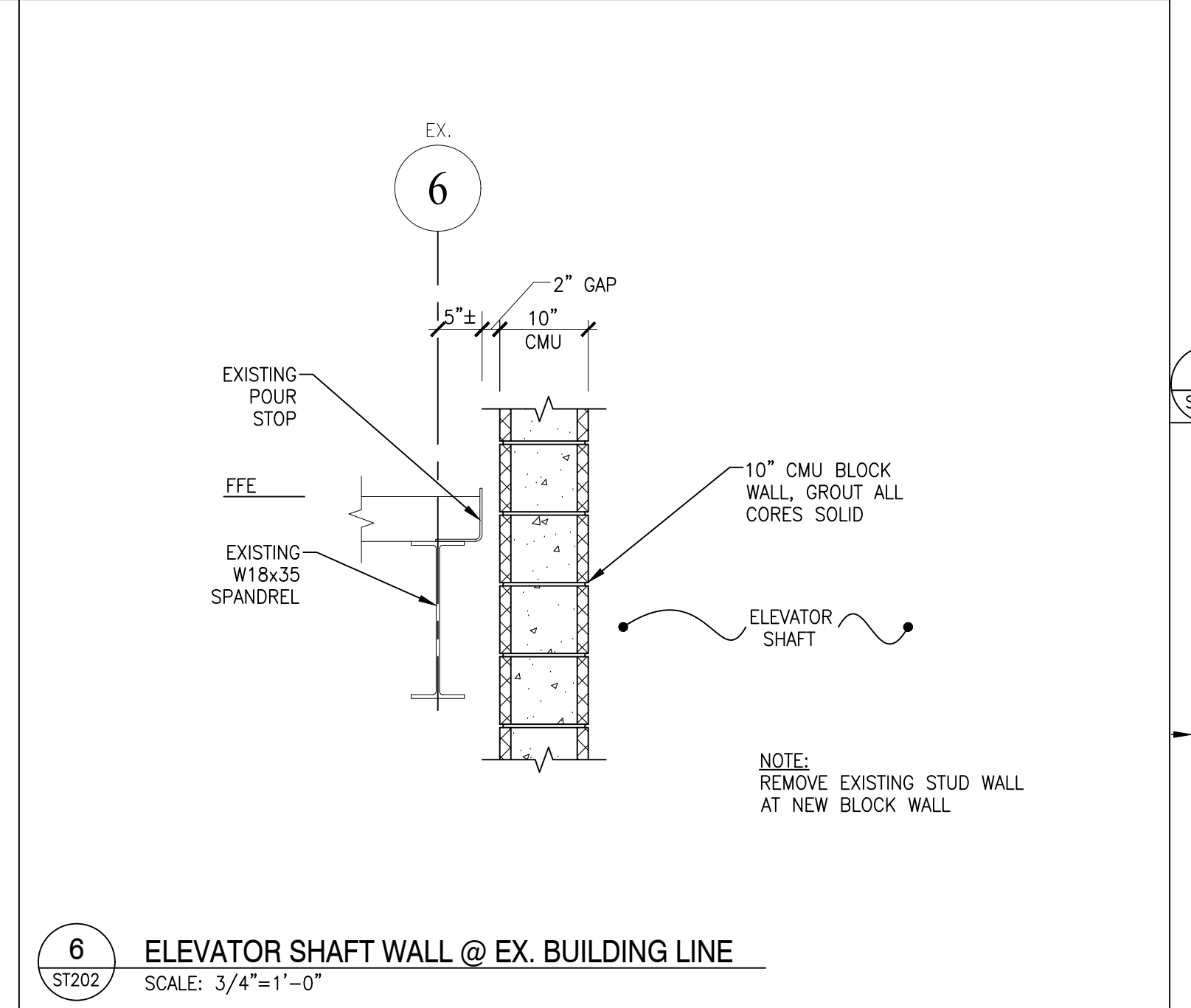
12 ROOF EDGE DETAIL @ EXISTING ROOF
SCALE: 3/4"=1'-0"



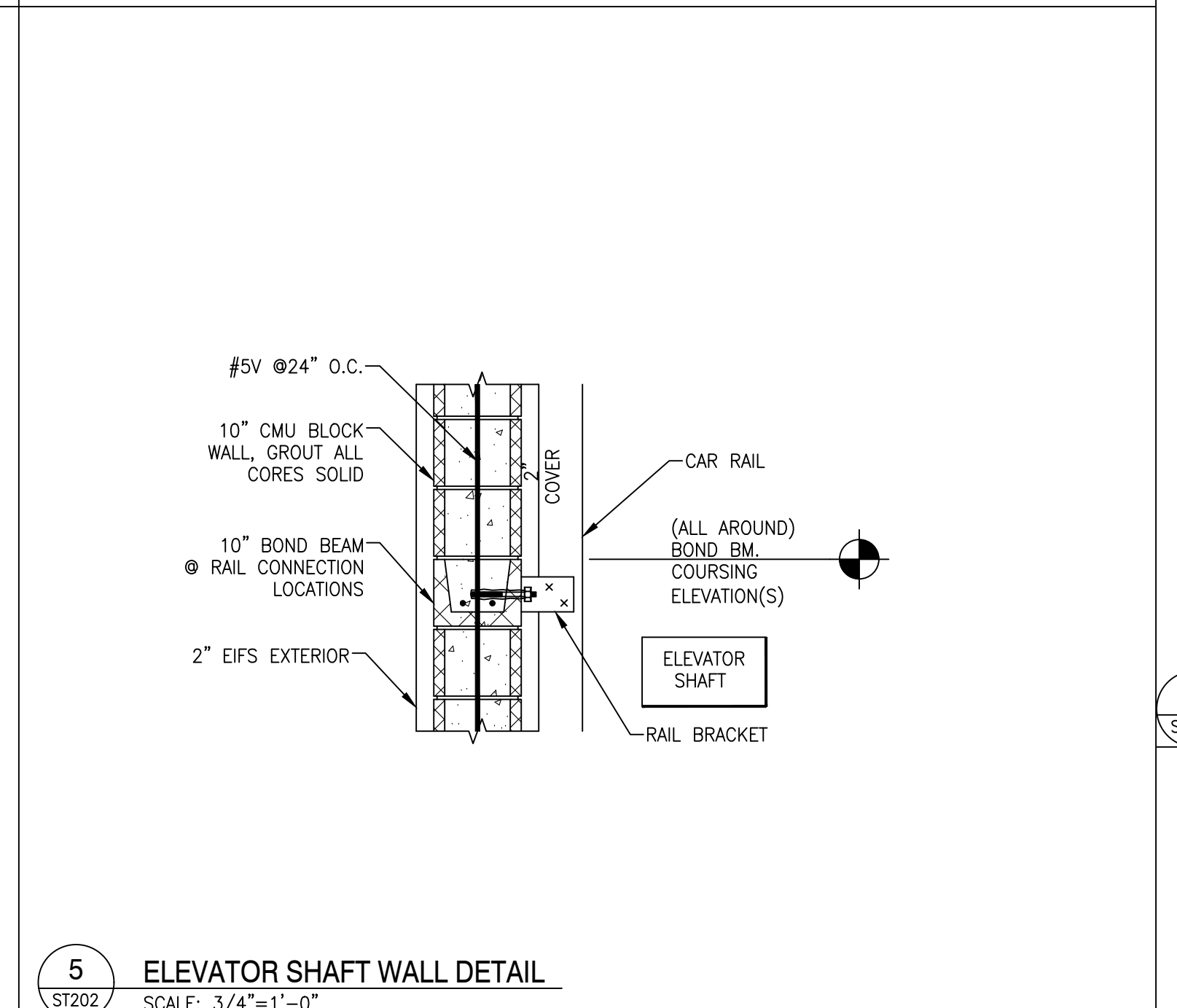
8 ELEVATOR LOBBY WALL @ LINTEL L-2
SCALE: 3/4"=1'-0"



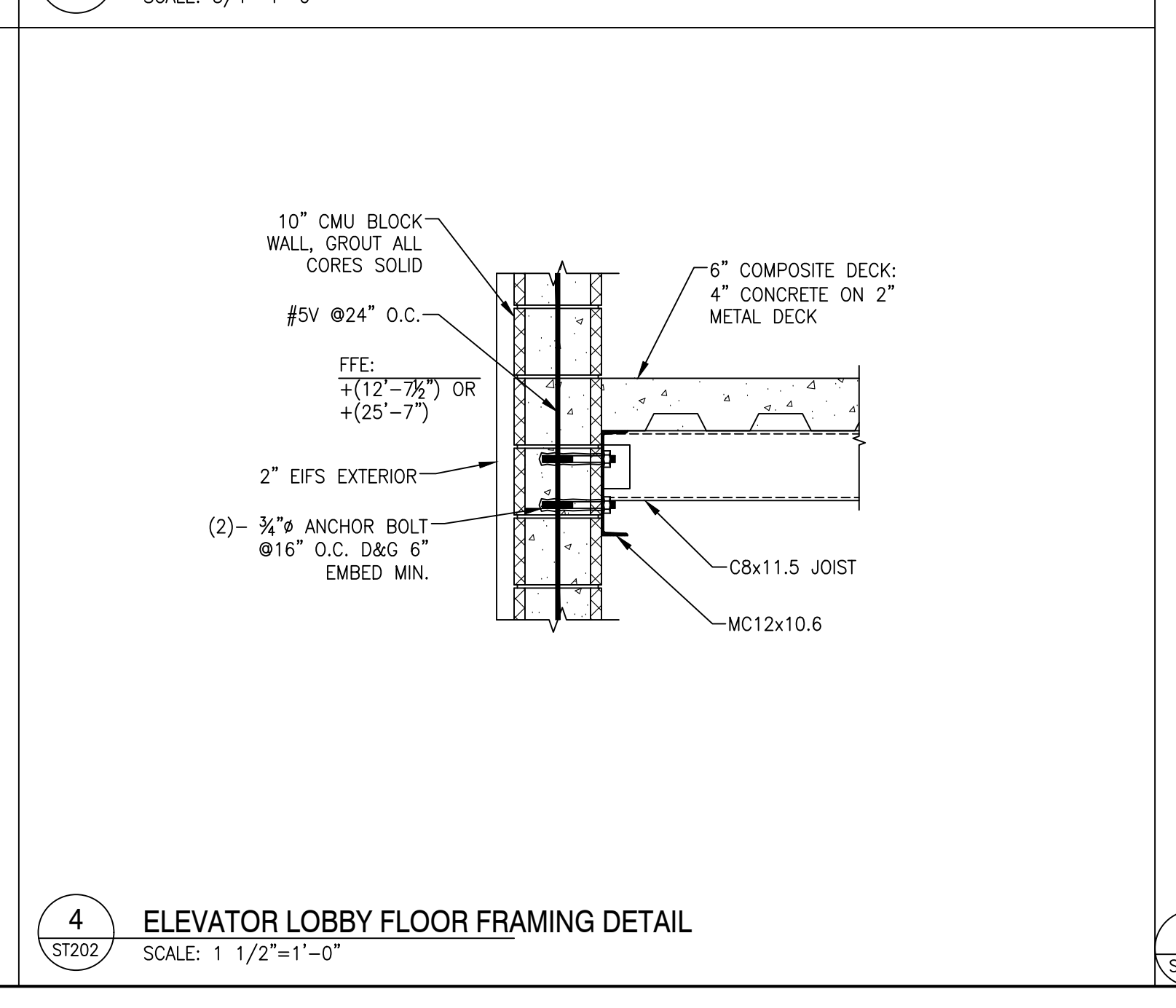
7 ELEVATOR LOBBY WALL @ LINTEL L-1
SCALE: 3/4"=1'-0"



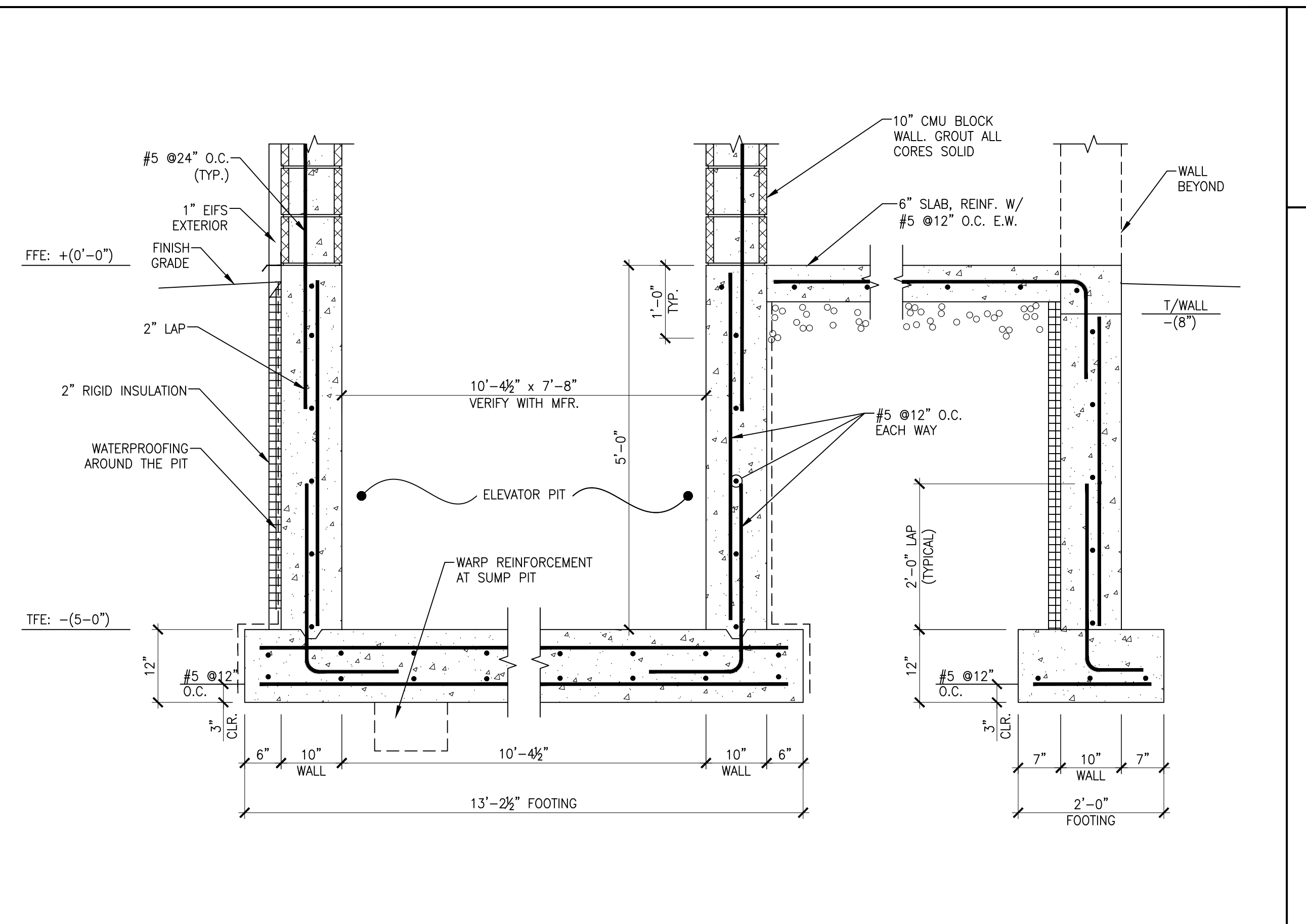
6 ELEVATOR SHAFT WALL @ EX. BUILDING LINE
SCALE: 3/4"=1'-0"



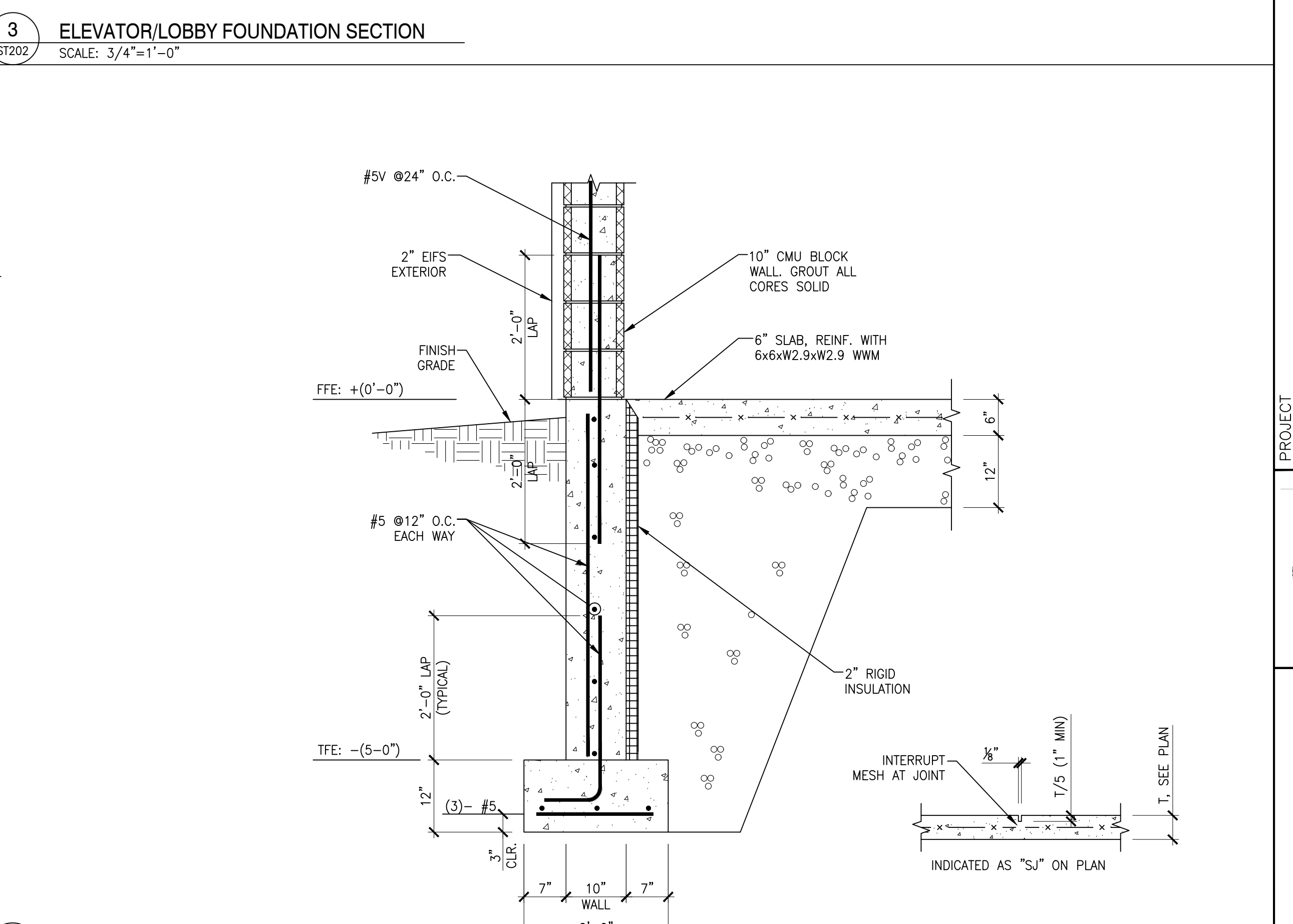
5 ELEVATOR SHAFT WALL DETAIL
SCALE: 3/4"=1'-0"



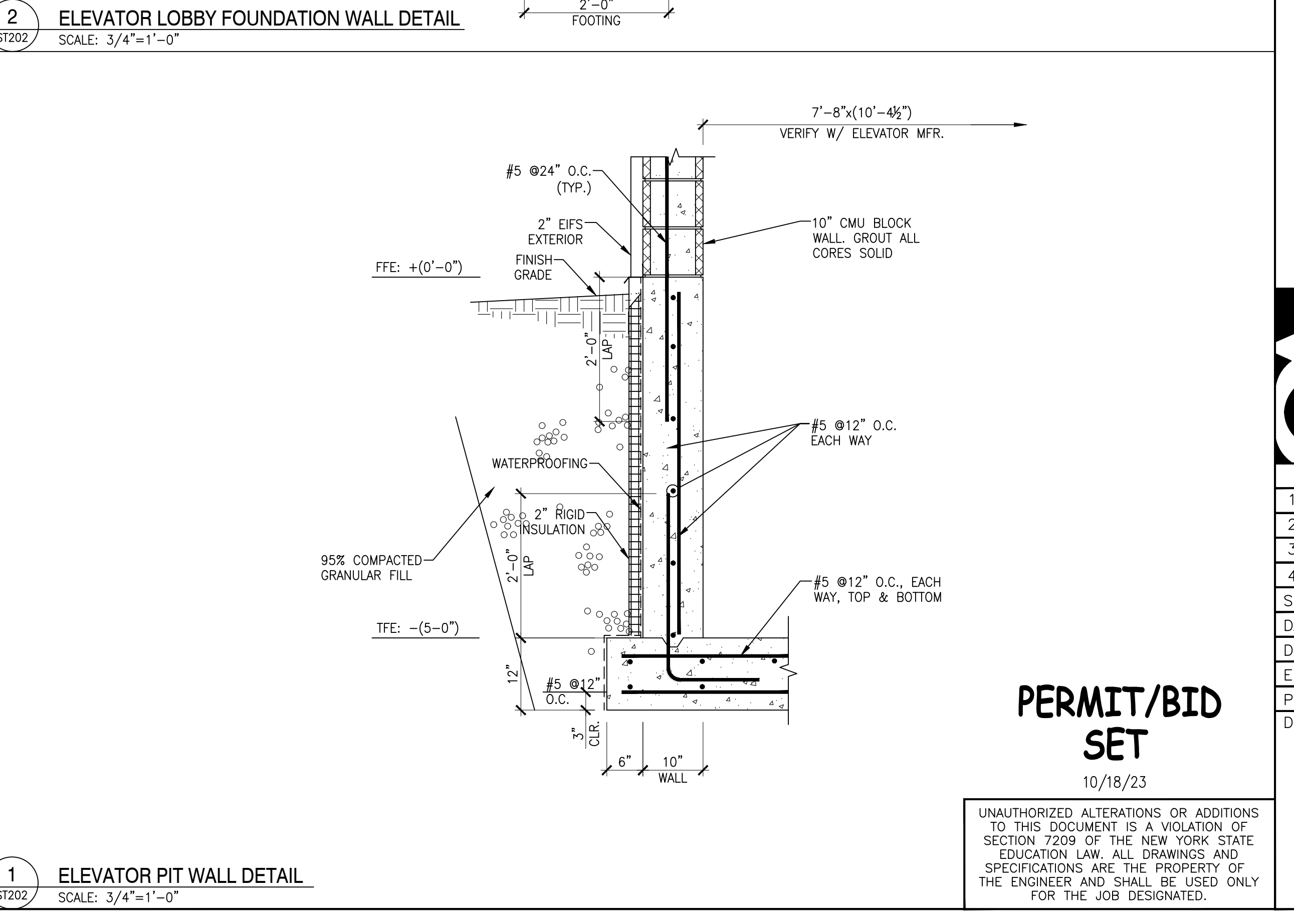
4 ELEVATOR LOBBY FLOOR FRAMING DETAIL
SCALE: 1 1/2"=1'-0"



3 ELEVATOR/LOBBY FOUNDATION SECTION
SCALE: 3/4"=1'-0"



2 ELEVATOR LOBBY FOUNDATION WALL DETAIL
SCALE: 3/4"=1'-0"



1 ELEVATOR PIT WALL DETAIL
SCALE: 3/4"=1'-0"

PROJECT
615 ERIE BLVD. - FLOOR REINFORCING & RENOVATION PROJECT
615 ERIE BOULEVARD
SYRACUSE, NEW YORK 13204

DRAWING TITLE
ELEVATOR SECTIONS & DETAILS

STATE OF NEW YORK
REGISTERED PROFESSIONAL ENGINEER
No. 64049

ST. GERMAIN & AUPPERLE
CONSULTING ENGINEERS, PLLC
5711 WEST GENESSEE STREET
CAMILLUS, NEW YORK 13031
PHONE: (315) 488-3550

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	

SCALE: AS NOTED
DATE: 10/18/23
DRAWN BY: JL
ENGINEER: RPA
PROJ. NO: 23-6993
DRAWING NO: ST202

PERMIT/BID SET
10/18/23

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