

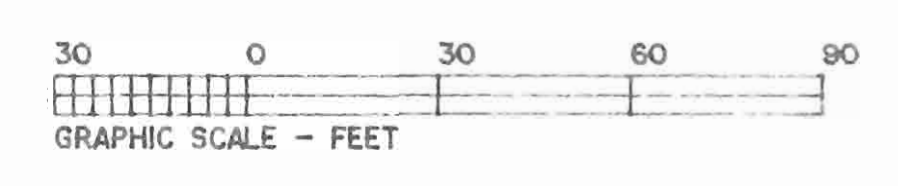
LEGEND

- PROPERTY LINE ————
- FILTER FENCE ———— F ————
- WATER ———— w ————
- GAS ———— g ————
- SANITARY ———— s ————
- STORM ———— ————
- CATCH BASIN □
- CLEANOUT ○
- BIT. PVMT. HEAVY DUTY ······

N/F Lakeview Area  
Industrial Corporation

PARKING

REGULAR	55
HANDICAP	3
TOTAL	58

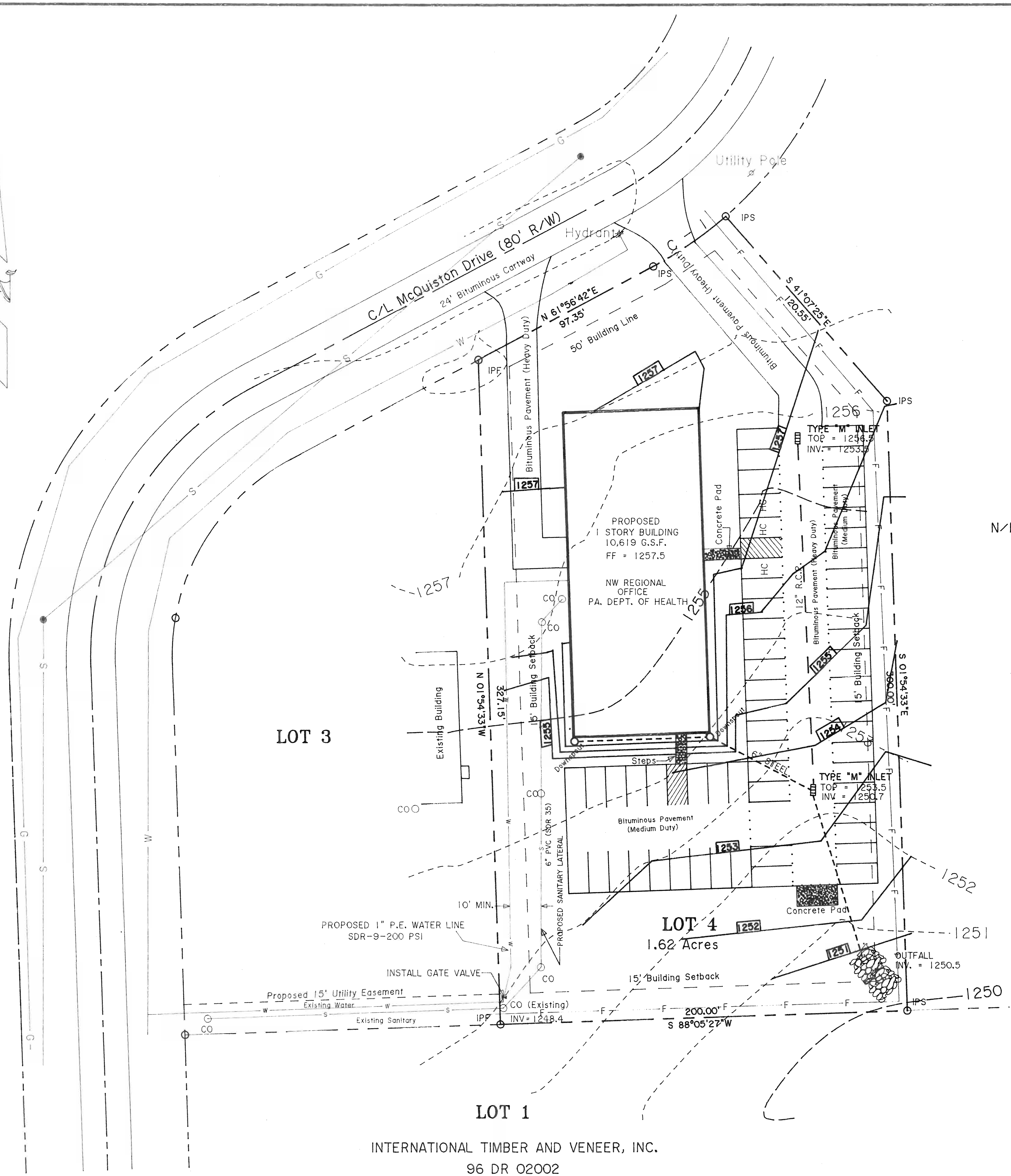


SITE PLAN  
PA. DEPT. OF HEALTH  
**JACKSON COMMERCE PARK**  
Jackson Township Mercer County, PA

KURTANICH ENGINEERS & ASSOCIATES, INC.  
6124 EAST STATE STREET  
HERMITAGE, PA 16148 (724) 981-4570

NO.	DESCRIPTION AND DATE	BY
2	Water & Esmt 3-16-00	JAK
1	Comments 3-8-00	JAK

DR.	SME	DATE	DWG. NO.
SESLER	SESLEP1	2-4-2000	C-99-1261
CH.	JAK	SCALE: 1" = 30'	



LEGEND

PROPERTY LINE	---
FILTER FENCE	-F-F-F-
WATER	---
GAS	---
SANITARY	---
STORM	---
CATCH BASIN	□
CLEANOUT	○
BIT.PVMT. HEAVY DUTY	.....

N/F Lakeview Area  
Industrial Corporation

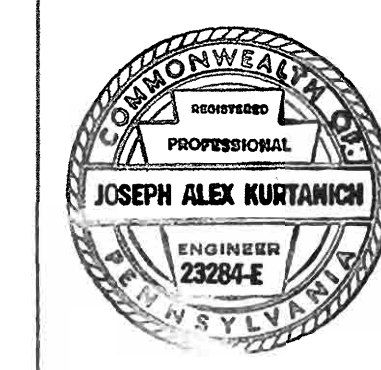
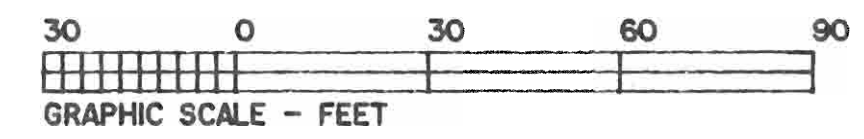
LOT 3

LOT 4  
1.62 Acres

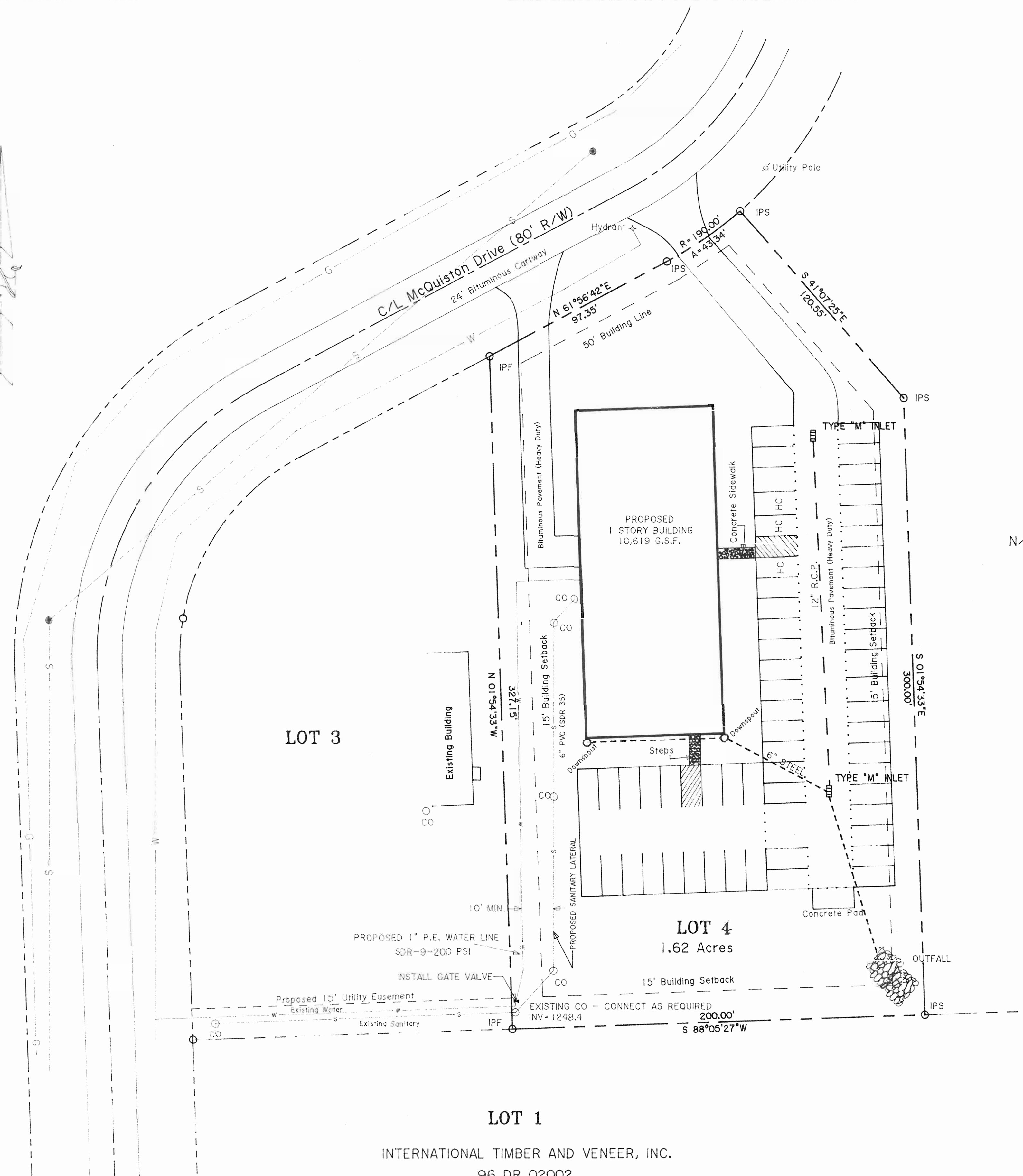
LOT 1

INTERNATIONAL TIMBER AND VENEER, INC.  
96 DR 02002

PARKING	
REGULAR	55
HANDICAP	3
TOTAL	58



3		COMMENTS	SME	GRADING PLAN	
2		COMMENTS	SME	PA. DEPT. OF HEALTH	
1		COMMENTS	SME	<b>JACKSON COMMERCE PARK</b>	
NO.		DESCRIPTION AND DATE	BY	Jackson Township	Mercer County, PA
REVISIONS		KURTANICH ENGINEERS & ASSOCIATES, INC.			
C&G FILES		DR.	SME	DATE: 2-4-2000	DWG. NO.
CRD: SELSER	DWS: SESLER3	CH.	JAK	SCALE: 1" = 30'	<b>C-99-1261 GR</b>



**LEGEND**

- PROPERTY LINE ————
- FILTER FENCE ———— F ———— F ———— F ————
- WATER ———— W ————
- GAS ———— G ————
- SANITARY ———— S ————
- STORM ———— S ————
- CATCH BASIN □
- CLEANOUT ○
- BIT. PVMT. HEAVY DUTY ······

N/F LAKEVIEW AREA  
INDUSTRIAL CORPORATION

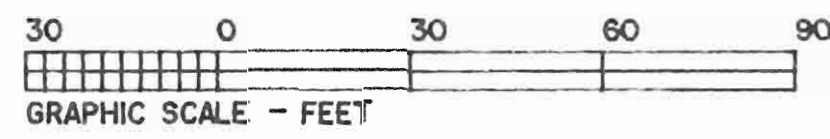
LOT 3

LOT 4  
1.62 Acres

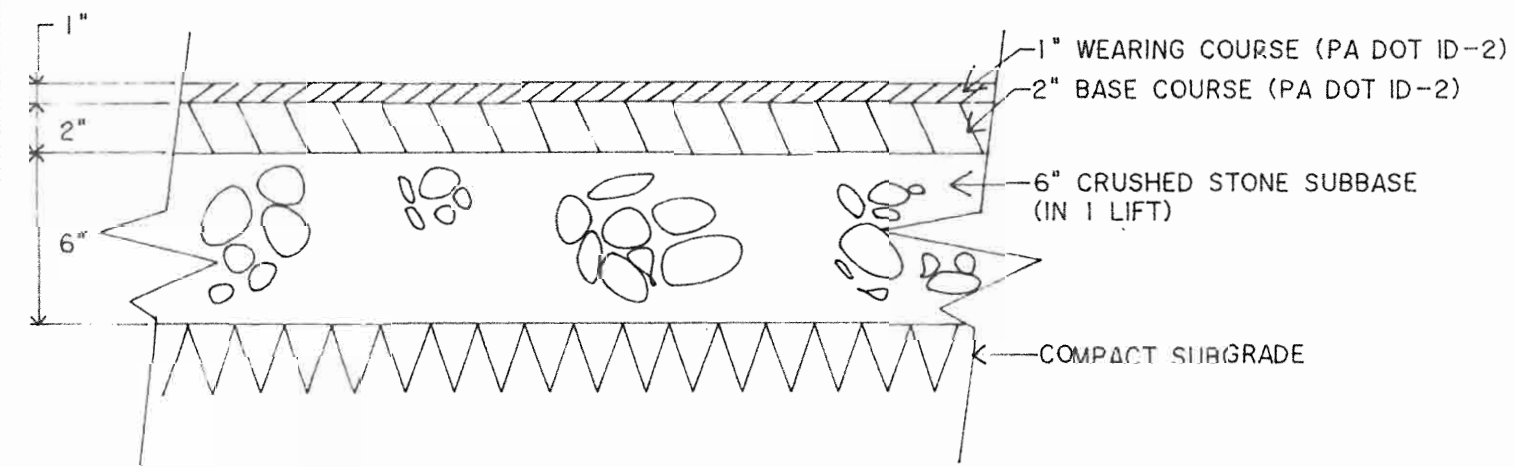
LOT 1  
INTERNATIONAL TIMBER AND VENEER, INC.  
96 DR 02002

PARKING

REGULAR	55
HANDICAP	3
TOTAL	58

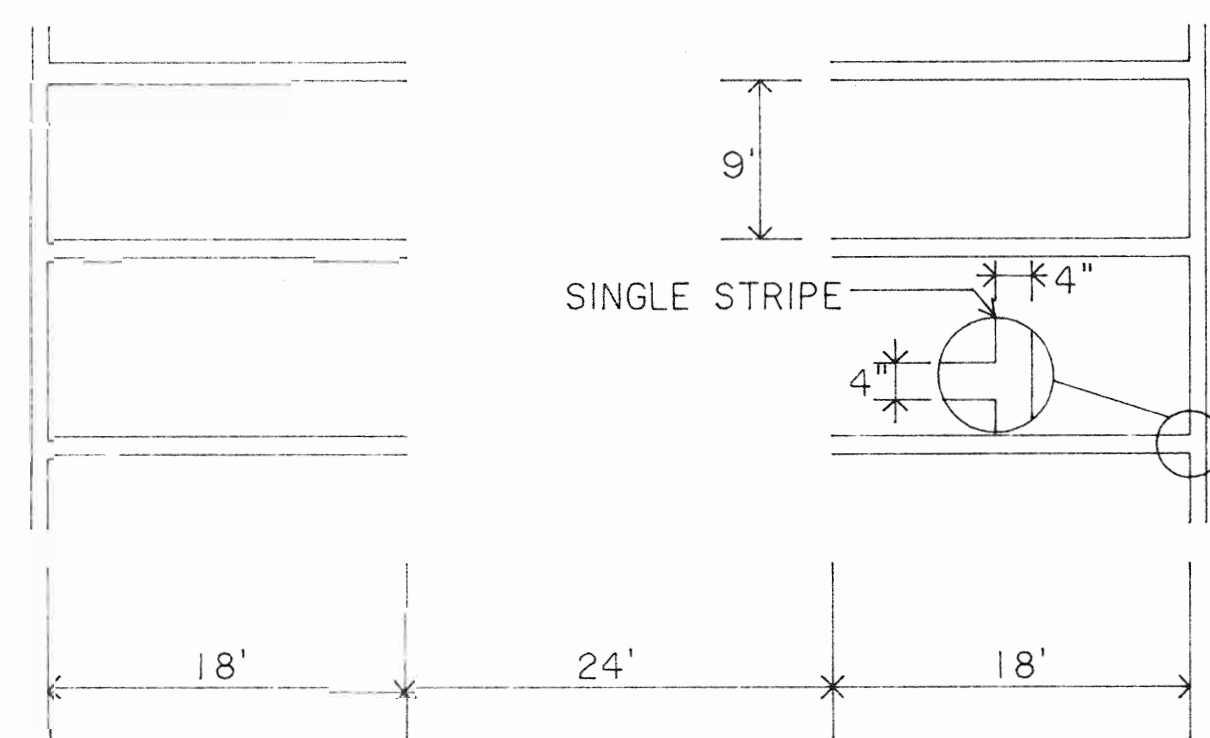


	UTILITY PLAN PA. DEPT. OF HEALTH <b>JACKSON COMMERCE PARK</b> Jackson Township, Mercer County, PA	
	WATER & ESMT SELSER	SDU
NO. DESCRIPTION AND DATE	BY	KURTANICH ENGINEERS & ASSOCIATES, INC. 6124 EAST STATE STREET HERMITAGE, PA 16148 (724) 981-4570
REVISIONS		DATE: 2-4-2000
C&G FILES	DR. SME	DATE: 2-4-2000
CRD: SELSER	DWG: SELSER4	CH. JAK
SCALE: 1" = 30'		DWG. NO. <b>C-99-1261 UP</b>

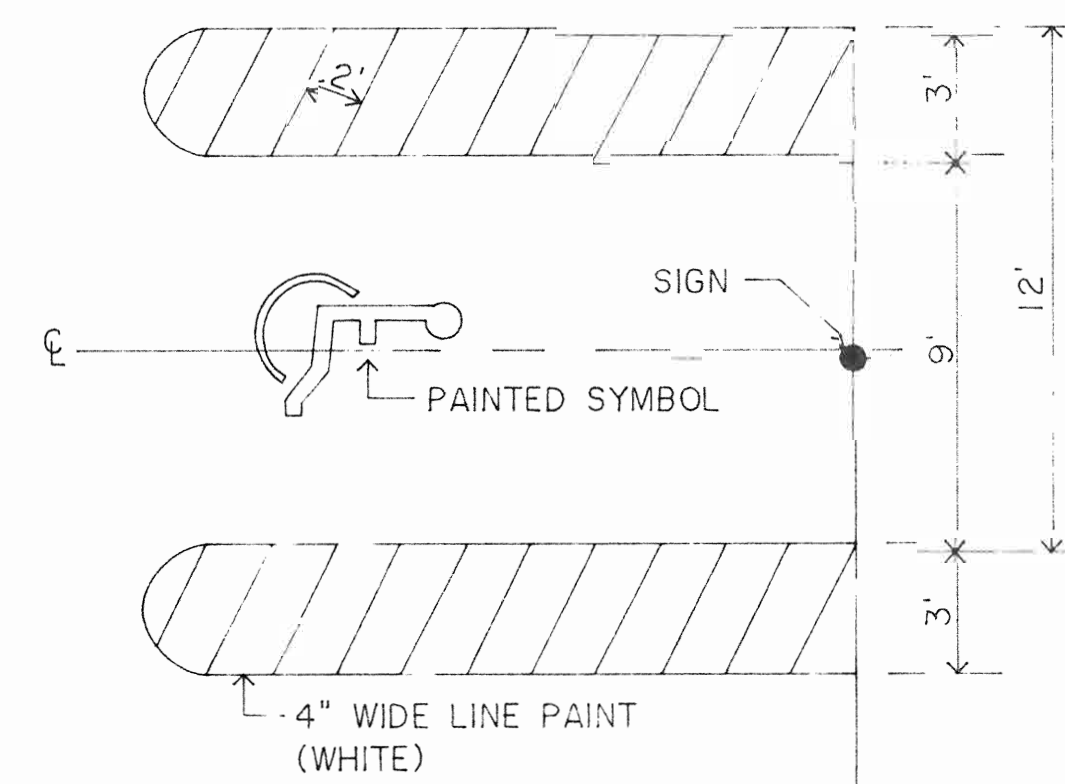


PROVIDE THIS PAVING SECTION WHERE INDICATED ON PLANS.

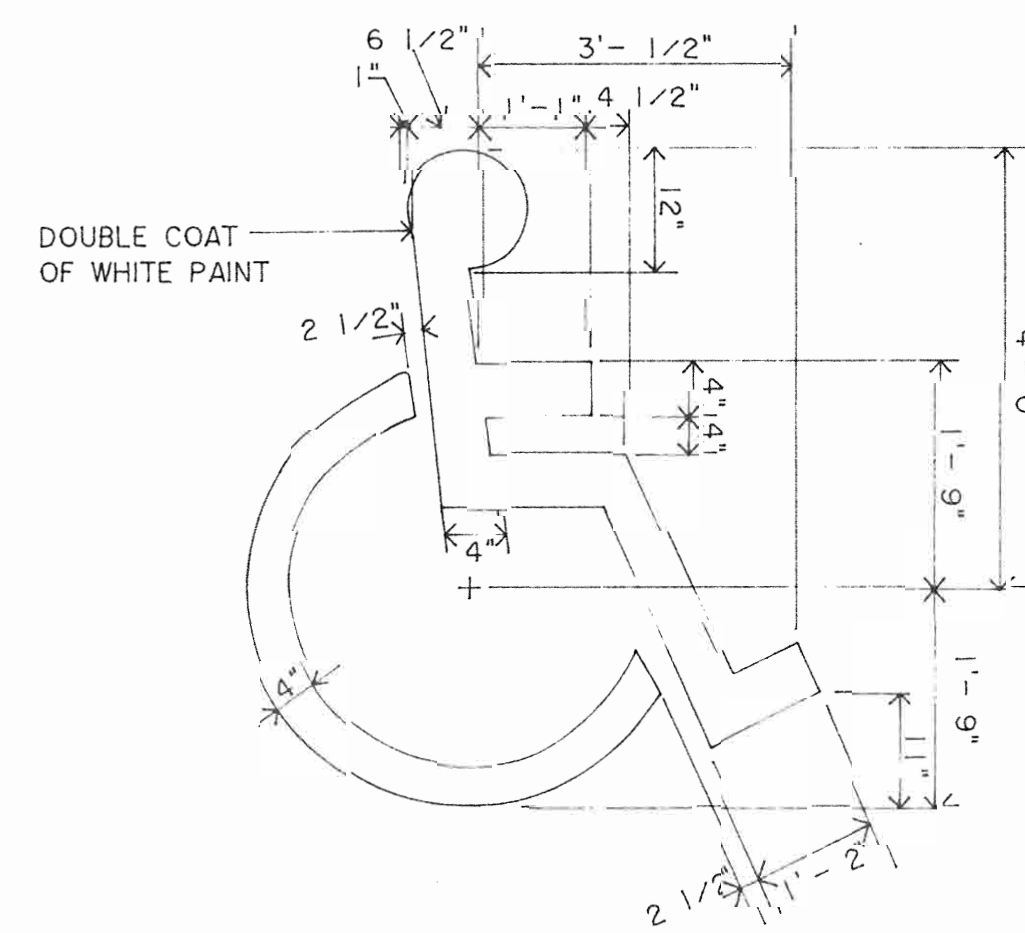
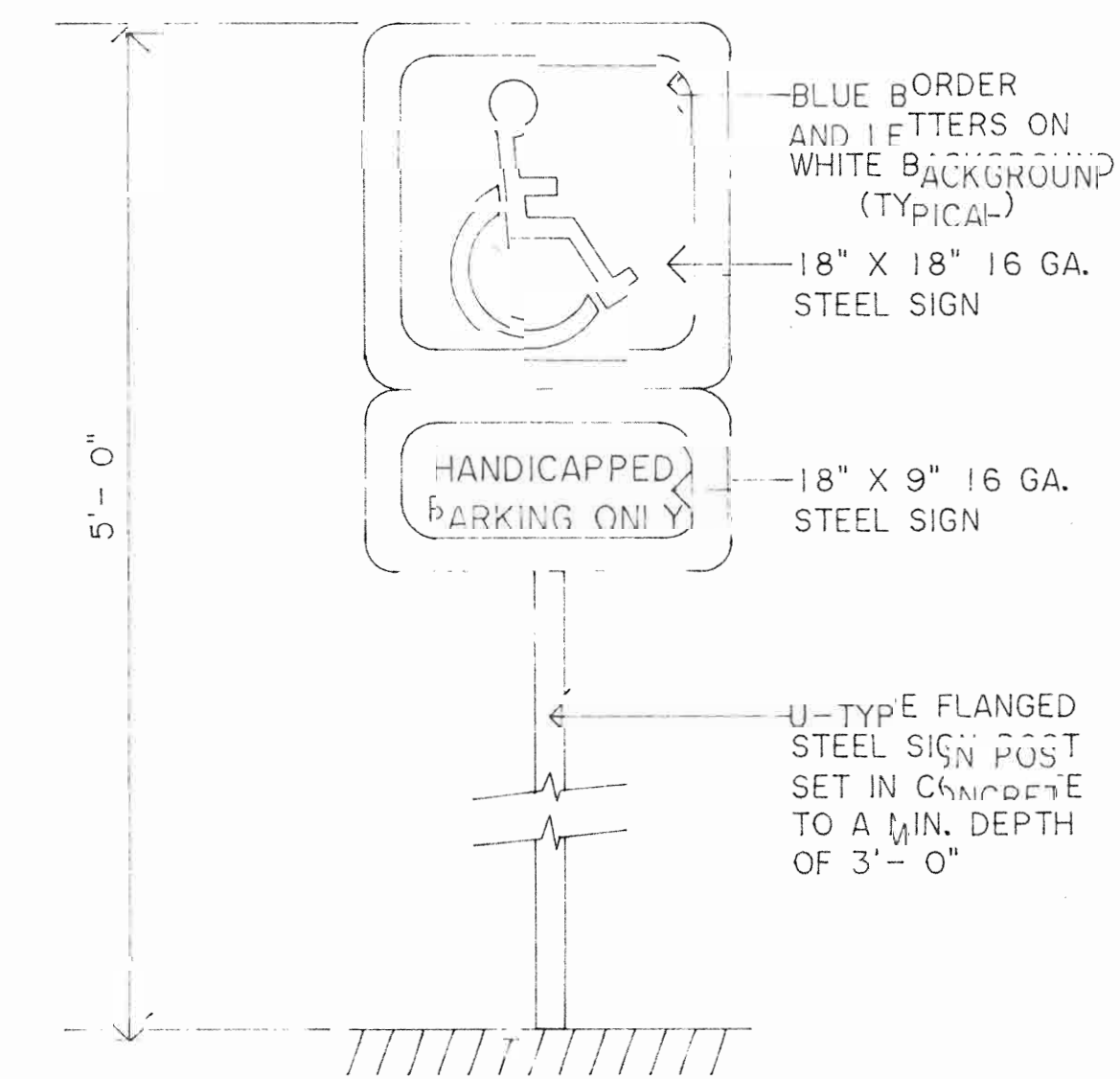
BITUMINOUS CONC. PAVING - MEDIUM DUTY



90° PARKING

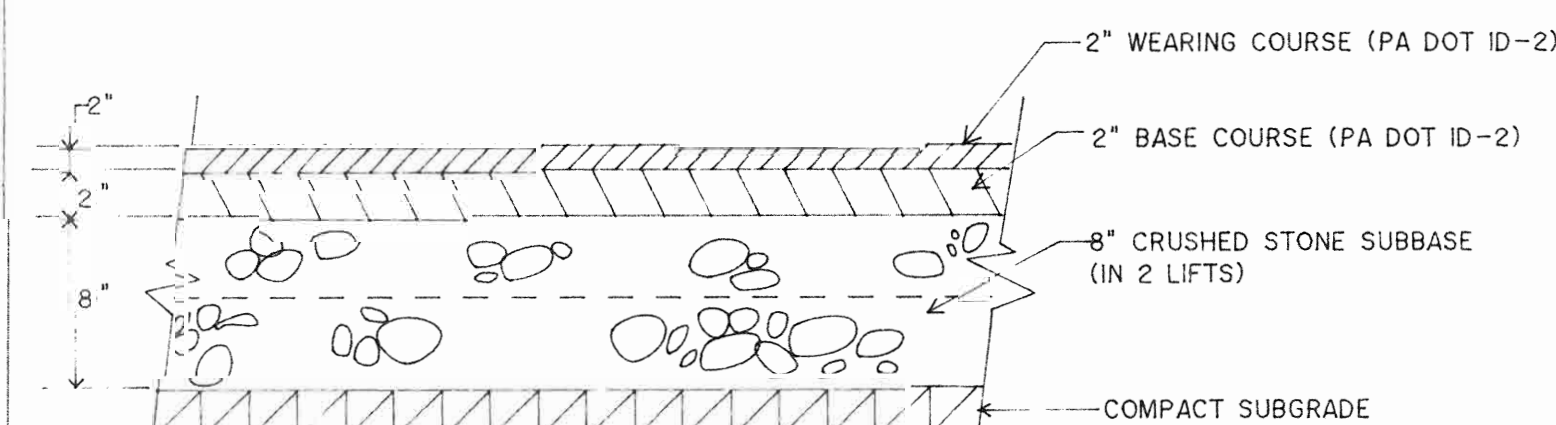


TYPICAL HANDICAPPED PARKING



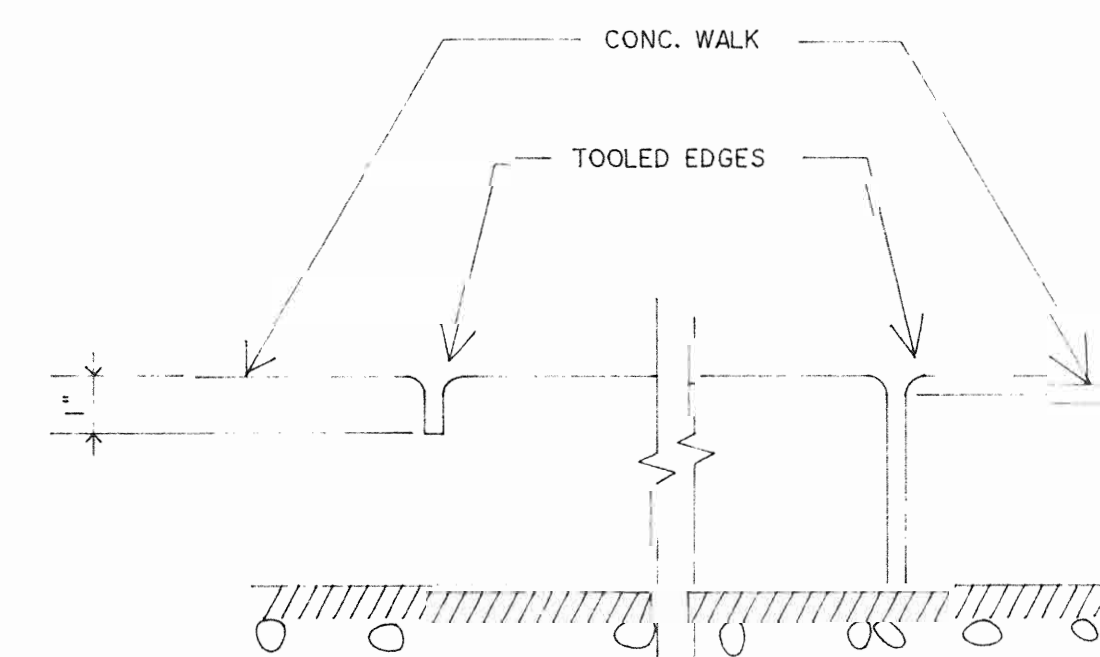
NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.

PAINTED SYMBOL



PROVIDE THIS PAVING SECTION WHERE INDICATED ON PLANS (IN SERVICE COURTS AND ALL DELIVERY DRIVEWAYS)

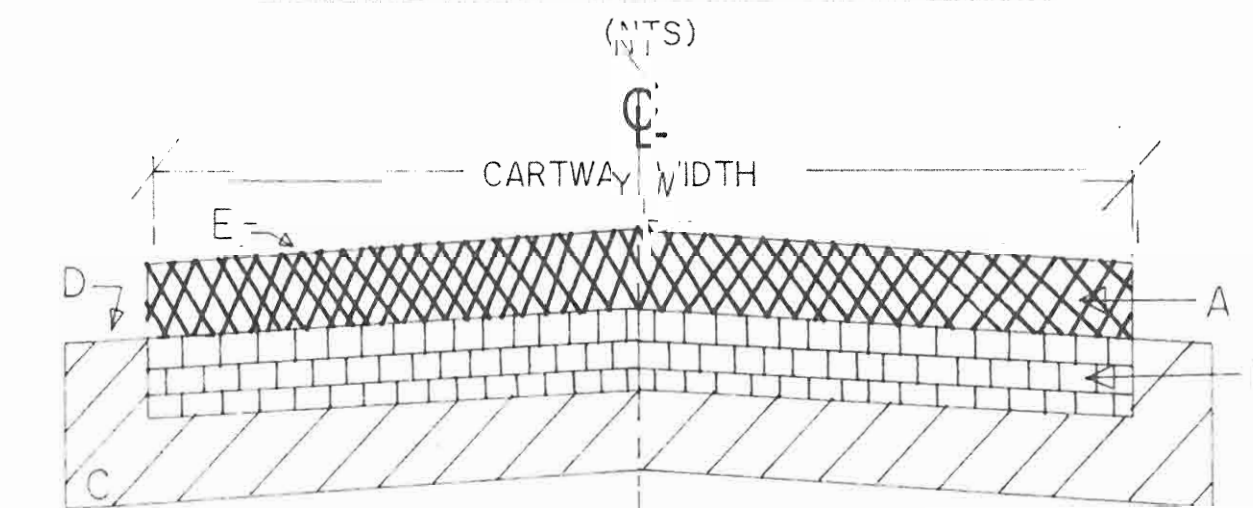
BITUMINOUS CONC. PAVING - HEAVY DUTY



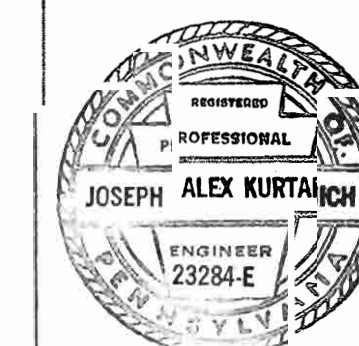
NOTE: SEE PLOT PLAN FOR LOCATION OF SCORE MARKS AND EXPANSION JOINT IN CONCRETE WALKS

SIDEWALK JOINTS

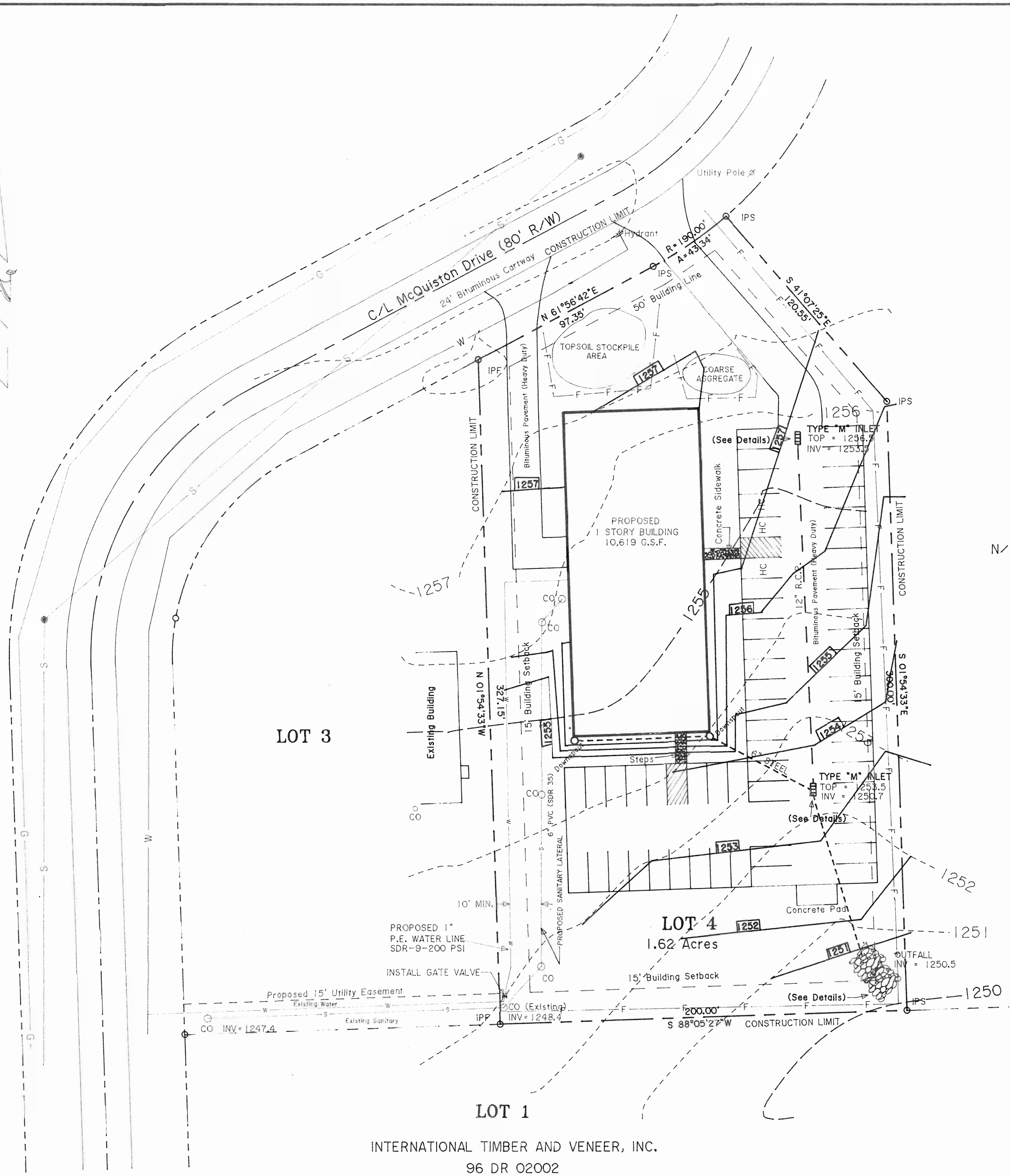
DRIVEWAY CROSS SECTION



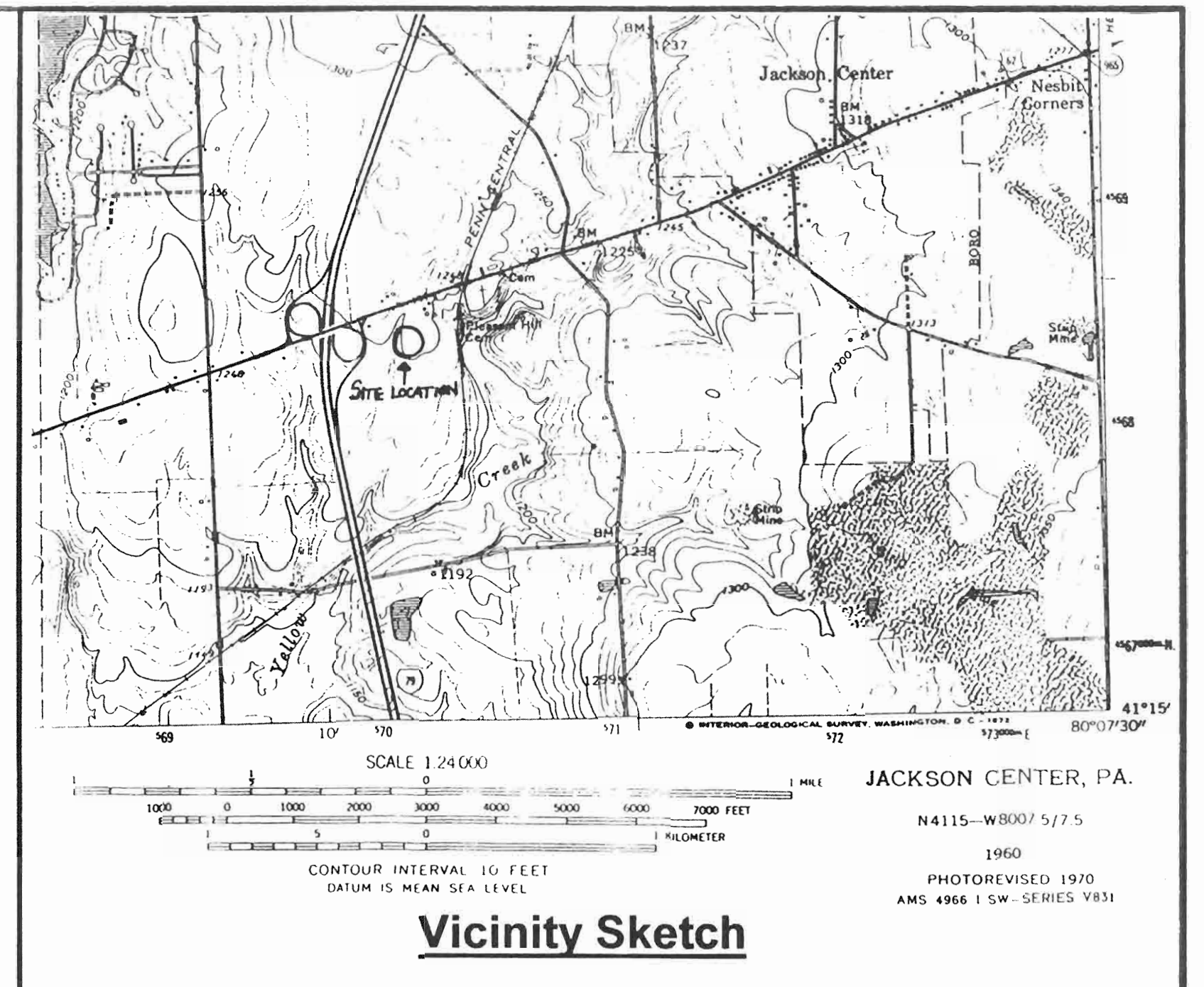
- (A) WEARING COURSE (PENNDOT ID-2)
- (B) BASE COURSE (PENNDOT ID-2)
- (C) SUBBASE - 8" CRUSHED STONE
- (D) SUBBASE TO EXTEND 1 FT. BEYOND PAVEMENT
- (E) 3/8" PER FT. MAXIMUM CROWN SLOPE



SITE DETAIL-S		
PA. DEPT. OF HEALTH		
JACKSON COMMERCE PARK		
Jackson Township		Mercer County, PA
NO.	DESCRIPTION AND DATE	BY
KURTANICH ENGINEERS & ASSOCIATES, INC.		
5124 EAST STATE STREET		
HERMITAGE, PA 16148 (724) 981-4570		
C&G FILES		DR. JK
DATE: 2-21-00		DWG. NO.
CRD: SESLERDE	DWG: SESLERDE	CH. JAK
SCALE: None		C-99-1261 D1



N/F LAKEVIEW AREA  
INDUSTRIAL CORPORATION



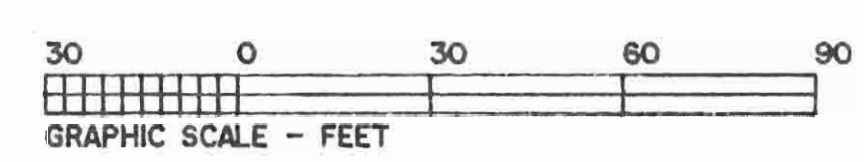
**LEGEND**

PROPERTY LINE	---
FILTER FENCE	-F-F-
WATER	~ ~ ~
GAS	-G-G-
SANITARY	-S-S-
STORM	-S-S-
CATCH BASIN	□
CLEANOUT	C
PROPOSED CONTOUR	1252

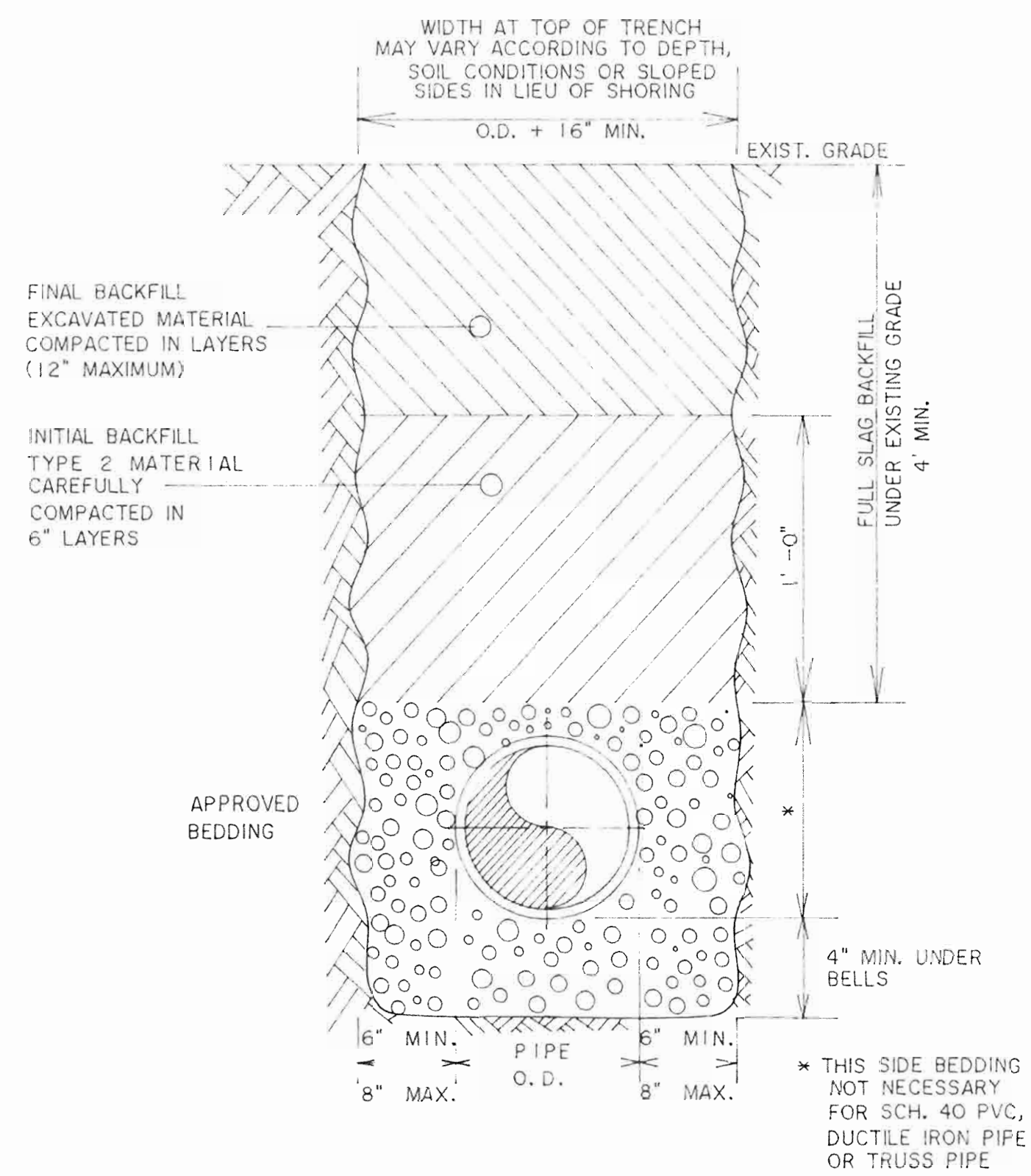
NOTE: SOILS ON THE SITE CONSIST OF R6B2-RAVENNA SILT LOAM 3-8% SLOPES, MODERATELY ERODED.

PARKING

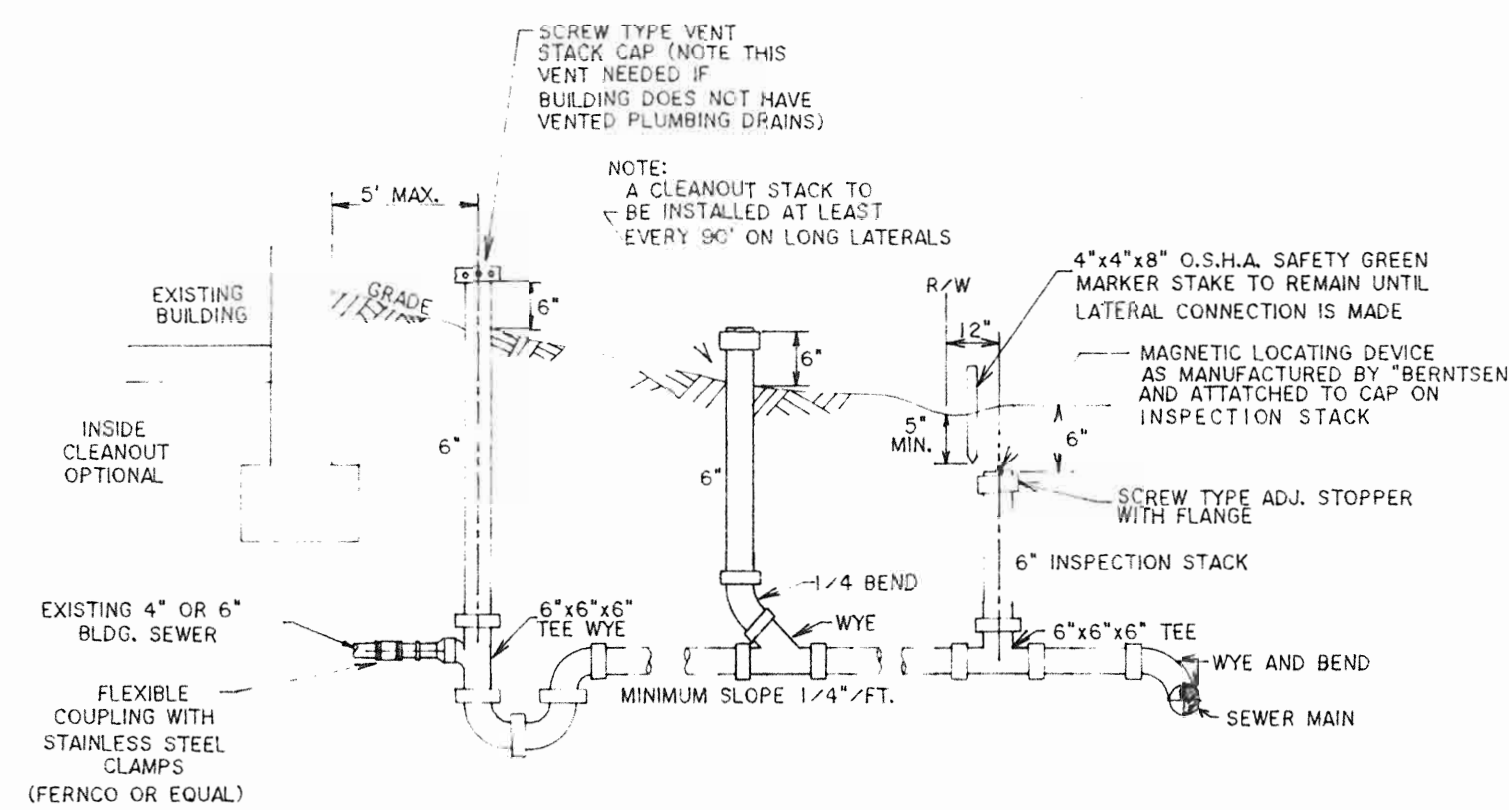
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HANDICAP	3
TOTAL	58



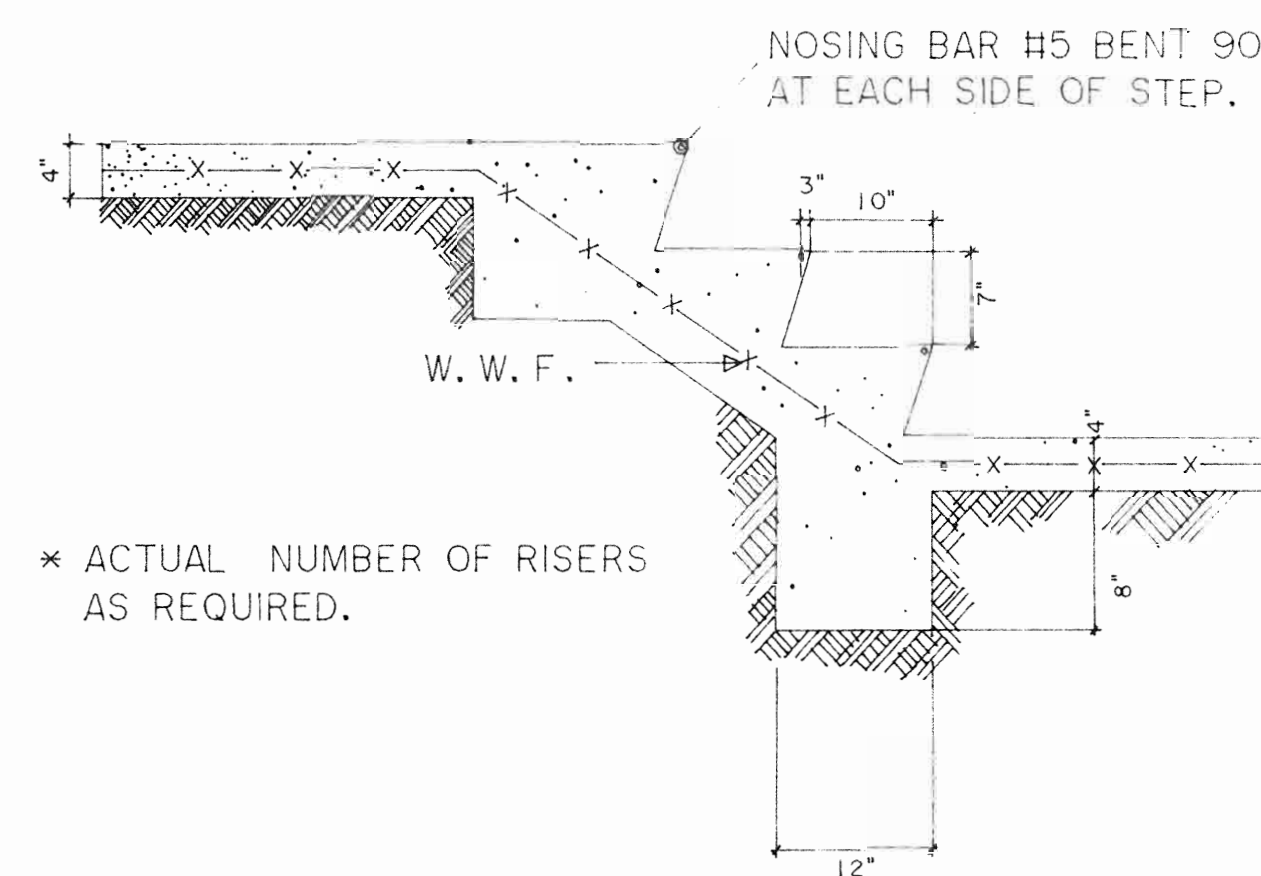
	EROSION & SEDIMENT CONTROL PLAN	
	PA. DEPT. OF HEALTH	
<b>JACKSON COMMERCE PARK</b> Jackson Township, Mercer County, PA		
KURTANICH ENGINEERS & ASSOCIATES, INC. 6124 EAST STATE STREET HERMITAGE, PA 16148 (724) 981-4570		
C&G FILES DR. SME DATE: 2-4-2000 DWG. NO.		
CRD: SELSER DWG: SESLERS	CH. JAK SCALE: 1" = 30'	<b>C-99-1261 ES</b>



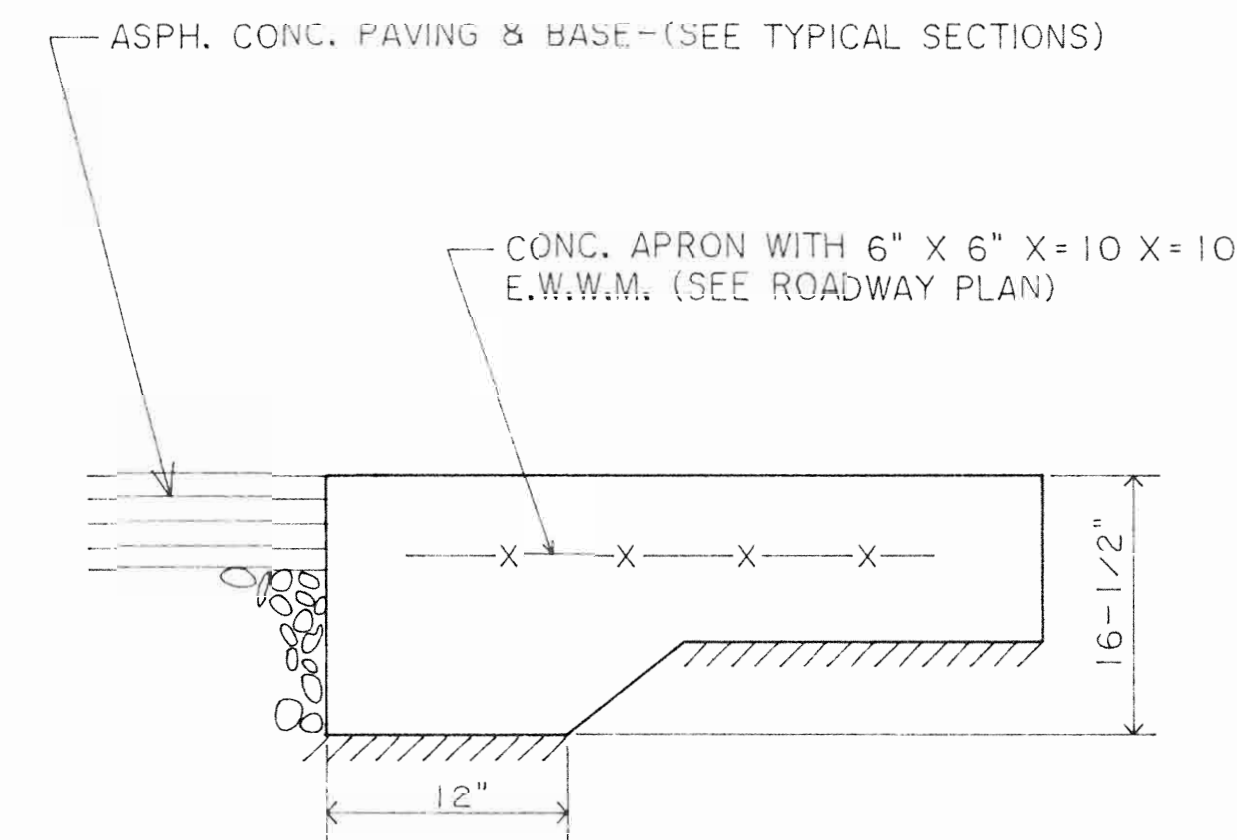
**TRENCH DETAIL**



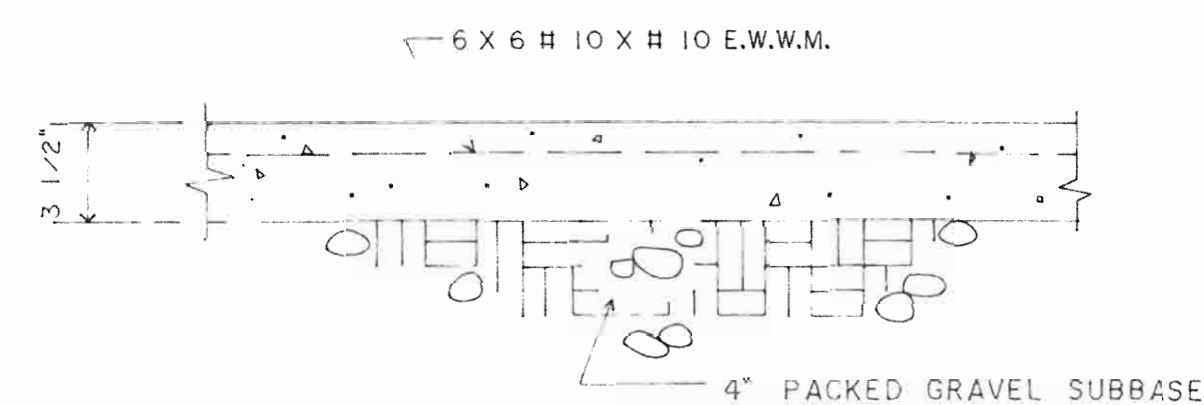
**BUILDING SEWER LATERAL DETAIL**



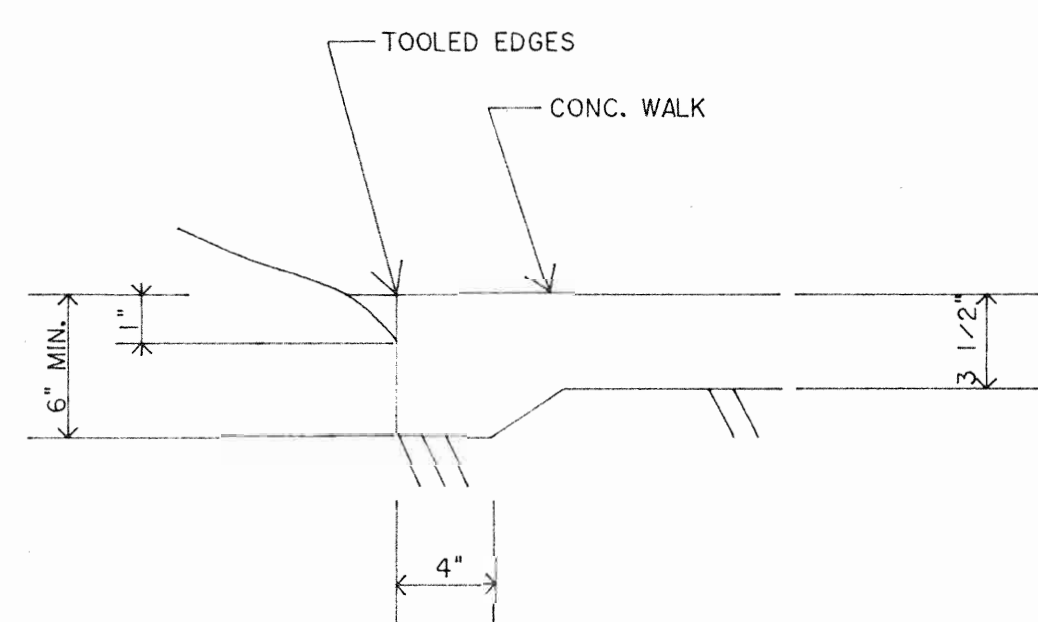
**CONCRETE STEPS  
NTS**



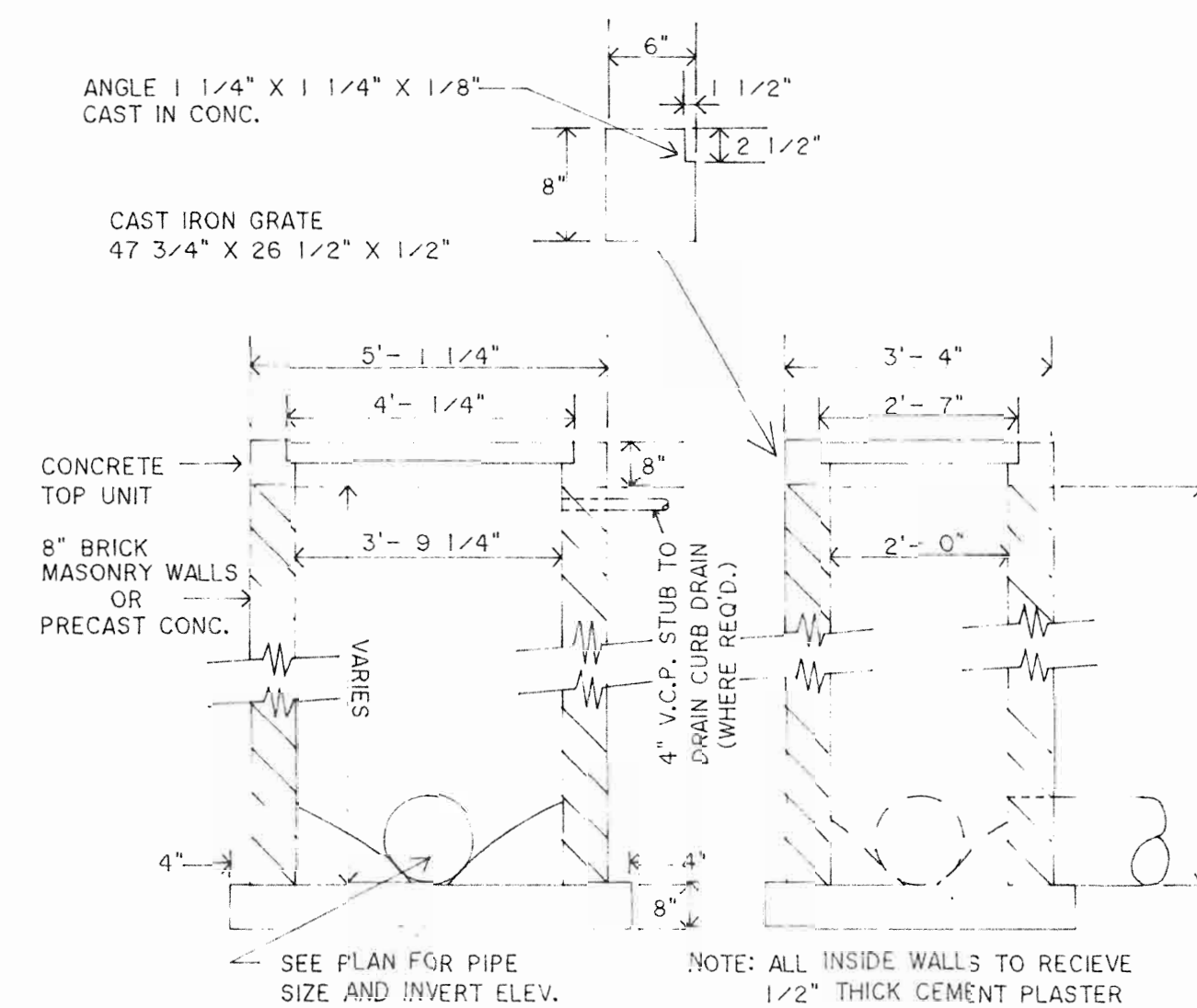
**CONCRETE APRON**



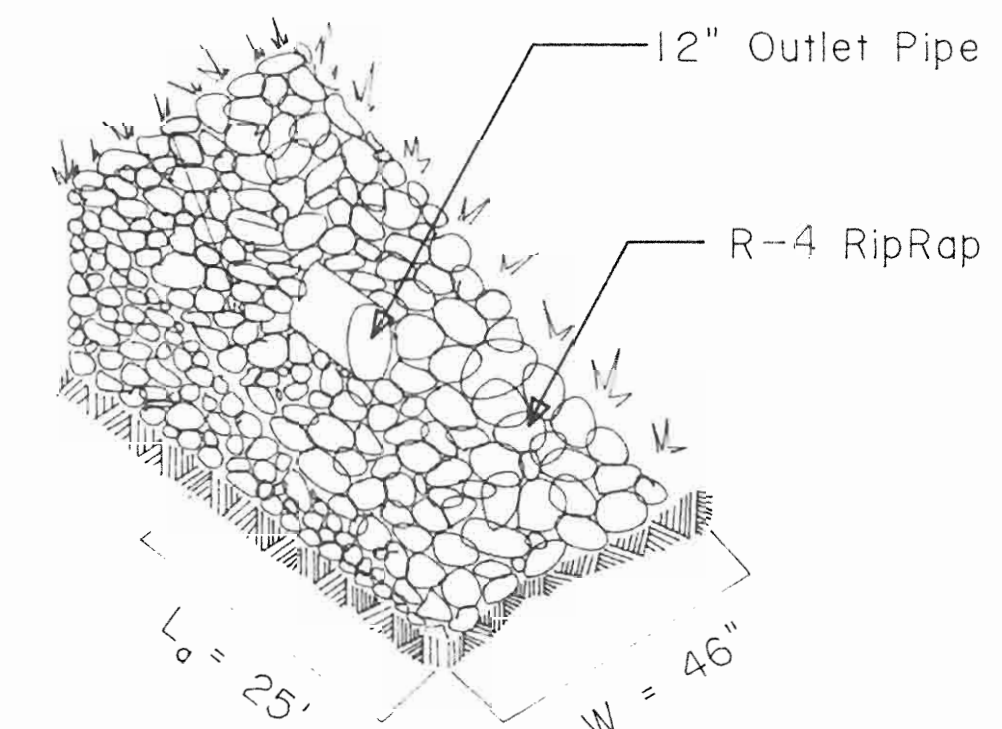
**CONCRETE SIDEWALK**



**BACK OF CONC. WALK**



**TYPICAL 'M' TYPE INLET ('C' TYPE SIMILAR)**

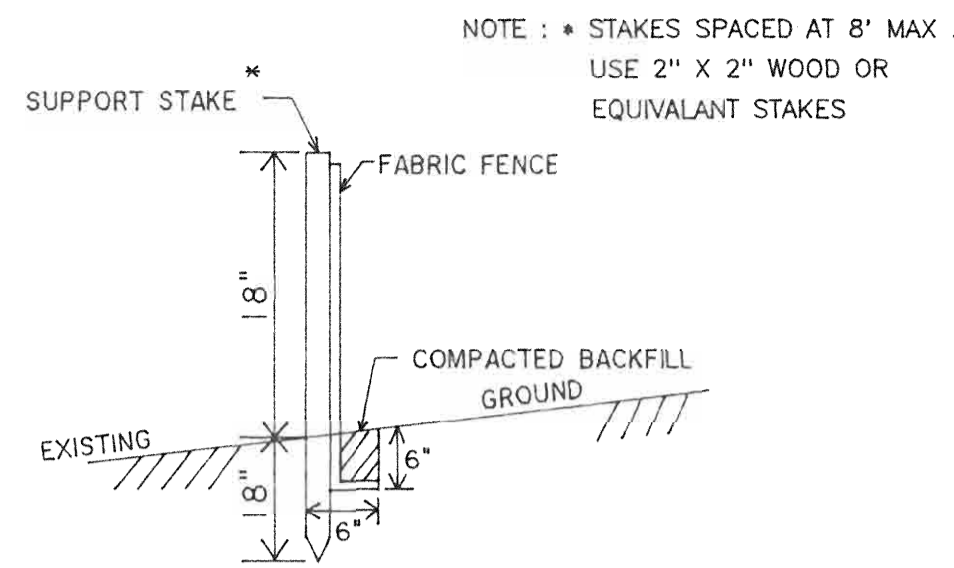


RipRap Size:  $d_{50} = 6"$   
 NSA RipRap Number R-4  
 Discharge =  $4 \text{ ft}^3/\text{sec}$

Data derived from Worksheet No. 24 and page 4.44 in the Erosion and Sediment Control Manual.

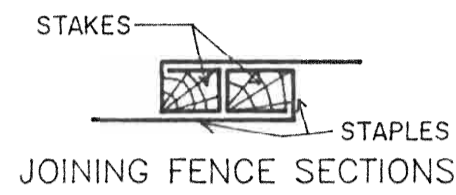
**RipRap Detail  
NTS**

		SITE DETAILS	
		<b>PA. DEPT. OF HEALTH</b> <b>JACKSON COMMERCE PARK</b> Jackson Township      Mercer County, PA	
NO.	DESCRIPTION AND DATE	BY	KURTANICH ENGINEERS & ASSOCIATES, INC. 6124 EAST STATE STREET HERMITAGE, PA 16148      (724) 981-4570
REVISIONS		DR.	DATE
C&G FILES		DR.	DATE
CRD: SESLERD2	DWG: SESLERD2	CH.	JAK
SCALE: None		DATE:	2-21-00
		DWG. NO.	C-99-1261 D2



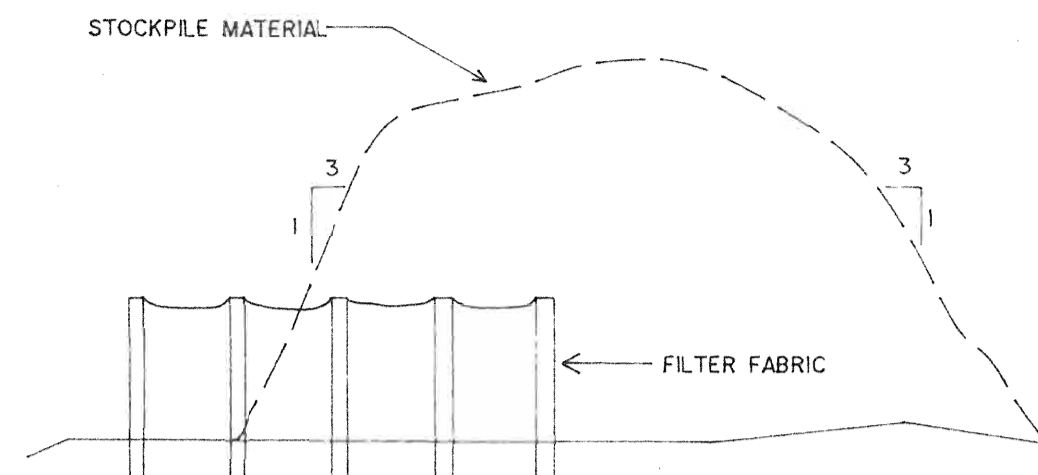
**FILTER FABRIC FENCE (18" HIGH)**

NTS



Filter Fabric Fence must be installed at level grade. Both ends of fence section must be extended at least 8 feet upslope at 45 degrees to the main fence alignment.

Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.



**TYPICAL STOCKPILE DETAIL**

NTS

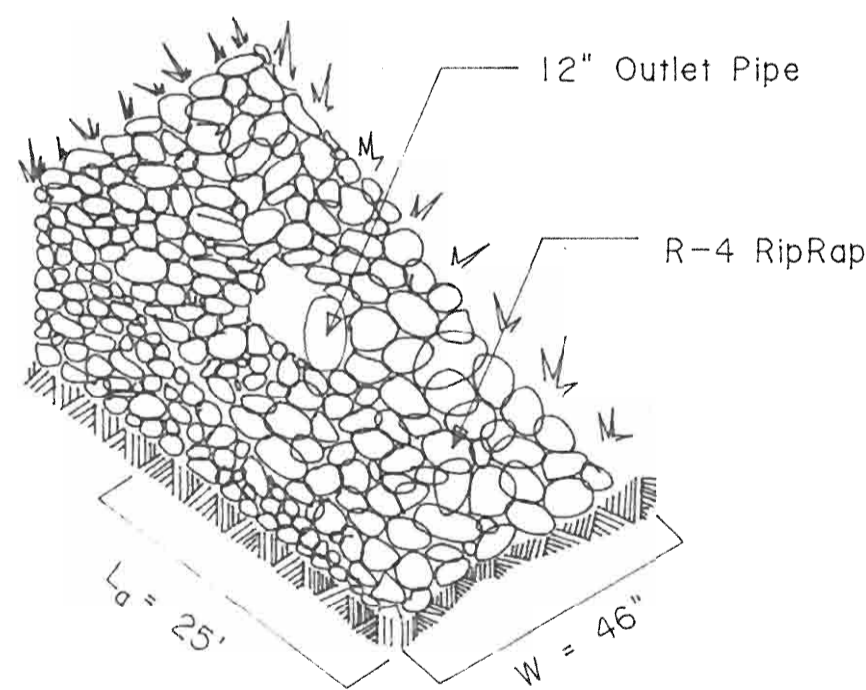
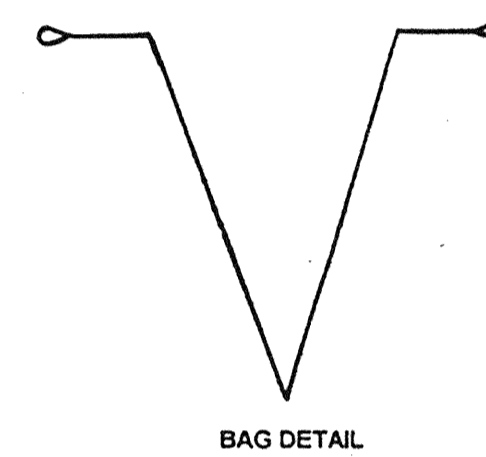
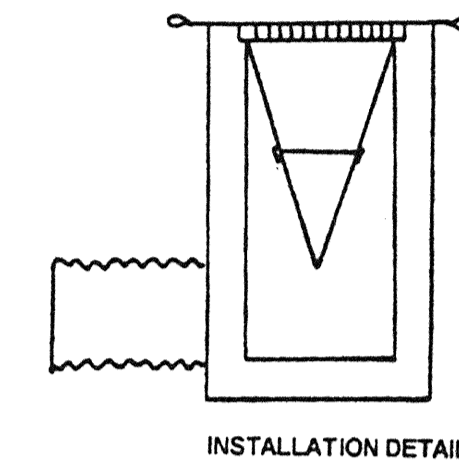
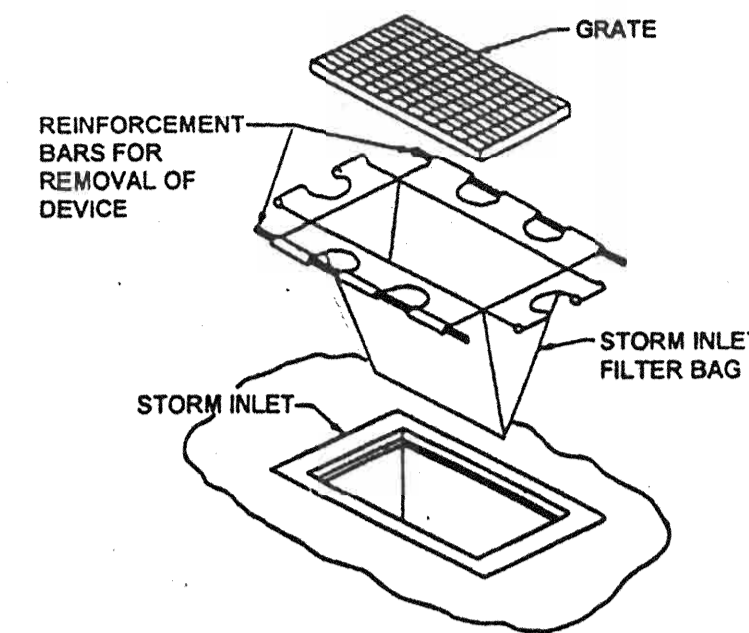
NOTE: STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE NO GREATER THAN 3:1. SEE DETAILS FOR INSTALLATION OF FILTER FABRIC.

**CONSTRUCTION SEQUENCE**

THE FOLLOWING SEQUENCE HAS BEEN ESTABLISHED TO MINIMIZE THE POTENTIAL FOR SOIL EROSION AND SEDIMENT POLLUTION. THE CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCE AND PREVENT SOIL EROSION AND SEDIMENT POLLUTION BY INSTALLING PROPER MEASURES.

1. COMPLETE PENNSYLVANIA UTILITY PROTECTION SERVICES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
2. NOTIFY THE MERCER COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. INSTALL SILT FILTER FABRIC FENCE DOWNSLOPE OF CONSTRUCTION ENTRANCE AREA.
4. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL IN AREA OF PROPOSED CONSTRUCTION ENTRANCE.
5. IMMEDIATELY INSTALL FILTER FABRIC AND STONE MATERIAL IN AREA OF PROPOSED CONSTRUCTION ENTRANCE.
6. STABILIZE ANY REMAINING DISTURBED SOIL WHICH SHALL REMAIN EXPOSED FOR MORE THAN 20 DAYS ACCORDING TO TEMPORARY SEEDING CHART.
7. IMMEDIATELY COMPACT SUBGRADE AND PLACE ACCESS DRIVE MATERIAL.
8. TEMPORARILY STABILIZE ANY REMAINING DISTURBED SOIL WITH TEMPORARY SEEDING AND MULCH. ANY DISTURBED SOIL IN WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS MUST BE STABILIZED IMMEDIATELY ACCORDING TO PLAN (STONE BASE OR SEEDING CHART).
9. INSTALL DOWNSLOPE E & S CONTROL MEASURES (I.E. SILT FILTER FENCE).
10. CLEAR AND GRUB VEGETATION, STRIP TOPSOIL AND REMOVE UNACCEPTABLE MATERIAL FROM AREA TO BE GRADED.
11. STOCKPILE TOPSOIL (IF ANY) IN AREA SHOWN ON PLAN ACCORDING TO DETAIL.
12. IMMEDIATELY STABILIZE SIDE SLOPES WITH SEEDING AND MULCH.
13. EXCAVATE AREA OF FOOTINGS, INSTALL FOOTINGS AND BACKFILL FOUNDATION. COMPLETE FINAL GRADING AROUND BUILDING WITH STONE MATERIAL.
14. STABILIZE ANY AREAS REMAINING EXPOSED FOR MORE THAN 20 DAYS ACCORDING TO FINAL SEEDING CHART.
15. AFTER ALL AREAS ARE AT LEAST 75% STABILIZED, DOWNSLOPE TEMPORARY CONTROL MEASURES SHALL BE REMOVED.

**STANDARD CONSTRUCTION DETAIL #28  
Inlet Filter Bag**



RipRap Size:  $d_{50} = 6"$

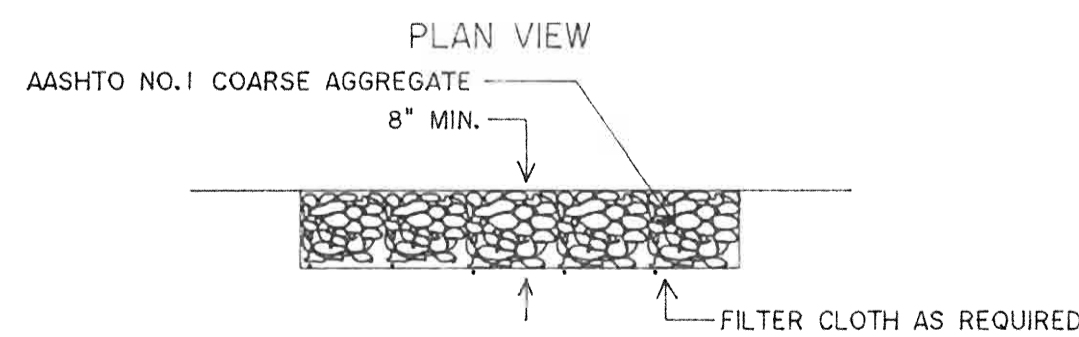
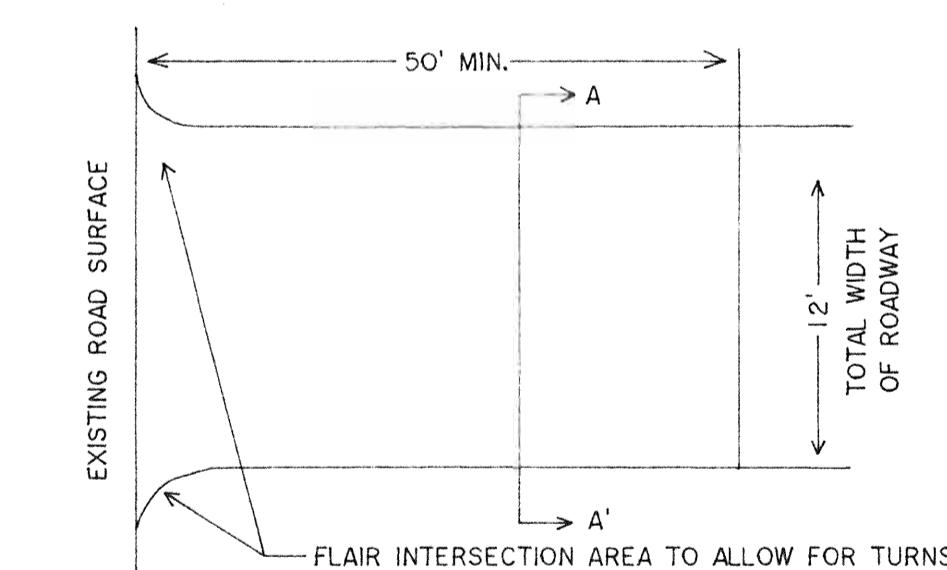
NSA RipRap Number R-4

Discharge =  $4 \text{ ft}^3/\text{sec}$

Data derived from Worksheet No. 24 and page 4.44 in the Erosion and Sediment Control Manual.

**RipRap Detail**

NTS



**CONSTRUCTION ENTRANCE**

NTS

**EROSION AND SEDIMENTATION CONTROL MAINTENANCE SCHEDULE**

**MAINTENANCE:**

ALL EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT. THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REMEDIAL MAINTENANCE INCLUDING: CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING IMMEDIATELY IN AREAS OF DAMAGE.

ONCE THE CONSTRUCTION IS COMPLETE AND THE DEVELOPER ACCEPTS THE WORK, THE RESPONSIBILITY FOR KEEPING CONTROL FACILITIES (INCLUDING SEEDING AND MULCHING) IN MAINTENANCE OF SPECIFIC CONTROL DEVICES SHALL BE AS FOLLOWS:

**ROCK FILTERS:**

ROCK FILTERS WILL BE REMOVED WHEN CLOGGED WITH SEDIMENTS. MATERIAL MUST BE WASHED COMPLETELY FREE OF ALL FOREIGN MATERIALS OR NEW ROCK USED TO REBUILD THE FILTER.

**FILTER FENCE:**

1. THE FENCE SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
2. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. SEDIMENT DEPOSITS MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 OF THE ABOVE GROUND HEIGHT OF THE FENCE.
3. ALL UNDERCUTTING OF EROSION OF THE TOE ANCHOR WILL BE REPAIRED WITH COMPACTED BACKFILL MATERIALS.

**INLET FILTER BAGS:**

1. INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.
2. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS 1/2 FULL.
3. DAMAGED FILTER BAGS SHOULD BE REPLACED.
4. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.

**CONSTRUCTION ENTRANCES:**

THE STRUCTURE'S THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING COARSE AGGREGATE. A STOCKPILE OF COARSE AGGREGATE MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL BE PROHIBITED.

Seeding Specifications						
Type of Cover & Species of Mixture	Percent of Mixture	Seeding Rates in Lbs./1000 Sq. Ft.	Lbs. Per Acre	Temporary	Permanent	Recommended For Seeding
KY .31 Tall Fescue or Creeping Red Top or Birdfoot Trefoil	74 11 15	1 - 2	47		X	3/15 to 6/1 8/1 to 9/15
Red Canarygrass or Birdfoot Trefoil	81 19	1 - 2	37		X	3/15 to 6/1 8/1 to 9/15
KY .31 Tall Fescue or Creeping Red Fescue	100	1 - 2	40		X	3/15 to 6/1 8/1 to 9/15
Timothy Birdfoot Trefoil	29 71	1.5 - 1	14		X	3/15 to 6/1 8/1 to 9/15
Spring Oats (Spring)	100	2.5	109	X		
Winter Rye (Fall)	100	3.5	152	X		

**1.0 EROSION AND SEDIMENT POLLUTION CONTROL MEASURES**

**a) SEEDING**

**1) Temporary Seeding:**

1a. Highly eroded or problem areas shall be seeded with a temporary annual grass or small grain to establish soil stabilization. Disturbed areas to be exposed more than 20 days shall be seeded with the mixtures specified in Table 1.

1b. All cultural operations shall be performed at right angles to the slope if hydro-seeding is not used. Remove from the surface all debris, unsuitable material and stones greater than two (2) inches in diameter. Ground limestone shall be applied uniformly to the soil at a rate of four (4) tons per acre (200 lbs/1000 sq. ft.). The fertilizer (10-20-20) shall be applied at a rate of 1000 lbs. per acre (23lbs/1000 sq. ft.). The lime and fertilizer shall then be worked into the soil to a depth of four (4) inches.

1c. Temporary seed shall be applied uniformly according to the above rate by broadcasting, drilling, or hydraulic application. The seeding mixture shall then be covered with 1/4 inch of soil with suitable equipment. Rye and oats shall be covered with two (2) inches of soil. Supplemental moisture shall be provided under drought conditions and seedbed shall be mulched if seeding cannot be accomplished by September 15.

**2) Final Seeding:**

2a. See 1b. for site preparation.

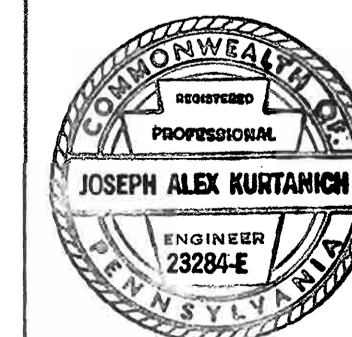
2b. The seedbed shall be smoothed and firmed with a culti-packer or similar equipment prior to seeding. The adopted species shall be selected on a site-specific basis based from Table 1. The seed shall be uniformly applied by hand, cyclone seeder, drill, culti-packer type seeder or hydro-seeder.

2c. Normal seeding depth is from 1/4 to 1/2 inch. Hydro-seeding which contains mulch may be left on the soil surface. Other seeds should be firmed with a roller following seeding operations. After seeding, hay mulch is to be applied at a rate of 2 1/2 to 3 tons per acre.

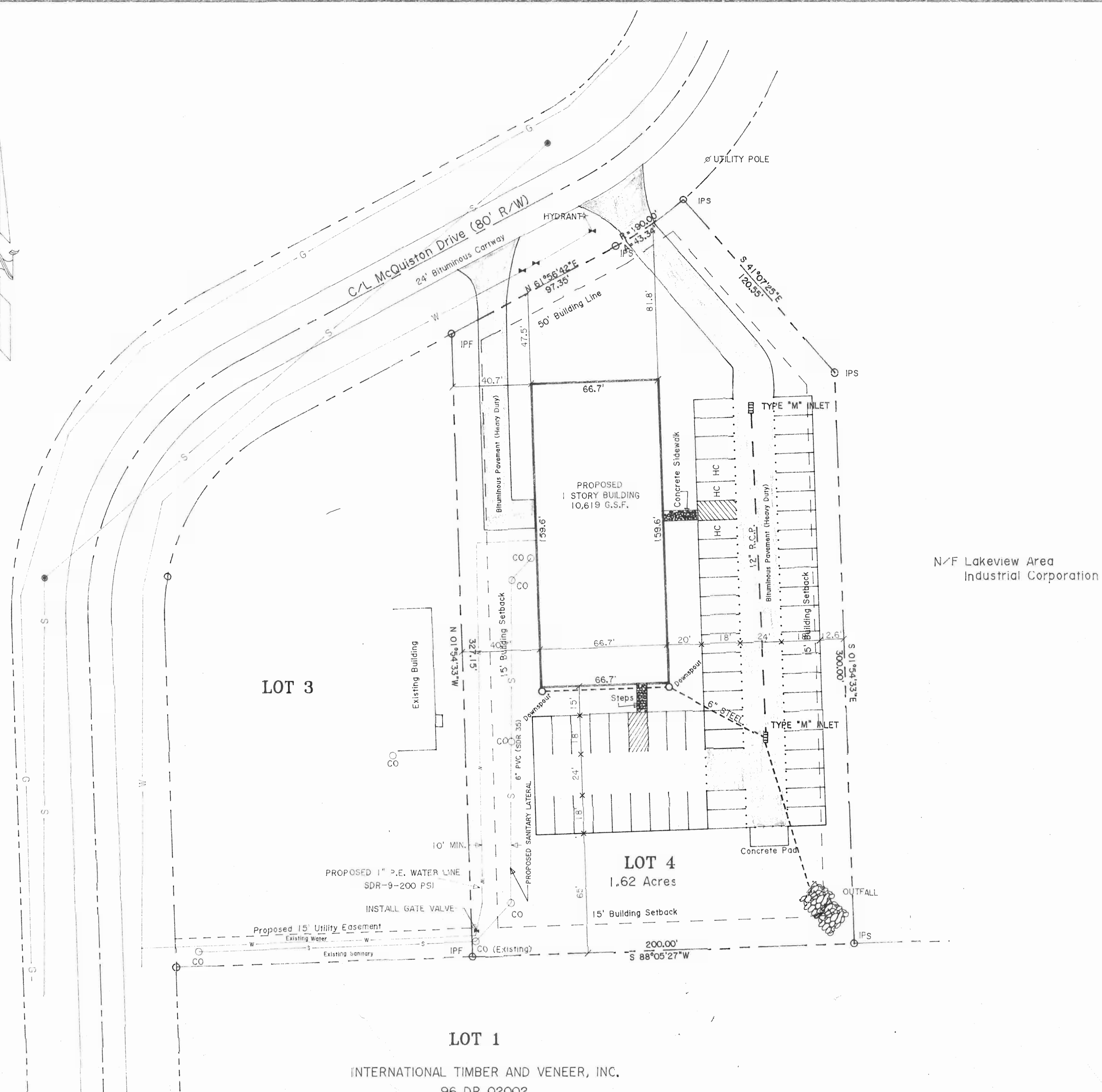
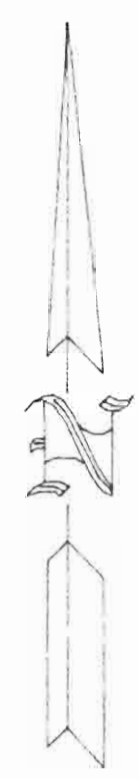
Seeding shall only be performed during the dates of March 15 to June 1 and August 1 to September 15. Mulching shall be carried out during the other days with seeding performed on the first day of the optimum seeding dates. Permanent seeding shall take place within 48 hours of completion of the project.

**b) MULCHING**

Mulch material shall be small-grain straw. Application of straw shall be applied at a rate of 3 tons per acre. The mulch shall be anchored by tucking the mulch into the soil with a straight blade disc, stapling netting over the mulch, or driving pegs into the mulched area at intervals of about four feet and interlacing the pegs with twine.

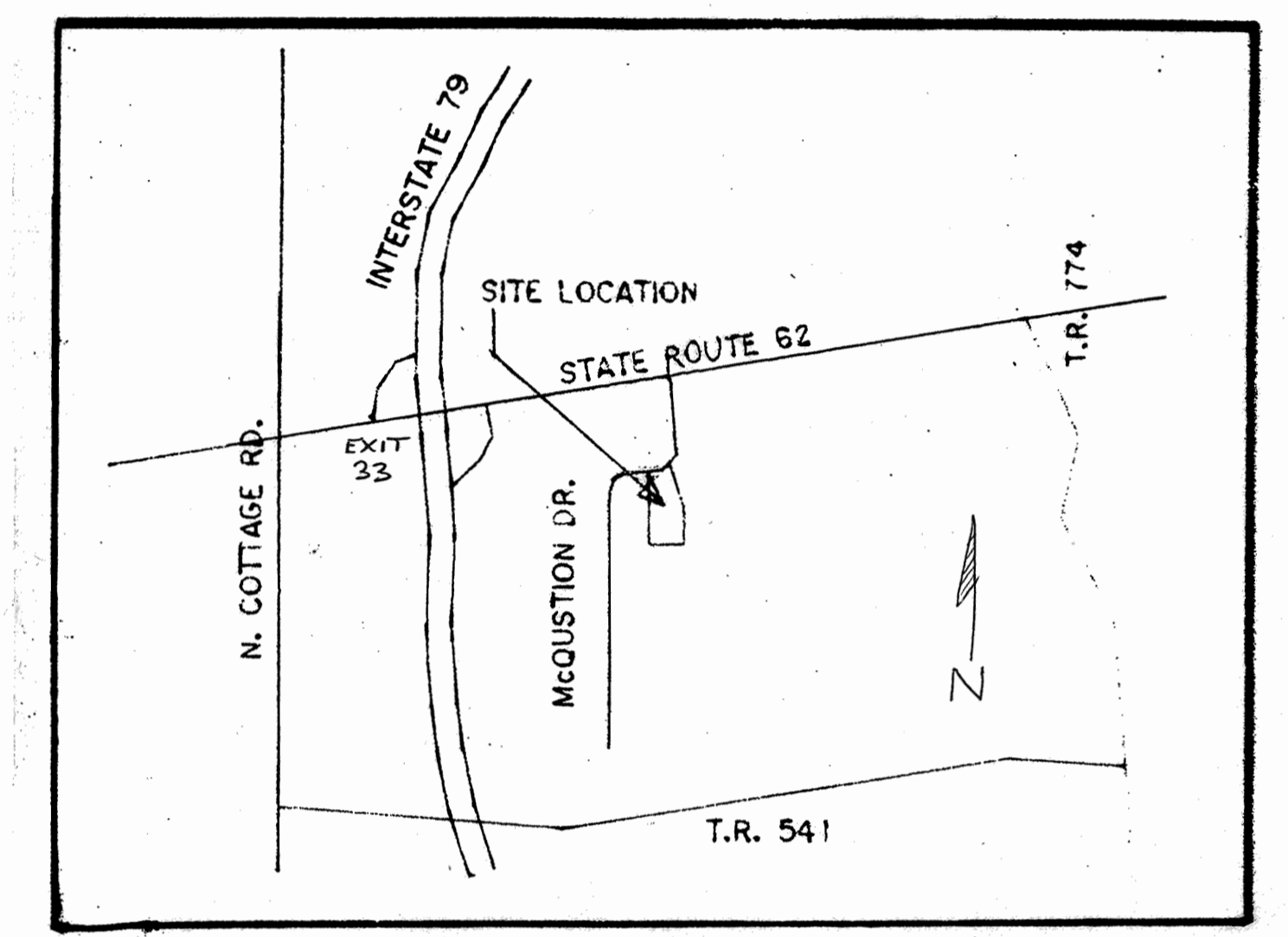


E & S CONTROL PLAN DETAIL SHEET PA. DEPT. OF HEALTH <b>JACKSON COMMERCE PARK</b>			
JACKSON TOWNSHIP		MERCER COUNTY, PA	
KURTANICH ENGINEERS & ASSOCIATES, INC. 6124 EAST STATE STREET HERMITAGE, PA 16148 (724) 981-4570			
NO.	DESCRIPTION AND DATE	BY	REVISIONS
1	COMMENTS-LETTER 03-01-2000	TJM	
C&G FILES		DR. TJM	DATE: 2-22-2000
DWG: SESLDET		CH. JAK	SCALE: AS SHOWN
DWG. NO.		C-99-1261 D3	



**LEGEND**

PROPERTY LINE	---
FILTER FENCE	-F-F-F-
WATER	—w—
GAS	—g—
SANITARY	—s—
STORM	---
CATCH BASIN	□
CLEANOUT	○
BIT. PVMT. HEAVY DUTY	.....

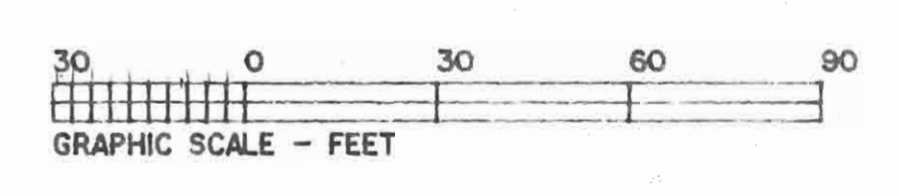


**DRAWING INDEX**

SP 1.0 SITE PLAN	M 1.0 UTILITY PLAN
SP 2.0 EROSION & SEDIMENT PLAN	M 2.0 HVAC PLAN
SP 2.1 EROSION & SEDIMENT DETAILS	E 1.0 SITE PLAN - ELECTRIC
SP 3.0 GRADING PLAN	E 2.0 FLOOR PLAN - ELECTRIC
A 1.0 FLOOR PLAN-ELEVATIONS-SECTIONS	E 3.0 CIRCUIT PLAN-ELECTRIC
A 2.0 REFLECTED CEILING	E 4.0 ELEC. DETAILS & SCHEDULES
A 3.0 DOOR & FINISH SCHEDULE	

**LOT 1**  
INTERNATIONAL TIMBER AND VENEER, INC.  
96 DR 02002

<b>PARKING</b>	
REGULAR	55
HANDICAP	3
<b>TOTAL</b>	<b>58</b>



Revisions
3/16/00
3-24-00
3-28-00

**SITE PLAN**

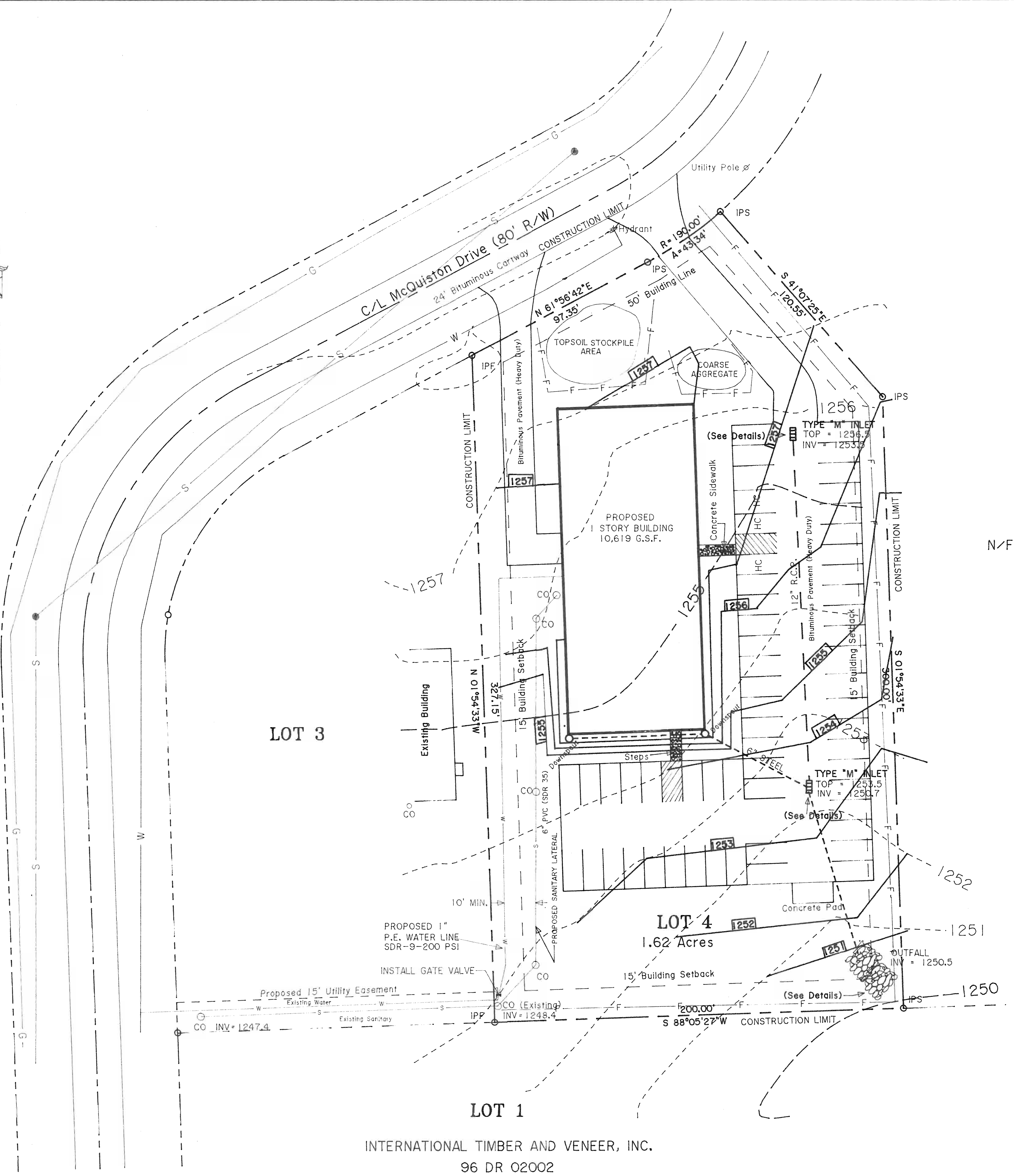
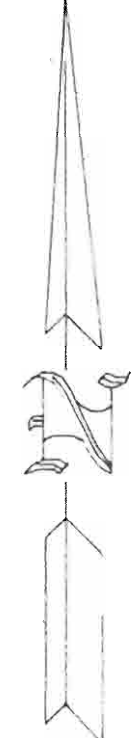
**Northwest District Office**  
**PA Department of Health**  
McQuiston Drive, Jackson Commerce Park  
Jackson Township, Mercer County, PA

**Commonwealth Realty VIII, Ltd. - Owner**

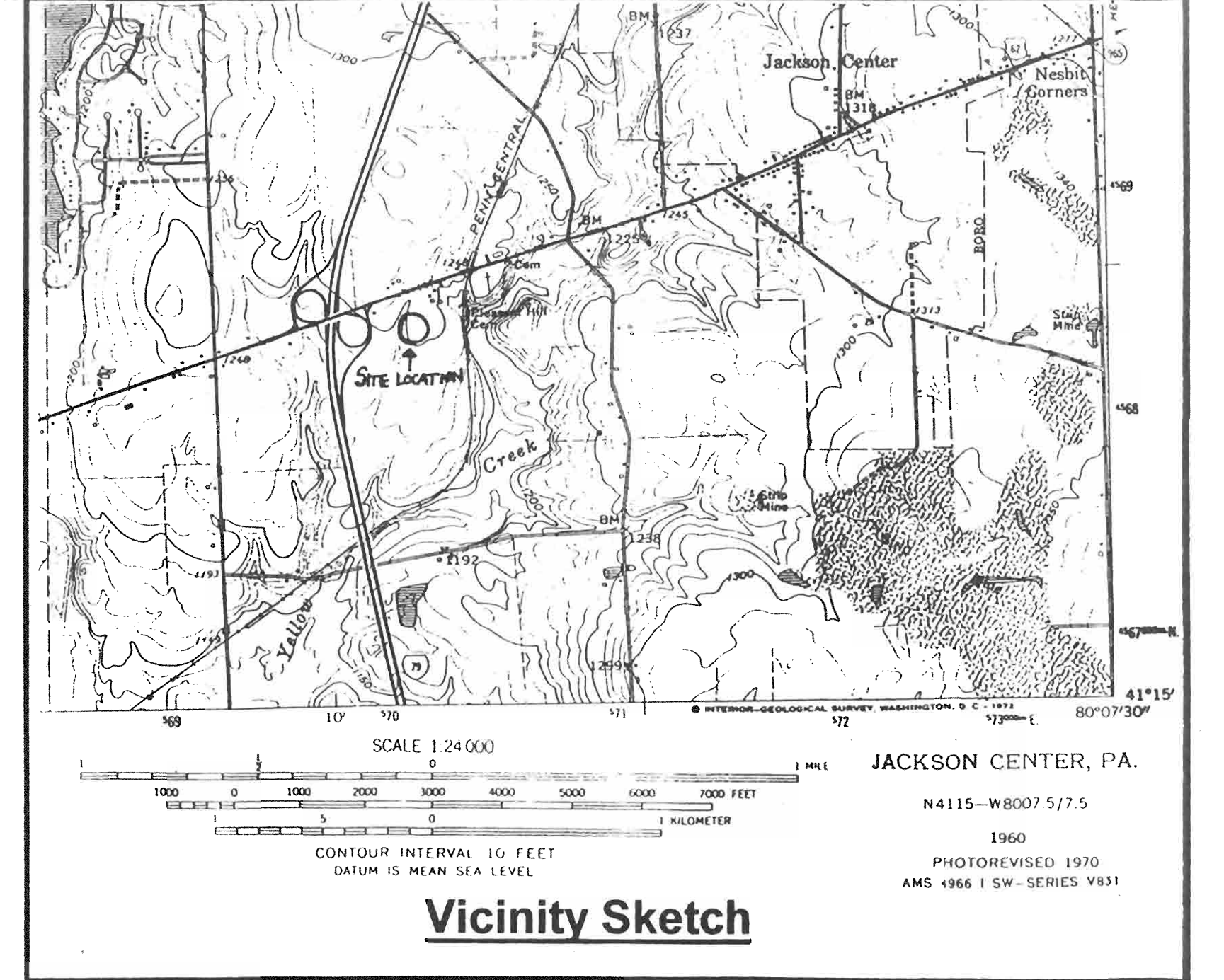
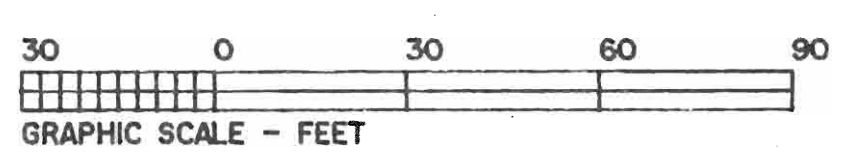
**SHEET**  
**SP**  
**1.0**

Scale: 1" = 30'  
March 01, 2000





PARKING	
REGULAR	55
HANDICAP	3
TOTAL	58

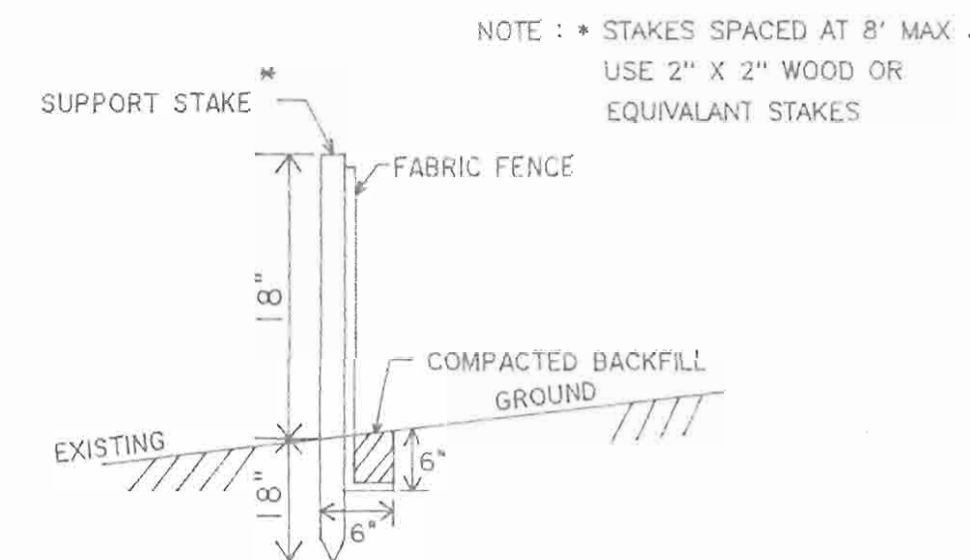


**LEGEND**

PROPERTY LINE	---
FILTER FENCE	-F-F-
WATER	---W---
GAS	---G---
SANITARY	---S---
STORM	---
CATCH BASIN	□
CLEANOUT	○
PROPOSED CONTOUR	1252

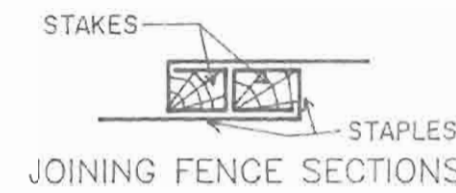
NOTE: SOILS ON THE SITE CONSIST OF R4B2-RAVENNA SILT LOAM 3-8% SLOPES, MODERATELY ERODED.

<b>Revisions</b> 3/16/00 3-24-00	<b>EROSION &amp; SEDIMENT PLAN SHEET</b>	
	<b>Northwest District Office          PA Department of Health          McQuiston Drive, Jackson Commerce Park          Jackson Township, Mercer County, PA</b>	
	<b>Commonwealth Realty VIII, Ltd. - Owner</b>	
	<b>SP 2.0</b> Scale: 1" = 30' March 01, 2000	



**FILTER FABRIC FENCE (18' HIGH)**

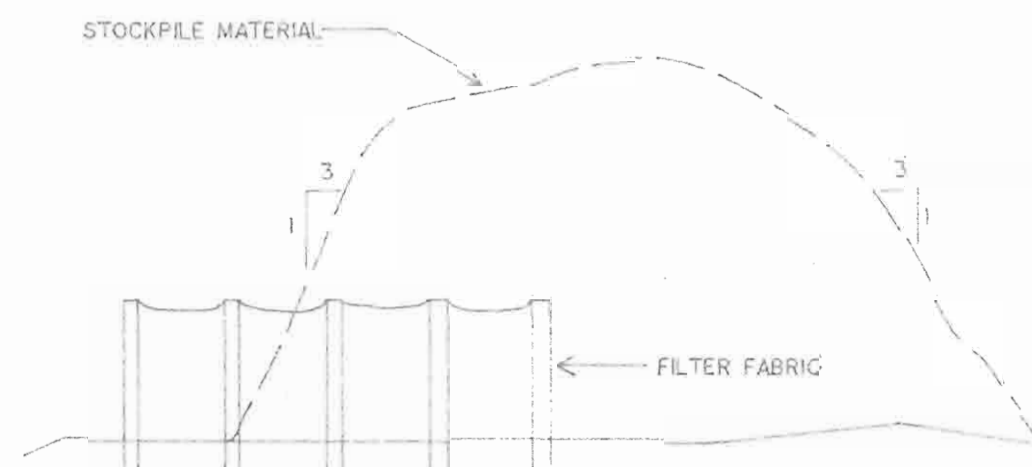
NTS



STAPLES JOINING FENCE SECTIONS

Filter Fabric Fence must be installed at level grade. Both ends of fence section must be extended at least 8 feet upslope at 45 degrees to the main fence alignment.

Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.



**TYPICAL STOCKPILE DETAIL**

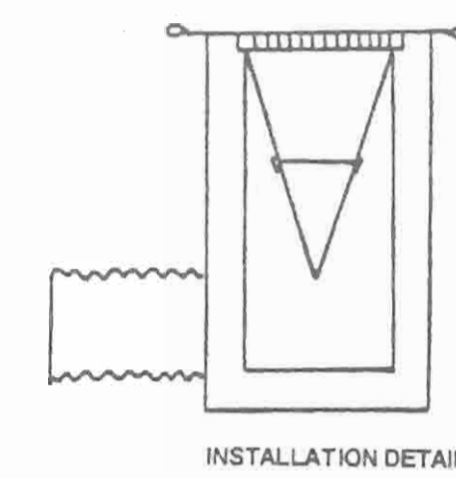
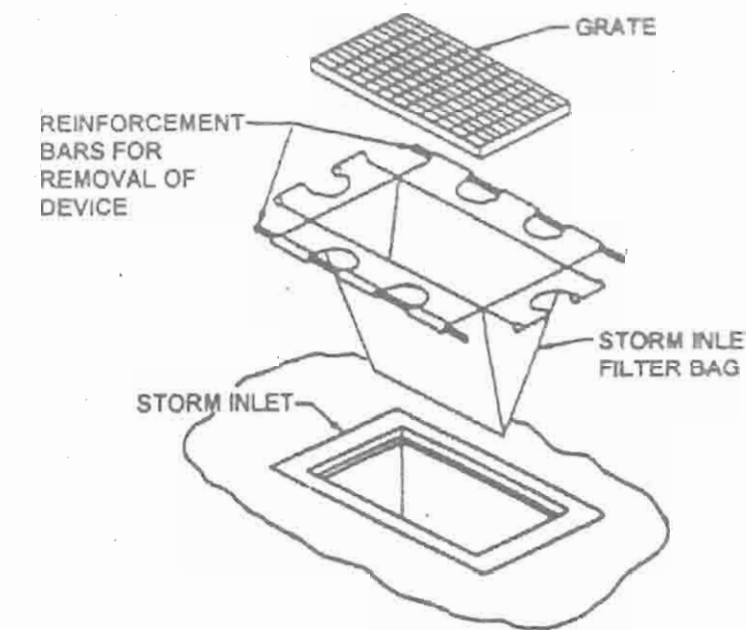
NTS

NOTE: STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE NO GREATER THAN 3:1. SEE DETAILS FOR INSTALLATION OF FILTER FABRIC.

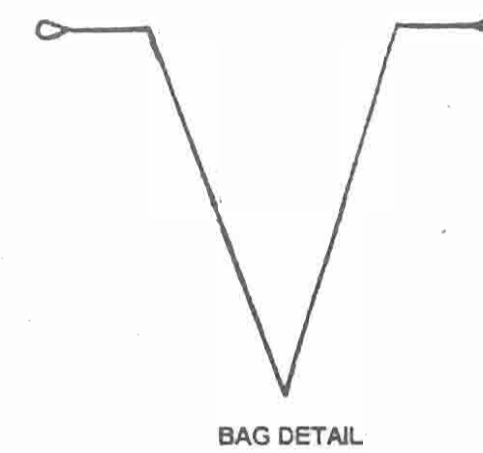
**CONSTRUCTION SEQUENCE**

- THE FOLLOWING SEQUENCE HAS BEEN ESTABLISHED TO MINIMIZE THE POTENTIAL FOR SOIL EROSION AND SEDIMENT POLLUTION. THE CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCE AND PREVENT SOIL EROSION AND SEDIMENT POLLUTION BY INSTALLING PROPER MEASURES.
1. COMPLETE PENNSYLVANIA UTILITY PROTECTION SERVICES AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
  2. NOTIFY THE MERCER COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
  3. INSTALL SILT FILTER FABRIC FENCE DOWNSLOPE OF CONSTRUCTION ENTRANCE AREA.
  4. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL IN AREA OF PROPOSED CONSTRUCTION ENTRANCE.
  5. IMMEDIATELY INSTALL FILTER FABRIC AND STONE MATERIAL IN AREA OF PROPOSED CONSTRUCTION ENTRANCE.
  6. STABILIZE ANY REMAINING DISTURBED SOIL WHICH SHALL REMAIN EXPOSED FOR MORE THAN 20 DAYS ACCORDING TO TEMPORARY SEEDING CHART.
  7. IMMEDIATELY COMPACT SUBGRADE AND PLACE ACCESS DRIVE MATERIAL.
  8. TEMPORARILY STABILIZE ANY REMAINING DISTURBED SOIL WITH TEMPORARY SEEDING AND MULCH. ANY DISTURBED SOIL IN WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS MUST BE STABILIZED IMMEDIATELY ACCORDING TO PLAN (STONE BASE OR SEEDING CHART).
  9. INSTALL DOWNSLOPE E & S CONTROL MEASURES (I.E. SILT FILTER FENCE).
  10. CLEAR AND GRUB VEGETATION, STRIP TOPSOIL AND REMOVE UNACCEPTABLE MATERIAL FROM AREA TO BE GRADED.
  11. STOCKPILE TOPSOIL (IF ANY) IN AREA SHOWN ON PLAN ACCORDING TO DETAIL.
  12. IMMEDIATELY STABILIZE SIDE SLOPES WITH SEEDING AND MULCH.
  13. EXCAVATE AREA OF FOOTINGS, INSTALL FOOTINGS AND BACKFILL FOUNDATION. COMPLETE FINAL GRADING AROUND BUILDING WITH STONE MATERIAL.
  14. STABILIZE ANY AREAS REMAINING EXPOSED FOR MORE THAN 20 DAYS ACCORDING TO FINAL SEEDING CHART.
  15. AFTER ALL AREAS ARE AT LEAST 75% STABILIZED, DOWNSLOPE TEMPORARY CONTROL MEASURES SHALL BE REMOVED.

**STANDARD CONSTRUCTION DETAIL #28  
Inlet Filter Bag**



INSTALLATION DETAIL



BAG DETAIL

**Seeding Specifications**

Type of Cover & Species of Mixture	Percent of Mixture	Seeding Rates in Lbs./1000 Sq. Ft.	Lbs. Per Acre	Temporary	Permanent	Recommended For Seeding
KY .31 Tall Fescue or Creeping Red Top Birdfoot Trefoil	74 11 15	1 - 2	47		X	3/15 to 6/1 8/1 to 9/15
Red Canarygrass	81 19	1 - 2	37		X	3/15 to 6/1 8/1 to 9/15
KY .31 Tall Fescue or Creeping Red Fescue	100	1 - 2	40		X	3/15 to 6/1 8/1 to 9/15
Timothy Birdfoot Trefoil	29 71	1.5 - 1	14		X	3/15 to 6/1 8/1 to 9/15
Spring Oats (Spring)	100	2.5	109	X		
Winter Rye (Fall)	100	3.5	152	X		

**1.0 EROSION AND SEDIMENT POLLUTION CONTROL MEASURES**

**a) SEEDING**

**1) Temporary Seeding:**

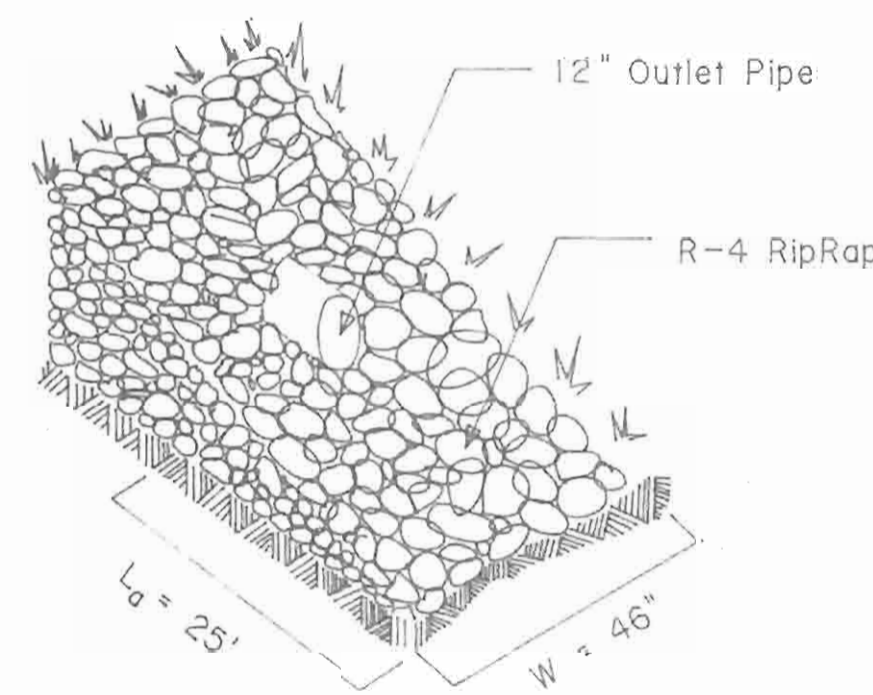
- 1a. Highly eroded or problem areas shall be seeded with a temporary annual grass or small grain to establish soil stabilization. Disturbed areas to be exposed more than 20 days shall be seeded with the mixtures specified in Table 1.
- 1b. All cultural operations shall be performed at right angles to the slope if hydro-seeding is not used. Remove from the surface all debris, unsuitable material and stones greater than two (2) inches in diameter. Ground limestone shall be applied uniformly to the soil at a rate of four (4) tons per acre (200 lbs/1000 sq. ft.). The fertilizer (10-20-20) shall be uniformly applied at a rate of 1000 lbs. per acre (23lbs/1000 sq. ft.). The lime and fertilizer shall then be worked into the soil to a depth of four (4) inches.
- 1c. Temporary seed shall be applied uniformly according to the above rate by broadcasting, drilling, or hydraulic application. The seeding mixture shall then be covered with 1/4 inch of soil with suitable equipment. Rye and oats shall be covered with two (2) inches of soil. Supplemental moisture shall be provided under drought conditions and seedbed shall be mulched if seeding cannot be accomplished by September 15.

**2) Final Seeding:**

- 2a. See 1b. for site preparation.
  - 2b. The seedbed shall be smoothed and firmed with a culti-packer or similar equipment prior to seeding. The adopted species shall be selected on a site-specific basis based from Table 1. The seed shall be uniformly applied by hand, cyclone seeder, drill, culti-packer type seeder or hydro-seeder.
  - 2c. Normal seeding depth is from 1/4 to 1/2 inch. Hydro-seeding which contains mulch may be left on the soil surface. Other seeds should be firmed with a roller following seeding operations. After seeding, hay mulch is to be applied at a rate of 2 1/2 to 3 tons per acre.
- Seeding shall only be performed during the dates of March 15 to June 1 and August 1 to September 15. Mulching shall be carried out during the other days with seeding performed on the first day of the optimum seeding dates. Permanent seeding shall take place within 48 hours of completion of the project.

**b) MULCHING**

Mulch material shall be small-grain straw. Application of straw shall be applied at a rate of 3 tons per acre. The mulch shall be anchored by tucking the mulch into the soil with a straight blade disc, stapling netting over the mulch, or driving pegs into the mulched area at intervals of about four feet and interlacing the pegs with twine.



RipRap Size:  $d_{50} = 6"$

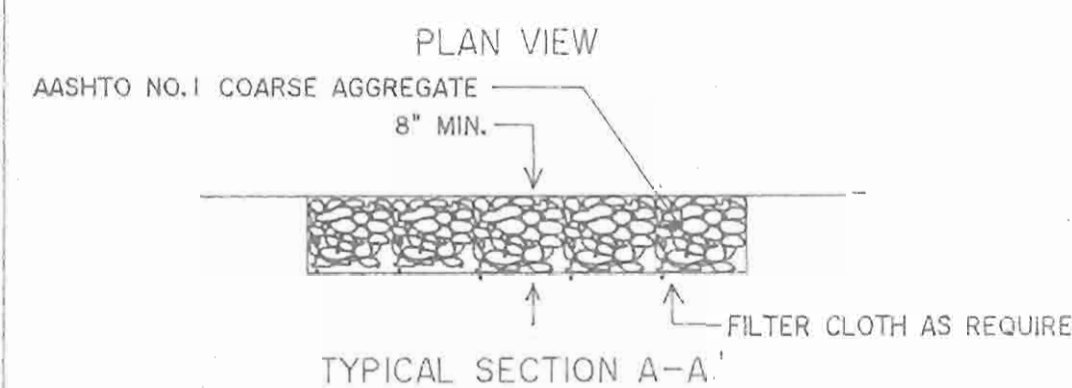
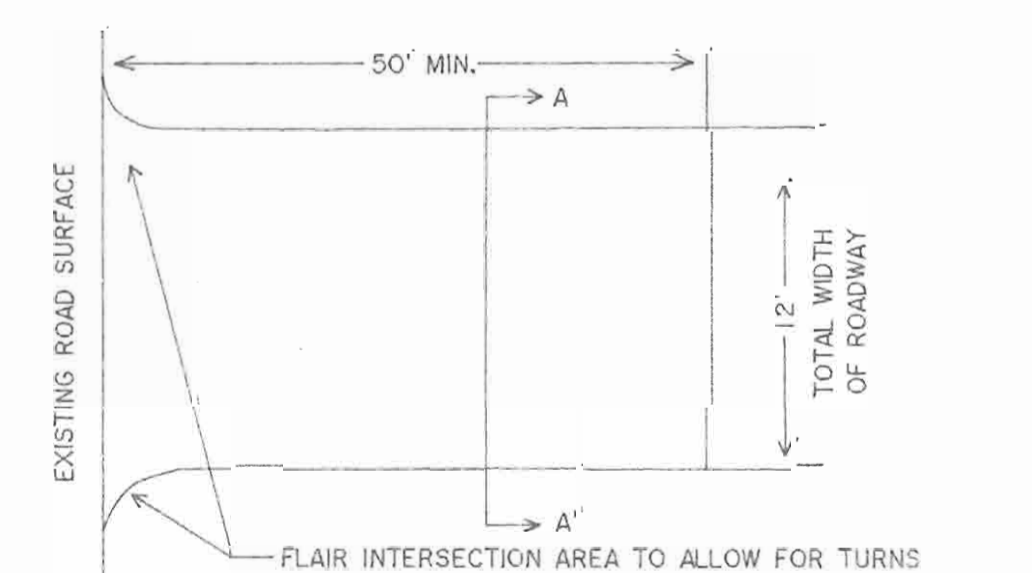
NSA RipRap Number R-4

Discharge =  $4 \text{ ft}^3/\text{sec}$

Data derived from Worksheet No. 24 and page 4.44 in the Erosion and Sediment Control Manual.

**RipRap Detail**

NTS



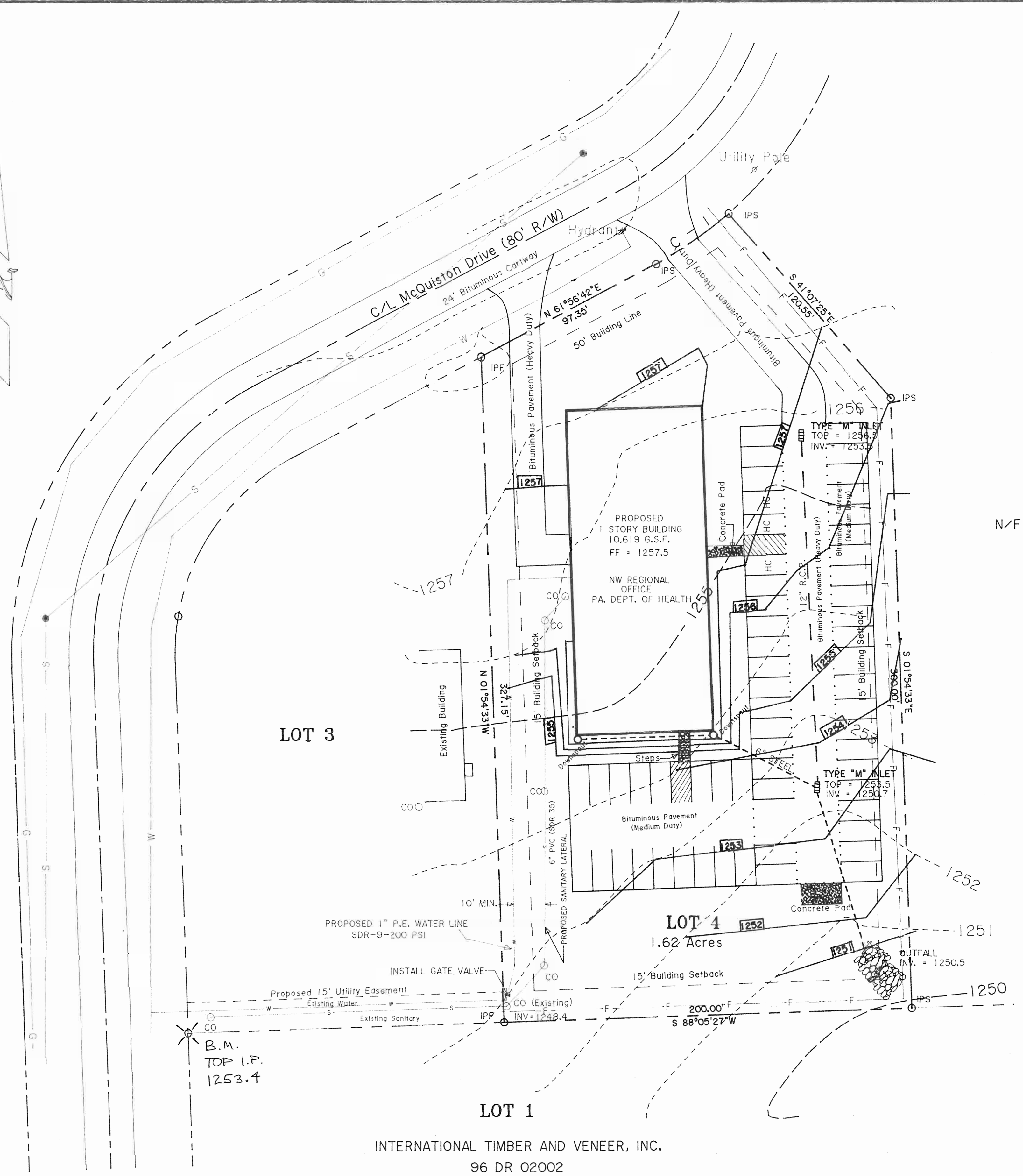
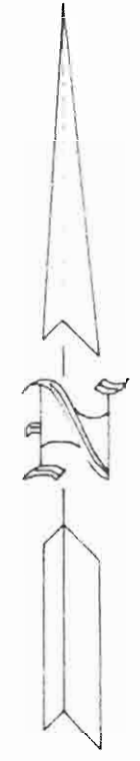
**CONSTRUCTION ENTRANCE**

NTS

**EROSION AND SEDIMENTATION CONTROL MAINTENANCE SCHEDULE**

- MAINTENANCE:**  
ALL EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT. THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REPAIRS AND REMEDIAL MAINTENANCE INCLUDING: CLEANOUT, REPAIR, REPLACEMENT, REGRADE, RESEEDING, REMULCHING, AND RENETTING IMMEDIATELY IN AREAS OF DAMAGE.
- ONCE THE CONSTRUCTION IS COMPLETE AND THE DEVELOPER ACCEPTS THE WORK, THE RESPONSIBILITY FOR KEEPING CONTROL FACILITIES (INCLUDING SEEDING AND MULCHING) IN MAINTENANCE OF SPECIFIC CONTROL DEVICES SHALL BE AS FOLLOWS:
- ROCK FILTERS:**  
ROCK FILTERS WILL BE REMOVED WHEN CLOGGED WITH SEDIMENTS. MATERIAL MUST BE WASHED COMPLETELY FREE OF ALL FOREIGN MATERIALS OR NEW ROCK USED TO REBUILD THE FILTER.
- FILTER FENCE:**
1. THE FENCE SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
  2. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. SEDIMENT DEPOSITS MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 OF THE ABOVE GROUND HEIGHT OF THE FENCE.
  3. ALL UNDERCUTTING OF EROSION OF THE TOE ANCHOR WILL BE REPAIRED WITH COMPACTED BACKFILL MATERIALS.
- INLET FILTER BAGS:**
1. INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.
  2. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS 1/2 FULL.
  3. DAMAGED FILTER BAGS SHOULD BE REPLACED.
  4. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.
- CONSTRUCTION ENTRANCES:**  
THE STRUCTURE'S THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING COARSE AGGREGATE. A STOCKPILE OF COARSE AGGREGATE MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL BE PROHIBITED.

<b>Revisions</b> 3/16/00	<b>EROSION &amp; SEDIMENT DETAILS</b>		<b>SHEET</b>
	<b>Northwest District Office PA Department of Health McQuiston Drive, Jackson Commerce Park Jackson Township, Mercer County, PA</b>		<b>SP 2.1</b>
	<b>Commonwealth Realty VIII, Ltd. - Owner</b>		Scale: NONE
			March 01, 2000



LEGEND

PROPERTY LINE	---
FILTER FENCE	-F-F-F-F-
WATER	---
GAS	---
SANITARY	---
STORM	---
CATCH BASIN	□
CLEANOUT	○
BIT.PVMT, HEAVY DUTY	.....

N/F Lakeview Area  
Industrial Corporation

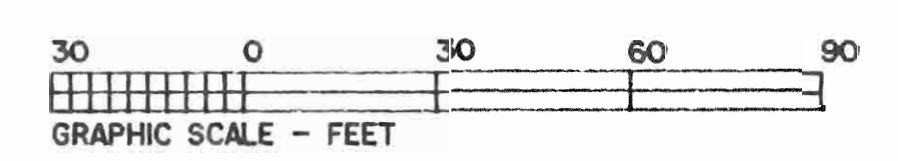
LOT 3

LOT 4  
1.62 Acres

LOT 1

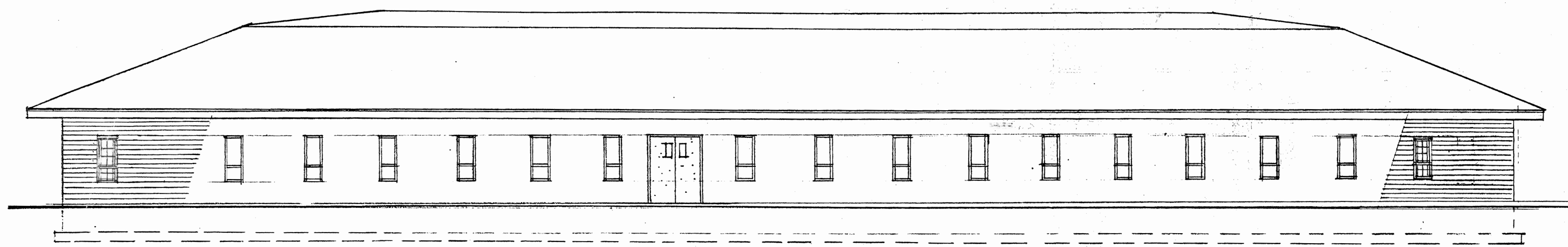
INTERNATIONAL TIMBER AND VENEER, INC.  
96 DR 02002

PARKING	
REGULAR	55
HANDICAP	3
TOTAL	58

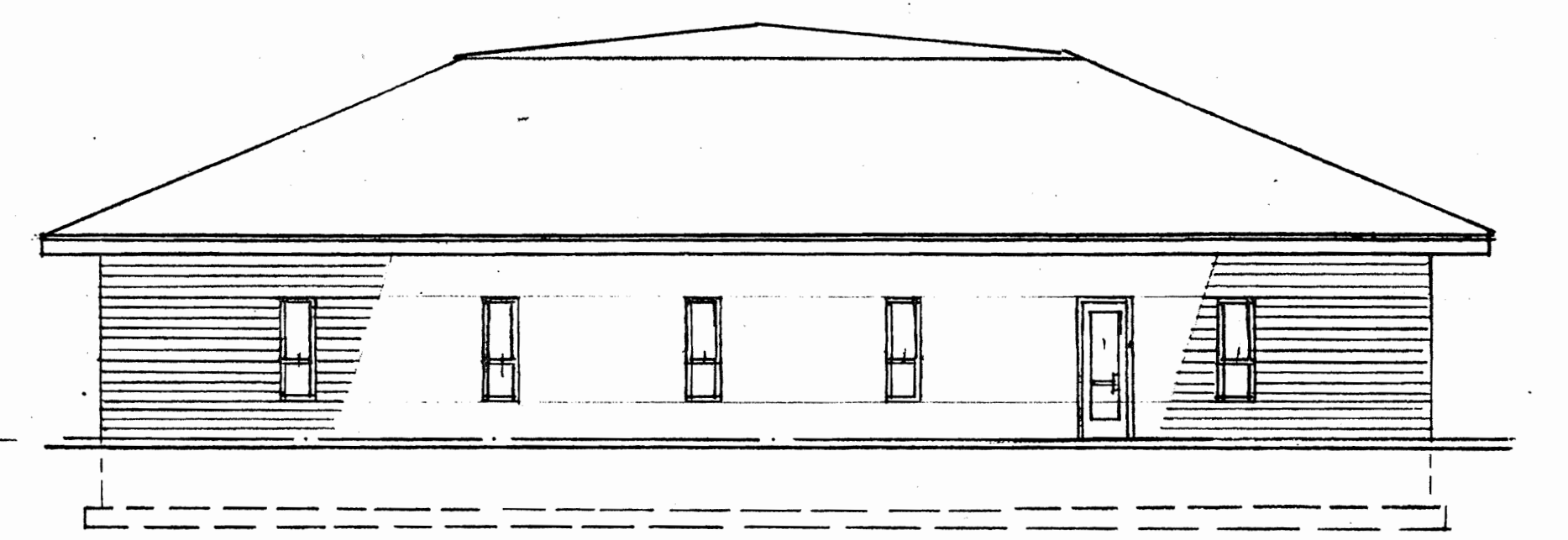


<b>Revisions</b> 3/16/00 3-24-00 3-27-00 JMS & M	<b>GRADING PLAN</b>	<b>SHEET</b>
	<b>Northwest District Office</b> <b>PA Department of Health</b> <b>McQuiston Drive, Jackson Commerce Park</b> <b>Jackson Township, Mercer County, PA</b>	
	<b>Commonwealth Realty VIII, Ltd. - Owner</b>	
	Scale: 1" = 30' March 01, 2000	

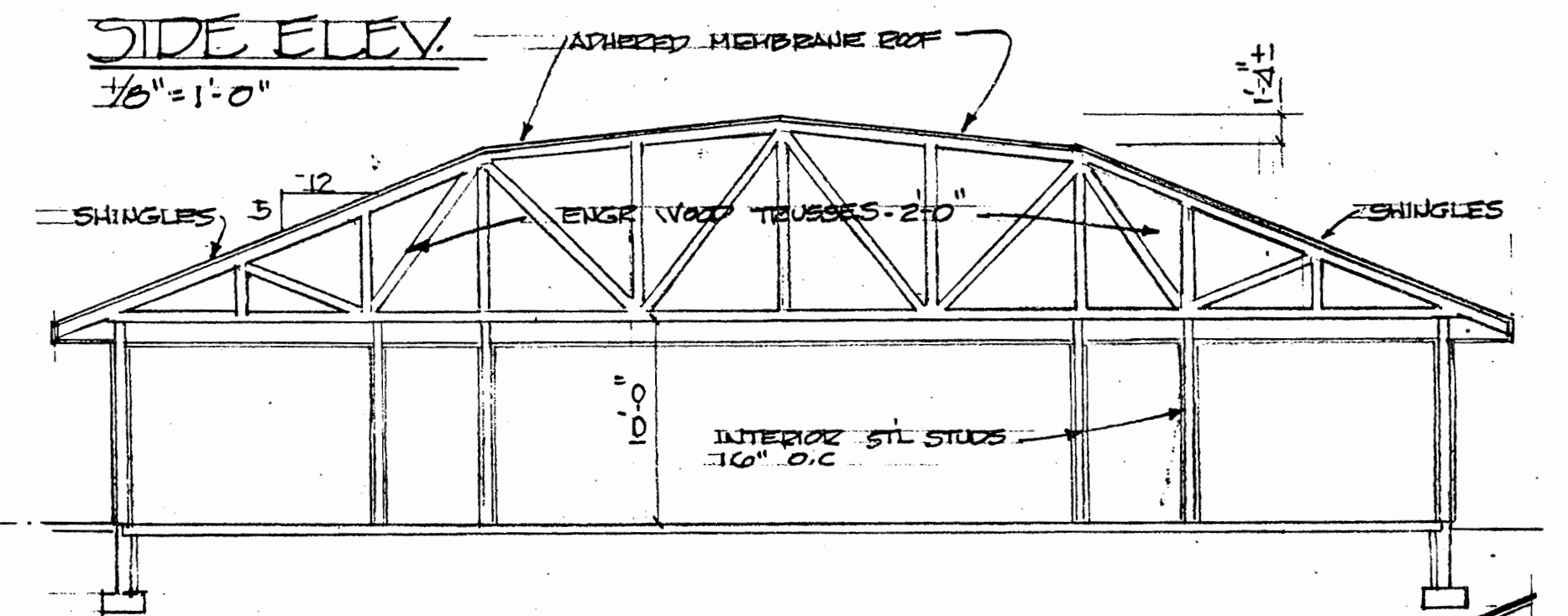
**SP**  
**3.0**



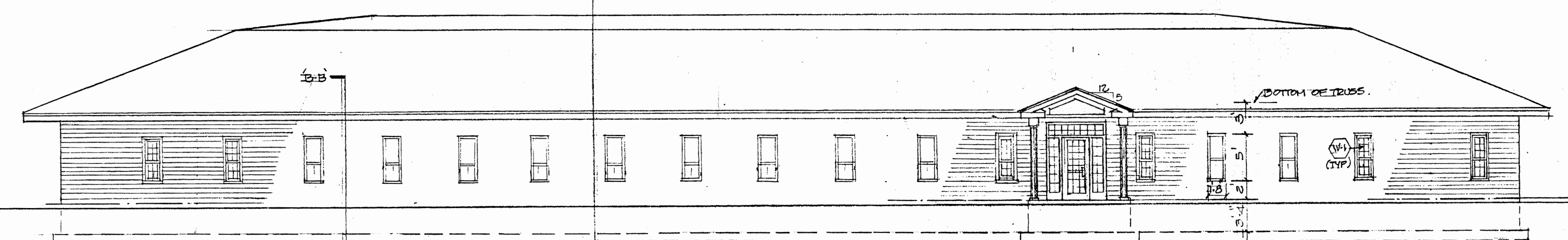
REAR ELEVATION 1/8"=1'-0"



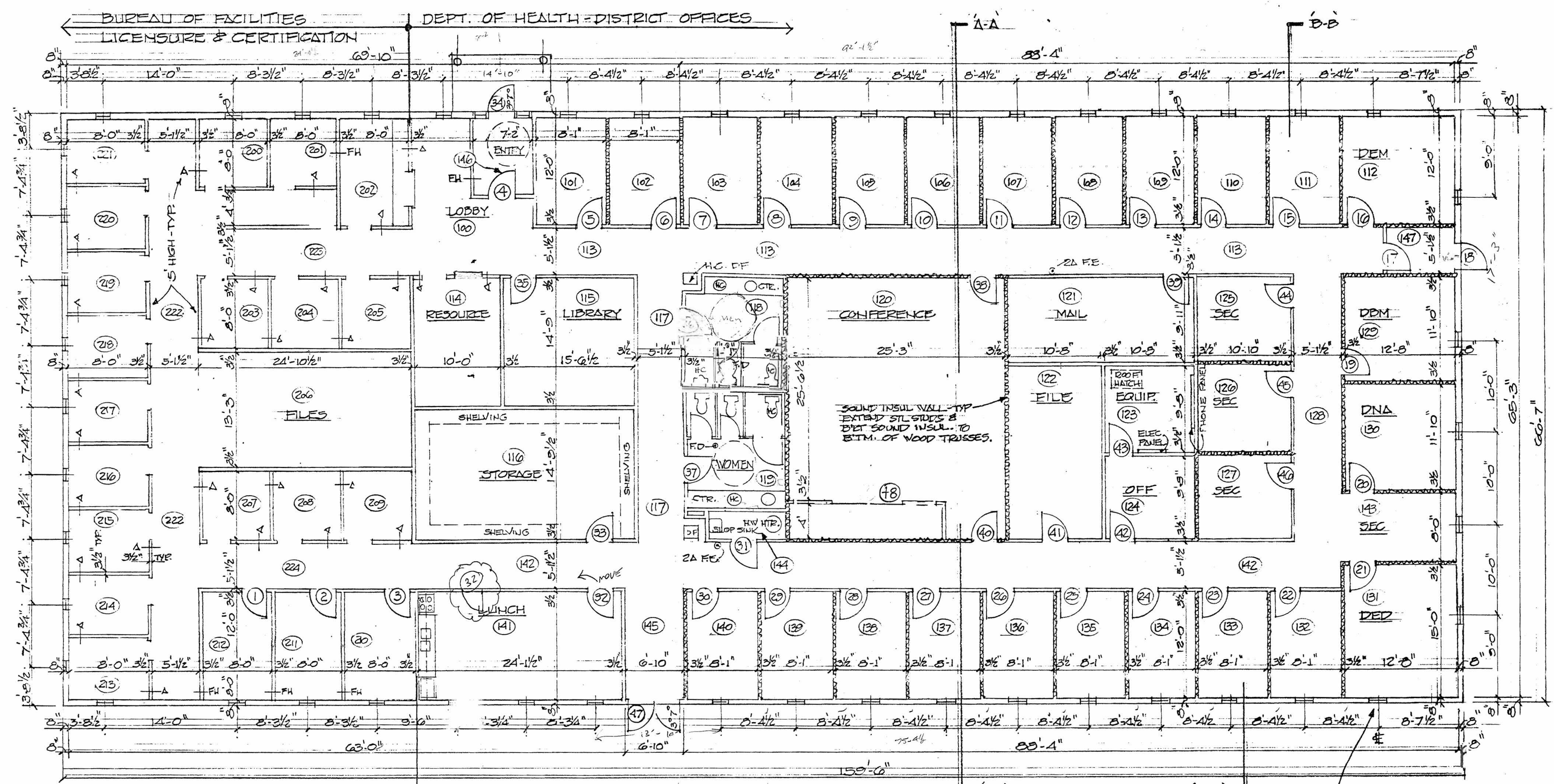
SIDE ELEV. 1/8"=1'-0"



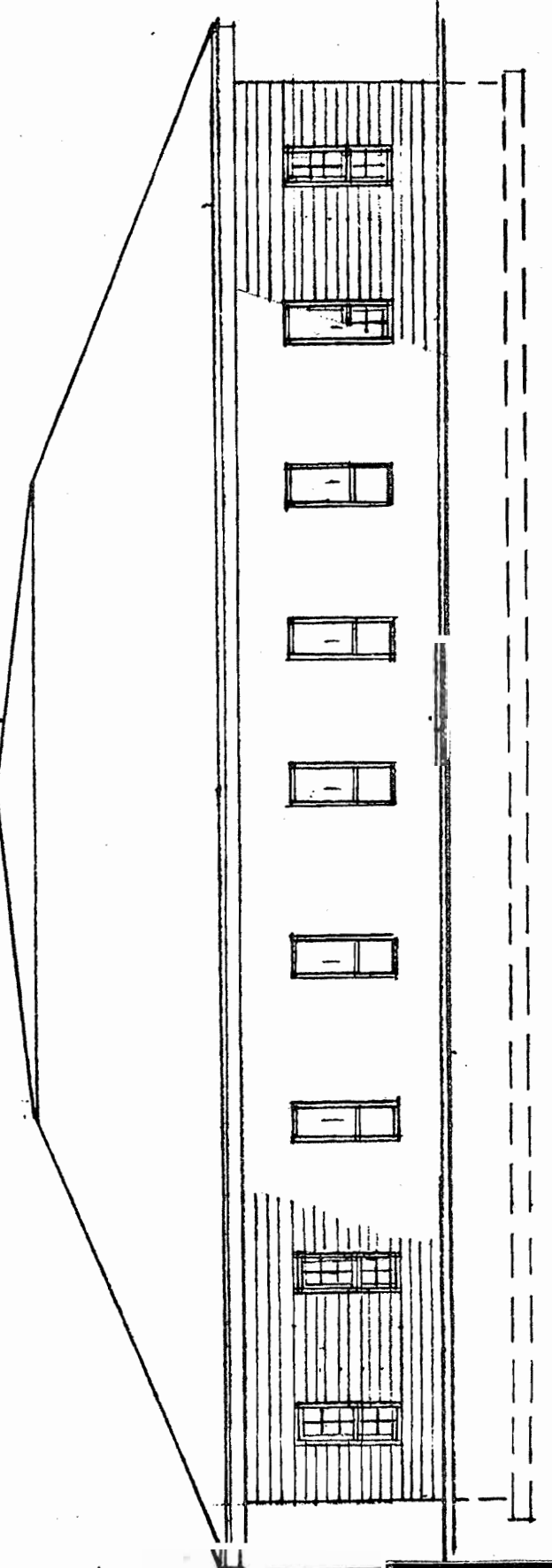
SECTION A-A 1/8"=1'-0"



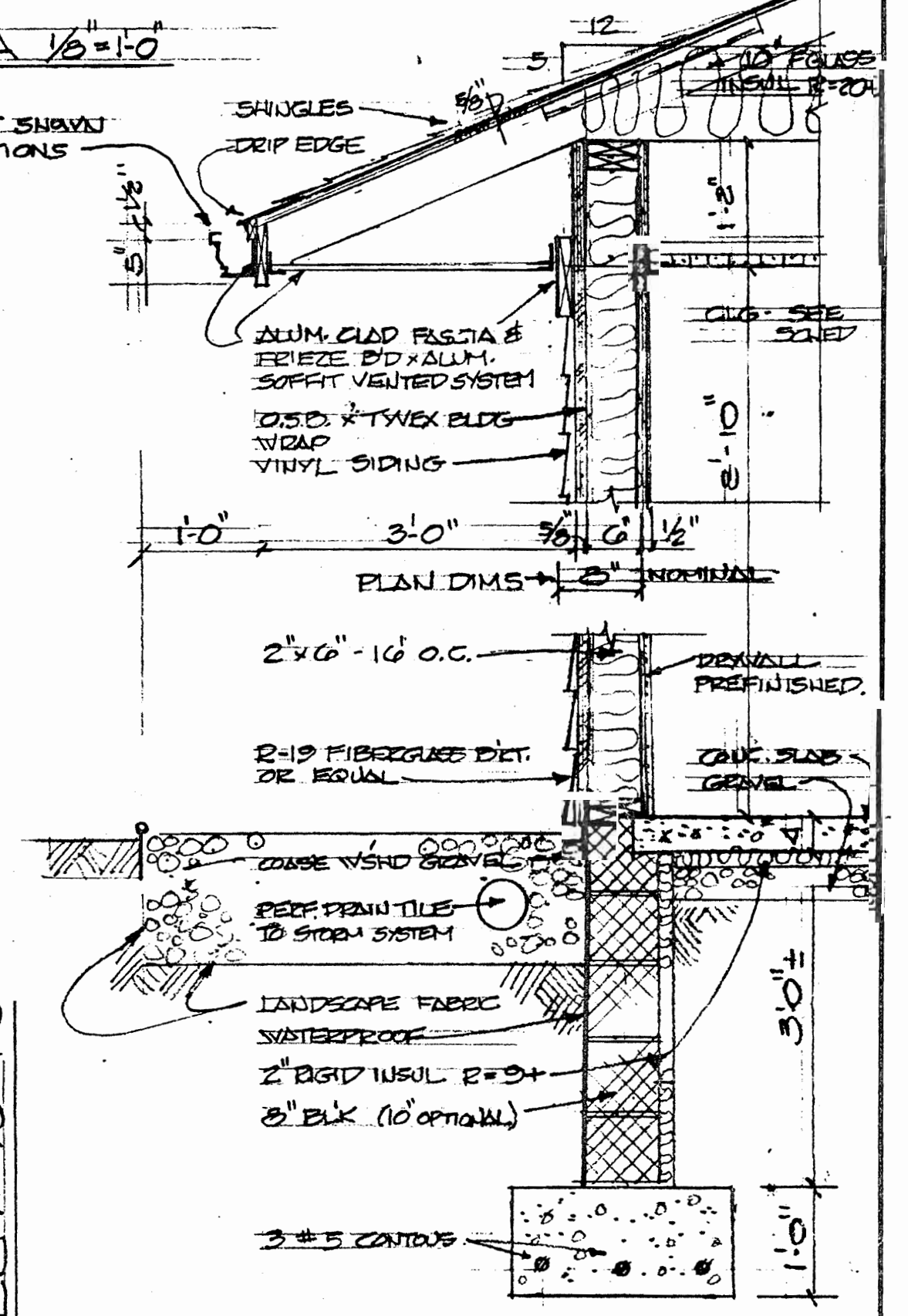
FRONT ELEVATION 1/8"=1'-0"



FLOOR PLAN 1/8"=1'-0"



SIDE ELEV. 1/8"=1'-0"

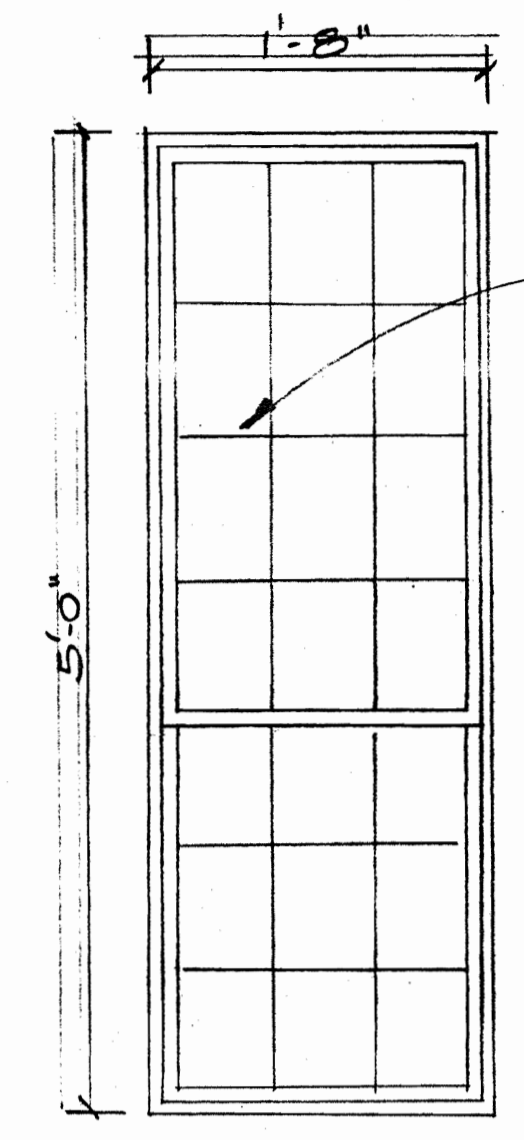


WALL SECTN B-B 3/16"=1'-0"

Revisions	FLOOR PLAN - ELEVATIONS - SECTIONS	SHEET
3/17/00 - Door 32		<p><b>Northwest District Office</b>  <b>PA Department of Health</b>            McQuiston Drive, Jackson Commerce Park            Jackson Township, Mercer County, PA</p> <p><b>A</b>  <b>1.0</b></p> <p>Scale: NOTED            March 01, 2009</p>
3/17/00 - Bathroom 118		
Resource 114		
Door 48		
4/16/00 - EXT. WALL FIN.		

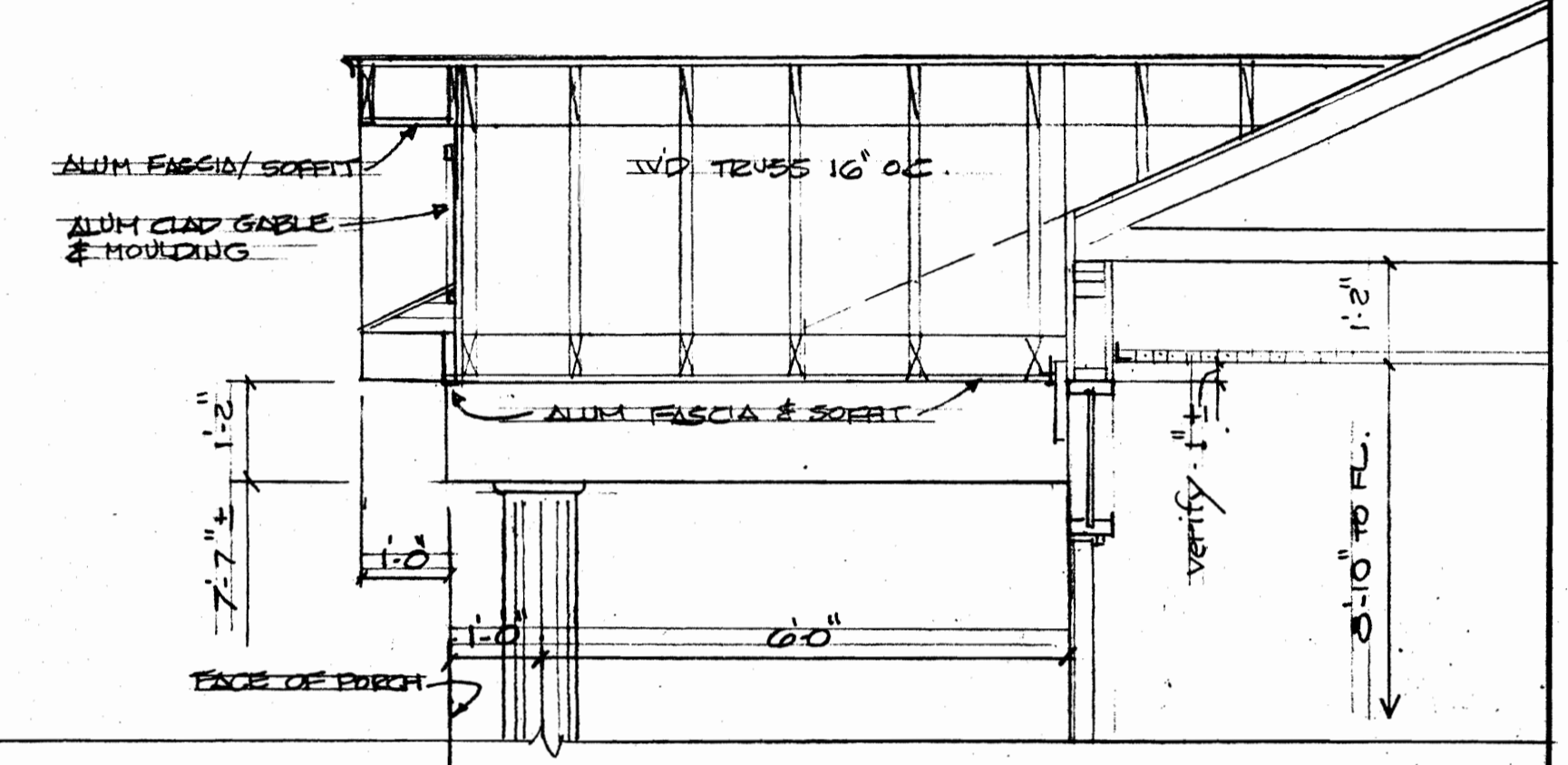
BUREAU OF FACILITIES, LICENSURE & CERTIFICATION DEPT. OF HEALTH - DISTRICT OFFICES SPACE ALLOCATION... 99092-2934

EXTERIOR 8" DIM. IS NOMINAL - INCLUDES 1/2" STIFF STILE, BRIDGE SHEATHING & VINYL SIDING. ACTUAL WALL THICKNESS IS: 5 1/2" WOOD STUD + 7/16" OSB SHEATHING ~ 6" \* ALL 2" TO INDICATE ROOM DIMENSIONS \* INTERIOR STUDS ARE 3 1/2" METAL

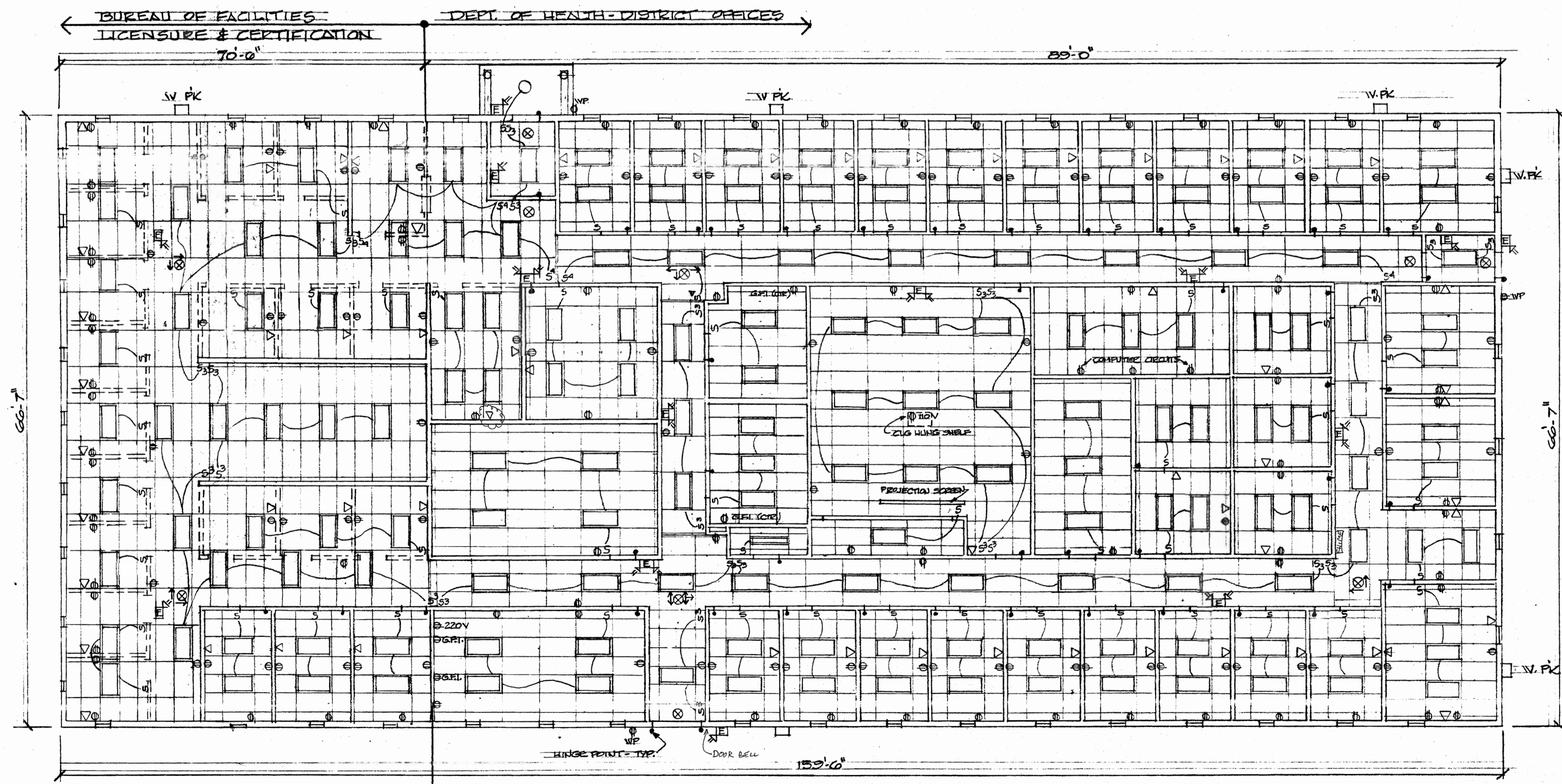


WHITE VINYL OR ALUM.  
 SINGLE HUNG W/ SCREEN  
 INSUL GLASS W/ WHITE INT. GRILLES  
 NAILING FIN  
 INTEGRAL "J"

TYP. WINDOW



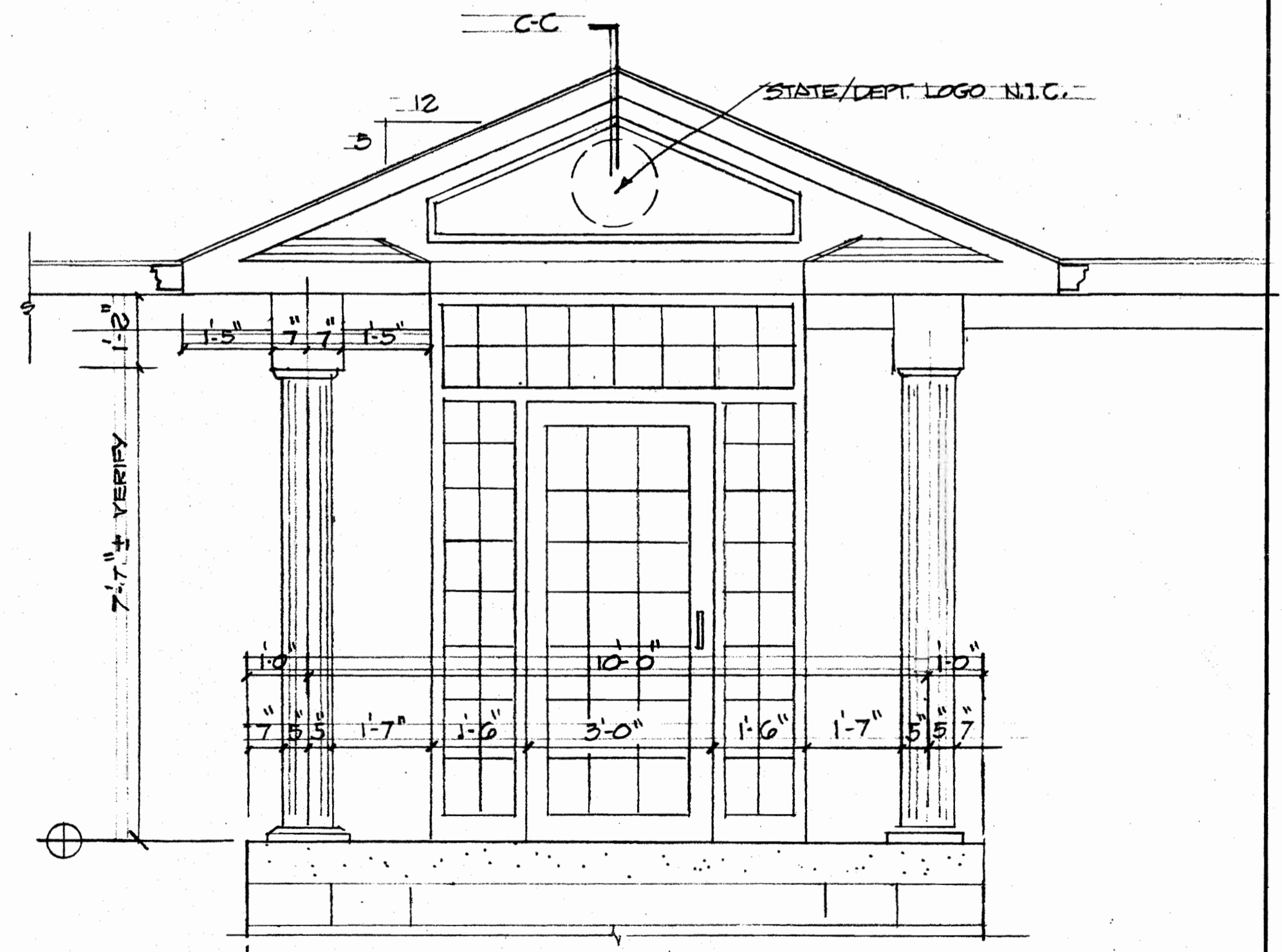
SECTN. CC 1/2"=1'-0"



REFLECTED CEILING PLAN 1/8"=1'-0"

- A 2'-0" R5 PARABOLIC
- B 3'-0" R5 "
- C 2'-0" R5 ACRYLIC
- D 3'-0" R5 "
- (E) SECURITY SYSTEM.

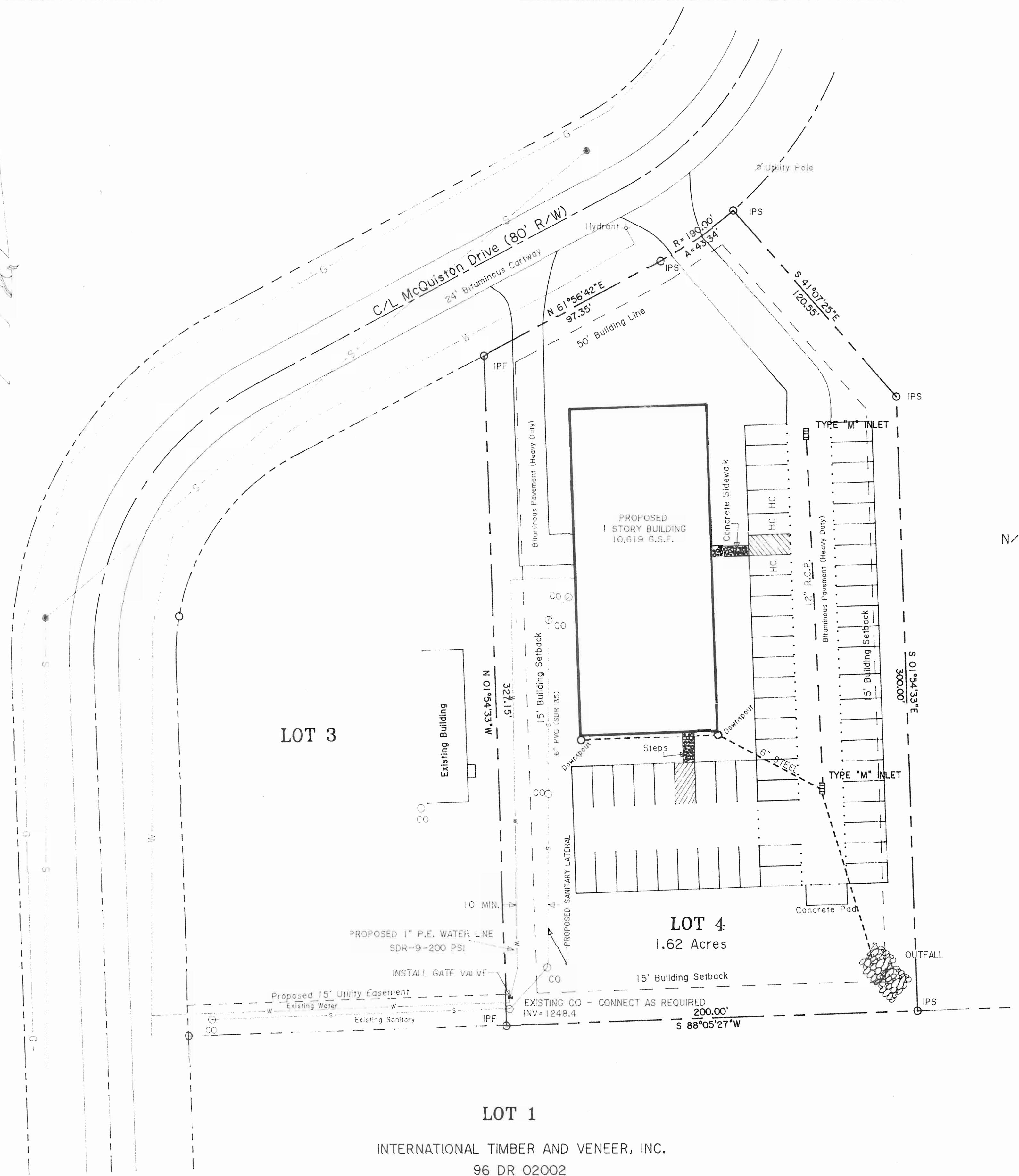
EVERY Δ TO BE A JACK FACE PLATE F/VOICE + DATA (ALL LINES RUN TO PATCH PANELS IN EQ. ROOM.)  
 Z-1 FT HIGH (RECEPTION) GC. LOCATE FUTURE CUR R.M. DIVIDER - ADJUST HEIGHTS SW AS REQD



ENTRANCE ELEV. 1/2"=1'-0"

<b>Revisions</b> 3/19/00 - BACK ASSUME - ADD Δ IN 114	<b>REFLECTED CEILING &amp; ELECTRICAL</b>	<b>SHEET</b> <b>A</b> <b>2.0</b>
	<b>Northwest District Office</b> <b>PA Department of Health</b> McQuiston Drive, Jackson Commerce Park Jackson Township, Mercer County, PA Commonwealth Realty VIII, Ltd. - Owner	
Scale: NOTED March 04, 2000		





LEGEND

- PROPERTY LINE -----
- FILTER FENCE -F-F-F-F-F-F-F-F-F-F-
- WATER -----W-----
- GAS -----G-----
- SANITARY -----S-----
- STORM -----
- CATCH BASIN □
- CLEANOUT ○
- BIT. PVMT. HEAVY DUTY .....

N/F LAKEVIEW AREA  
INDUSTRIAL CORPORATION

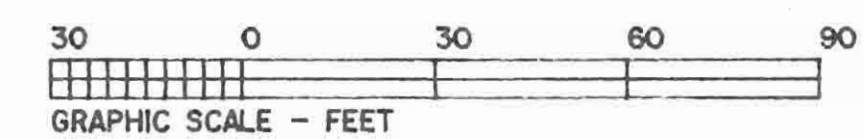
LOT 3

LOT 4  
1.62 Acres

LOT 1

INTERNATIONAL TIMBER AND VENEER, INC.  
96 DR 02002

PARKING	
REGULAR	55
HANDICAP	3
TOTAL	58



**Revisions**  
3-16-00  
3-24-00

**UTILITY PLAN**

**Northwest District Office  
PA Department of Health  
McQuiston Drive, Jackson Commerce Park  
Jackson Township, Mercer County, PA**

**Commonwealth Realty VIII, Ltd. - Owner**

**SHEET**

**M  
1.0**

Scale: 1" = 30'

March 01, 2000

EQUIPMENT SCHEDULE							UNIT WEIGHT	W/CURB AND ECONOMIZER
TAG	MAKE	MODEL	COOLING CAPACITY	HEATING CAPACITY	OUTPUT	CFM	ELECTRICAL	NOTES
RTU-1	CARRIER	48TJE007-5	6 TONS	115MBTU	92MBTU	2400	208/230V - 3PH - 36.1A	1, 2 744#
RTU-2	CARRIER	48TJE008-5	7-1/2 TONS	120MBTU	180MBTU	3000	208/230V - 3PH - 39.2A	1, 3 1098#
RTU-3	CARRIER	48TJE006-5	5 TONS	115MBTU	92MBTU	2000	208/230V - 3PH - 29.4A	1, 4 662#
RTU-4	CARRIER	48TJE008-5	7-1/2 TONS	120MBTU	180MBTU	3000	208/230V - 3PH - 39.2A	1, 3 1098#
EW-1	MARKEL	F3323TTD-RP			1500W		208/230V - 1PH - 7.2A	5

1. Furnish with 14" high roof curb, and fully modulating economizer with enthalpy control.  
 2. Outside air requirement = 480 CFM  
 3. Outside air requirement = 900 CFM  
 4. Outside air requirement = 400 CFM  
 5. Recessed electric wall heater. Provide with integral thermostat.

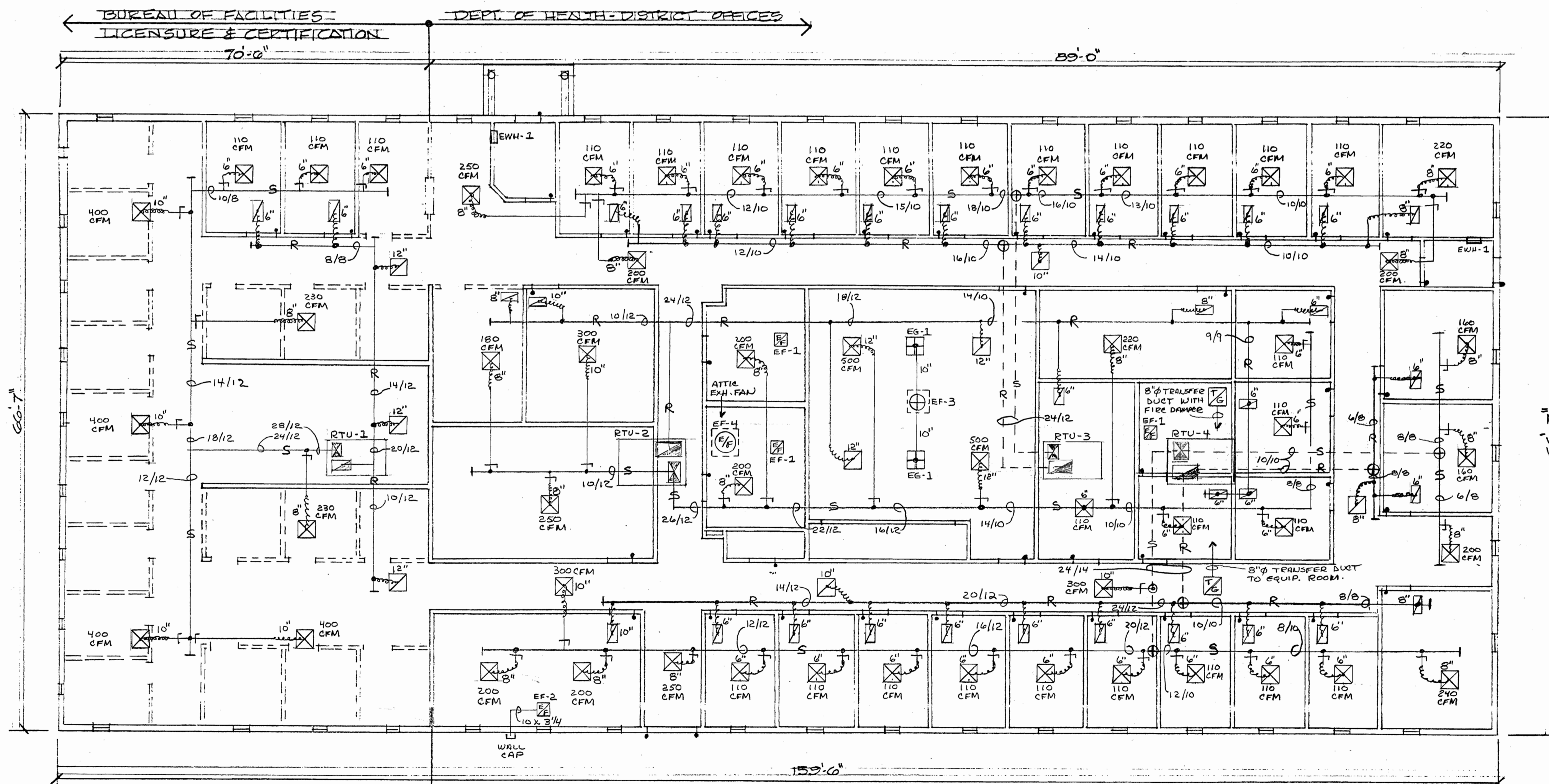
EXHAUST FAN SCHEDULE						
TAG	MAKE	MODEL	CFM@25 S.P.	CFM@125 S.P.	ELECTRICAL	NOTES
EF-1	BROAN	363	275		120V. - 2.3A	1, 2
EF-2	BROAN	383	300		120V. - 2.3A	2, 3
EF-3	GREENHECK	GB100-4	784		120V. - 14 HP	5
EF-4	GREENHECK	GB180-5		3526	120V. - 1/2 HP	4, 5

1. Furnish with 612CM roof cap and curb.  
 2. Furnish with Model 57W, wall mounted speed controller.  
 3. Furnish with Model 639 wall cap.  
 4. Attic exhaust fan. Furnish with automatic temperature/humidity controller.  
 5. Furnish with roof curb and backdraft damper.

DIFFUSER AND GRILLE SCHEDULE					
TYPE	MAKE	MODEL	SIZE	MOUNTING	NOTES
SUPPLY	TITUS	TMS	24" x 24"	LAY-IN	1, 2
RETURN	TITUS	50R	24" x 24"	LAY-IN	1
RETURN	TITUS	50R	24" x 12"	LAY-IN	1
EXHAUST	TITUS	50R	24" x 24"	LAY-IN	1
TRANSFER	TITUS	50R	24" x 24"	LAY-IN	1

1. Duct size as noted on plans.  
 2. Furnish with adjustable volume damper.

- HVAC LEGEND
- SUPPLY AIR PLENUM
  - RETURN AIR PLENUM
  - SUPPLY AIR DUCT
  - RETURN AIR DUCT
  - SUPPLY AIR DUCT IN ATTIC SPACE
  - RETURN AIR DUCT IN ATTIC SPACE
  - SUPPLY AIR DIFFUSER
  - RETURN AIR GRILLE
  - TRANSFER GRILLE
  - EXHAUST GRILLE
  - EXHAUST FAN
  - VOLUME DAMPER
  - DUCT RISER



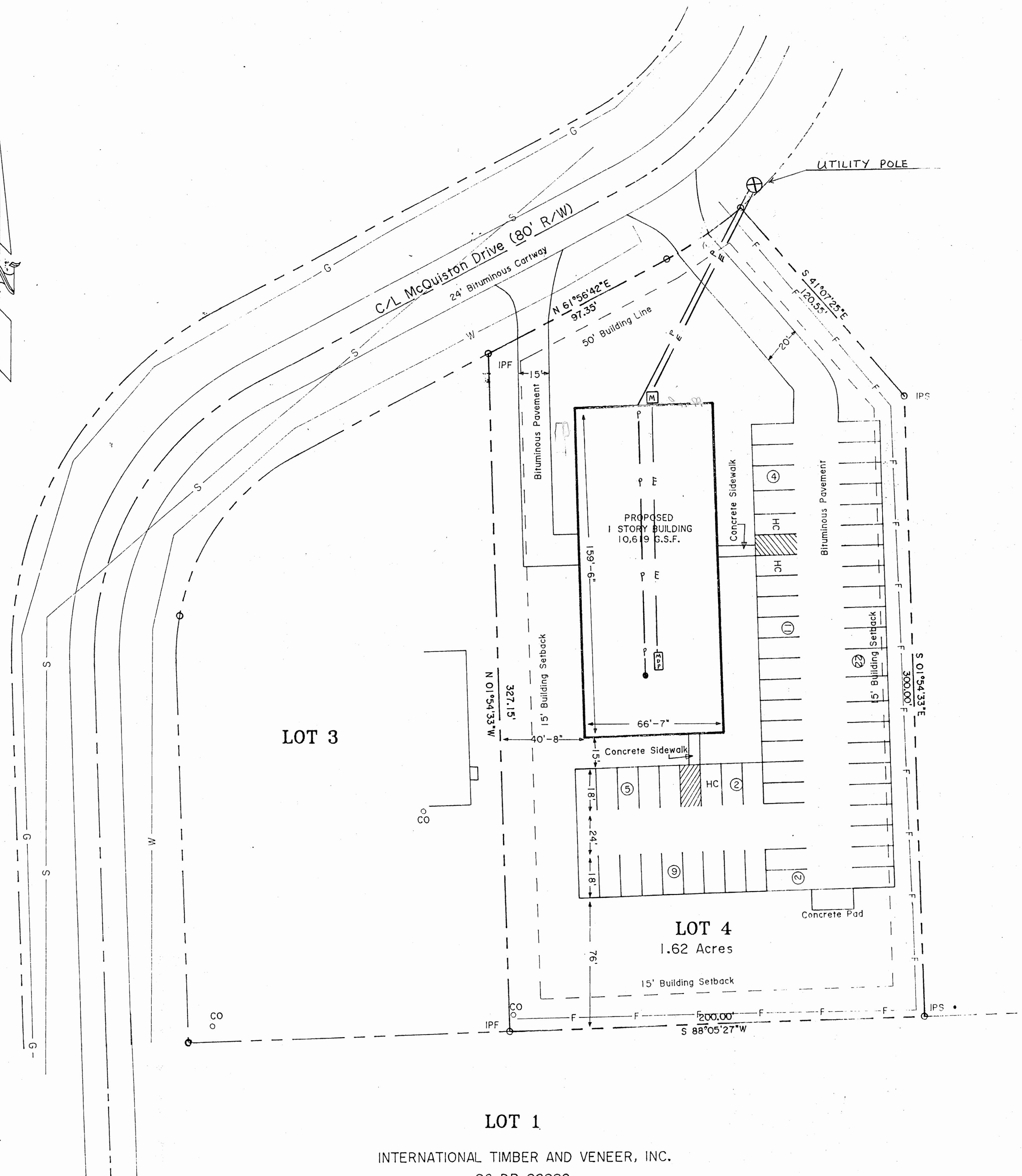
HVAC NOTES:

- ALL DUCTS TO BE GALVANIZED SHEET METAL, FABRICATED IN ACCORDANCE WITH SMACNA STANDARDS.
- S.A. & R.A. PLENUMS TO BE INSULATED WITH 1" FIBERGLASS DUCT LINER.
- ALL S.A. DUCTS AND EXHAUST DUCTS ABOVE CEILING ARE TO BE INSULATED WITH 1 1/2" FOIL-FACED FIBERGLASS DUCT WRAP.
- ALL DUCTS IN ATTIC SPACE TO BE LINED WITH 1" FIBERGLASS DUCT LINER AND WRAPPED WITH 1 1/2" FOIL FACED DUCT WRAP.
- FINAL CONNECTIONS TO DIFFUSERS AND GRILLES MAY BE WITH INSULATED FLEX PIPE - NOT TO EXCEED 8'-0" IN LENGTH.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTATS, WITH AUTOMATIC CHANGE OVER AND LOCKING COVERS.
- MECHANICAL CONTRACTOR TO FURNISH AND INSTALL ALL CONTROL VOLTAGE WIRING.
- ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL LINE VOLTAGE WIRING.
- SPECIFIED BRAND NAMES ARE USED ONLY TO ESTABLISH A STANDARD OF QUALITY. "OR EQUAL" PRODUCTS MAY BE SUBMITTED FOR APPROVAL BY OWNER.

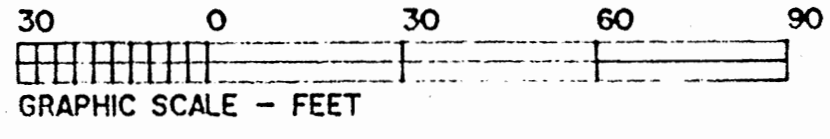
<b>Revisions</b> 3-17-00	<b>H V A C PLAN</b>		<b>SHEET</b>
	<b>Northwest District Office</b> <b>PA Department of Health</b> McQuiston Drive, Jackson Commerce Park Jackson Township, Mercer County, PA		<b>M</b> <b>2.0</b>
	Commonwealth Realty VIII, Ltd. - Owner		Scale: 1/8" = 1'-0" March 01, 2000

BUREAU OF FACILITIES - DEPT. OF HEALTH - DISTRICT OFFICES  
 LICENSURE & CERTIFICATION  
 RELECTED CEILING PLAN 1/8" = 1'-0"



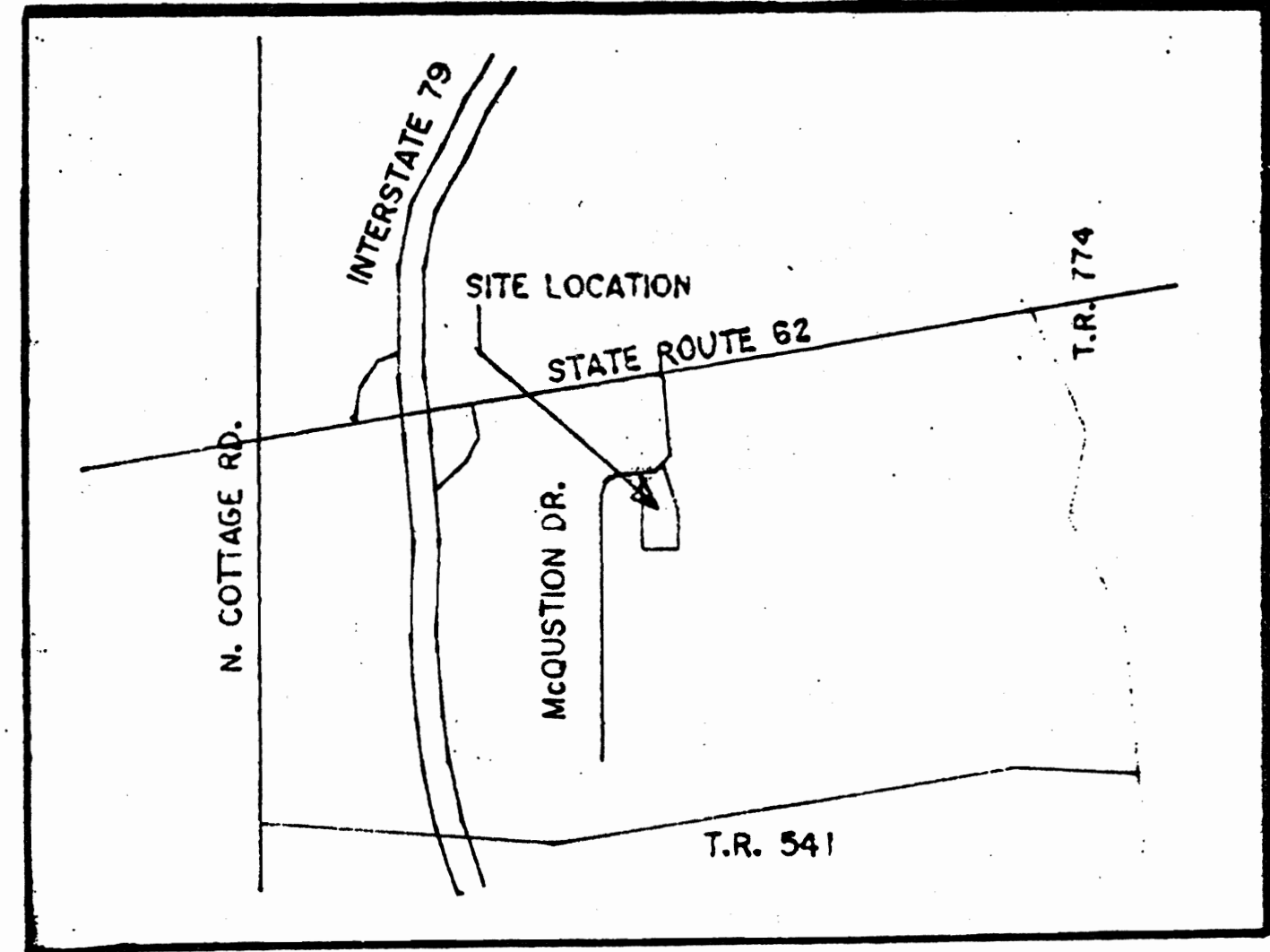


LOT 1  
INTERNATIONAL TIMBER AND VENEER, INC.  
96 DR 02002



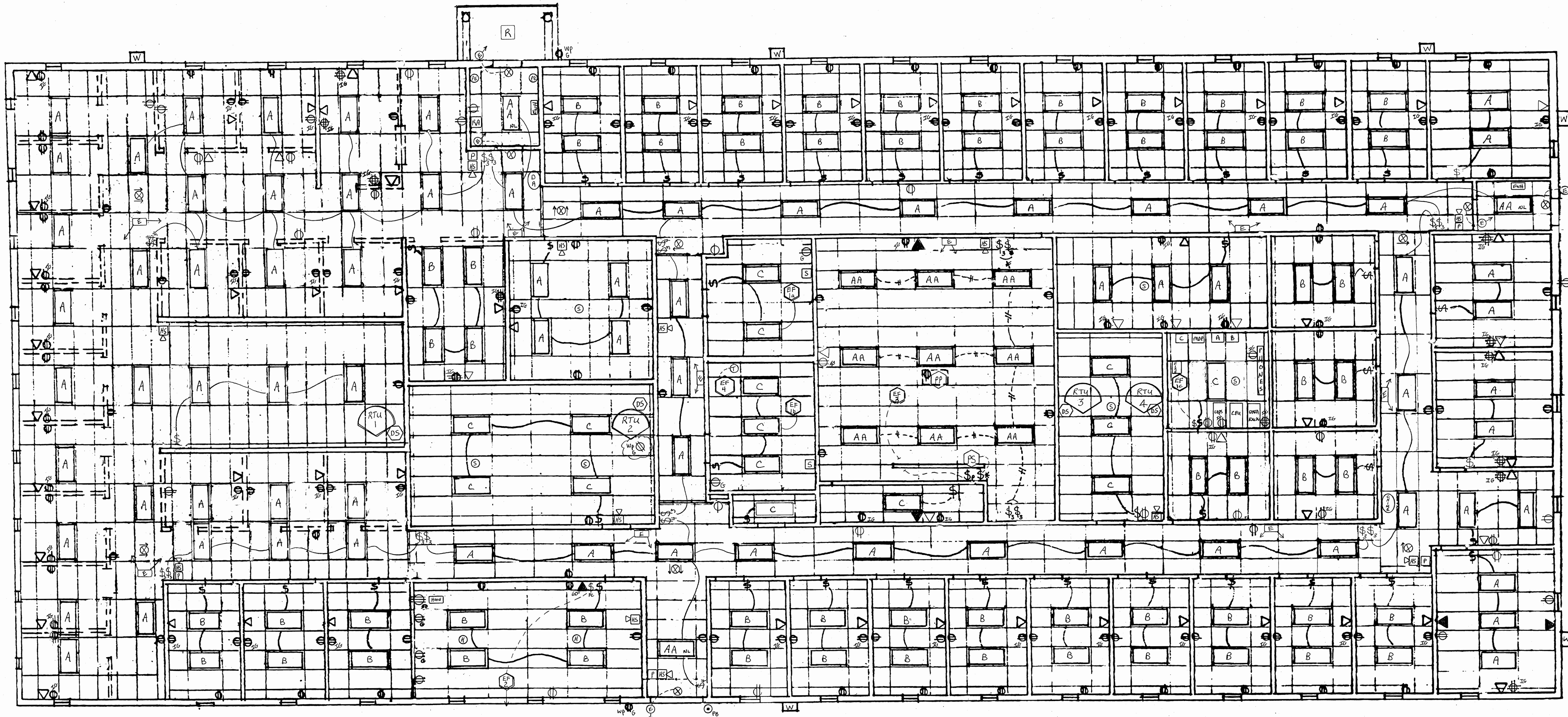
**SITE NOTES**

NOTE	DESCRIPTION
P	PHONE ... (2) 4" PVC Schd#40 Conduits with Pull Strings installed from Electric room to base of pole. To coordinate with GTE in field for EXACT pole to run to.
E	ELECTRIC ... (1) 4" PVC Schd #40 Conduit with (4) # 500mcm THHN copper feeder conductors installed from MDP in electric room to meter, and meter to pole. To install 1st 10' of 4" rigid conduit and approx 35' of extra cable to reach GPU transformers.
Misc	Trench to be excavated by E.C. To be approx 42" deep x 18" wide x 250' long. Trench to be backfilled with the existing excavated soil and tamped in 6" layers.

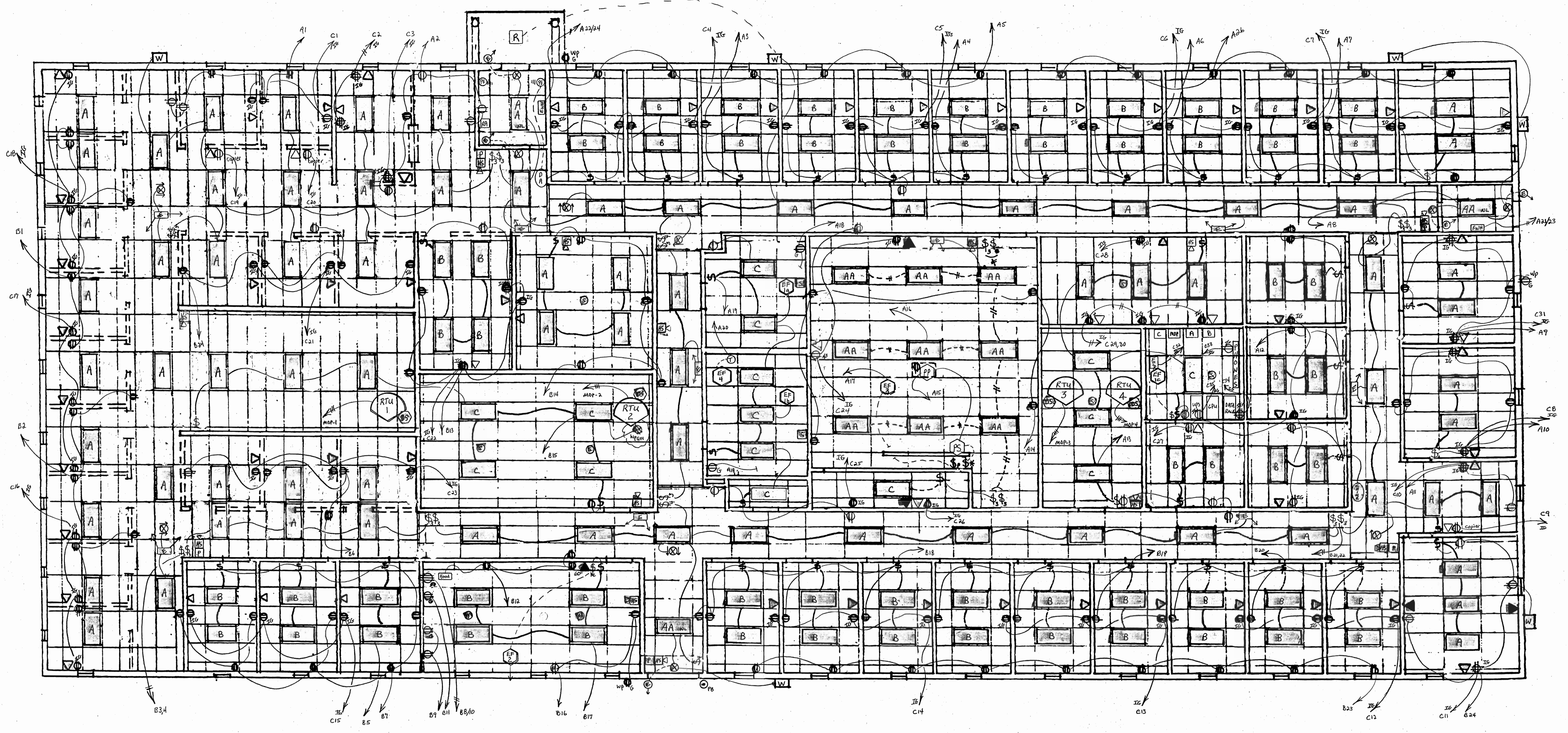


Northwest District Office  
PA Department of Health

McQuiston Dr. Jackson Commerce Park	Mercer County, Pa.
Scale 1" = 30'	Drawn By: Jeff Will
General Contractor: Sesler General Contractors	
<b>ELECTRIC SITE PLAN</b>	
DWG ( 1 of 4 )	
CONNECTO ELECTRIC, INC. 3716 McClelland Ave. ERIE, Pa. 16510 Proposal No. A 5763 (814) 454-6421 Fax (814) 898-4510 www.connectoelectric.com	
Date 03/10/00	Revised:

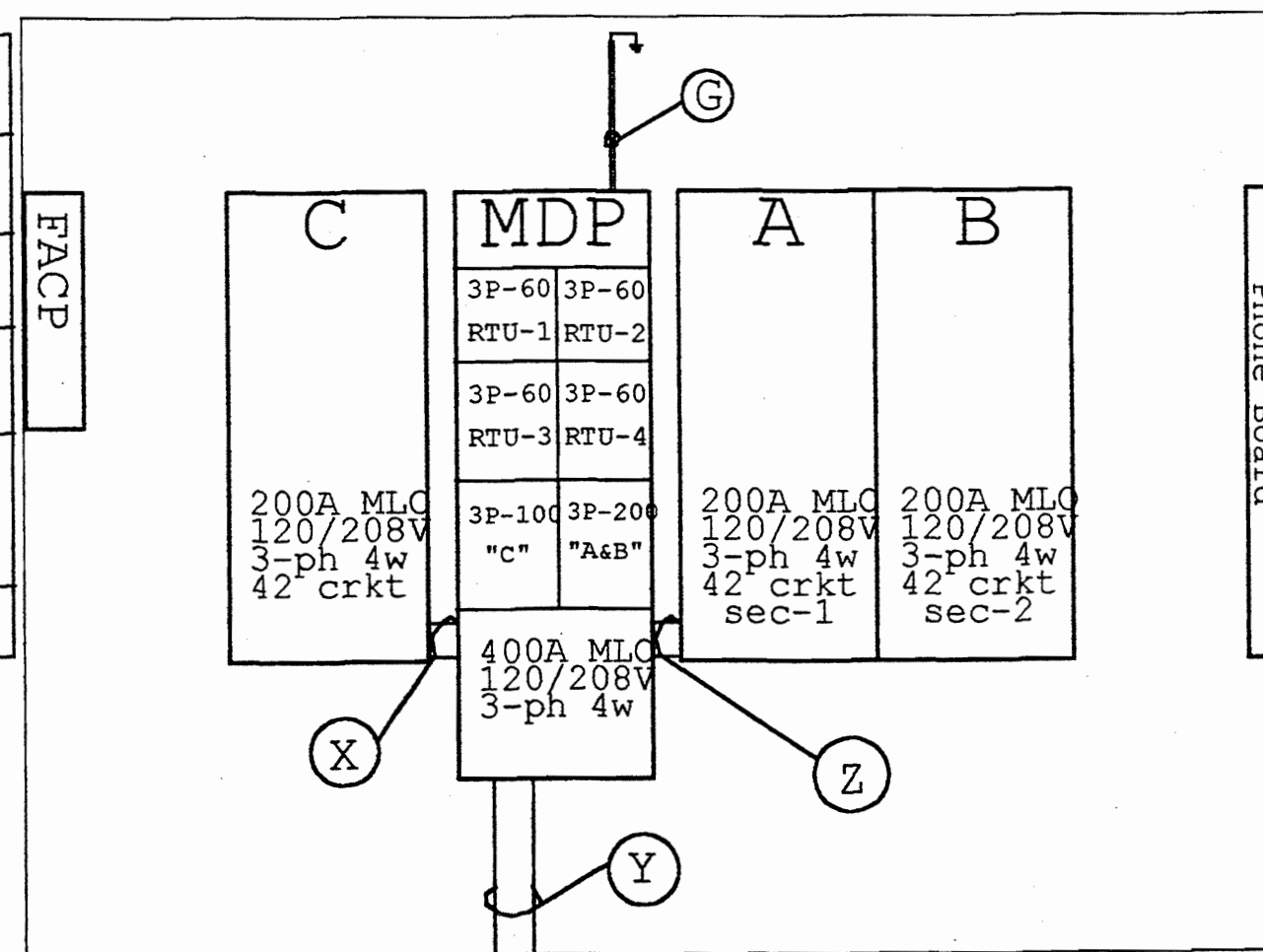


<b>Northwest District Office PA Department of Health</b>	
McQuiston Dr. Jackson Commerce Park	Mercer County, Pa.
Scale 1" = 30'	Drawn By: Jeff Will
General Contractor: Sesler General Contractors	
<b>ELECTRIC FLOOR PLAN</b> DWG ( 2 of 4 )	
CONNECTO ELECTRIC, INC. 3716 McClelland Ave. ERIE, Pa 16510 Proposal No. A 5763 (814) 454-6421 Fax (814) 898-4510 www.connectoelectric.com	
Date 03/10/00	Revised:



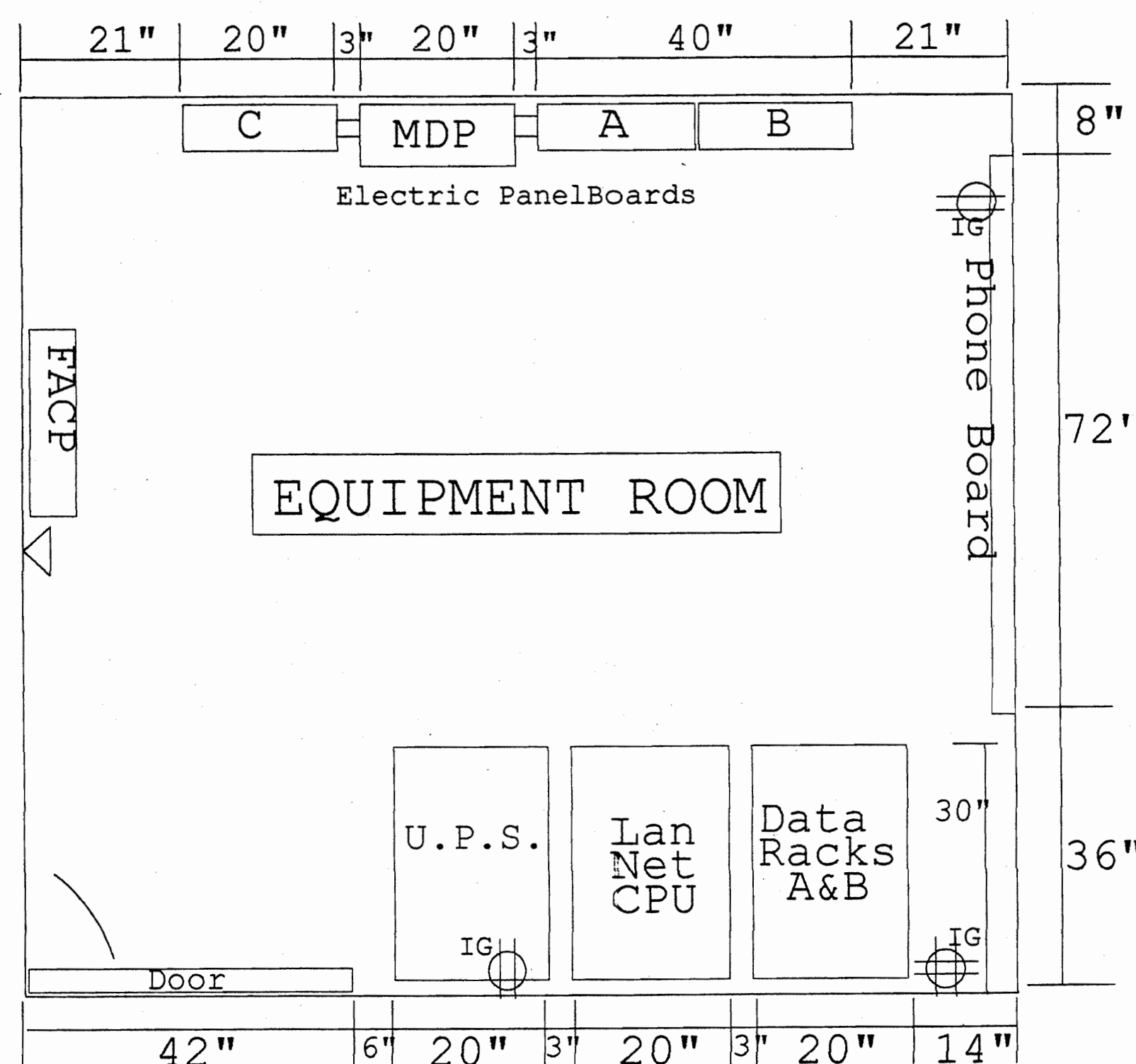
<b>Northwest District Office PA Department of Health</b>	
McQuiston Dr. Jackson Commerce Park Mercer County, Pa.	
Scale 1" = 30'	Drawn By: Jeff Will
General Contractor: Sesler General Contractors	
<b>ELECTRIC CIRCUIT PLAN</b> DWG ( 3 of 4 )	
CONNECTO ELECTRIC, INC. 3716 McClelland Ave. ERIE, Pa. 16510 (814) 454-6421 Fax (814) 898-4510 www.connectoelectric.com	
Date 03/10/00	Proposal No. A 5763 Revised:

FEEDER SERVICE SCHEDULE	
X	2"C/(4)#2&(1)#6grd
Y	4"C/(4)#500mcm THHNcu's
Z	3"C/(4)#4/0&(1)#6grd
G	(1)#1/0grd to water&gas (1)#4 to grd rod, phone, & data boards



### SERVICE DRAWING

(NO SCALE)



### EQUIPMENT ROOM

(NO SCALE)

### KEY SYMBOLS

QUANTITY	SYMBOL	DESCRIPTION OF ITEM
122	⊕	Standard Duplex Receptacle (Ivory Color) Mount RECPTS at 18" AFF center of box
2	⊙	Standard Single Receptacle (Ivory Color)
4	⊕ G	Ground Fault protected duplex receptacle (Ivory Color)
4	WR ⊕ G	Ground Fault protected duplex receptacle w/ Weatherproof Plate
58	⊕ IG	Isolated Ground Duplex Receptacles (Orange Color)
11	⊕ IG	Denotes: Double Duplex Receptacle (1-Isolated Ground & 1-Standard)
1	⊕ 50a	Electric Range Receptacle, 50 amp, with Pigtail & Connection
1	Hood	Range Hood, supplied & vented by others wired & installed by E.C.
63	▽	Quad Communication Outlet (1) Dual RJ11 Phone & (1) Dual RJ45 Data All devices to be wired with CAT 5 non plenum rated cable. Data Cables to be terminated at "DATA RACK", (one at patch panel "A" and one at "B"). Phones to be terminated at punch down block on "PHONE BOARD". All cables to be left with a minimum of 12" service loop "Slack" above outlets & patch panel and will be field tested to insure circuit integrity using IAW Cat 5 (100 Mbps) specifications.
5	▽	4" sq box w/ 1-gang outlet ring & 3/4" Spare conduit to ceiling space for future communication or antenna wiring by others.
44	\$	Single Pole Wall Switch (all switches to be toggle type, ivory color)
18	\$3	Three Way Wall Switch Mount all switches at 45" AFF to center of box
3	\$4	Four Way Wall Switch
1	\$FC	Fan Control Wall switch (FBO, installed by E.C.)
1	\$p	Pilot Lit Handle Wall Switch (Conf Rm Ex Fan)
1	\$*	Wall Control Switch for Projector Screen, (FBO, & Installed by E.C.)
1 set	PE DA	Front Door Security, (1) set of Photoelectric Beam sensors mounted at 10" AFF across front door to activate an electronic buzzer mounted in lobby.
1 set	PB Chime	Rear Service Door Push Button & Chime system
As Noted	↗ IG	Denotes (2) Home Run Circuit to Panel "P", circuit 22, Isolated Ground

### LIGHT FIXTURE SYMBOLS

QUANTITY	SYMBOL	DESCRIPTION	MOUNTING	ACCESSORIES	LAMP
76	A	Parabolic Troffer (3" deep, 18 cell, silver cells)	Recess 2'x4'	1-3 lamp Ballast	(3) F32 T8 Spec 35
12	AA	Parabolic Troffer (same as above but 2 ballasts)	Recess 2'x4'	1-2 lamp 1-1 lamp Ballast	(3) F32 T8 Spec 35
62	B	Parabolic Troffer (same ... but only 2 lamps)	Recess 2'x4'	1-2 lamp Ballast	(2) F32 T8 Spec 35
15	C	Prismatic Lensed Troffer	Recess 2'x4'	1-3lamp Ballast	(3) F32 T8 Spec 35
1	R	Ruud (MRC 0417m) 12" Canopy Light	Recess 12" Sq	none	(1) MH-175 clear
6	W	Ruud (SE 3417m P) 12" Wall Pack Light	Surface Wall	Integral Photo Eye	(1) MH-175 clear
8	⊗	Ruud (EXPB 1 RWH) Single Face Exit Sign	Surface Ceiling	none	LED
4	⊗	Ruud (EXPB 2 RWH) Double Face Exit Sign	Surface Ceiling	none	LED
9	E	Ruud (EMWH) Emergency Battery w/ (2) Flood Heads WHITE	Surface Ceiling/Wall	none	(2) 6 watt T5
5	E	Ruud (EM R) Emergency Remote Head WHITE	Surface Ceiling/Wall	none	(1) 6 watt T5
3	"NL"	Denotes: (1) Lamp in fixture runs all the time for use as Nite Lite.	n/a	none	n/a

### EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	PHASE	VOLTS	AMPS	WIRE SIZE AWG	REMARKS	DISC SW FUSES	CONNECTION
RTU 1	Roof Top HVAC Unit No.1 North Offices	3	208	36.1	#8		60-3P 50TD	Flex Whip from Disc Sw to Equip
RTU 2	Roof Top HVAC Unit No.2 Conf Rm / Center Hub	3	208	39.2	#8		60-3P 50TD	Flex Whip from Disc Sw to Equip
RTU 3	Roof Top HVAC Unit No.3 East Perimeter Offices	3	208	28.4	#8		60-3P 50TD	Flex Whip from Disc Sw to Equip
RTU 4	Roof Top HVAC Unit No.4 West Perimeter Offices	3	208	39.2	#8		60-3P 50TD	Flex Whip from Disc Sw to Equip
EW 1a	Electric Wall Heater Main Entry	1	208	7.2	#12	Furnished by others	N/A	Direct Equipment Connection
EW 1b	Electric Wall Heater Side Entry	1	208	7.2	#12	Furnished by others	N/A	Direct Equipment Connection
EF 1a	Exhaust Fan Roof Mount Mens' Room	1	120	2.3	#12	Fan & Venting by others	N/A	Connect to light switch & make direct equip conn.
EF 1b	Exhaust Fan Roof Mount Womens' Room	1	120	2.3	#12	Fan & Venting by others	N/A	Connect to light switch & make direct equip conn.
EF 1c	Exhaust Fan Roof Mount Equipment Room	1	120	2.3	#12	Fan & Venting by others	N/A	Connect to separate switch & make direct equip conn.
EF 2	Exhaust Fan Wall Mount Lunch Room	1	120	2.3	#12	Fan, Vent, & Speed Switch by others	N/A	Wall Mount Speed Switch & Direct Equip Conn
EF 3	Exhaust Fan Roof Mount Conference Room	1	120	5.8	#12	Fan & Venting by others	WP Toggle Switch	Pilot Lit Handle Wall Switch
EF 4	Exhaust Fan Roof Mount Attic Ventilator	1	120	9.8	#12	Fan, Vent, & Temp Switch by others	WP Toggle Switch	Mount Temperature Switch in Attic
HW	Hot Water Tank	n/a				Gas Unit		No wiring, No Work
PS	Projection Screen Conference Room	1	120	2.5	#12	Furnished & installed by others	N/A	Wall Control Switch, furnished by others, installed by E.C.
PP	Pin Point Projector Conference Room	1	120	2.5	#12	Furnished & installed by others	N/A	Install Recept above ceiling for projector.
DATA RACK	Box Type Data Equip Rack (approx 72"x19"x30"deep) (2) 64 port CAT 5 Patch Panels	1	120 IG	5	#12	Furnished & installed by E.C.	N/A	Install (1) double IG recept outlet for HUBS.
UPS CPU	Uninterruptible Power Supply and Central Processor - Server	1	120 IG	10	#12	Furnished & installed by Others	N/A	Install (1) IG recept outlet for UPS / CPU.

### FIRE ALARM SYMBOLS

QUANTITY	SYMBOL	DESCRIPTION OF ITEM
1	FACP	Fire Alarm Control Panel with digital dialer (Monthly Monitor service by others)
1	RA	Remote Annunciator Key Pad
5	P	Manual Pull Station (Mount at 45" to center of box A.F.F.)
12	HS	Horn / Strobe (Mount at 80" to center of box A.F.F.)
2	S	Strobe Only Units (Mount at 80" to center of box A.F.F.)
6	S	Smoke Detector (Surface mount in center area of ceiling)
4	DS	Duct Mounted Smoke Detector (Interconnect detector relay with HVAC fan for shut down upon detector alarm) Mount Remote Test Switches in Electric Room By FACP. Co-ordinate locations with M.C.

## Northwest District Office PA Department of Health

McQuiston Dr. Jackson Commerce Park Mercer County, Pa.

Scale 1" = 30' Drawn By: Jeff Will

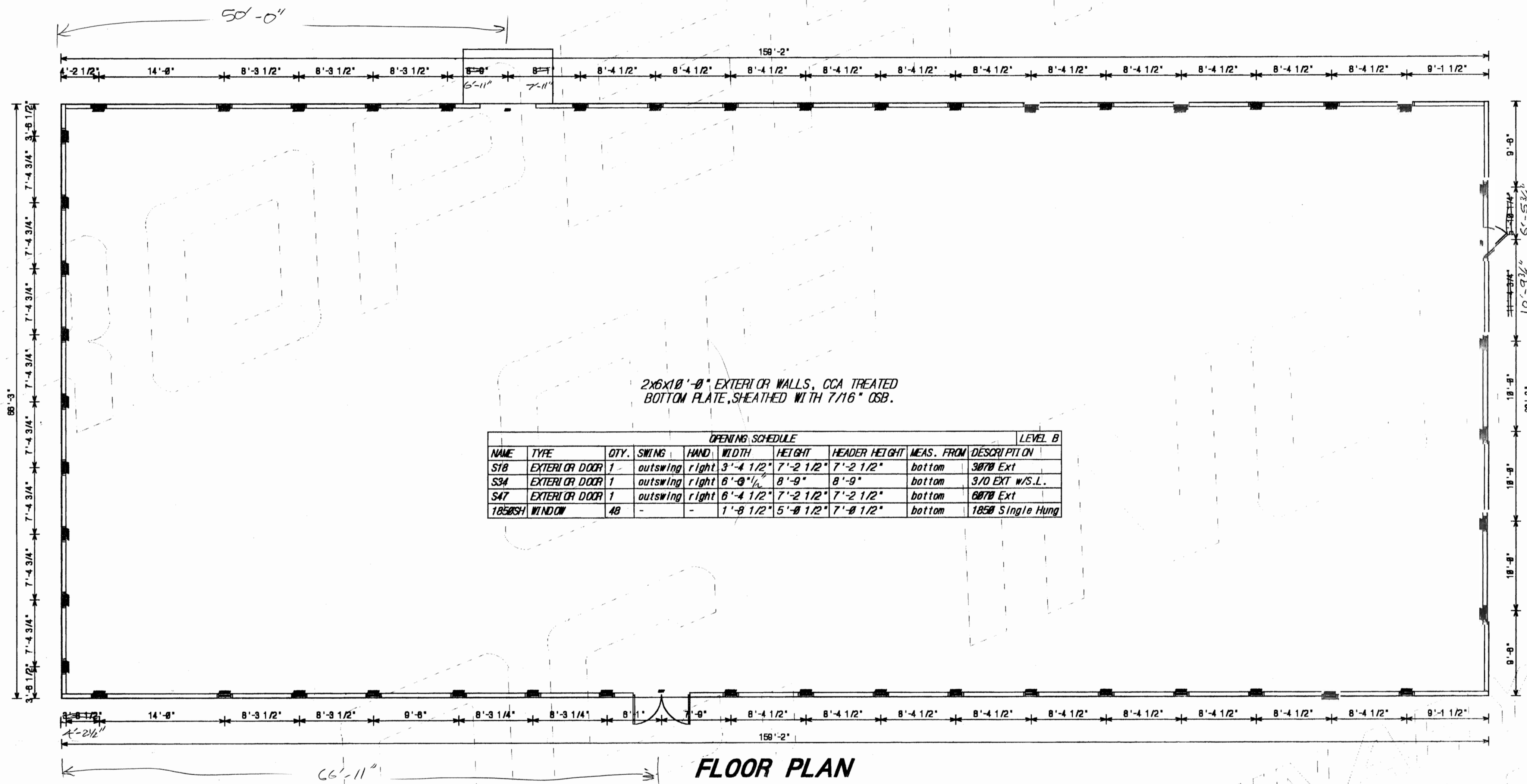
General Contractor: Sesler General Contractors

### SERVICE DRAWING & SCHEDULES DWG ( 4 of 4 )

CONNECTO ELECTRIC, INC.  
3716 McClelland Ave. Erie Pa. 16510 Proposal No. A 5763  
(814) 454-6421 Fax (814) 898-4510  
www.connectoelectric.com

Date 03/10/00

Revised:



Foundation plan shown is for representation only. Size of block and lintels must be in agreement with local building code. It is the responsibility of the General Contractor to comply with all applicable codes. LOC, Incorporated assumes NO responsibility for code compliance and therefore is relieved of any liability. All dimensions, bearing conditions, beam locations, beam sizes, roof pitches, window locations, door locations, window rough openings, door rough openings, wall heights, and ceiling conditions have been checked and approved by the General Contractor/Owner, either written or verbal. This Policy will be Strictly Enforced.



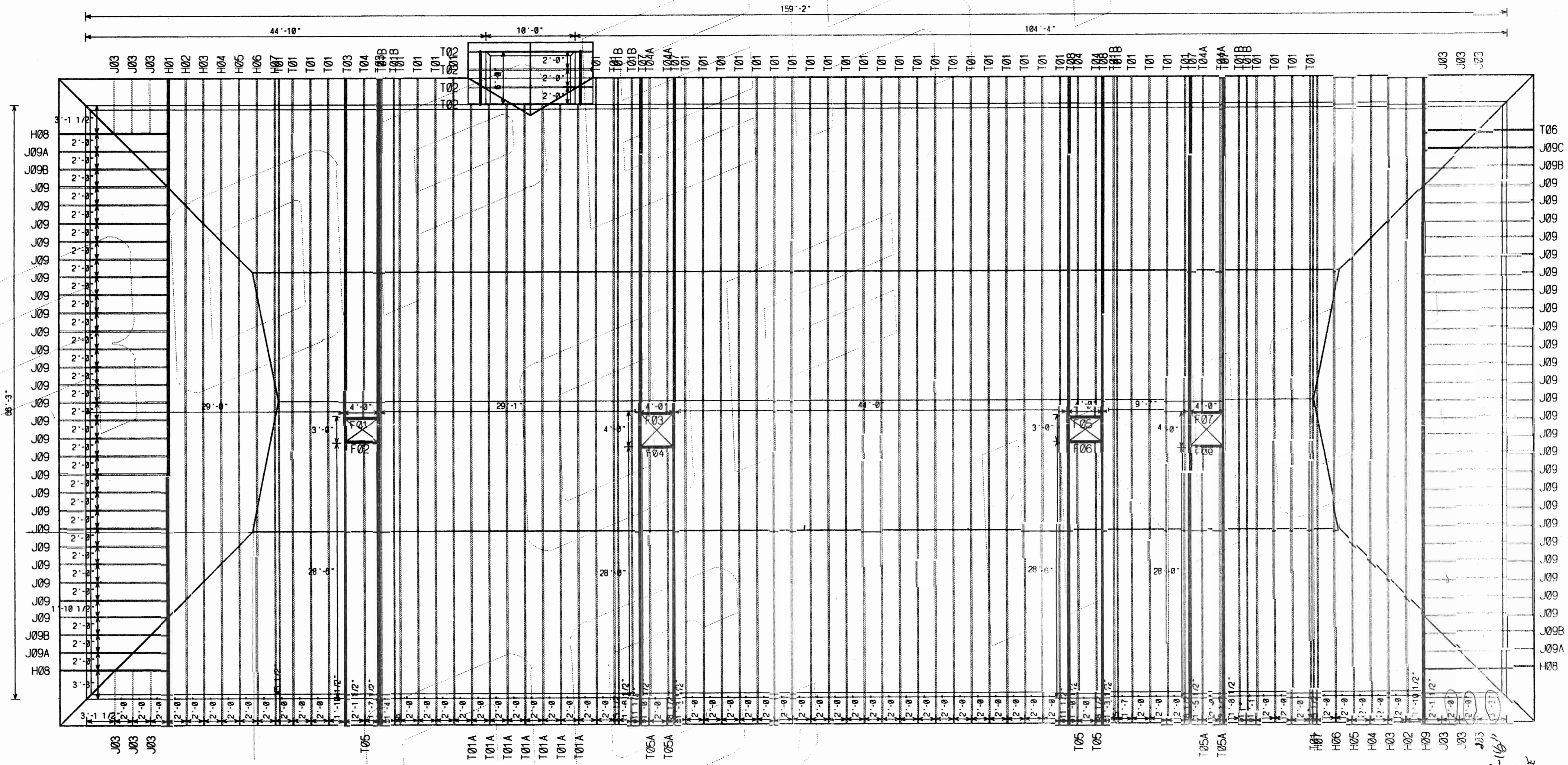
**LOC, INCORPORATED**  
2727 West 18th Street  
Erie, PA 16505  
814-833-7734 Fax: 814-833-8785

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DATE: 04-07-00  
SCALE: 1/8"=1'-0"

SESLER, INC.  
PA DEPT. OF HEALTH  
MERCER COUNTY, PA

DRAWN BY: PPD  
JOB NO.:  
PLAN NO.: M-5100



ROOF LAYOUT

5/12 MAIN ROOF PITCH, 1/12 UPPER ROOF PITCH, 3'-0" TOP CHORD OVERHANG.

Foundation plan shown is for representation only. Size of block and inlets must be in agreement with local building code. It is the responsibility of the General Contractor to comply with all applicable codes. LOC, Incorporated assumes NO responsibility for code compliance and therefore is relieved of any liability. All dimensions, bearing conditions, beam locations, beam sizes, roof pitches, window locations, door locations, window rough openings, door rough openings, wall heights, and ceiling conditions have been checked and approved by the General Contractor/Owner, either written or verbal. This Policy will be Strictly Enforced.



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DATE: 03-28-00  
 SCALE: 1/8"=1'-0"

SESLER, INC.  
 PA DEPT. OF HEALTH  
 MERCER COUNTY, PA

DRAWN BY: PRD  
 JOB NO.:  
 PLAN NO: M-51